



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: 1690-2350 South Congress Avenue (aka Office Depot Campus)

Project Location: 1690-2350 South Congress Avenue

Request: Class II Site Plan Modification

Board: Site Plan Review and Appearance Board

Meeting Date: October 23, 2019

Board Action:

Approved (6-0, Cope Absent) the Class II Site Plan Modification.

Project Description:

The subject property is located at the southwest corner of Congress Avenue and Old Germantown Road and is 48.78 acres in size. The existing development consists of 352,539 square feet of office in four buildings. The office campus was formerly occupied by the Office Depot corporate offices and The Arbors office building located at the northeast corner of the site.

Beginning in 1981 and ending in 1995, portions of the site were annexed into the City of Delray Beach from unincorporated Palm Beach County. The site was rezoned from POC (Planned Office Center) to MROC (Mixed Residential Office and Commercial) in 2007.

At its meeting of December 11, 2018, the City Commission approved the rezoning of the property to Special Activities District (SAD) and the associated Master Development Plan (MDP). The development includes up to 1,009 total dwelling units; 70,000 square feet of office; 250,000 square feet of retail; and 80,000 square feet of restaurant. The MDP will be constructed within six parcels.

The item before the Board was consideration of a Class II Site Plan Modification request for 1690-2350 South Congress Avenue. The proposed changes are for roadways, street trees, park, and perimeter buffers. The applicant indicates that the modification is needed to accommodate the relocation of large existing trees on the property to the perimeter and interior streets.

Board Comments:

The majority of the Board member's comments were supportive.

Public Comments:

None.

Associated Actions:

No associated actions.

Next Action:

The SPRAB action is final unless appealed by the City Commission.



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

DEVELOPMENT SERVICES DEPARTMENT

100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: October 23, 2019

File No.: 2019-214-
SPM-SPR-CL2

Application Type: Class II Site Plan Modification

General Data:

Applicant/Owner: Centerpointe Delray Holdings, LLLP

Agent: Mike Covelli

Location: 1690-2350 South Congress Avenue

PCN: 12-43-46-30-37-000-0010

Property Size: 48.78 Acres

FLUM: CMU (Commercial Mixed Use)

Zoning: SAD (Special Activities District)

Adjacent Zoning:

- RM (Multiple Family Residential)(North)
- RM & OSR (Opens Space & Recreation) (South)
- MROC & I (Mixed Residential and Commercial & Industrial) (East)
- RM (West)

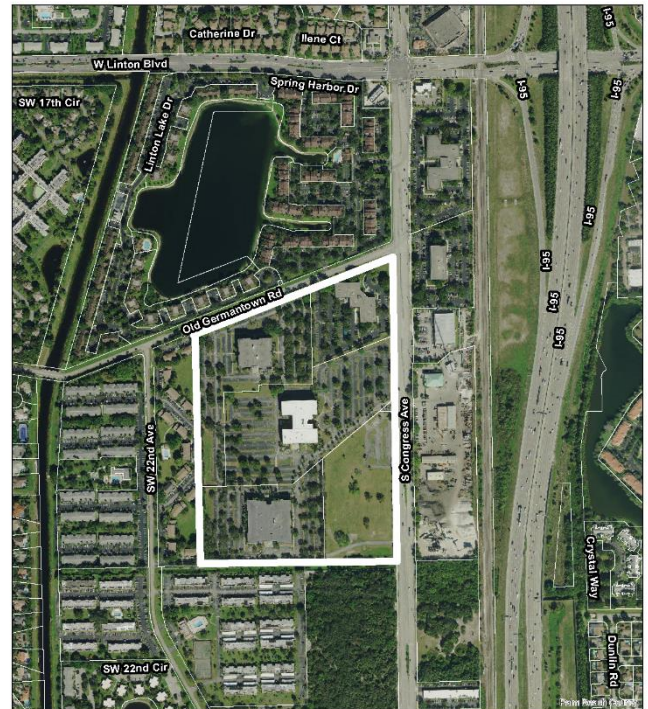
Existing Land Use: Former Office Depot campus and the Arbors office building

Proposed Land Use: A mixed use project containing residential and commercial

Item before the Board:

Consideration of a Class II Site Plan Modification for 1690-2350 South Congress Avenue, pursuant to Land Development Regulations (LDR) Section 2.4.5(G). This application includes:

- ☐ Site Plan Modification
- ☐ Landscape Plan



Alternative Actions:

- A. Move **postponement** of the Class II Site Plan Modification (2019-214) for Site Plan and Landscape Plan for 1690-2350 South Congress Avenue, by electing to continue with direction.
- B. Move **approval** of the Class II Site Plan Modification (2019-214) for Site Plan and Landscape Plan for 1690-2350 South Congress Avenue, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets the Land Development Regulations.
- C. Move **denial** of the Class II Site Plan Modification (2019-214) for Site Plan and Landscape Plan for 1690-2350 South Congress Avenue, by finding that the request is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in the Land Development Regulations.

Project Planner:

Scott Pape, Principal Planner;
pape@mydelraybeach.com,
561-243-7321

Review Dates:

SPRAB Board:
October 23, 2019

Attachments:

1. Site Plans
2. Landscape Plans



Project Assessment

The item before the Board is for consideration of a Class II Site Plan Modification request for 1690-2350 South Congress Avenue. The proposed changes are for roadways, street trees, park, and perimeter buffers. The applicant indicates that the modification is needed to accommodate the relocation of large existing trees on the property to the perimeter and interior streets.

Project Description:

The development proposal consists of the following:

- Installation/relocation of existing landscaping to the perimeter buffer areas and street trees.

Background:

The subject property is located at the southwest corner of Congress Avenue and Old Germantown Road and is 48.78 acres in size. The existing development consists of 352,539 square feet of office in four buildings. The office campus was formerly occupied by the Office Depot corporate offices and The Arbors office building located at the northeast corner of the site.

Beginning in 1981 and ending in 1995, portions of the site were annexed into the City of Delray Beach from unincorporated Palm Beach County. The site was rezoned from POC (Planned Office Center) to MROC (Mixed Residential Office and Commercial) in 2007.

At its meeting of December 11, 2018, the City Commission approved the rezoning of the property to Special Activities District (SAD) and the associated Master Development Plan (MDP). The development includes up to 1,009 total dwelling units; 70,000 square feet of office; 250,000 square feet of retail; and 80,000 square feet of restaurant. The MDP will be constructed within six parcels.

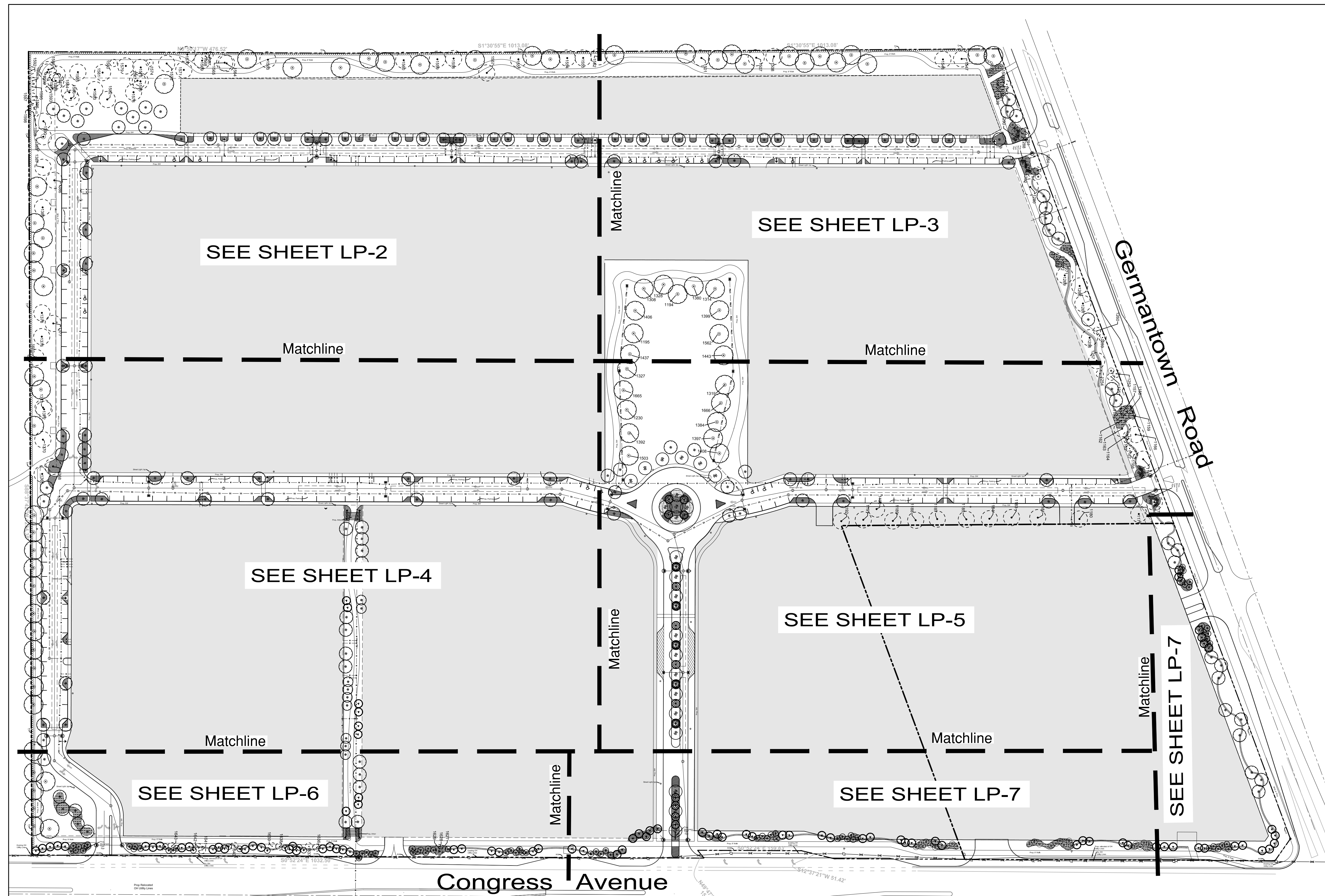
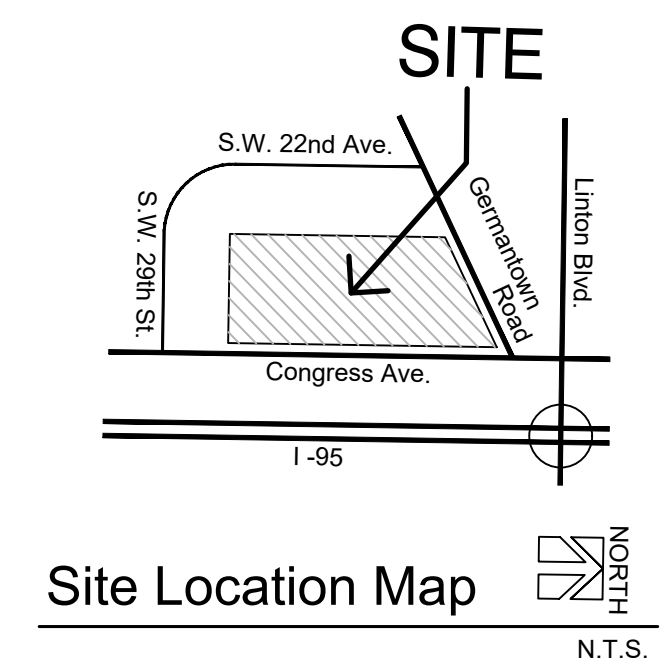
Site Plan Analysis:

Compliance with The Land Development Regulations (LDR):

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

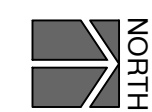
Landscape Analysis

The existing trees to be relocated are Live Oaks and Cabbage Palms. The new landscape material consists of Variegated Shell Ginger, Verawood, Queen Emma Lily, Green Buttonwood, Bridalveil tree, Thornless Floss Silk tree, Seagrape, Red Tip Cocoplum, Royal Poincianna, Thornless Crown of Thorns, Green Island Ficus, Dwarf Yaupon Holly, Wax Jasmine, Pink Crape Myrtle, Wild Tamarind, Japanese Privet, Simpson Stopper, Pink Muhly Grass, Selloum, Queen's Wreath, Highrise Live Oak, Royal Palm, Dwarf Variegated Scheffelera, Paradise tree, Cabbage Palm, and Yellow Trumpet tree. The landscape plan has been submitted and evaluated by the City's Senior Landscape Planner.



LANDSCAPE KEY PLAN

See Multifamily Landscape Plan for internal improvements west of easterly roadway / roundabout.



SCALE 1" = 80'

See LP-6 for Plant Key & Replacement Tabulations
See LP-8 for Standard Planting Details & Notes

[illegible]

Covelli
Design
Associates Inc.

2295 NW Corporate Blvd. Suite 2131
Boca Raton, Florida 33431
561-910-0330

LC 26000287
covellidesign.com

Urban Planning ♦ Landscape Architecture

Infrastructure
Landscape Plan
1690-2350 South Congress Avenue
Delray Beach Florida

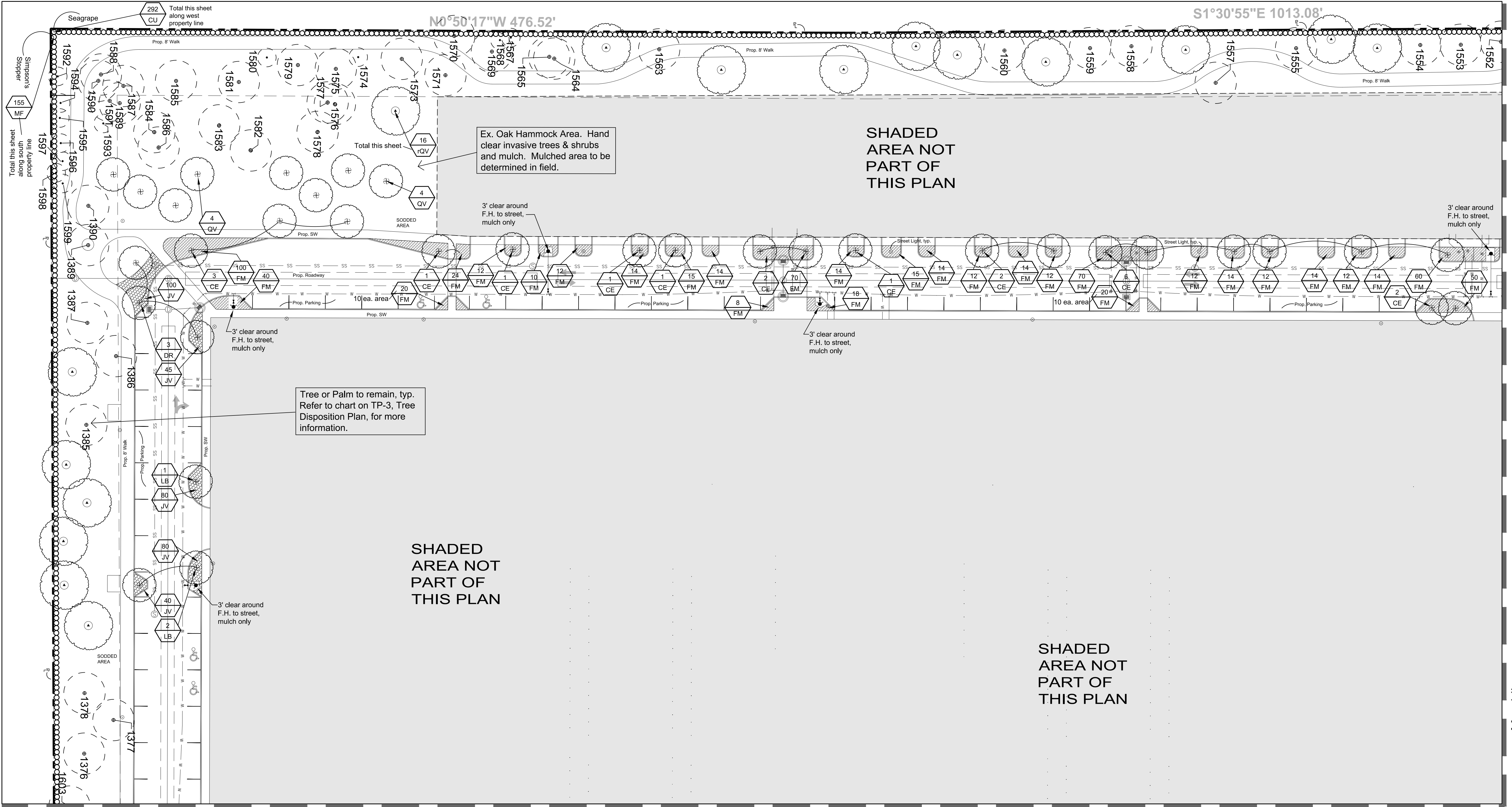
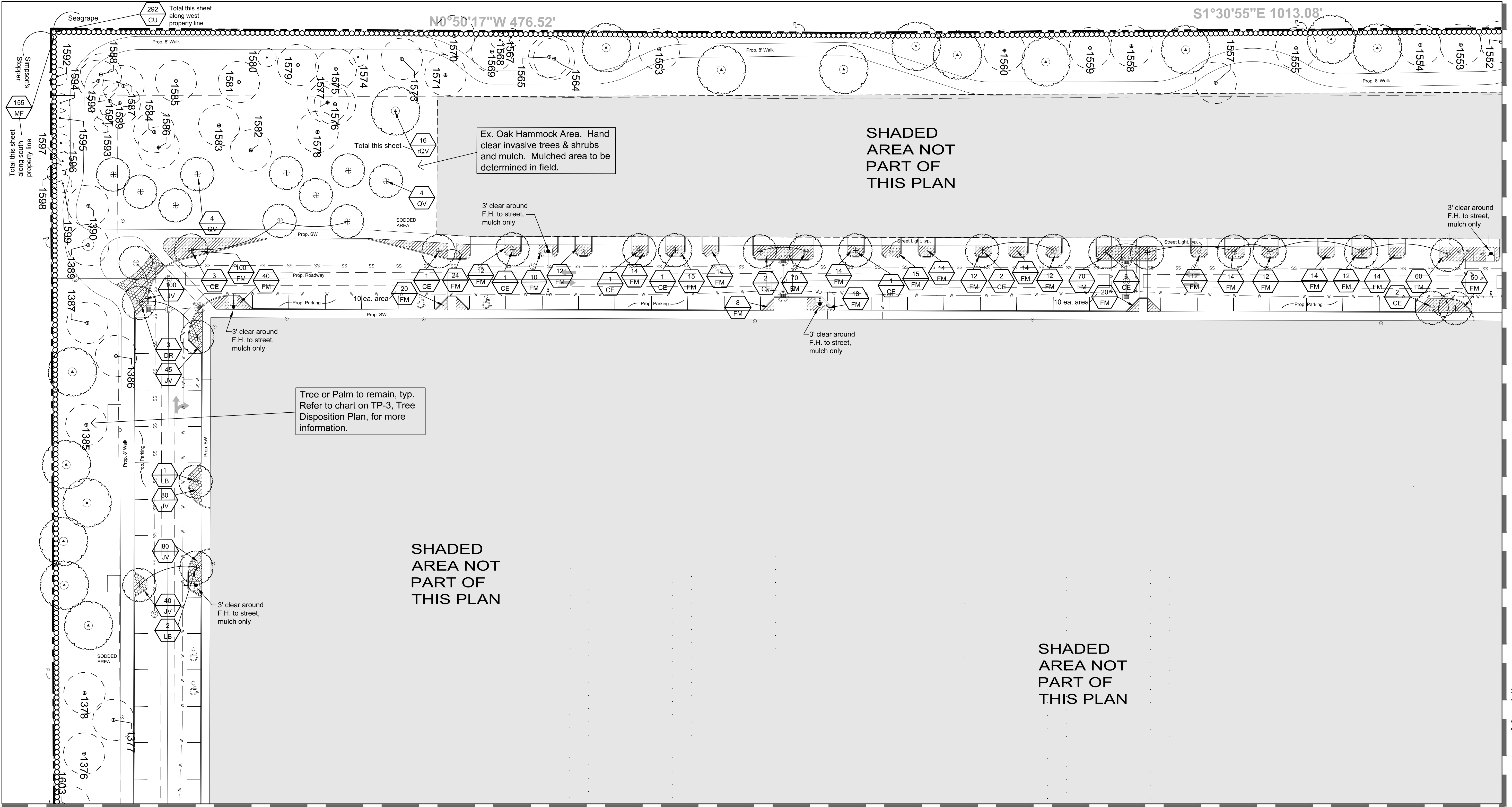
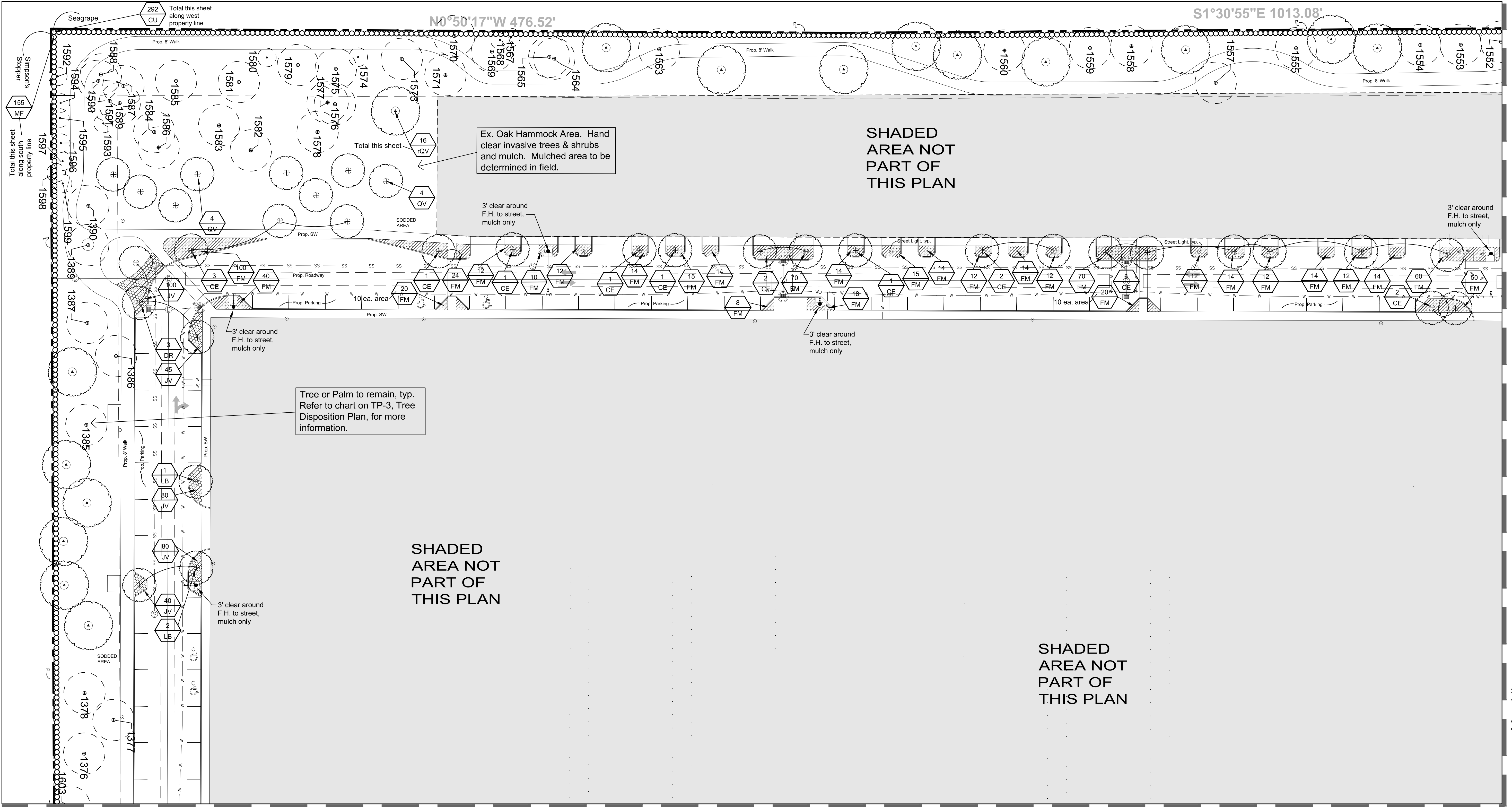
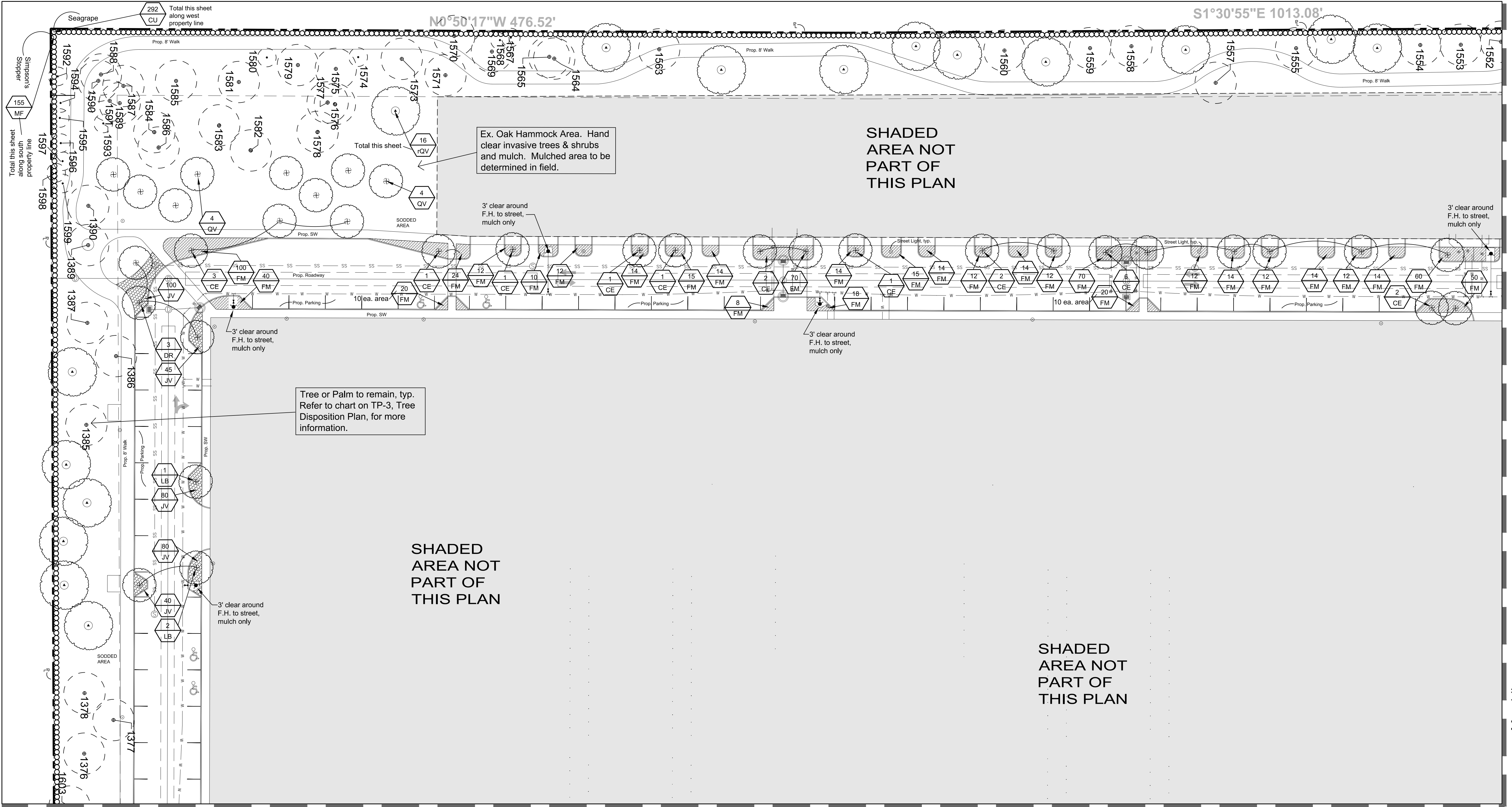
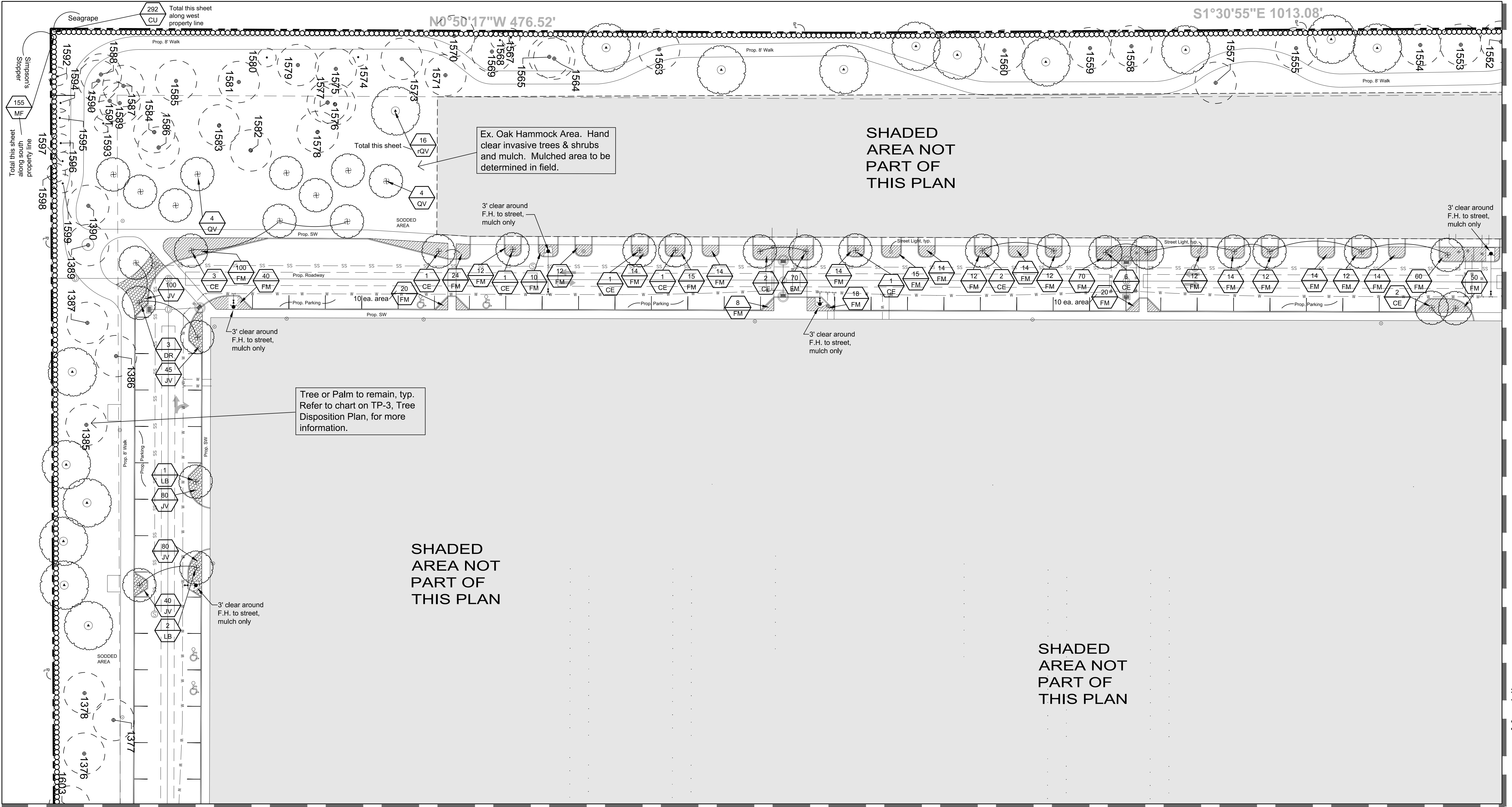
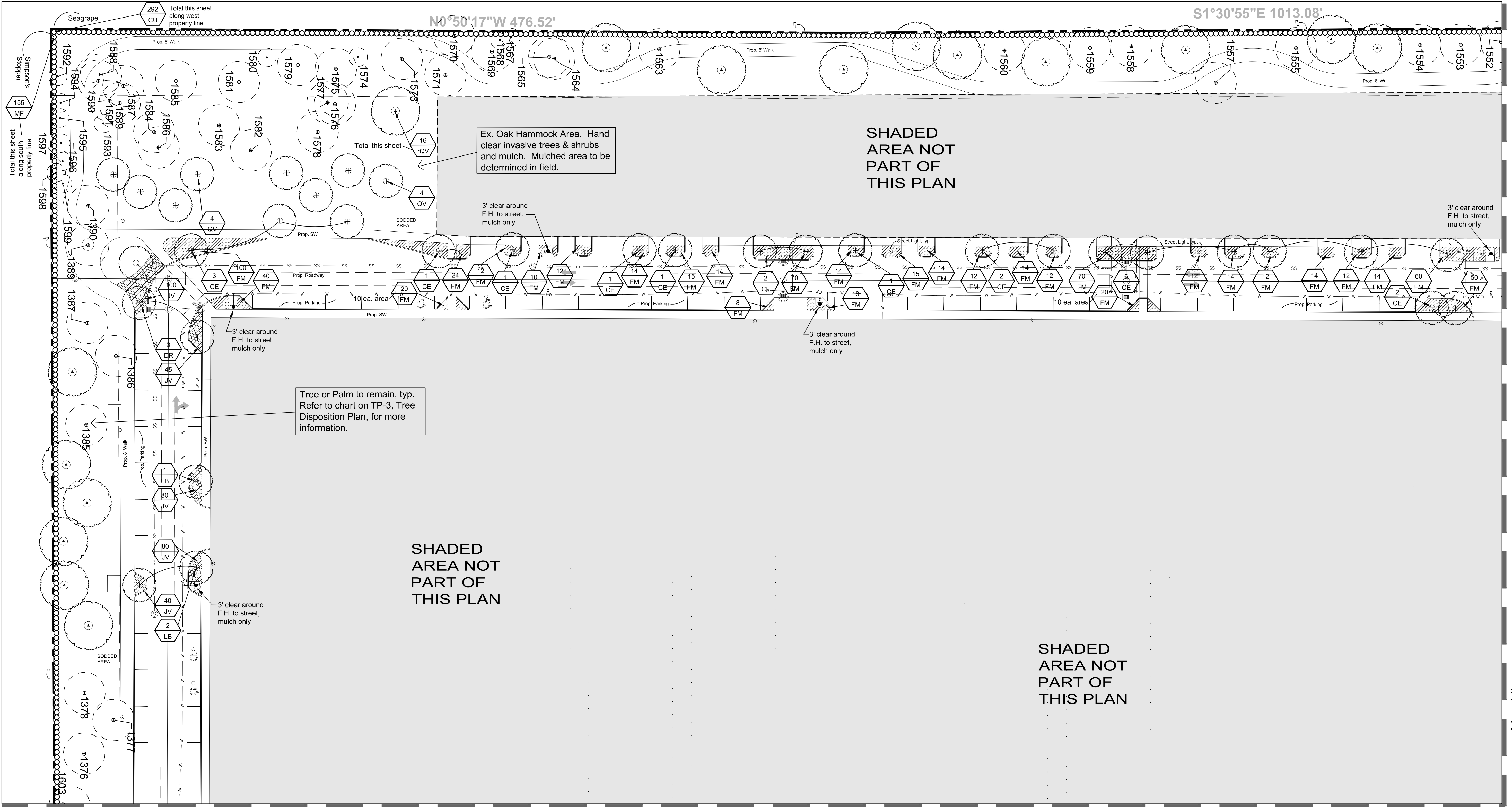
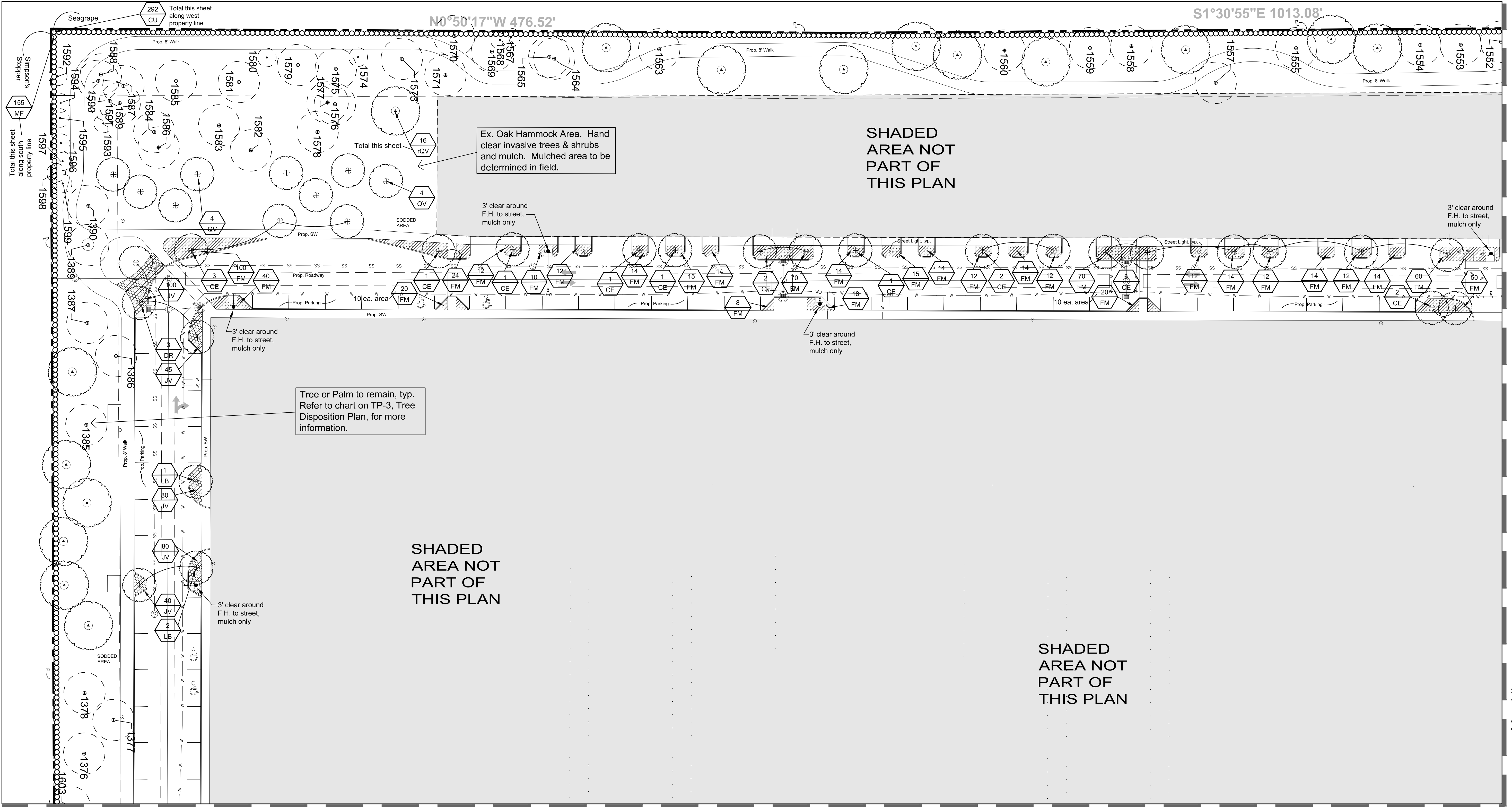
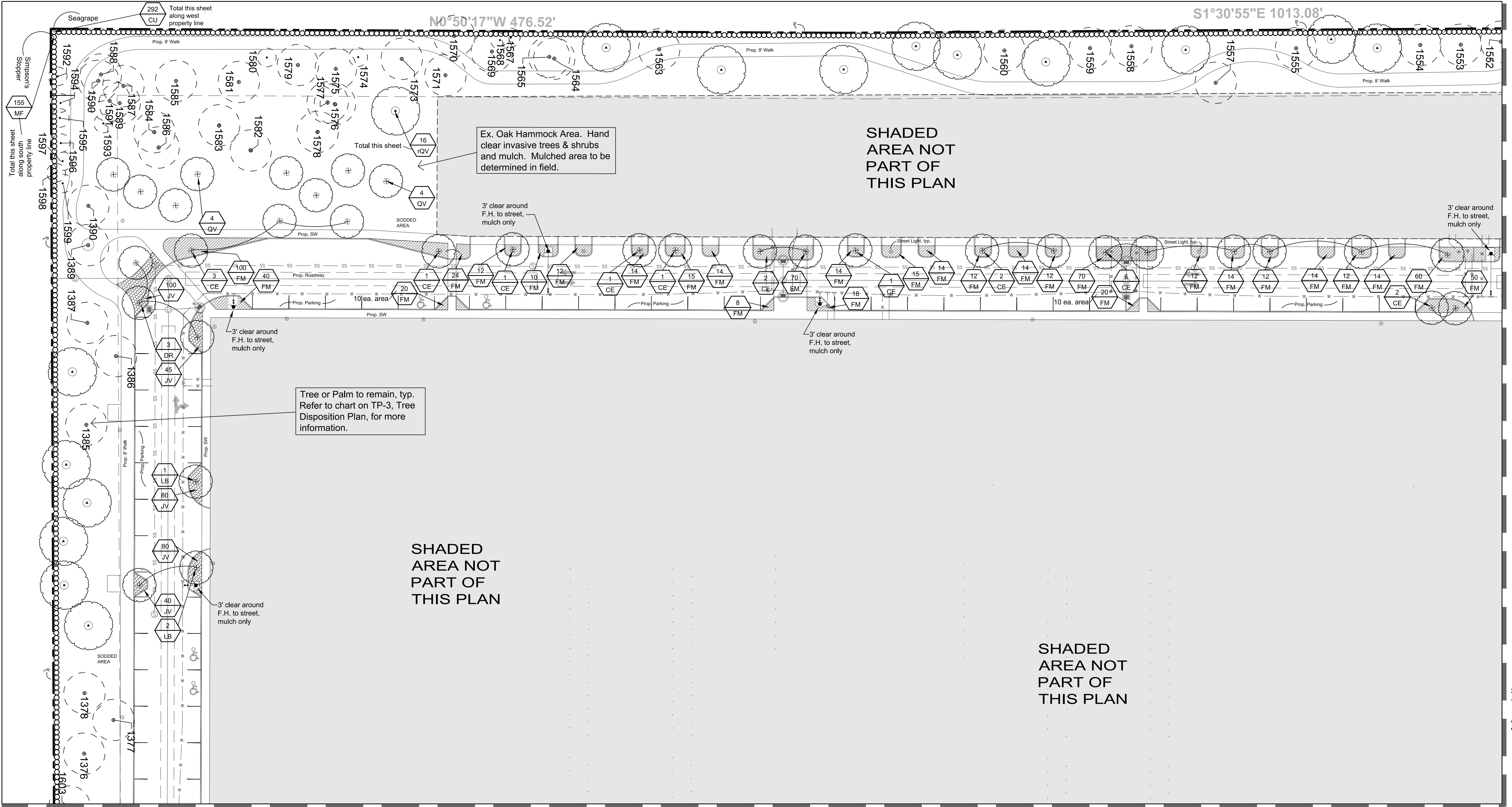
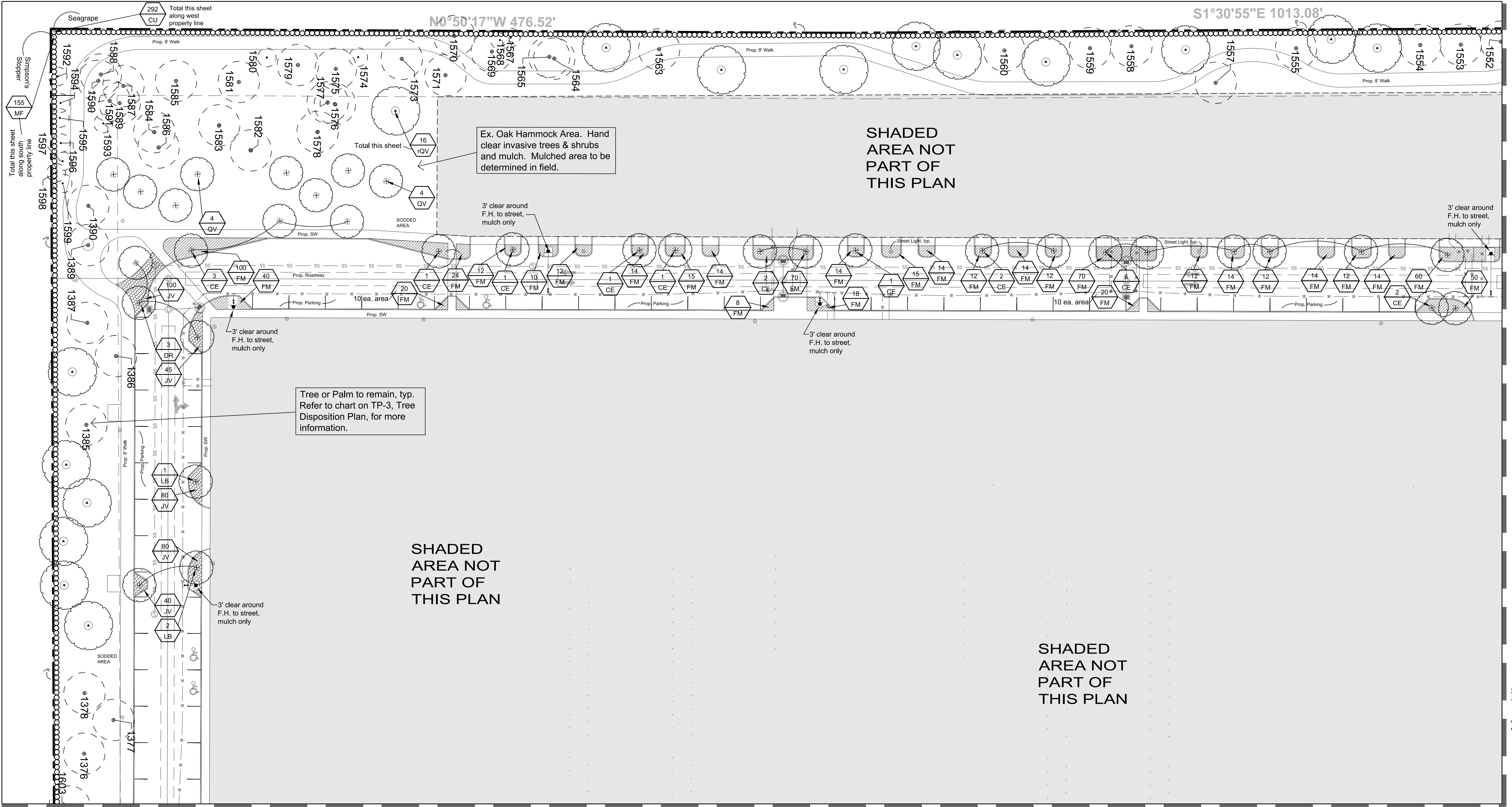
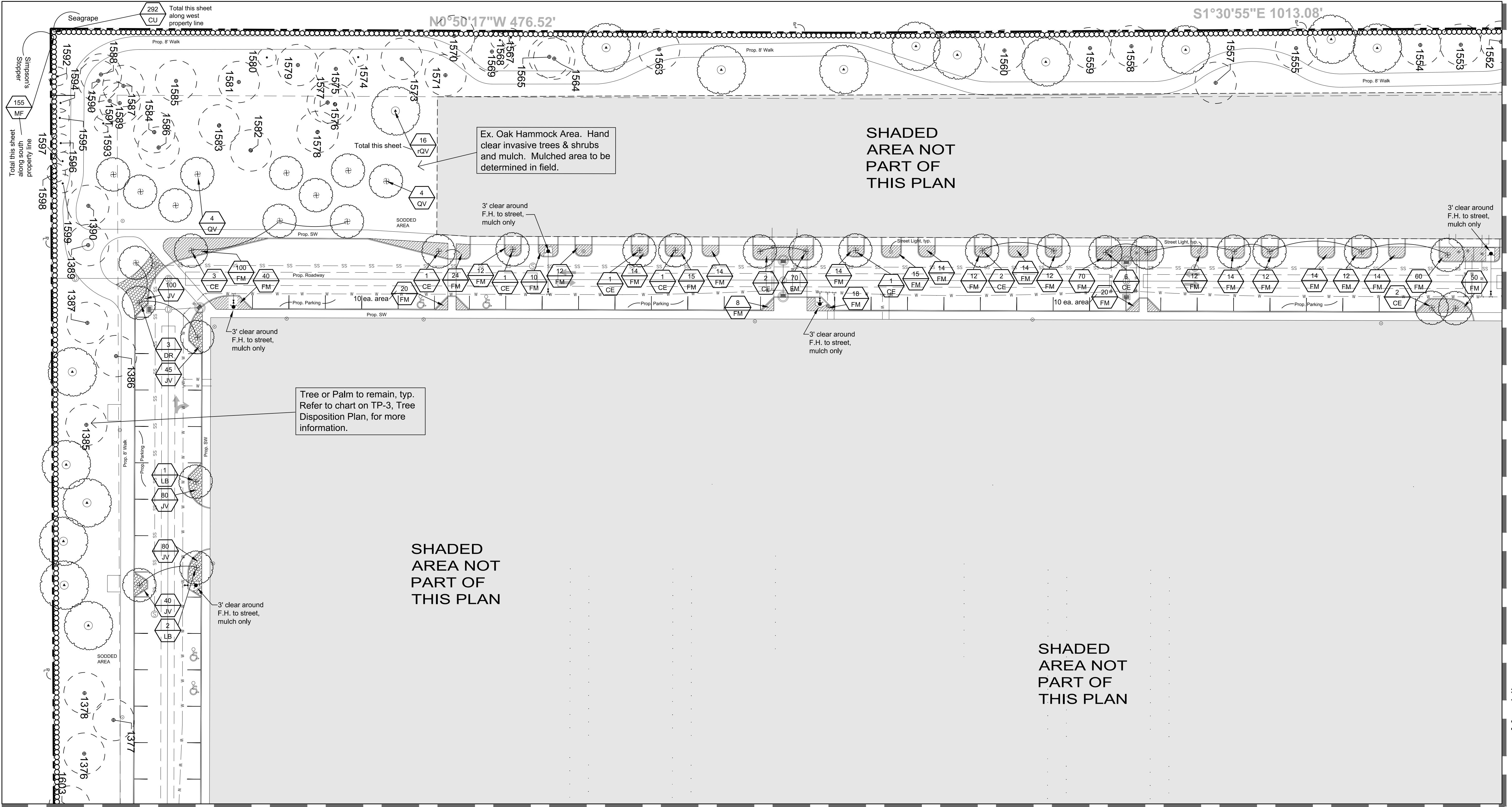
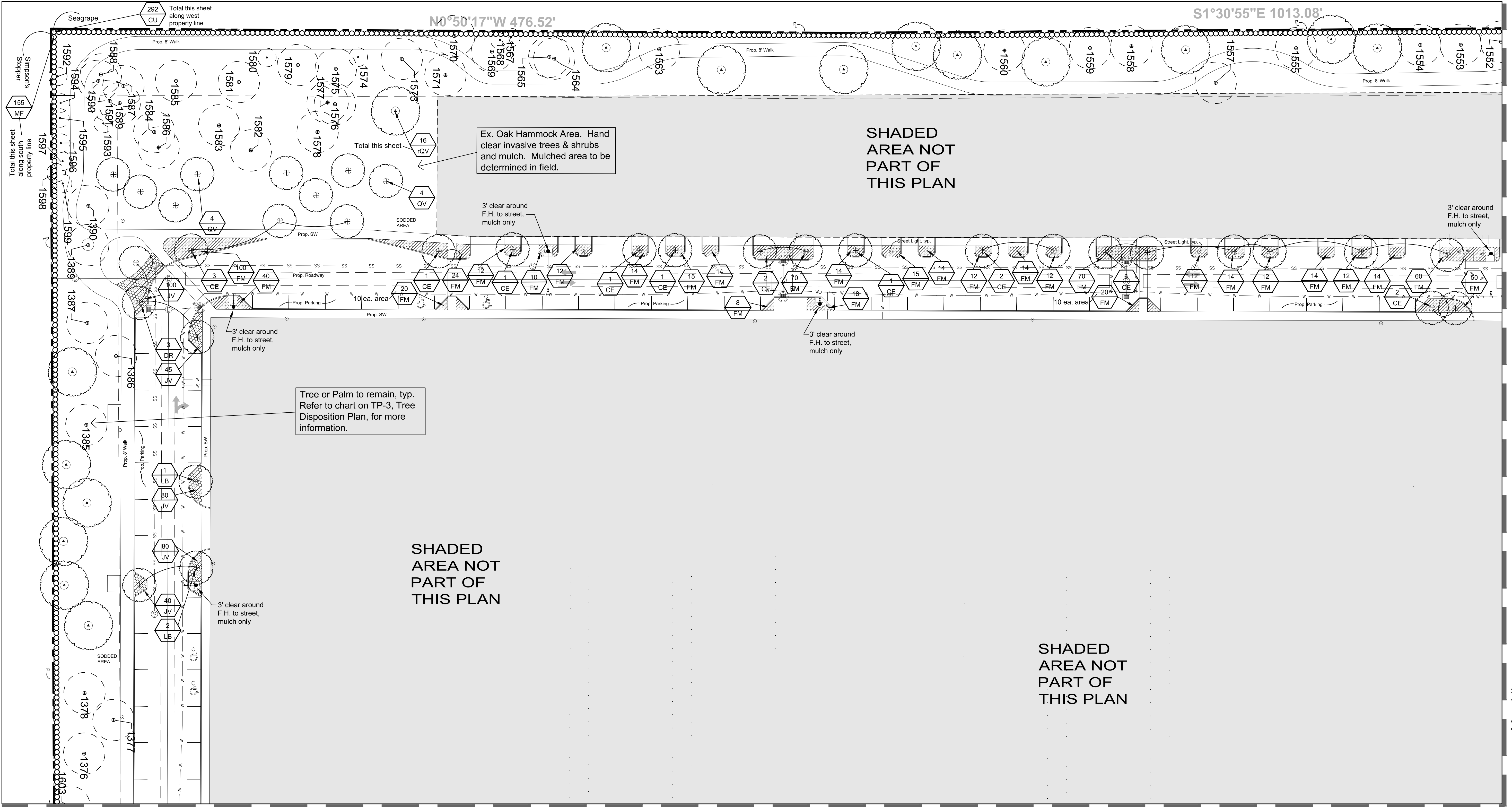
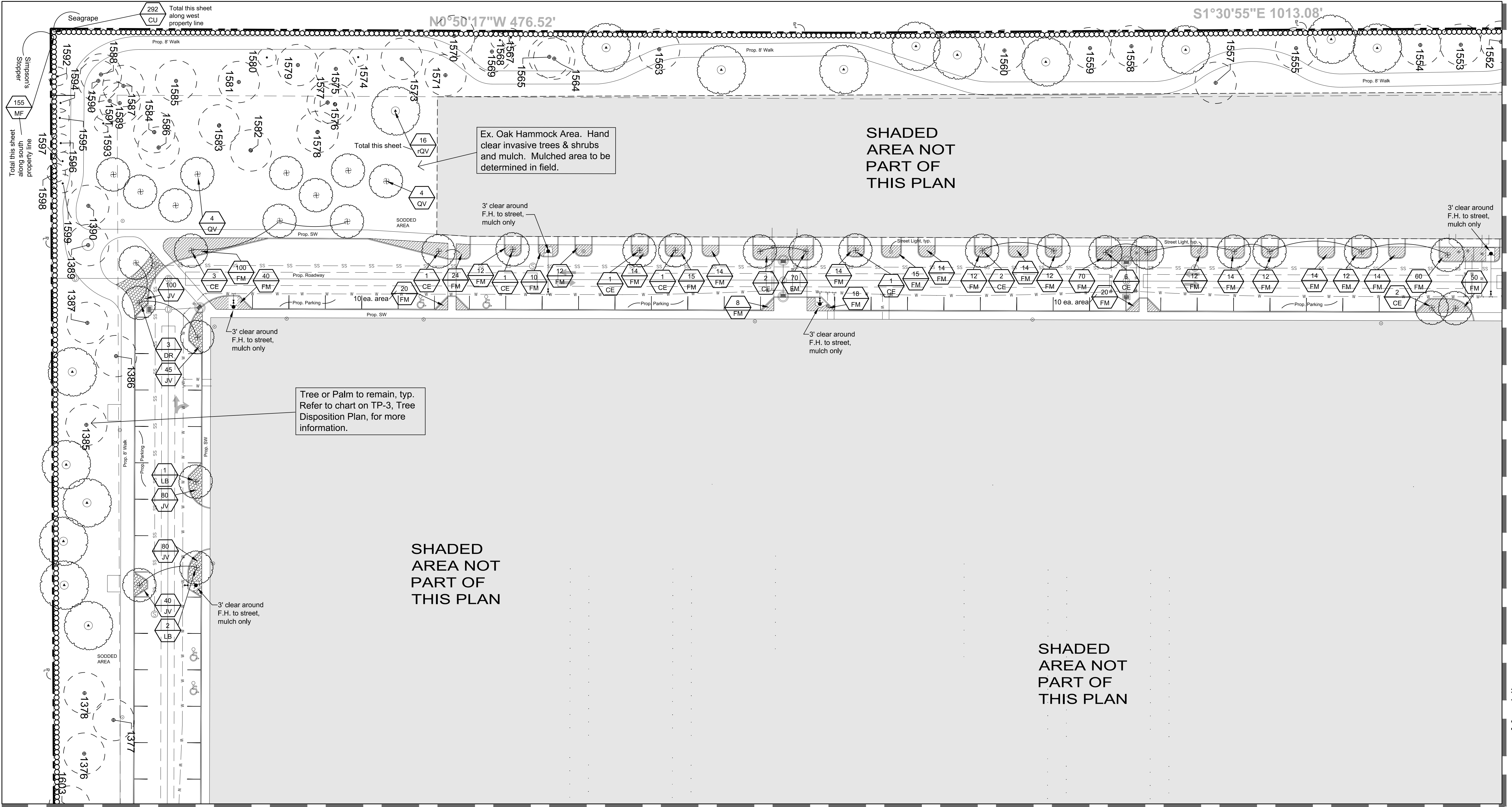
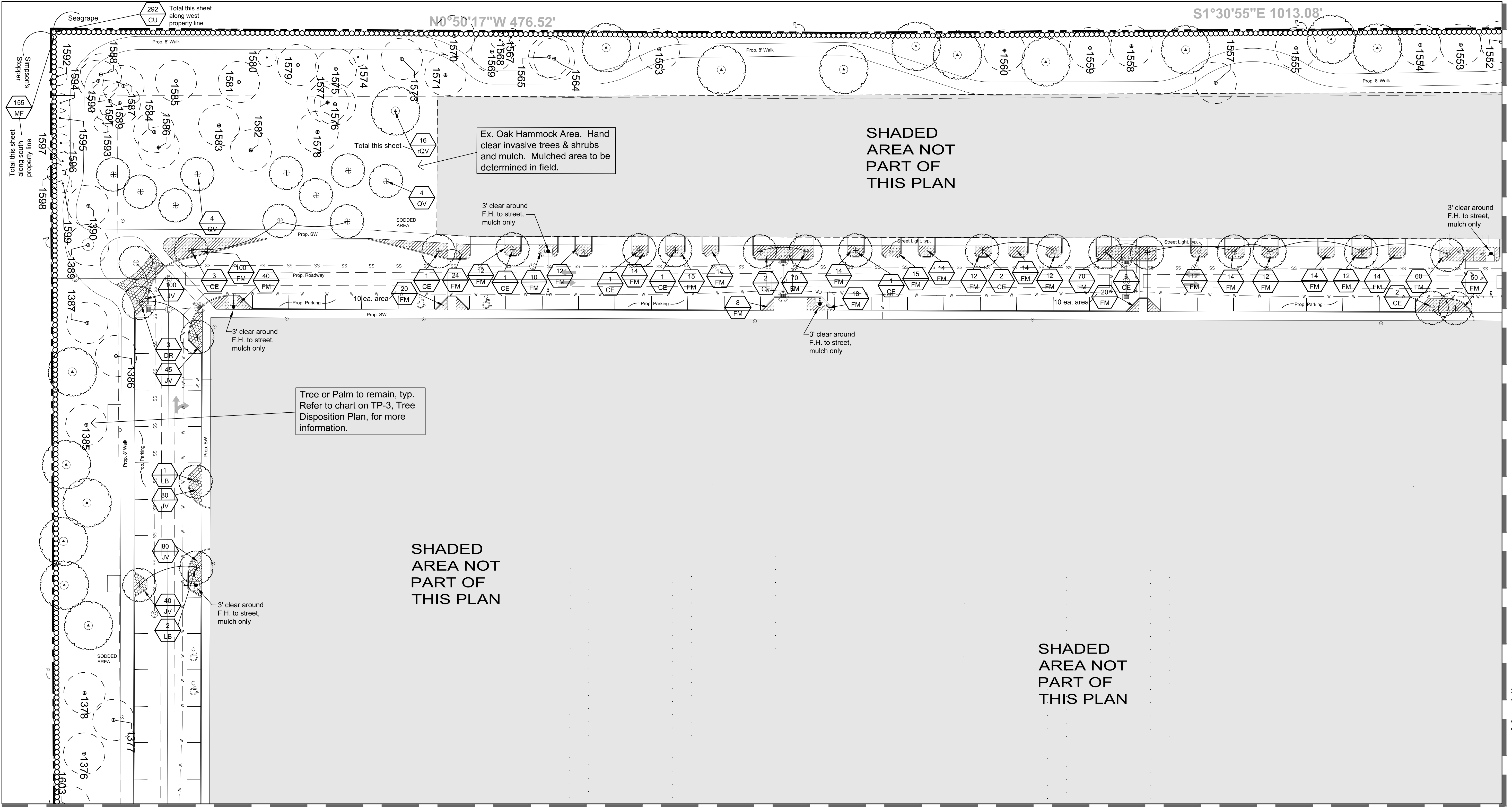
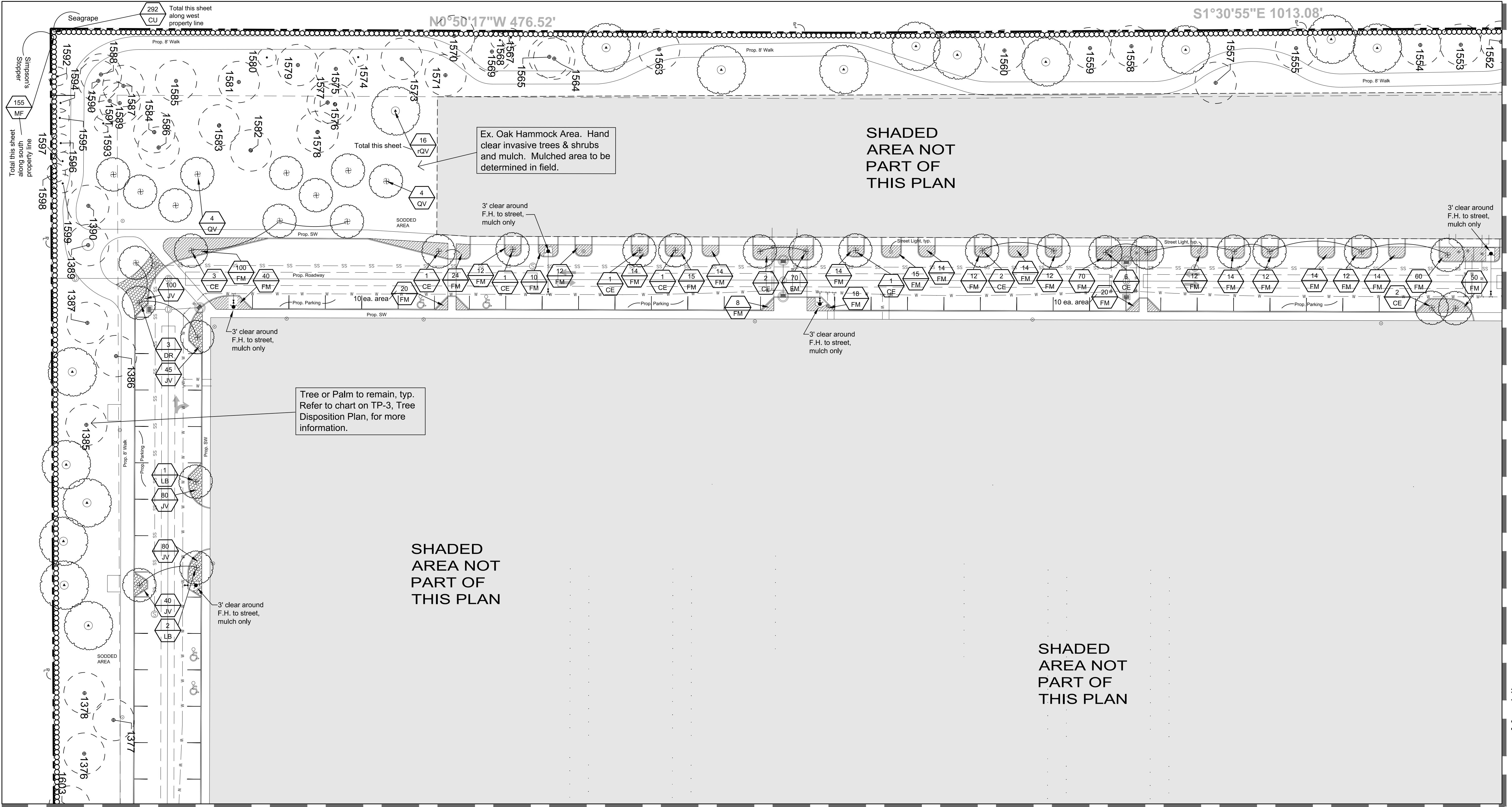
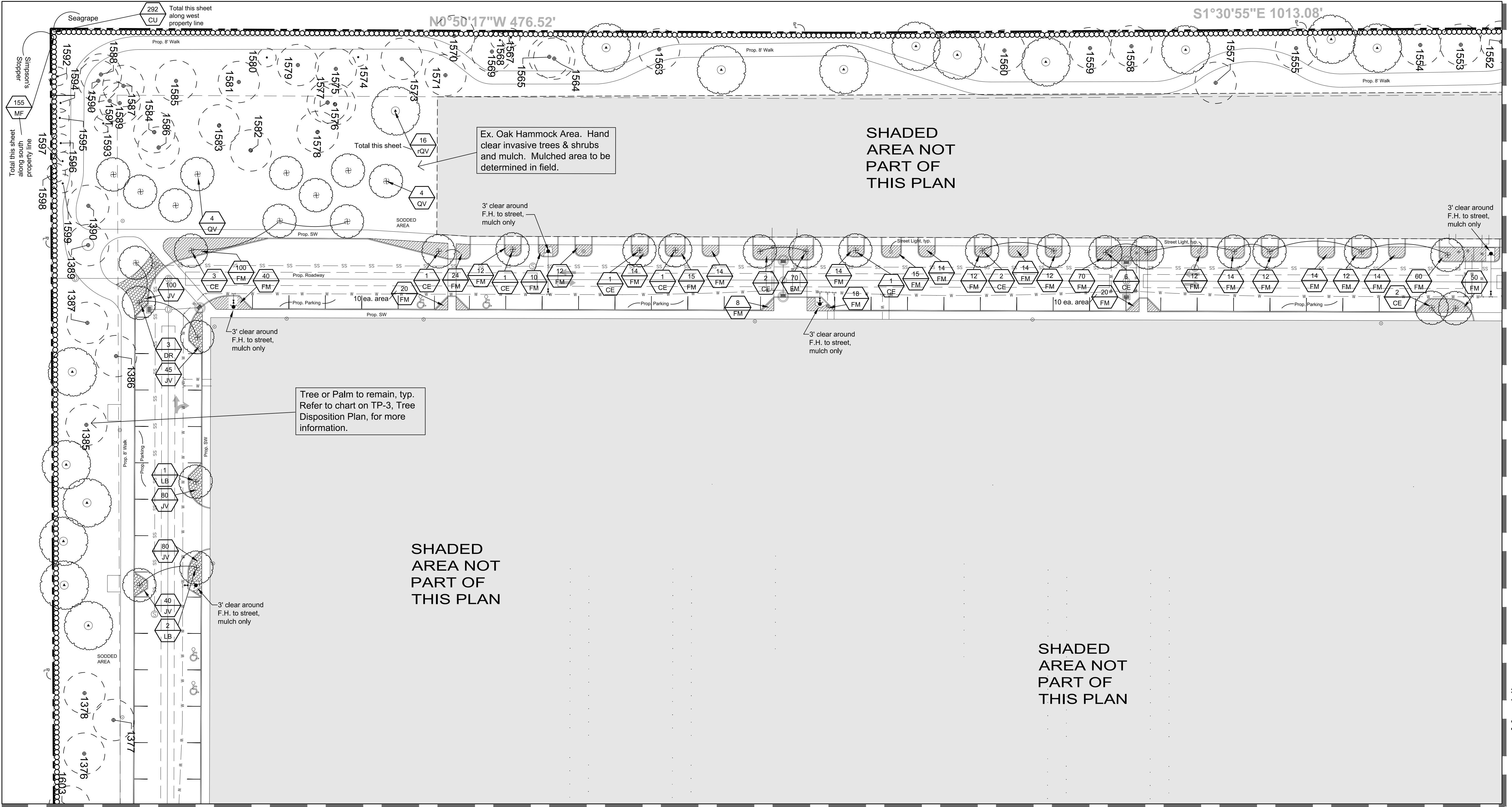
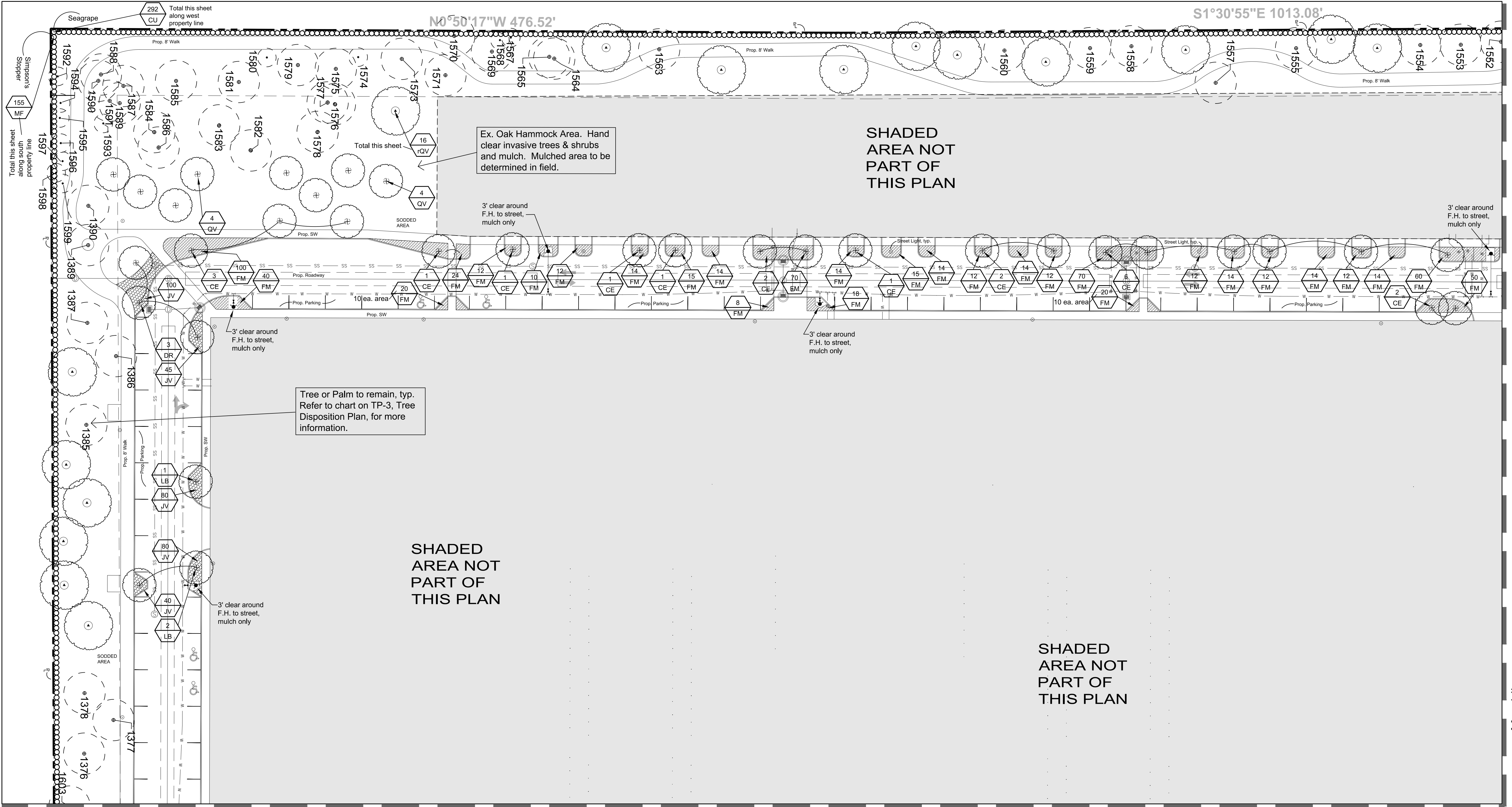
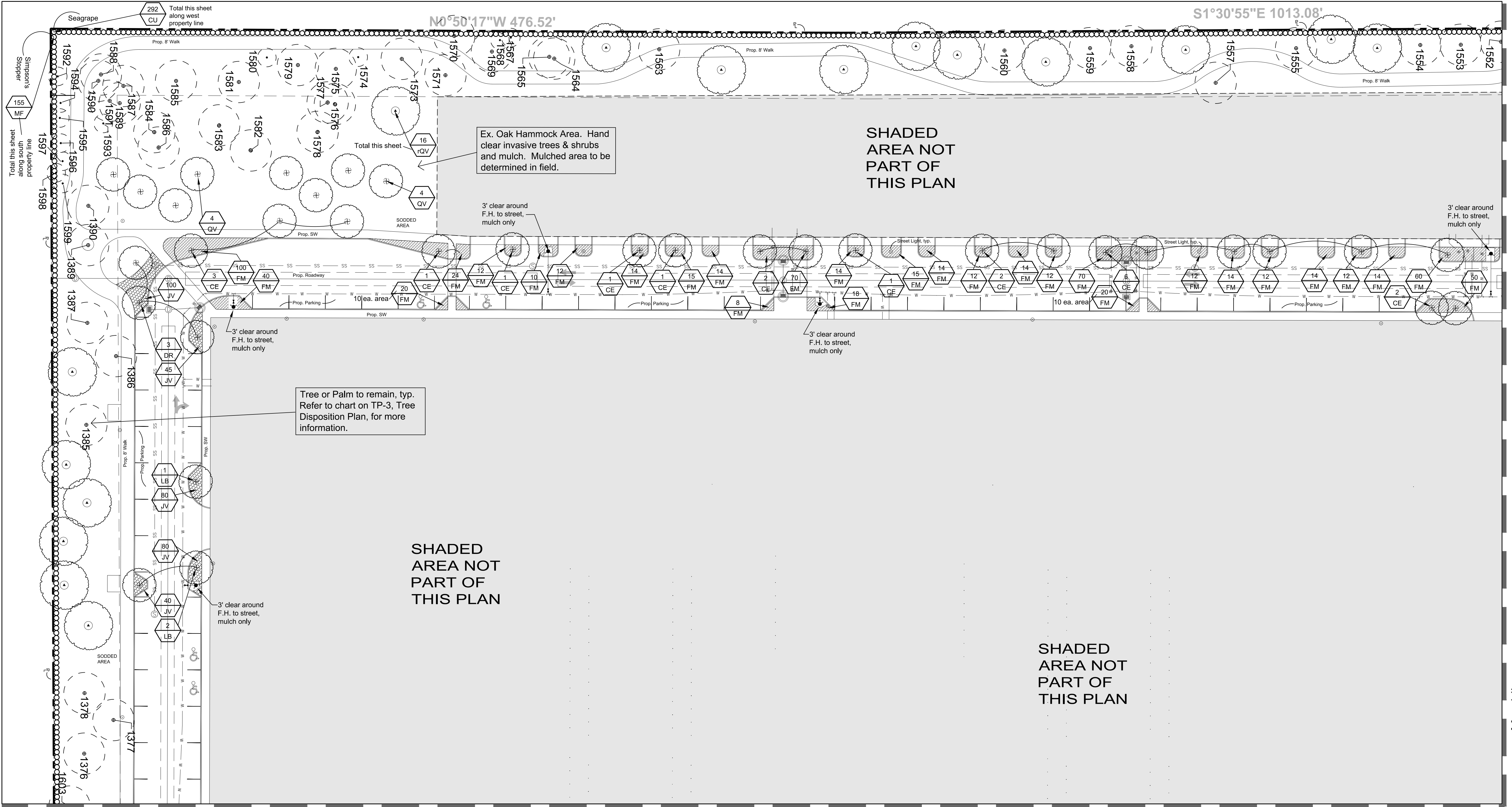
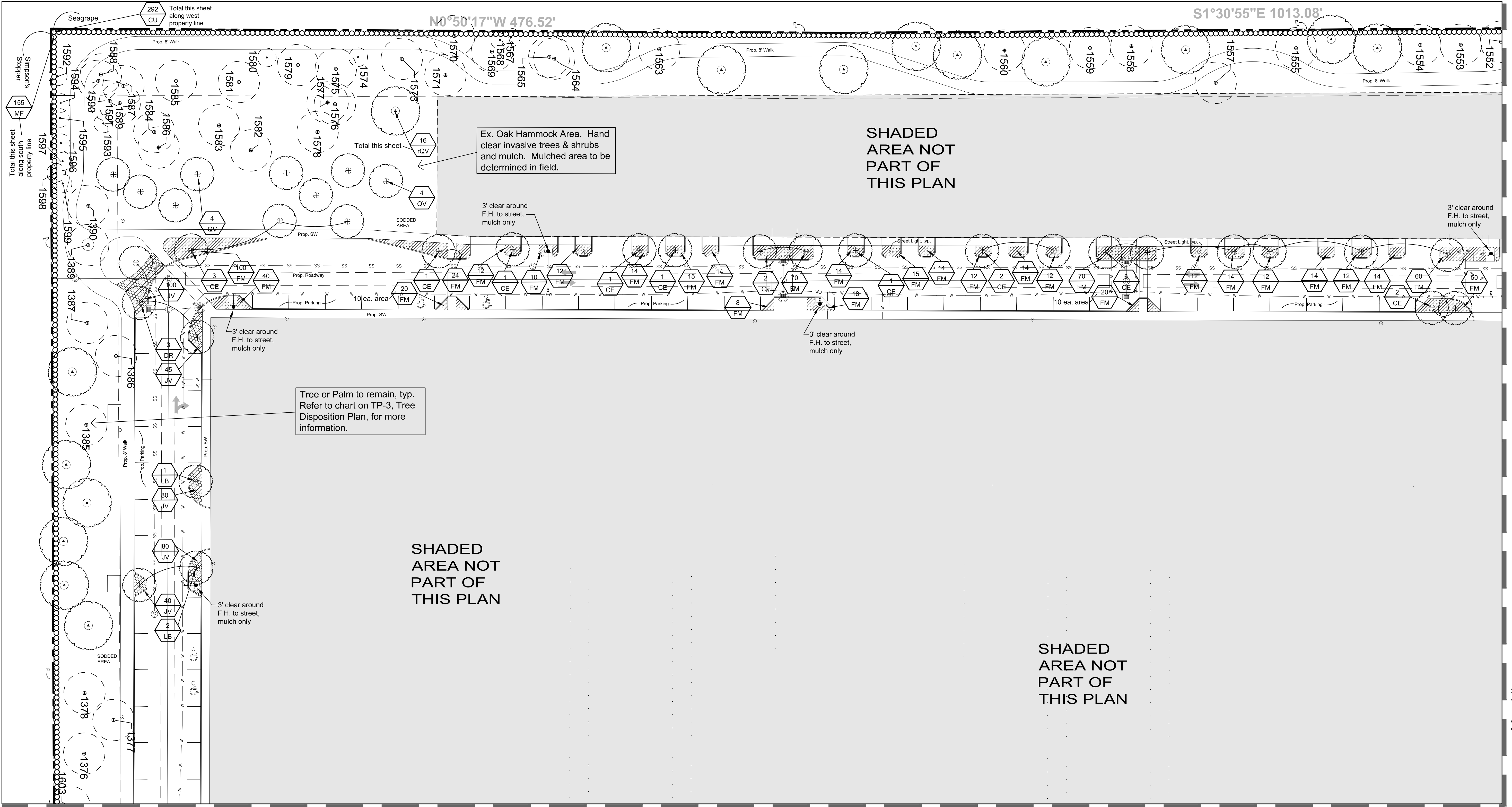
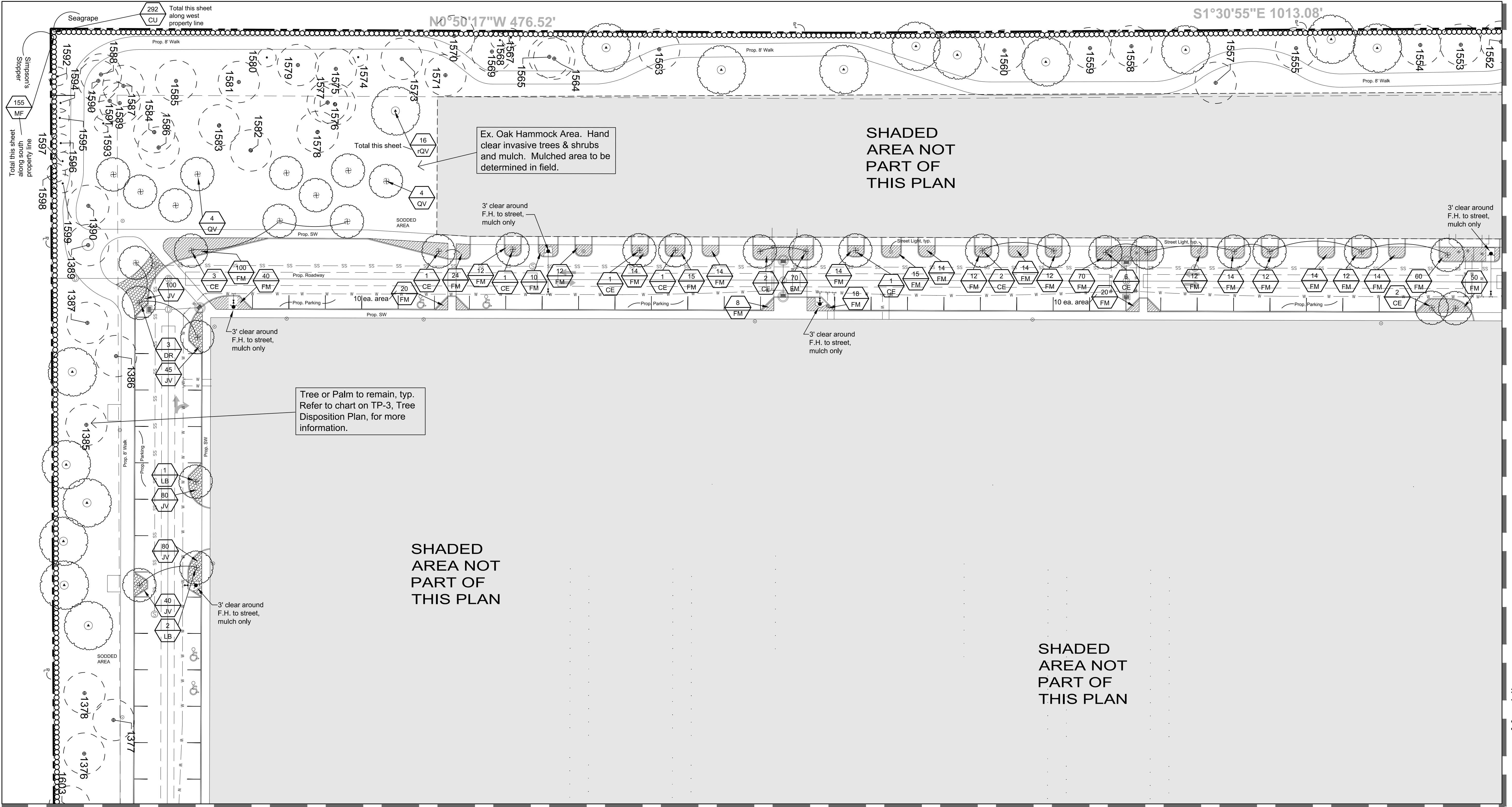
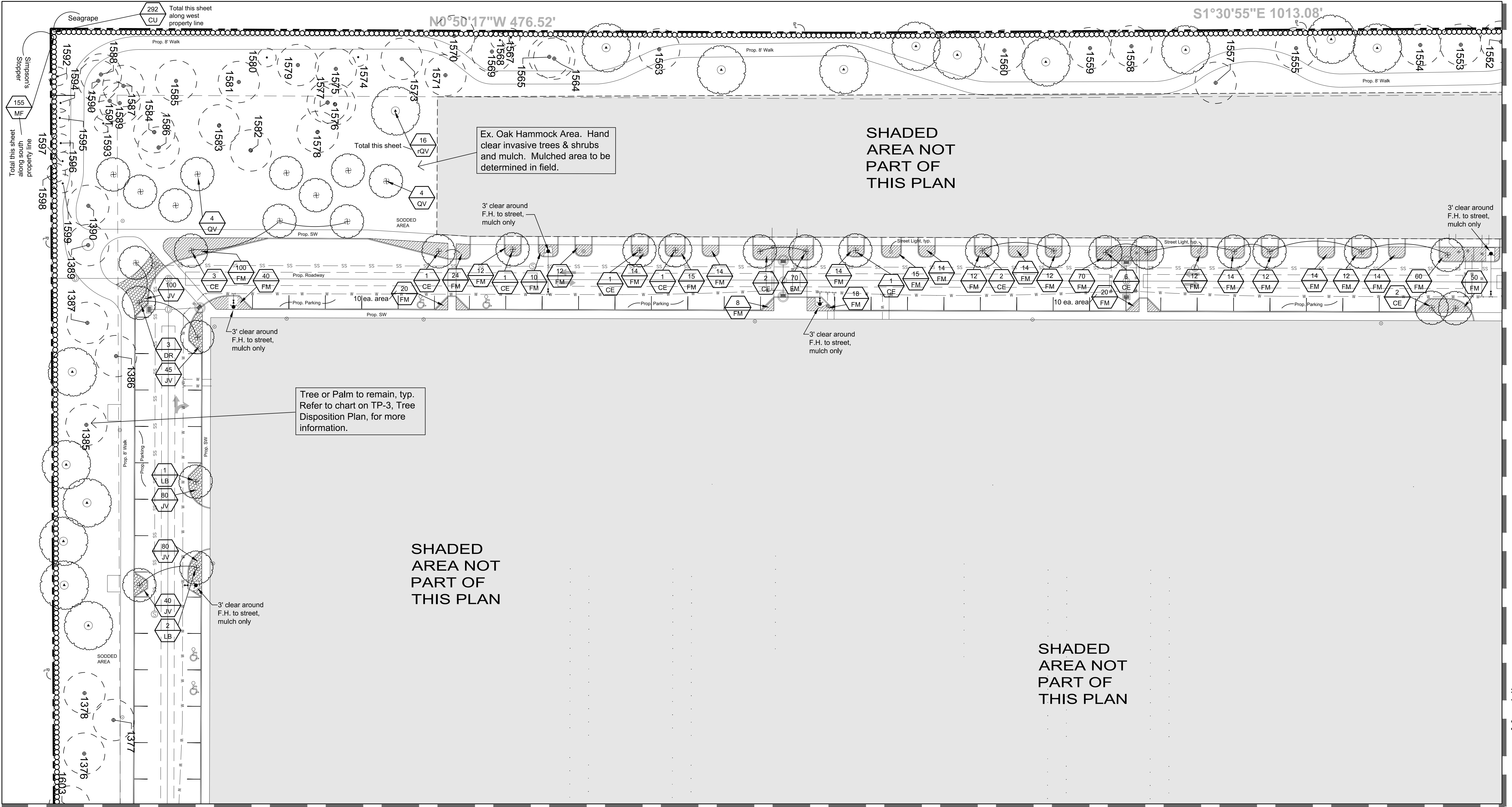
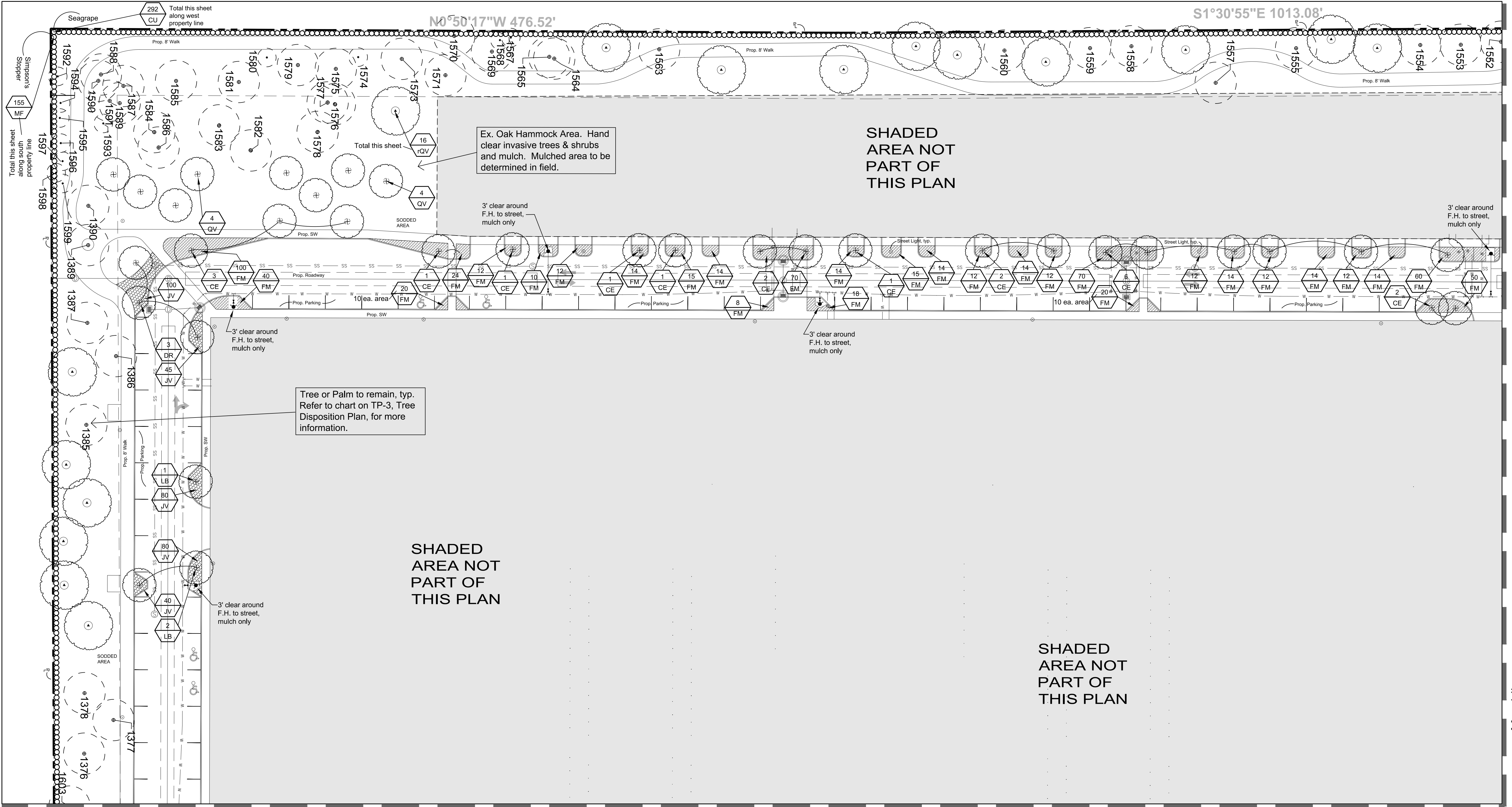
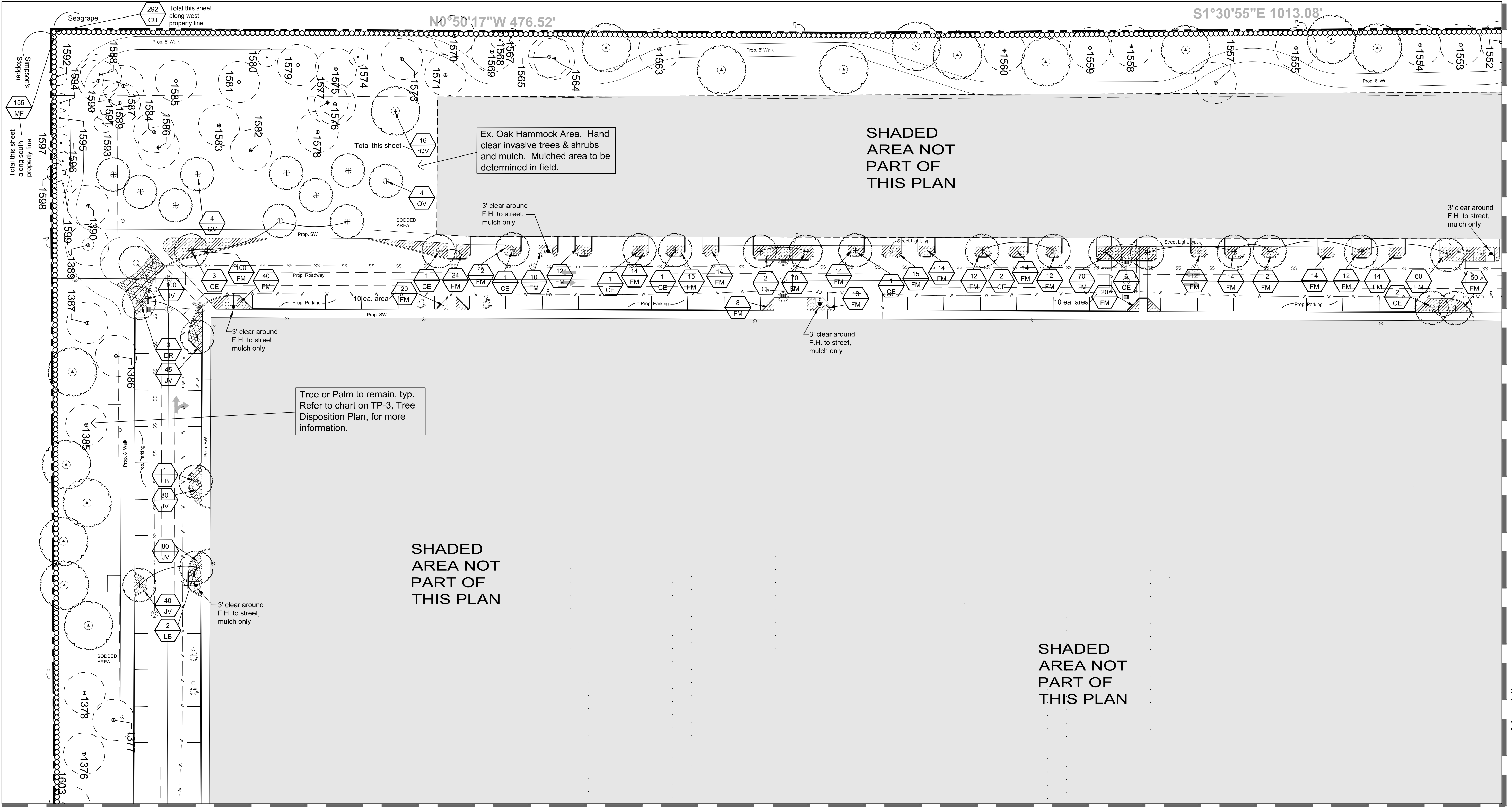
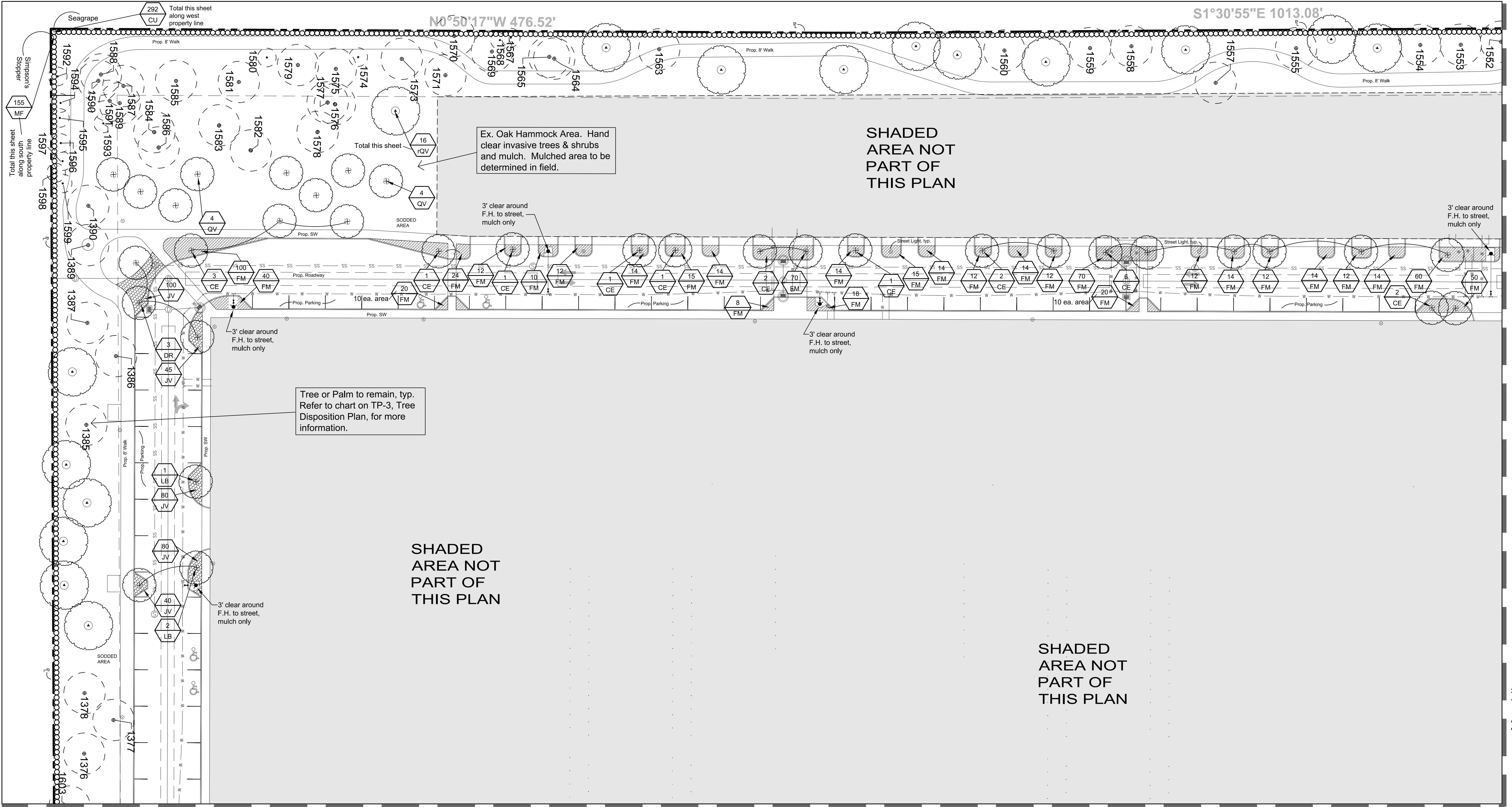
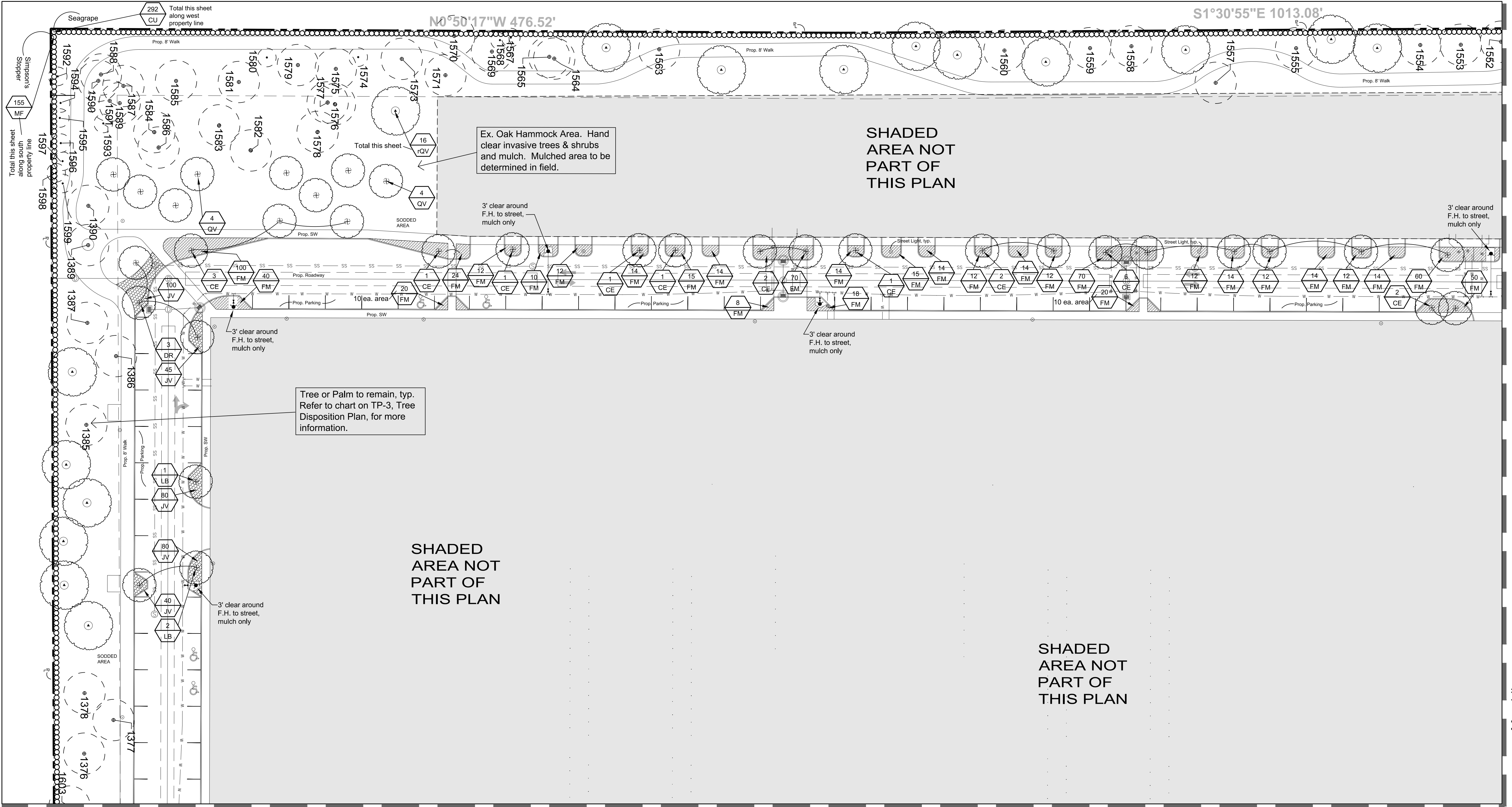
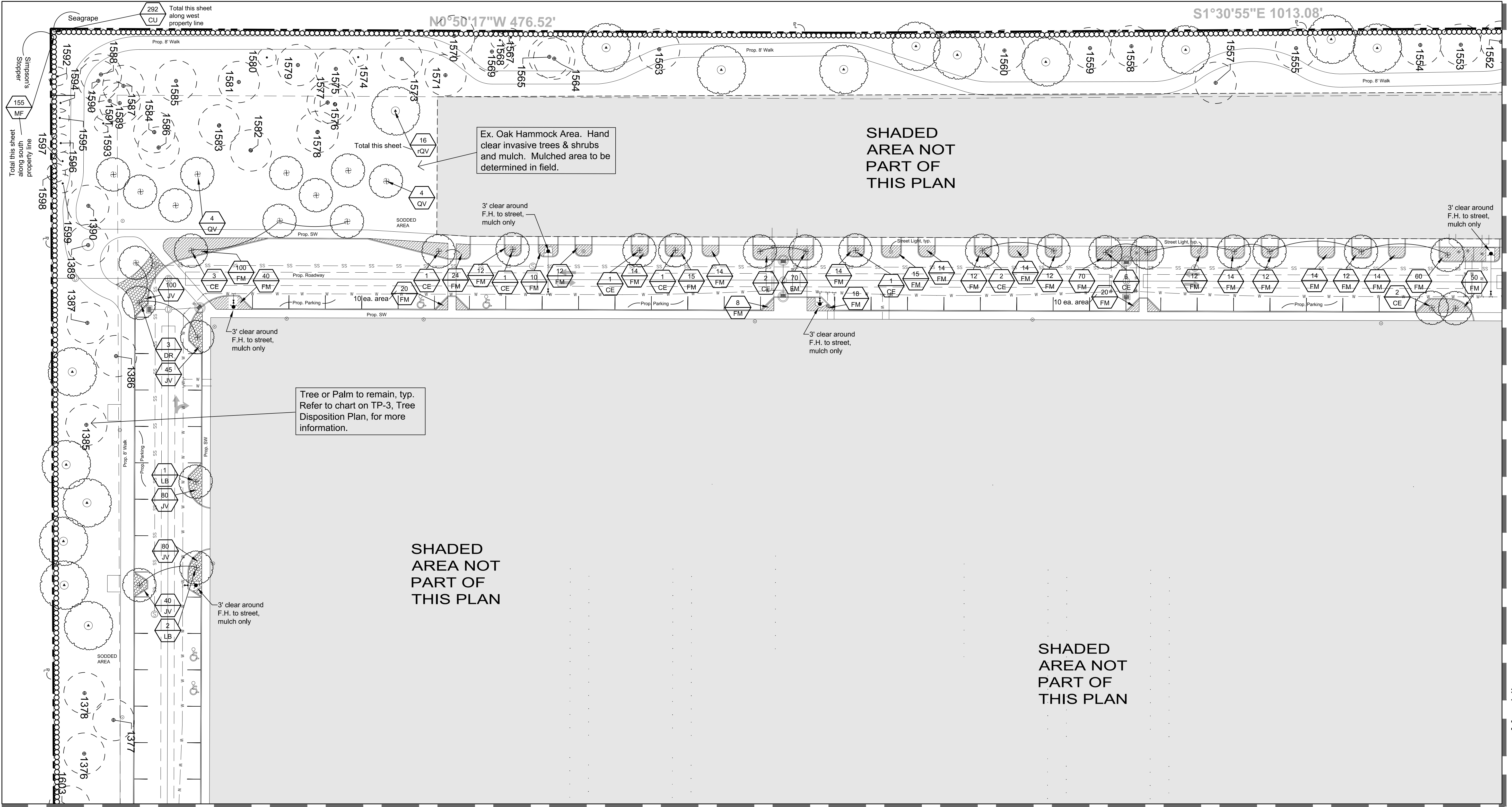
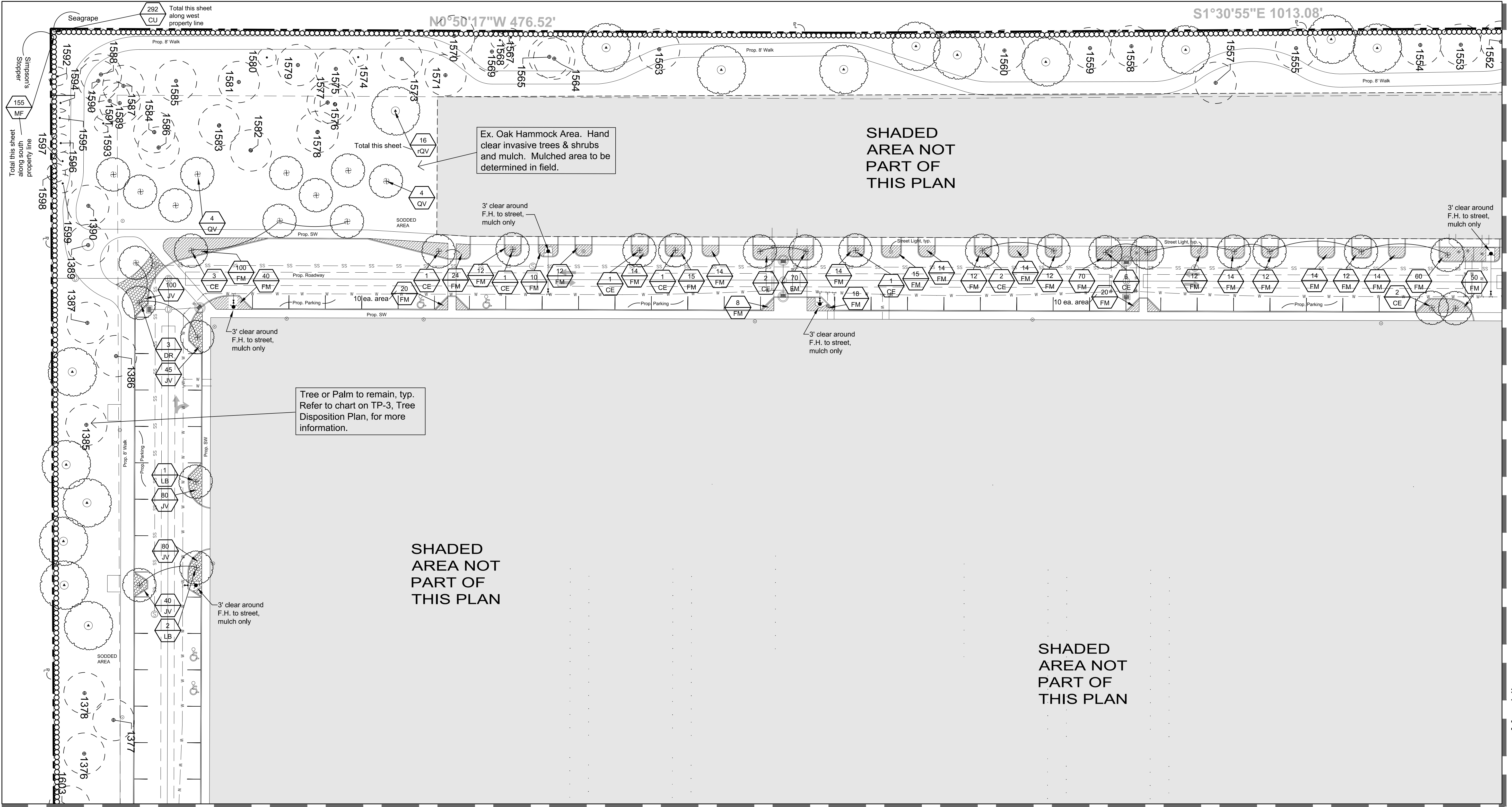
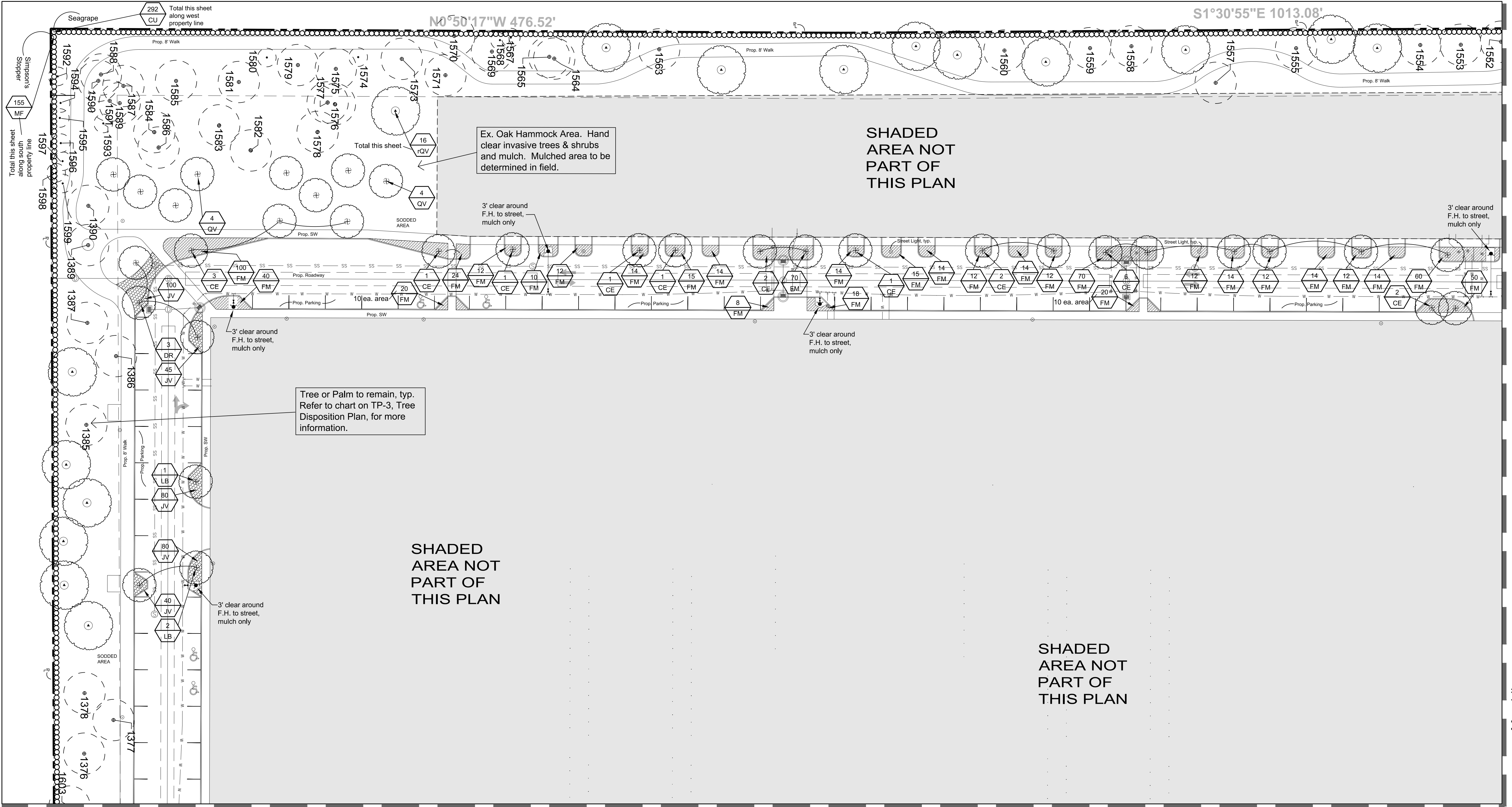
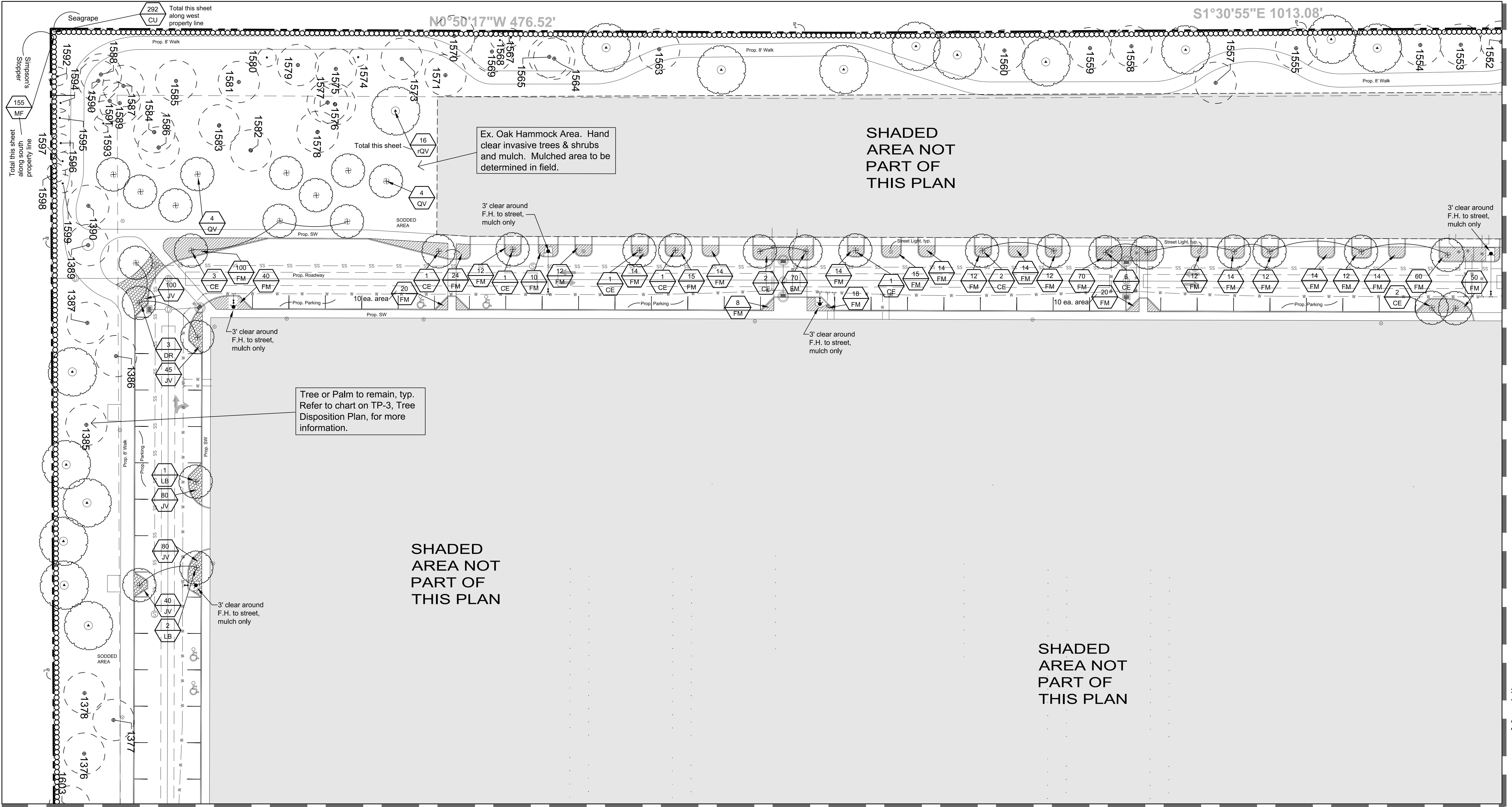
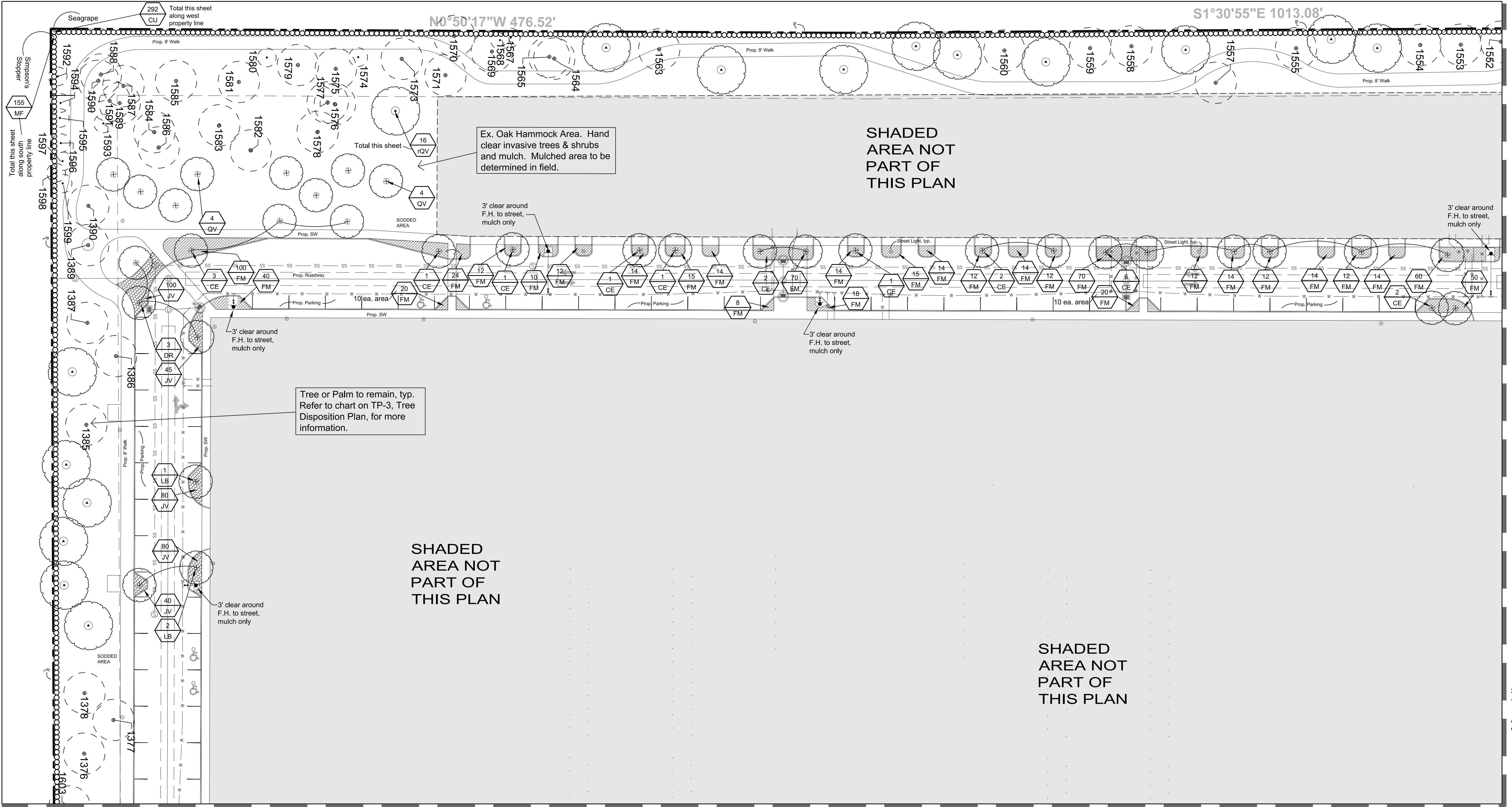
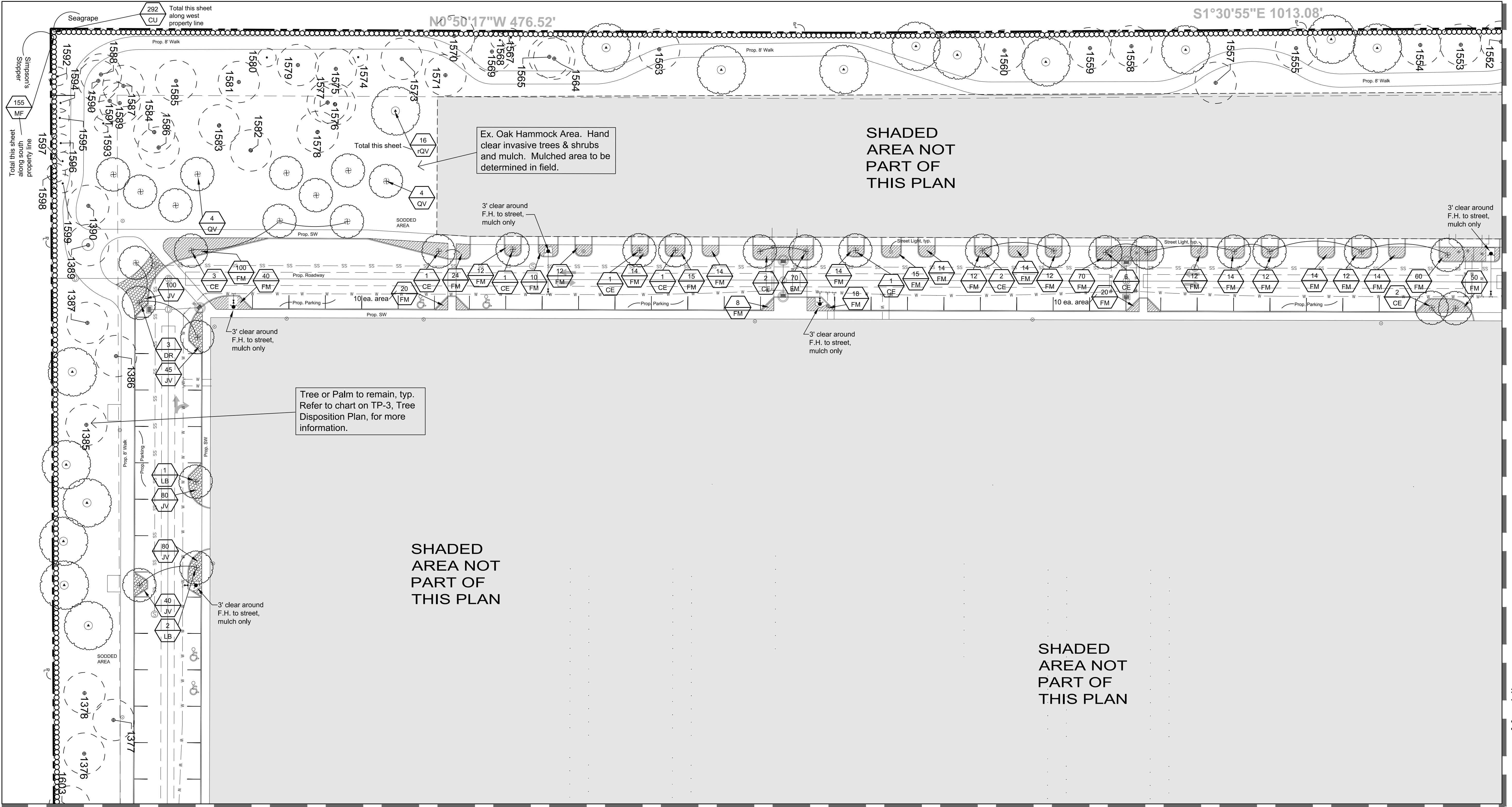
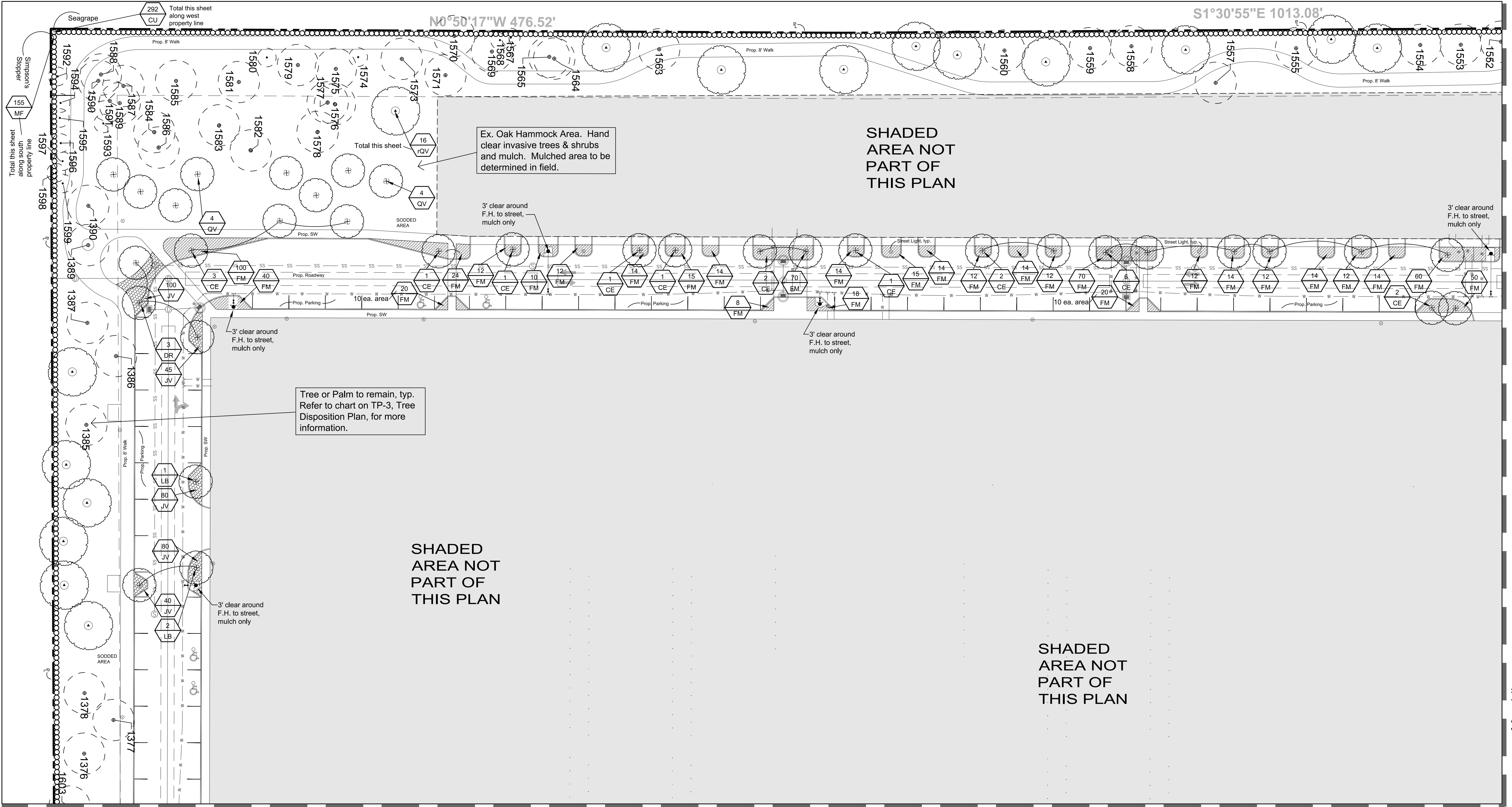
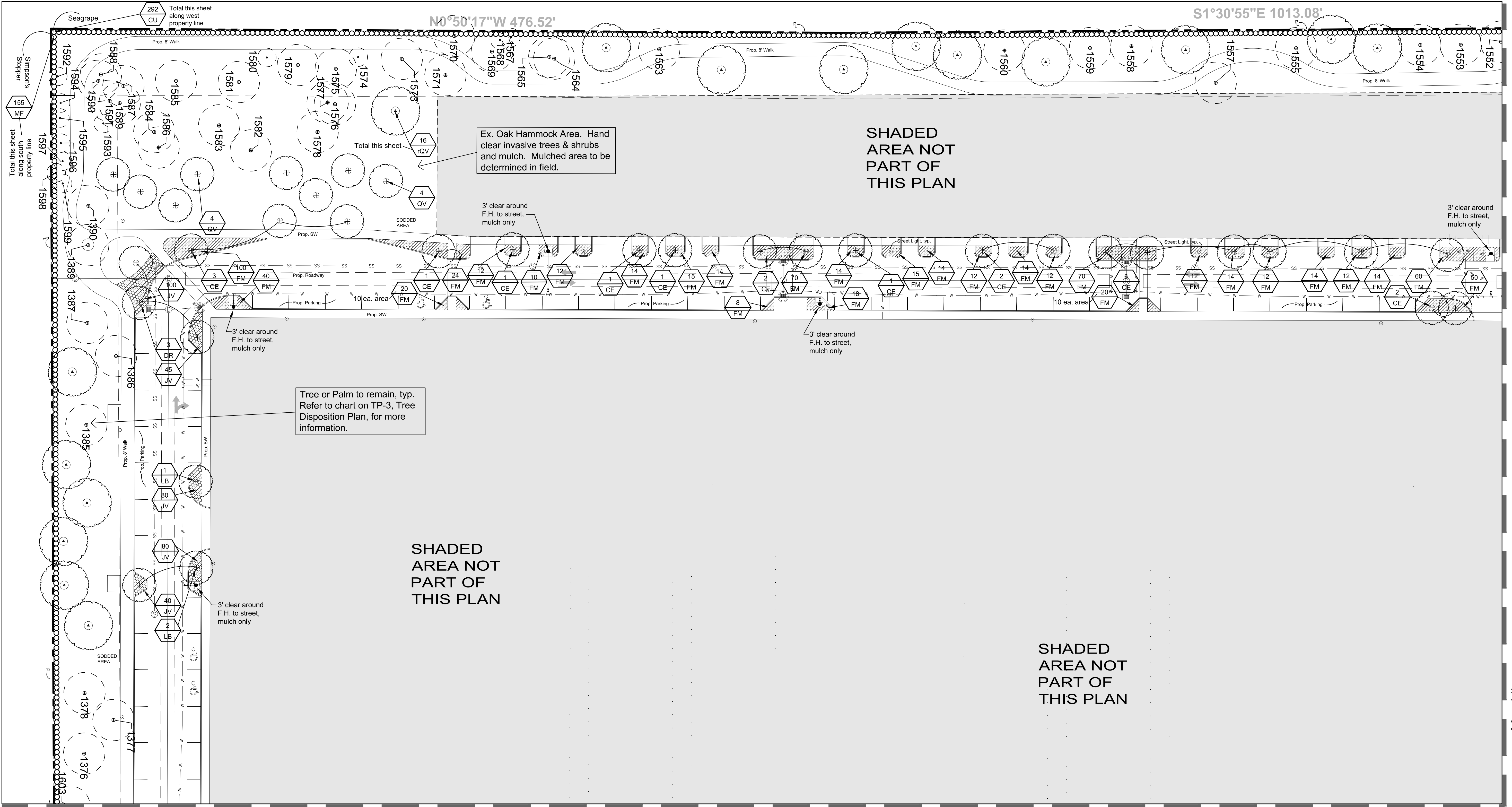
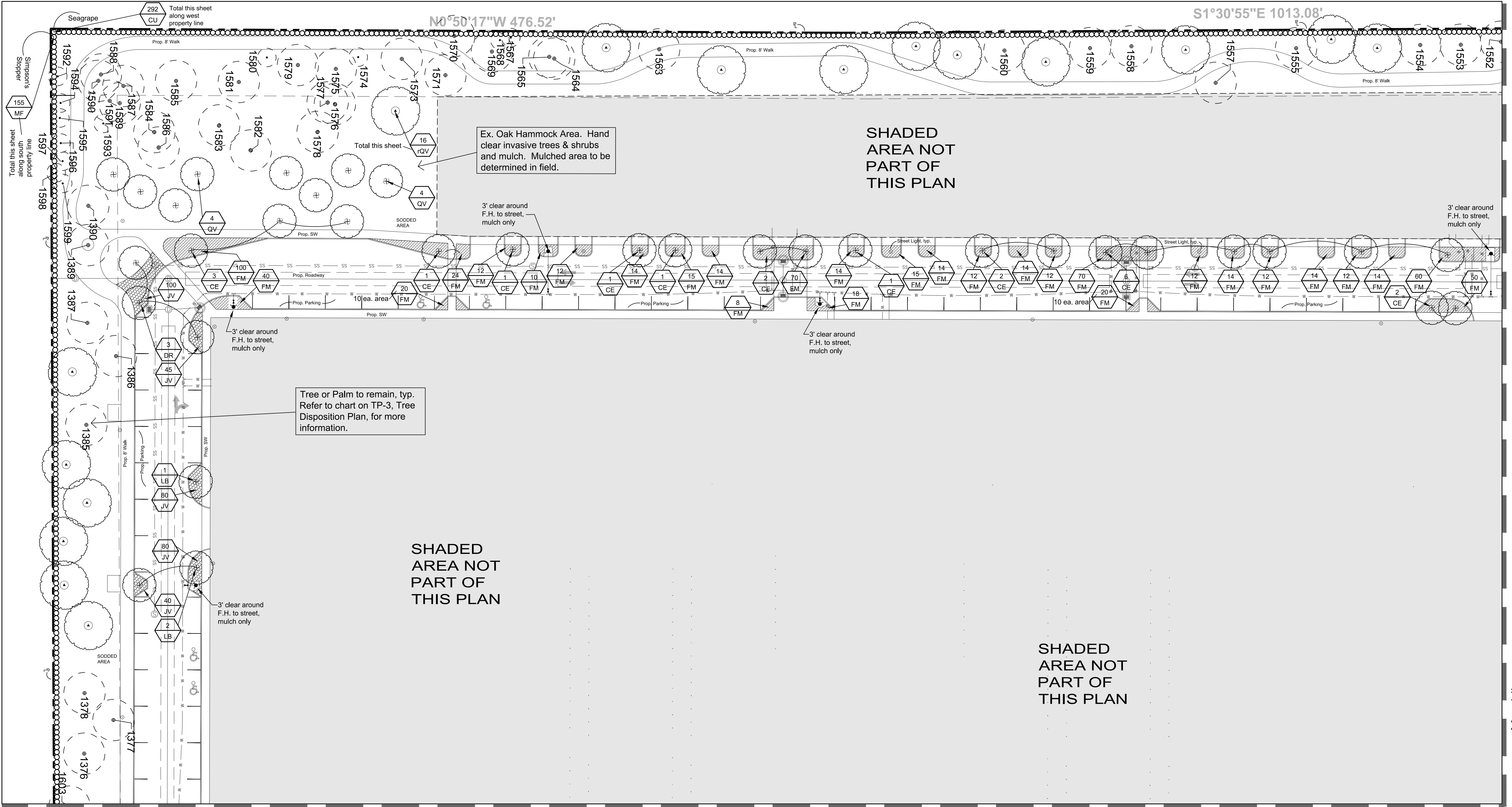
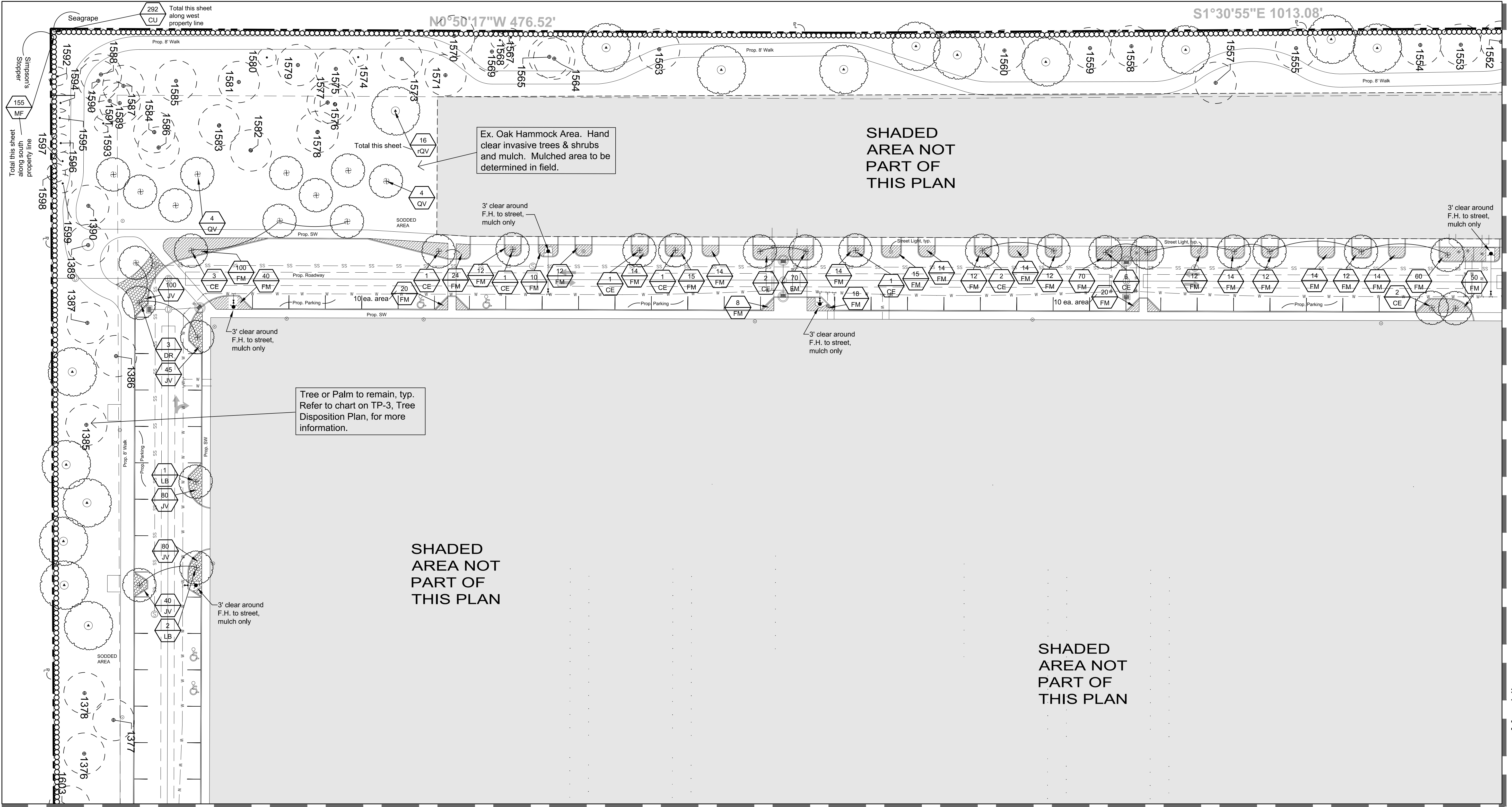
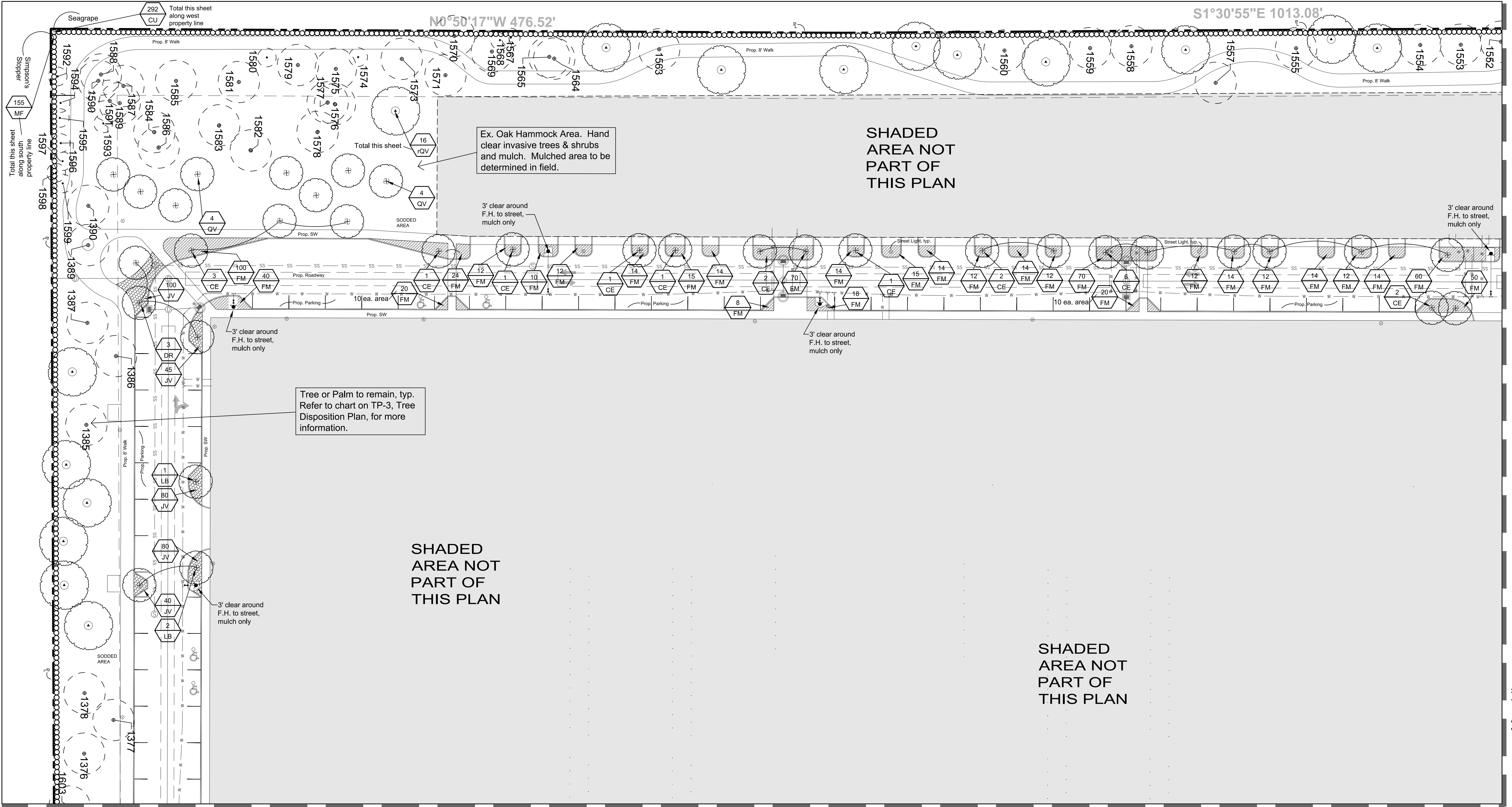
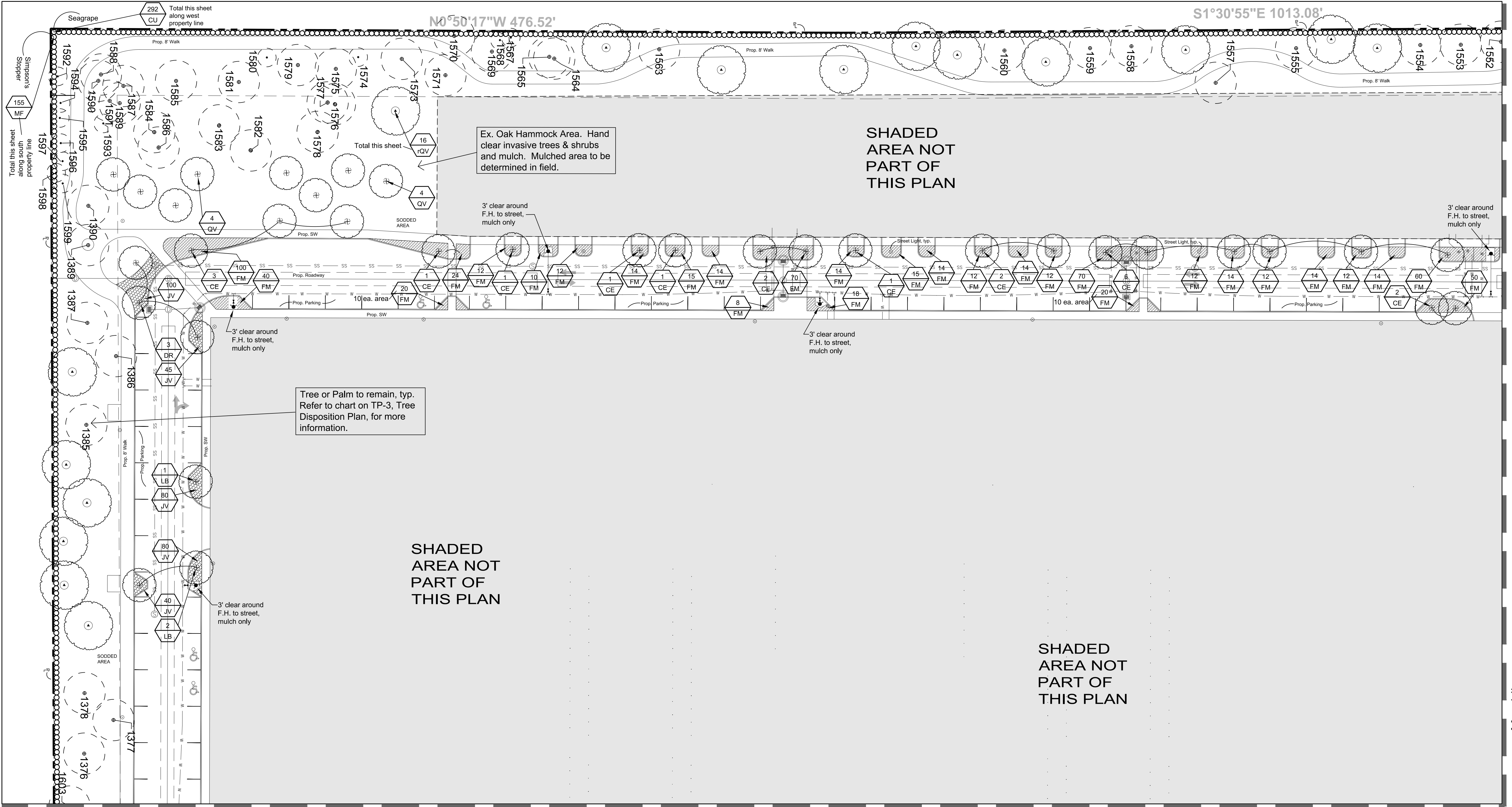
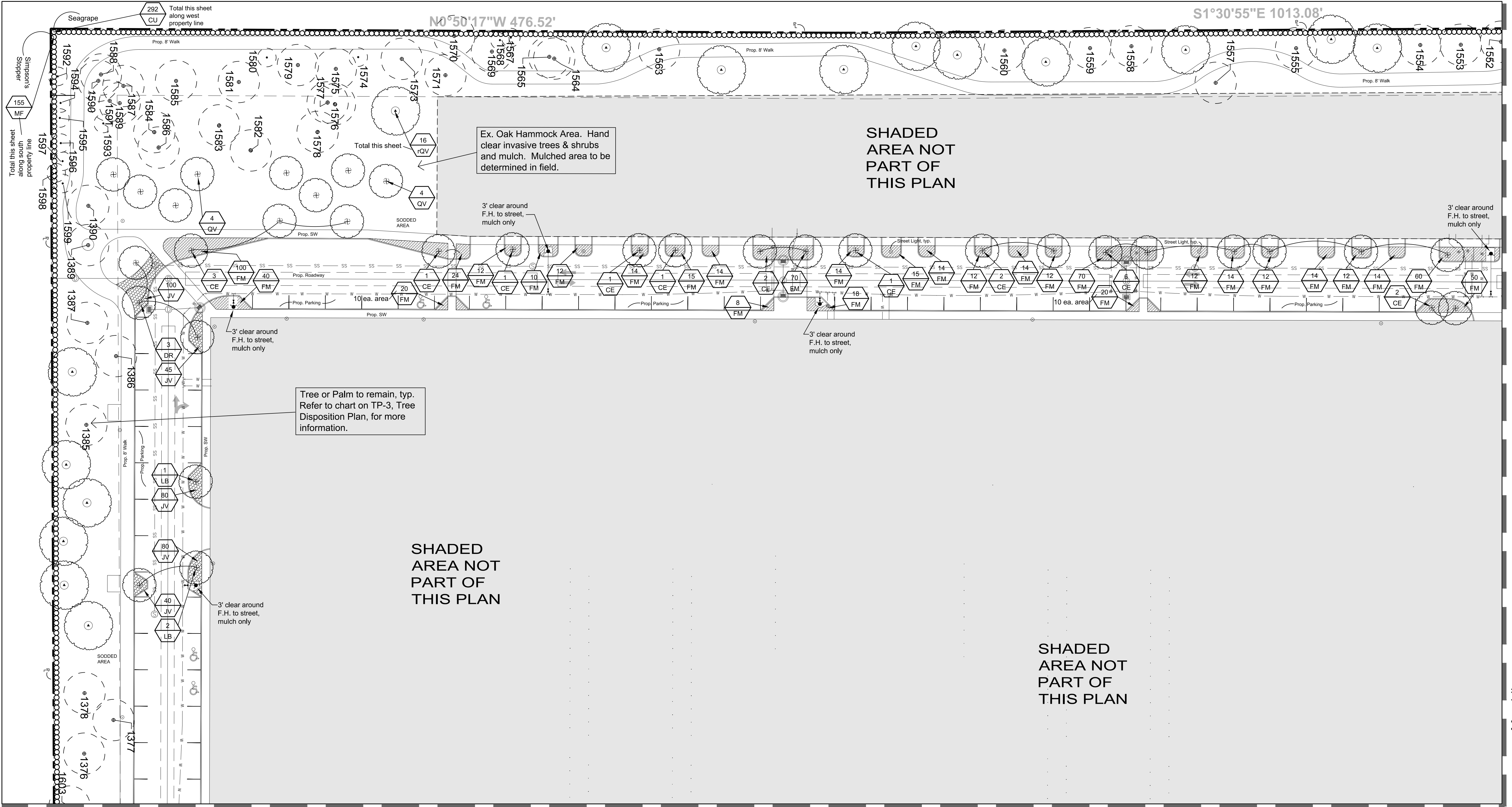
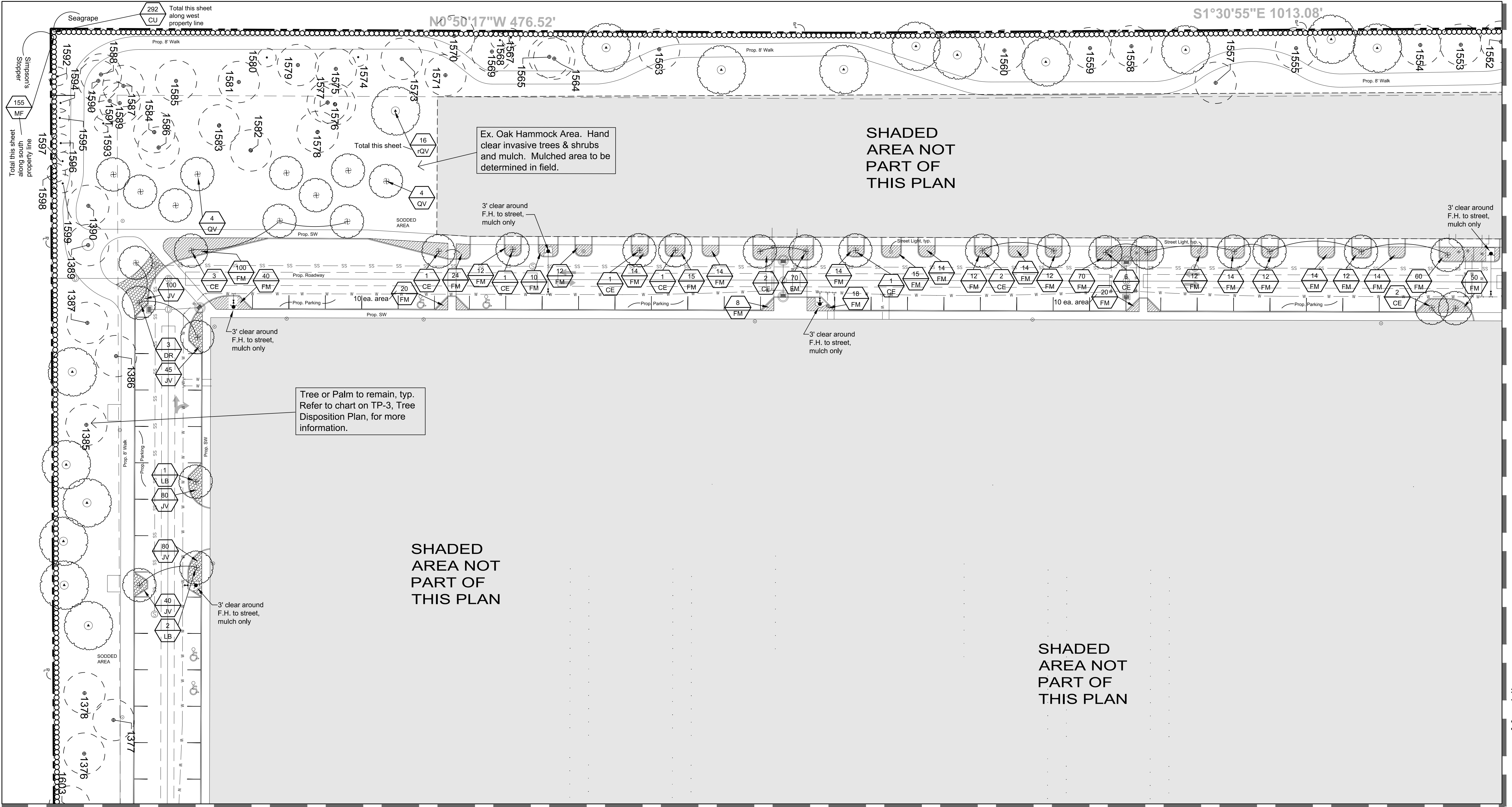
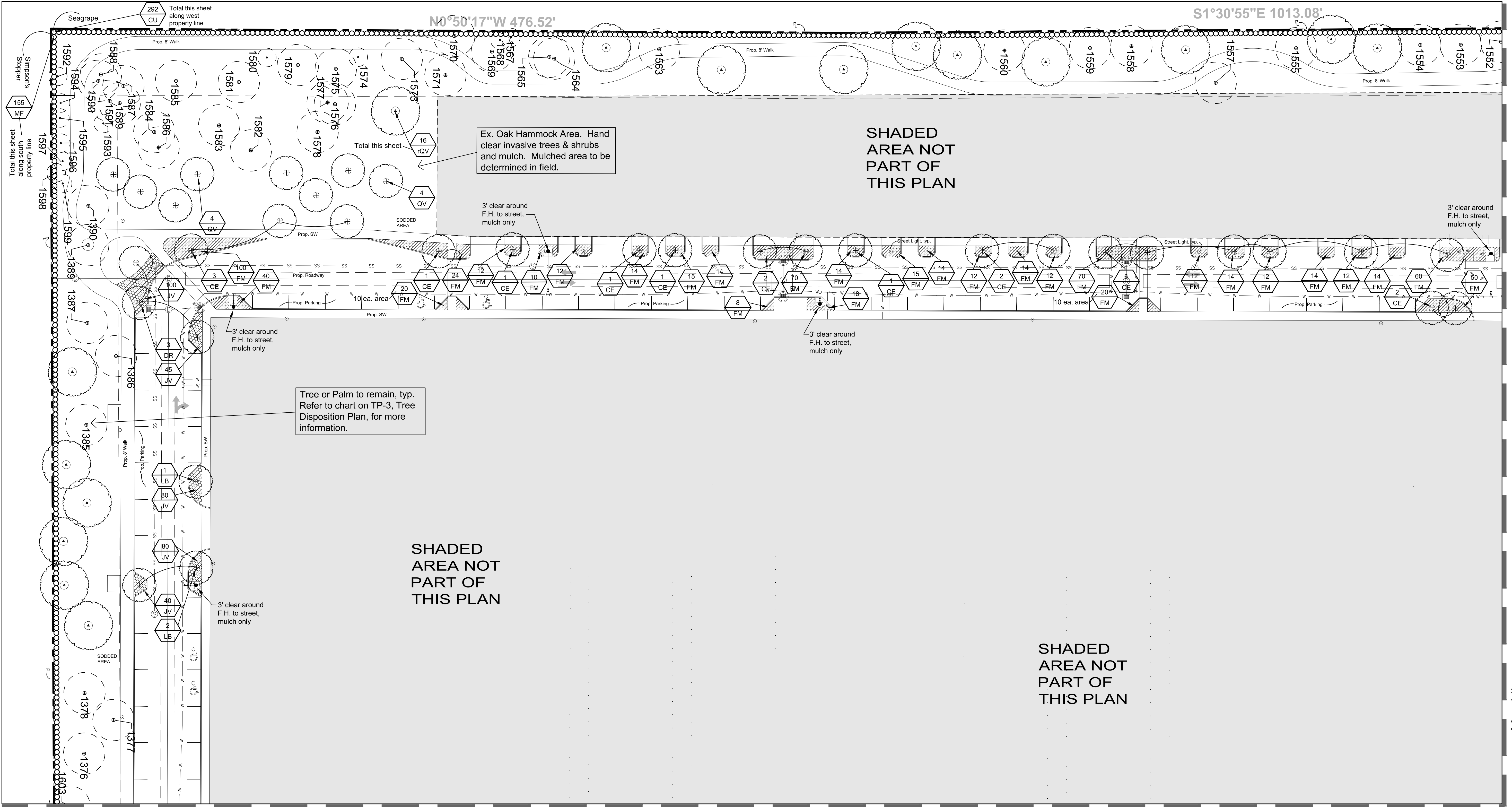
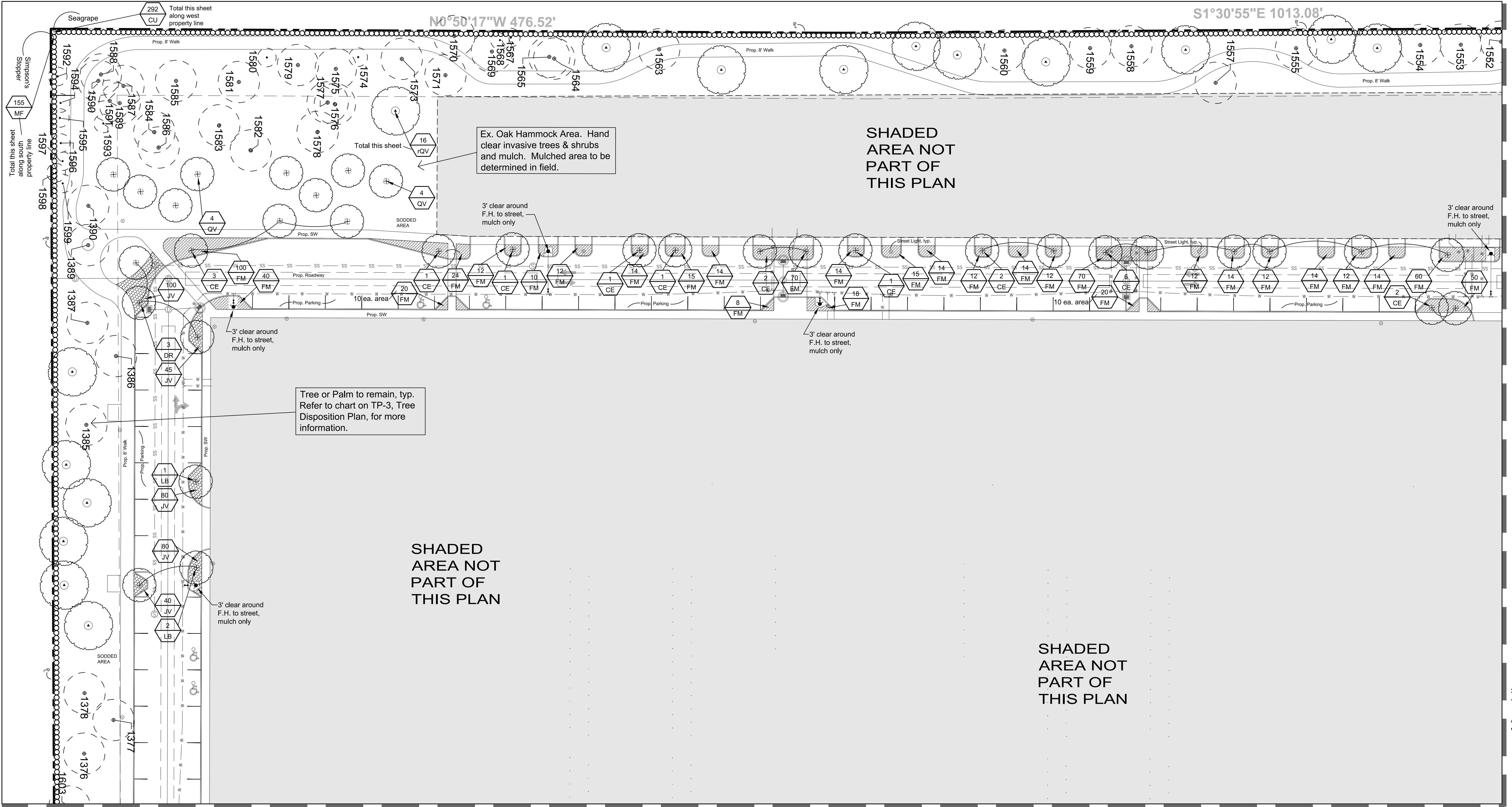
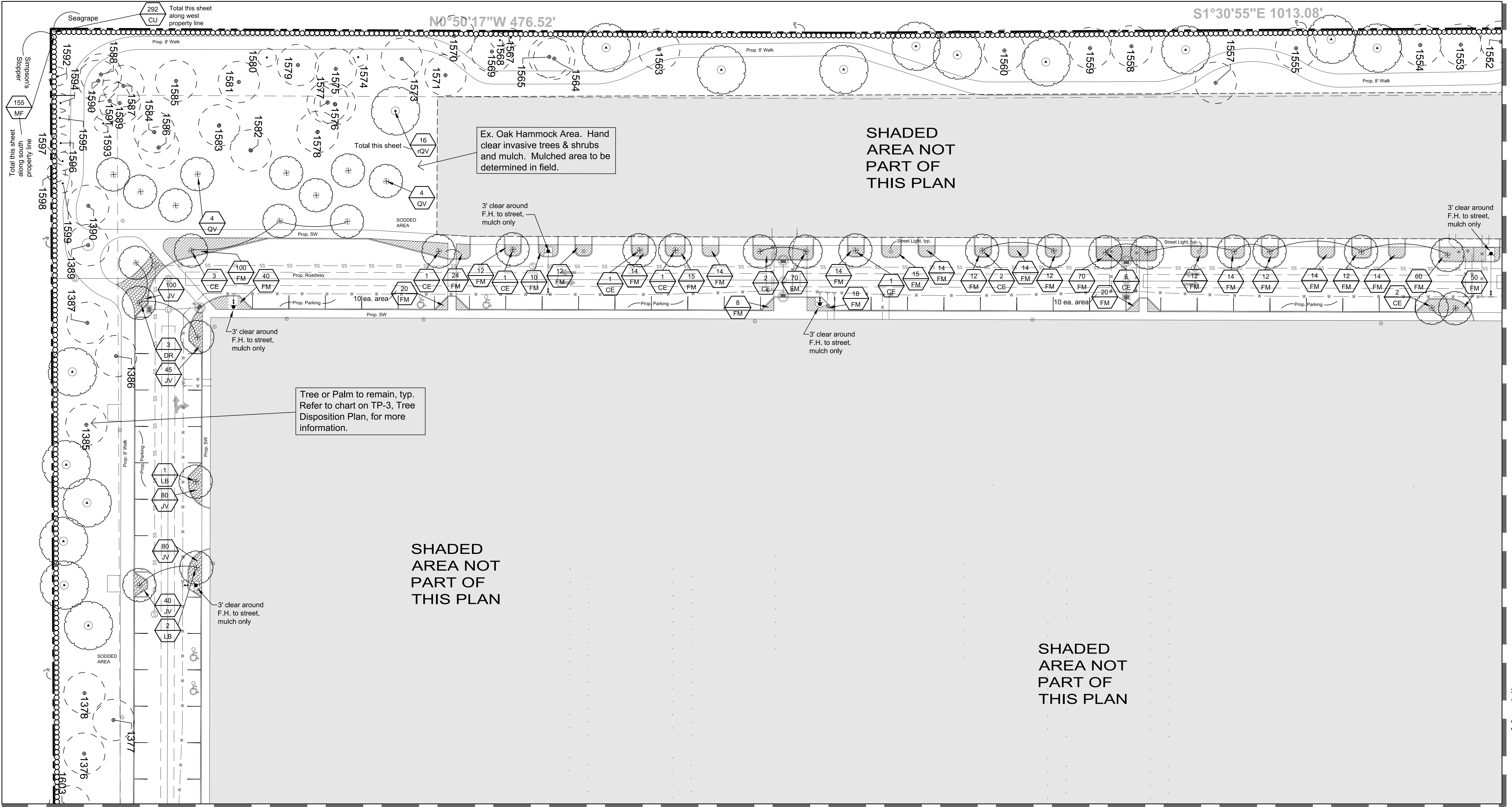
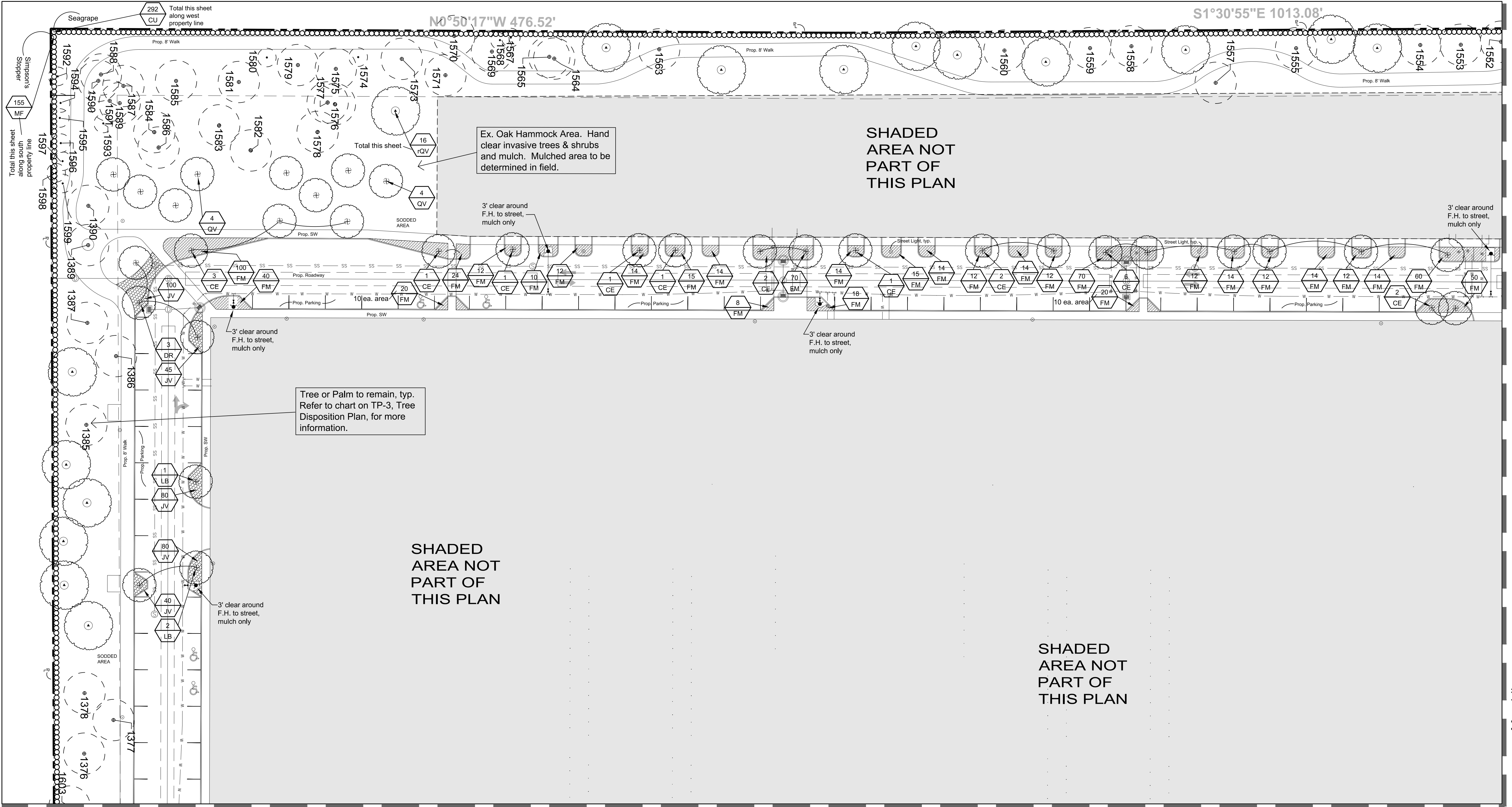
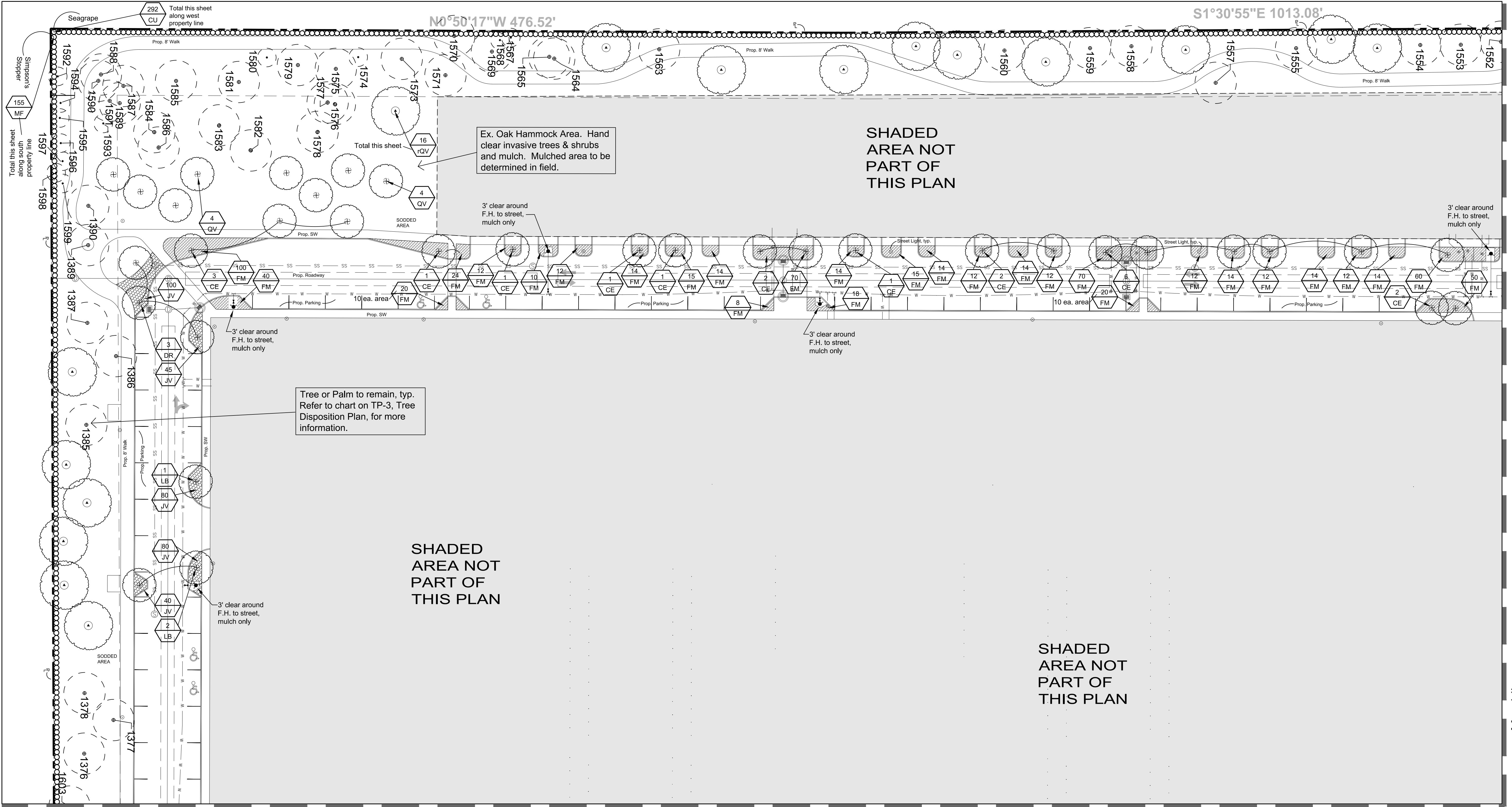
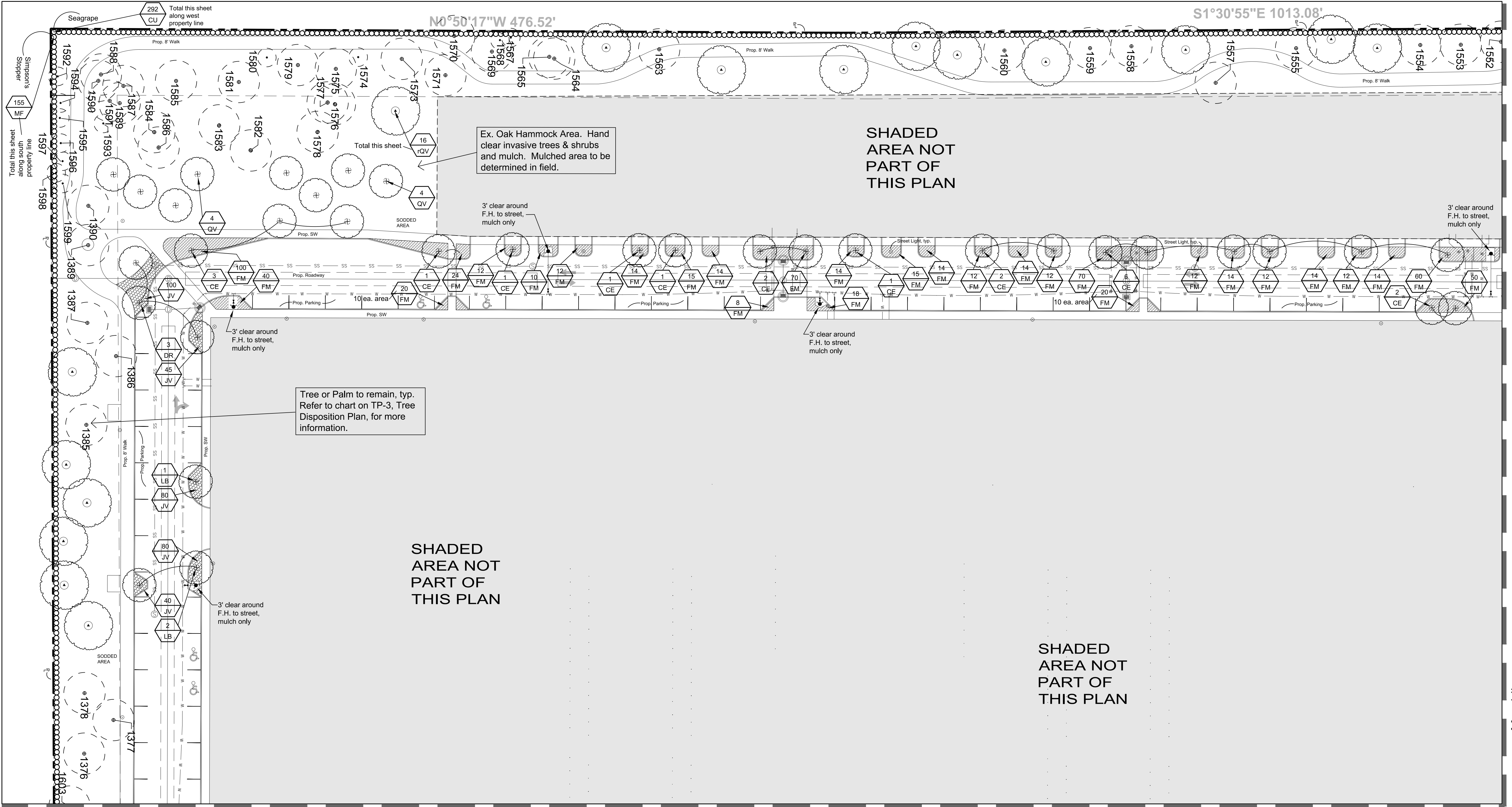
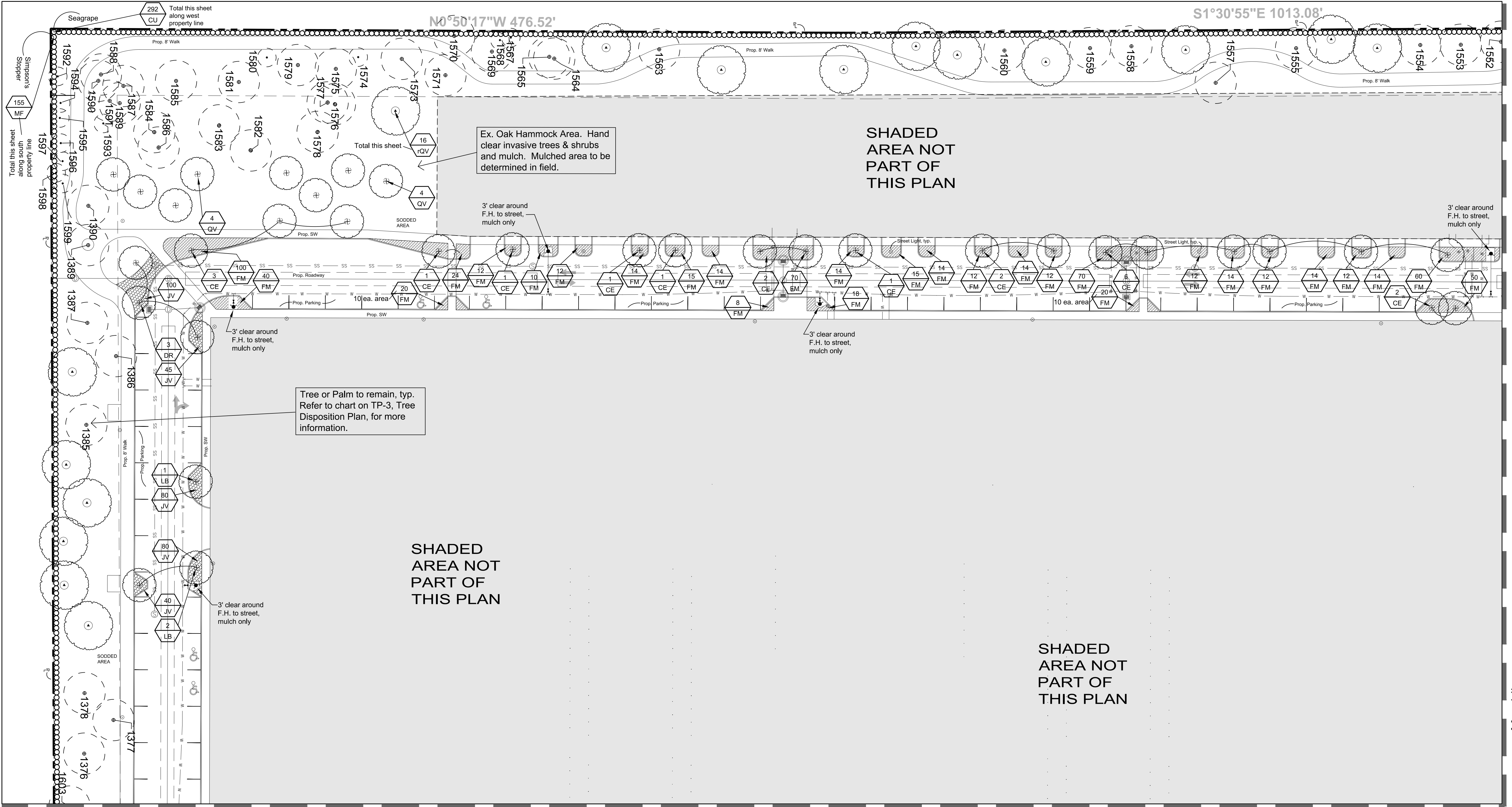
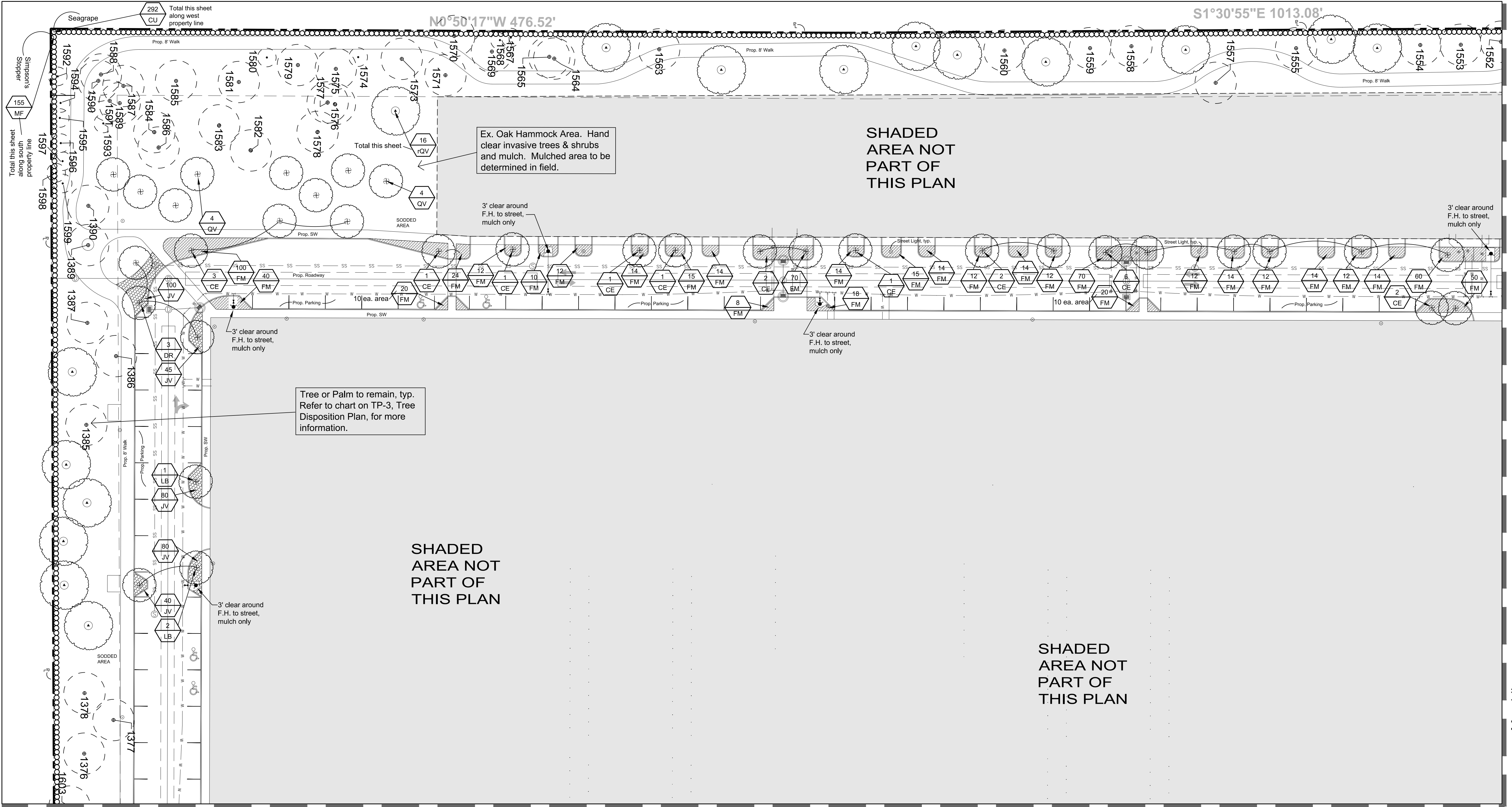
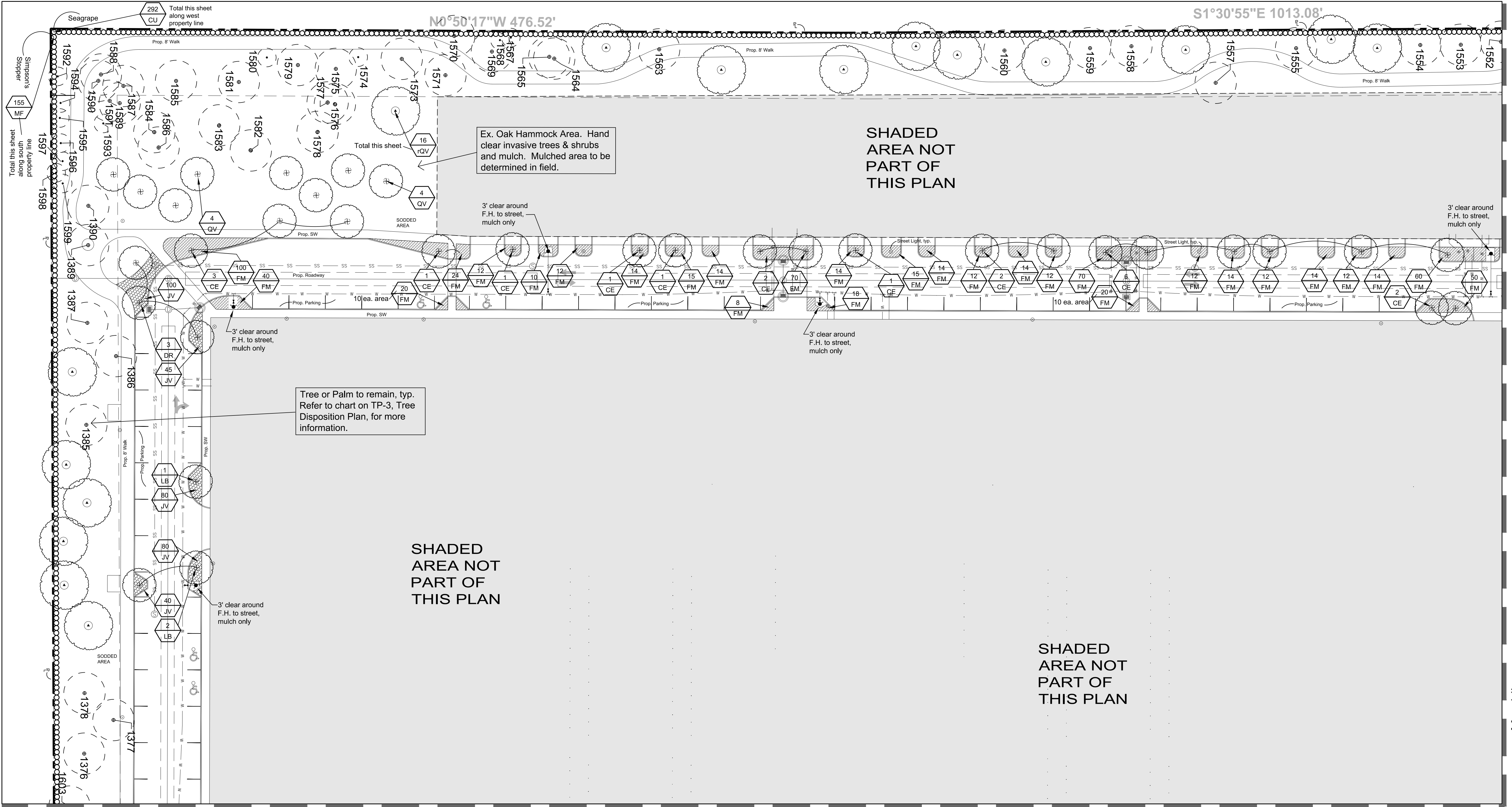
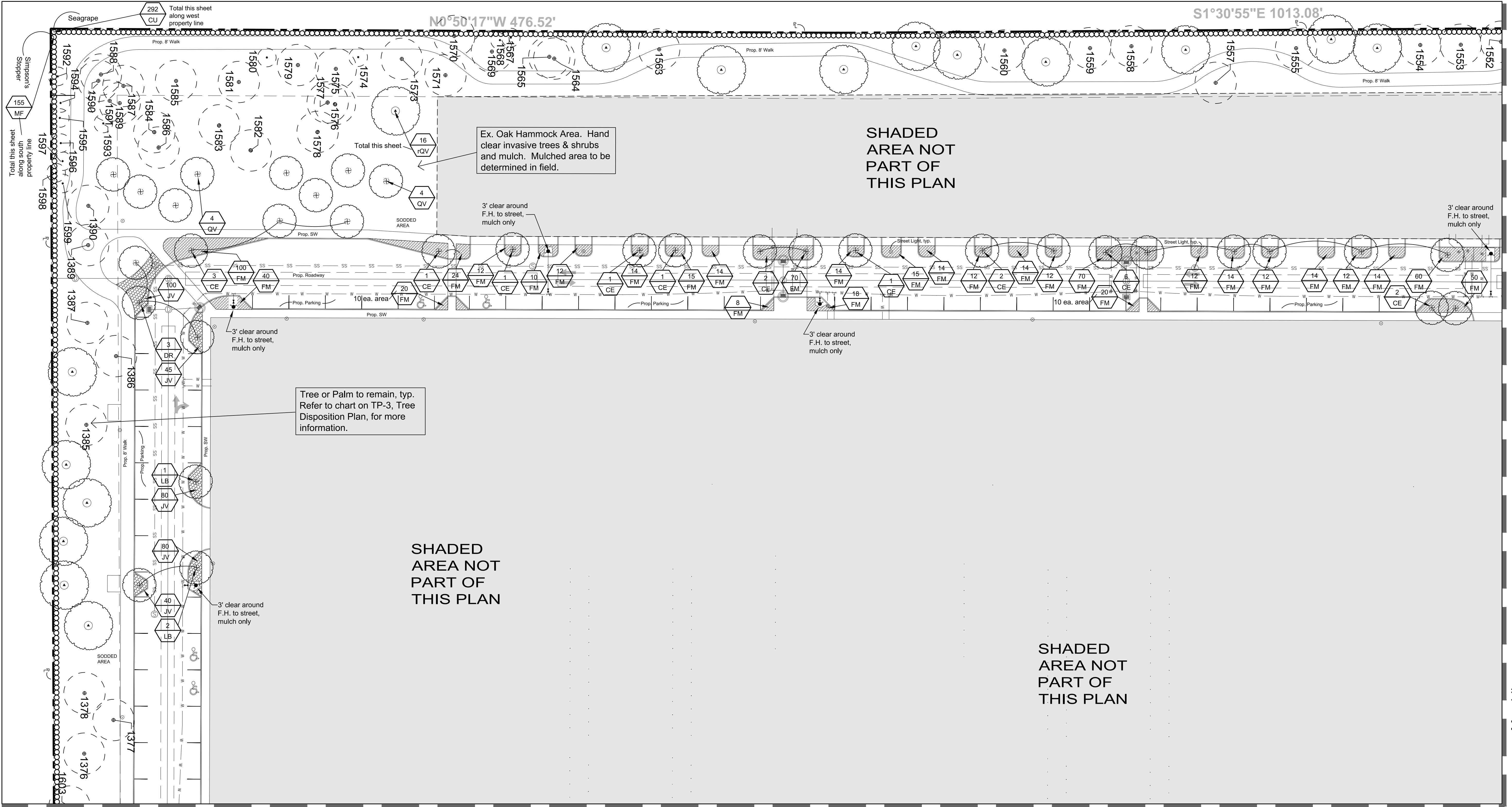
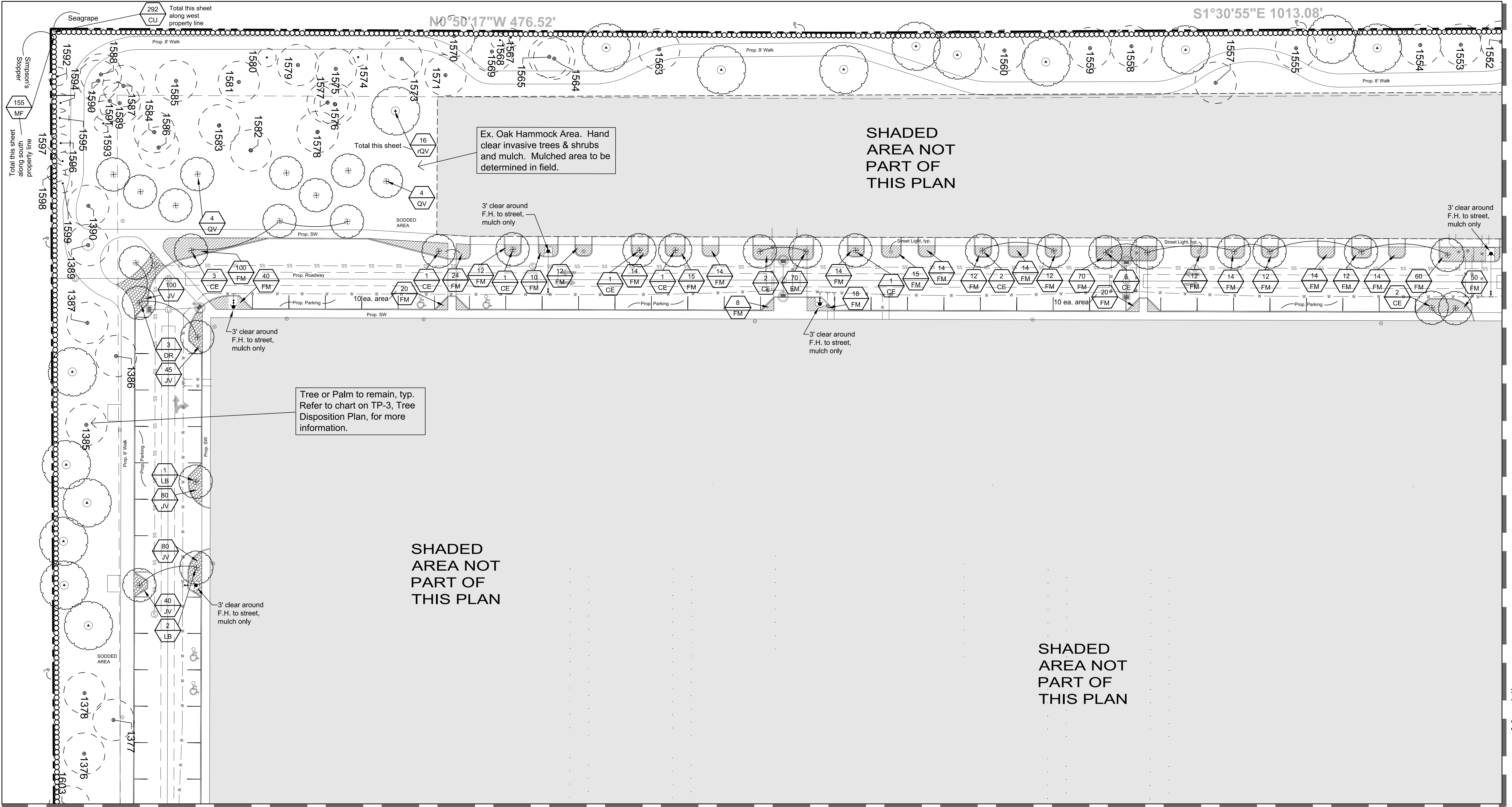
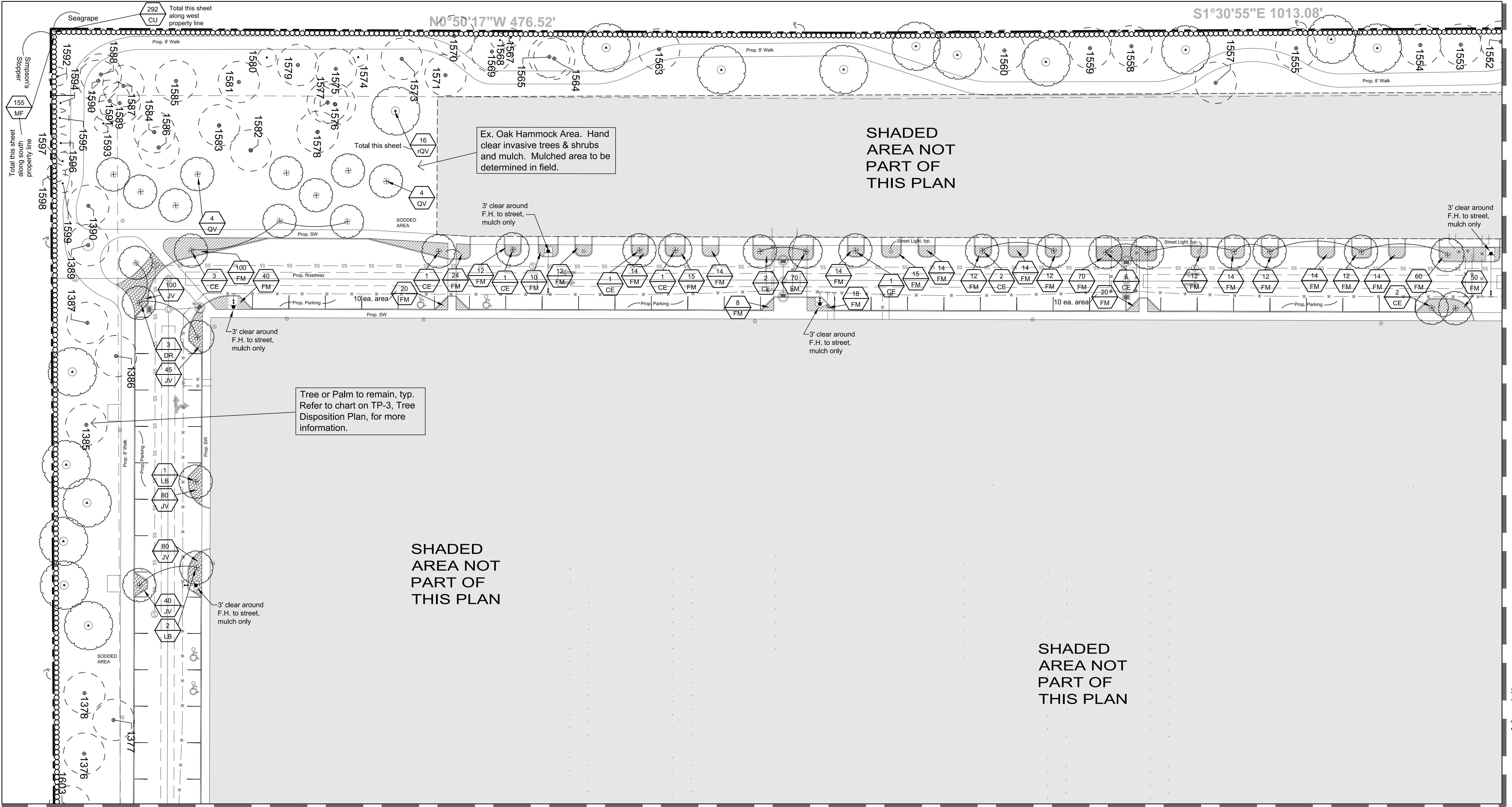
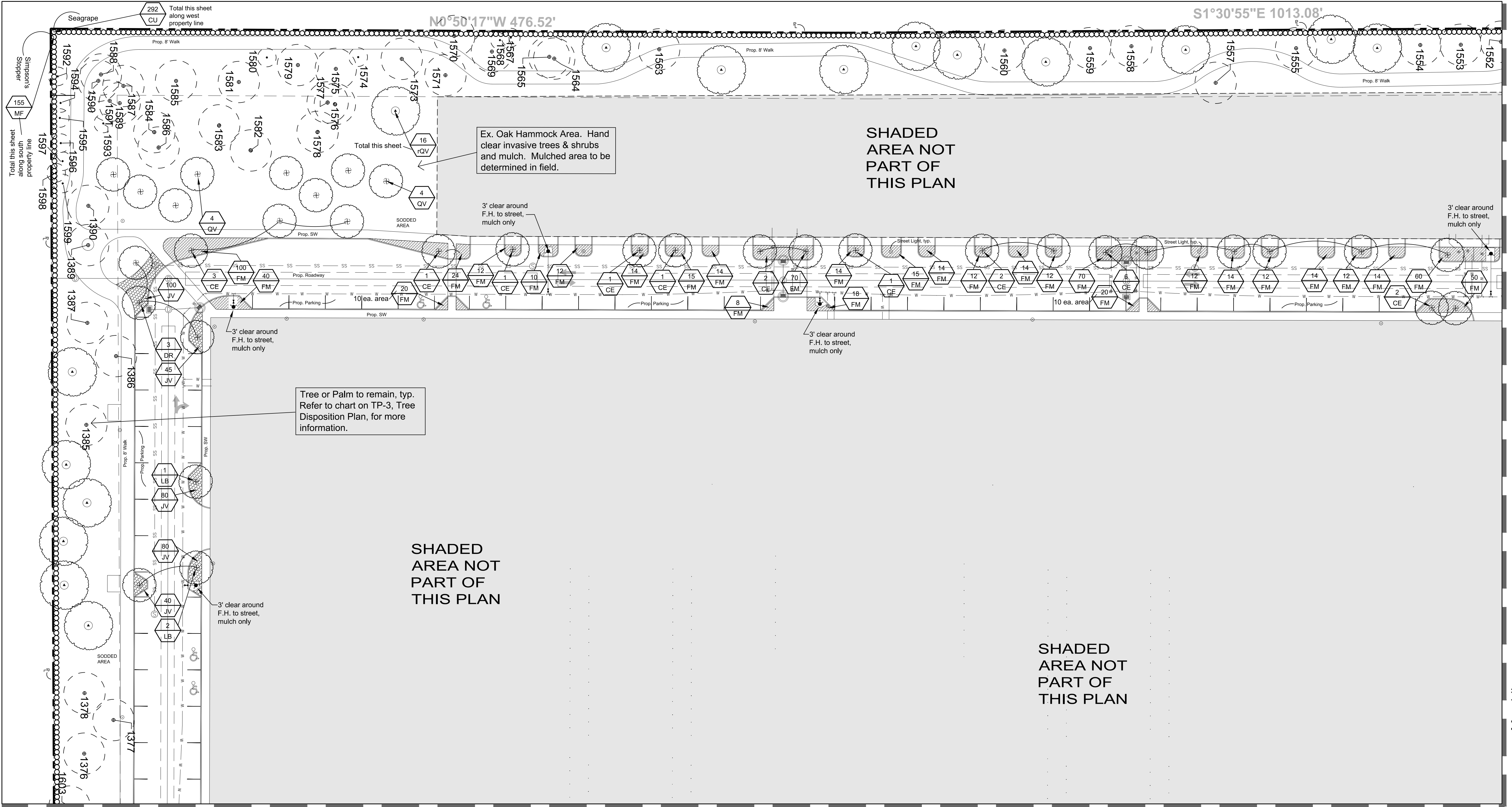
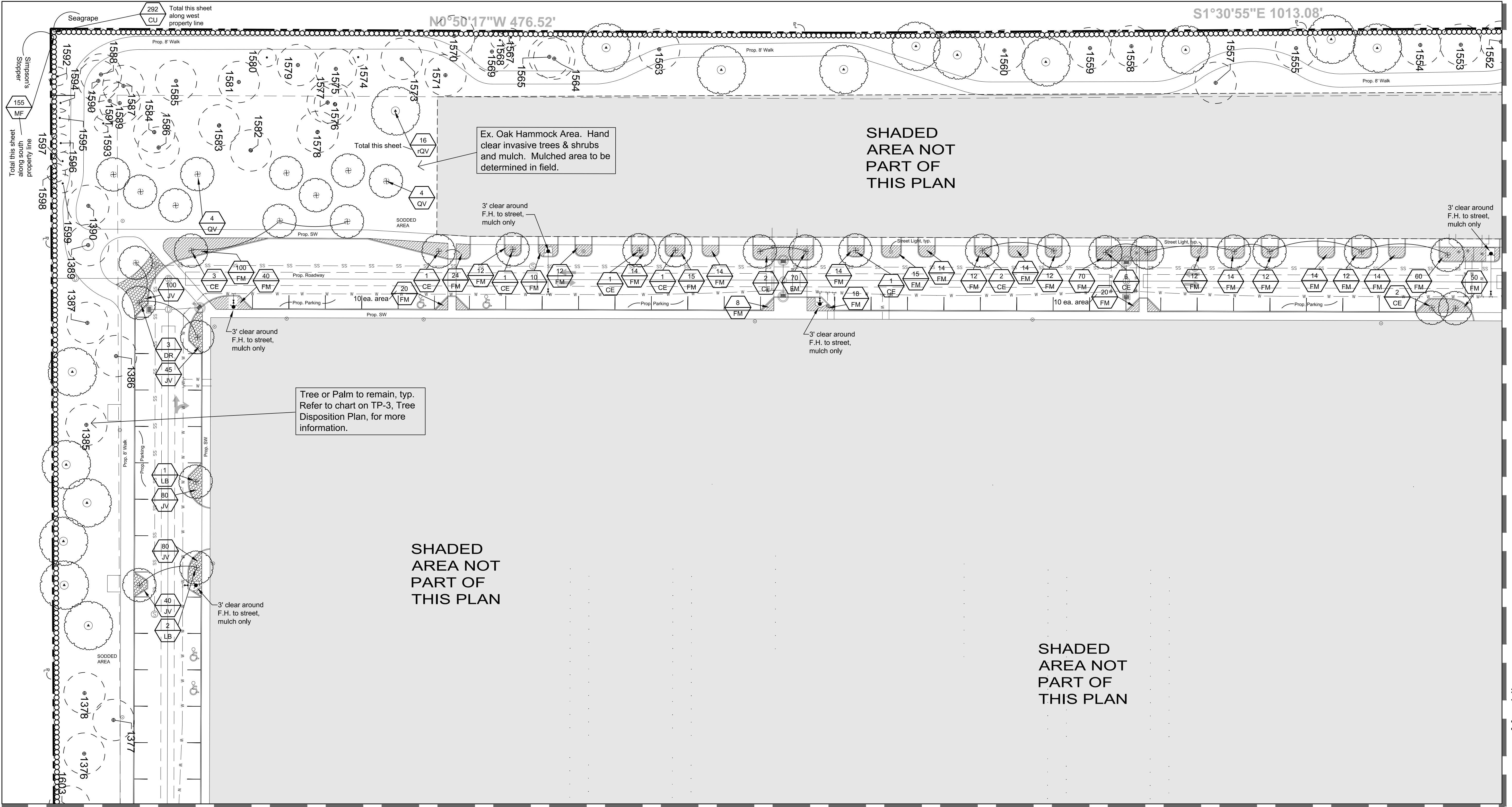
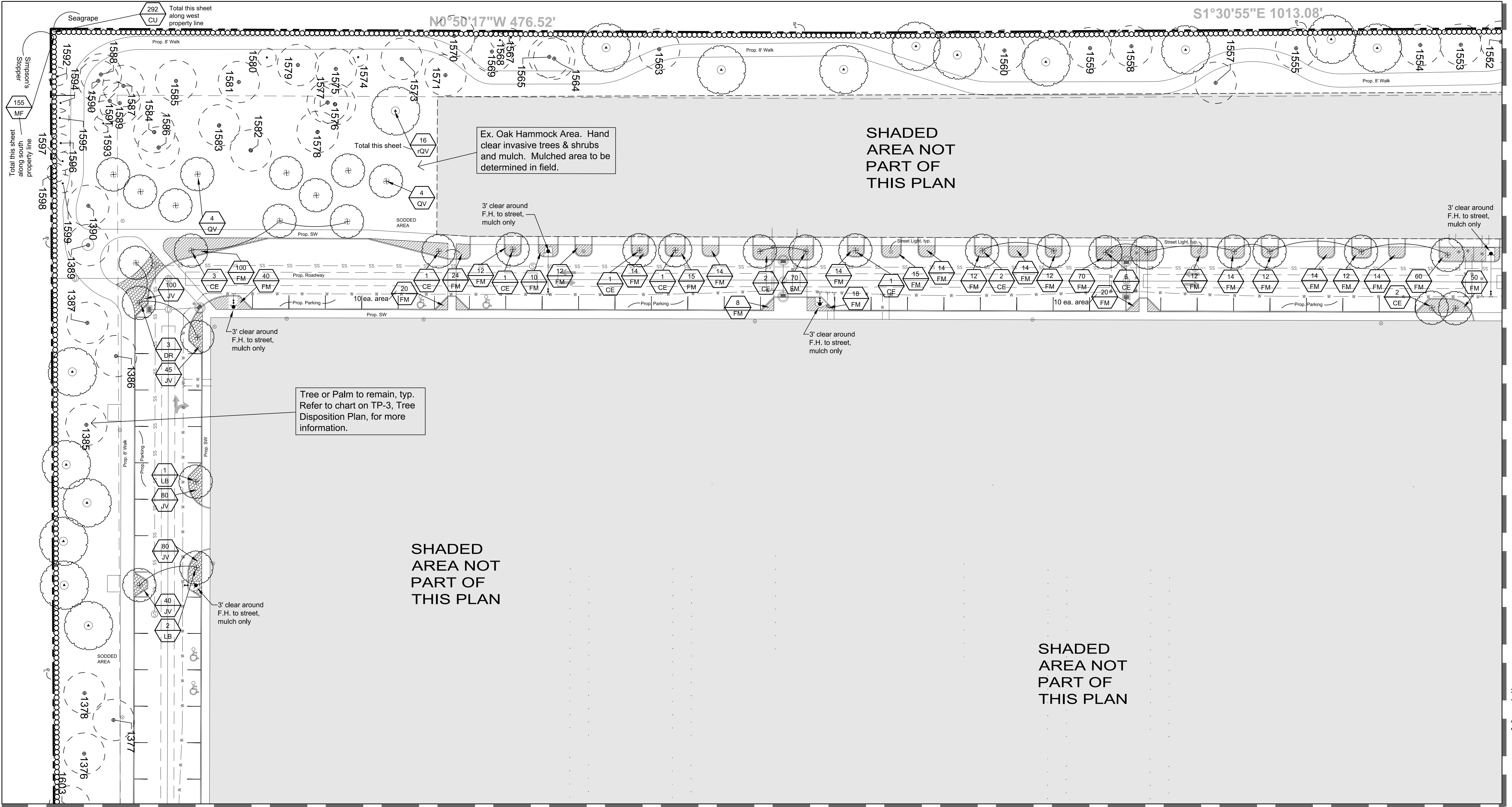
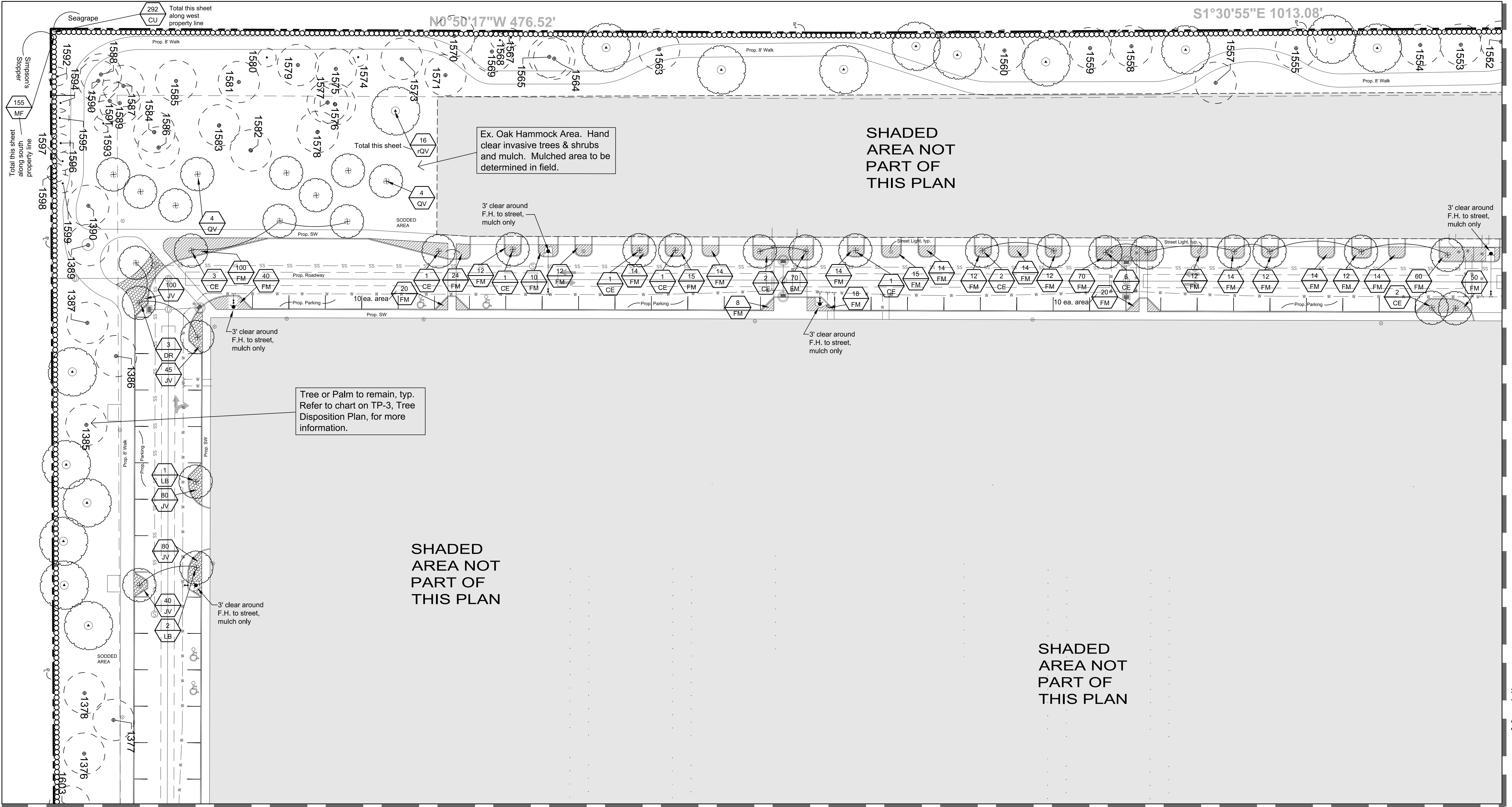
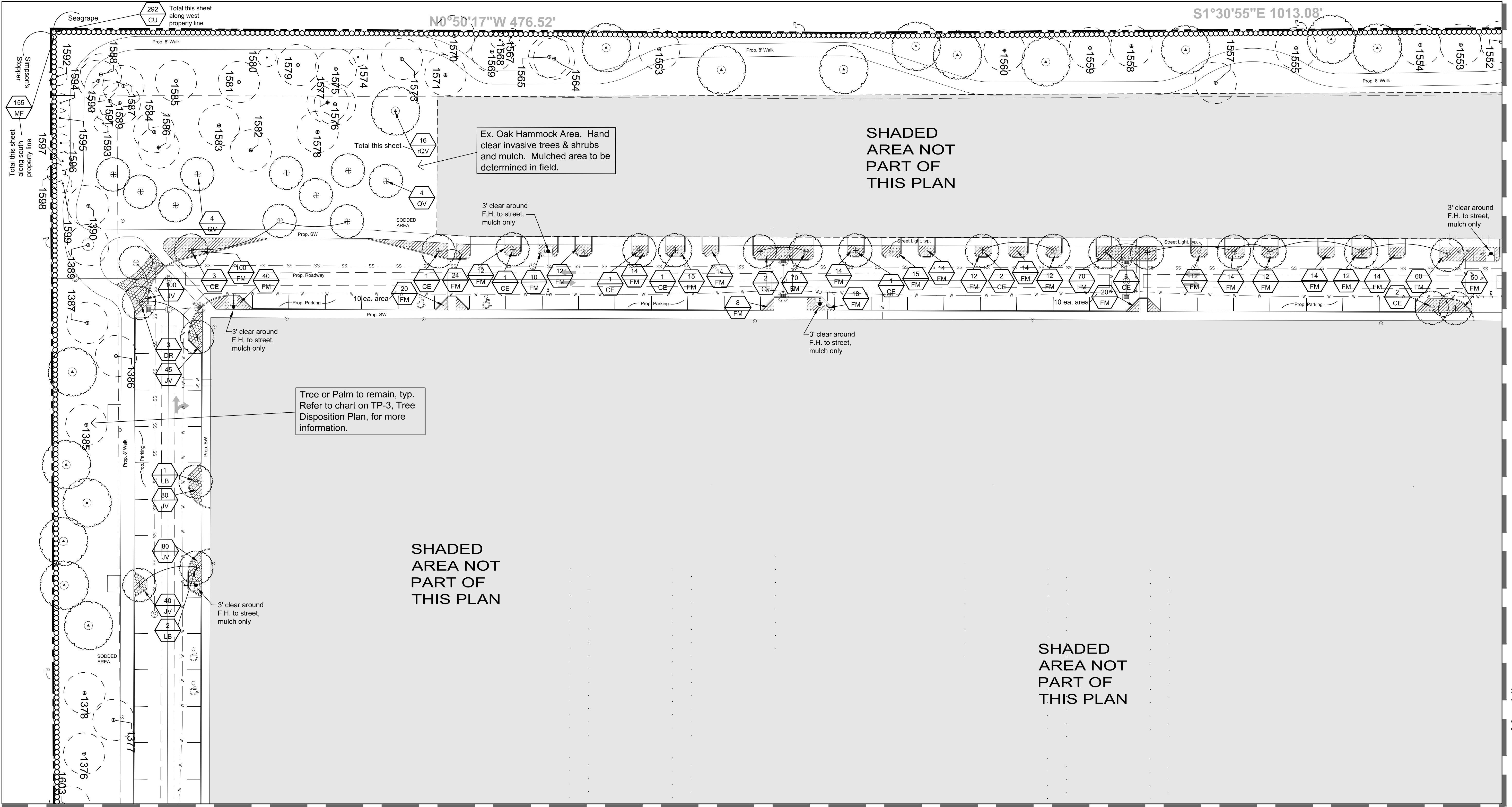
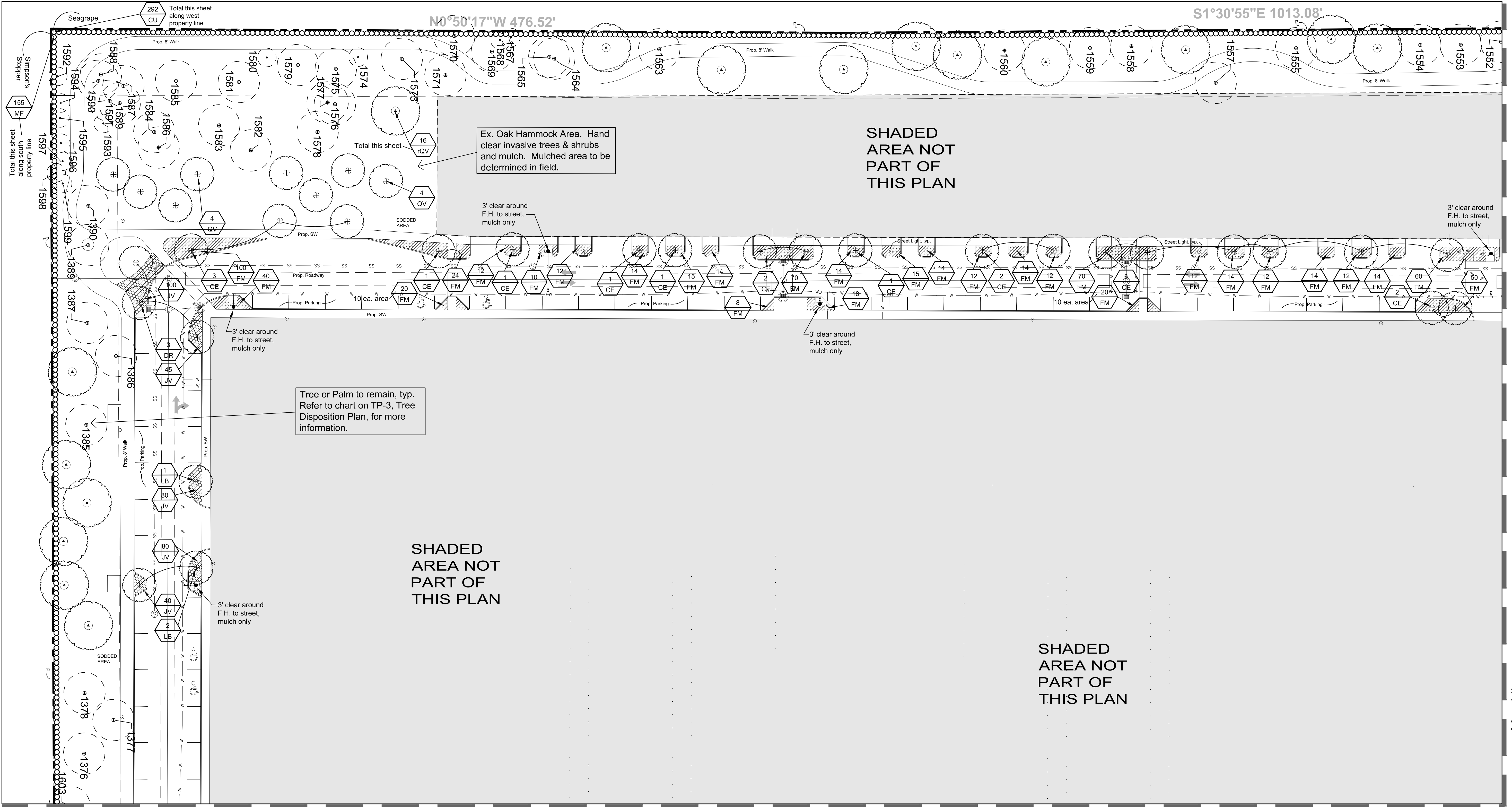
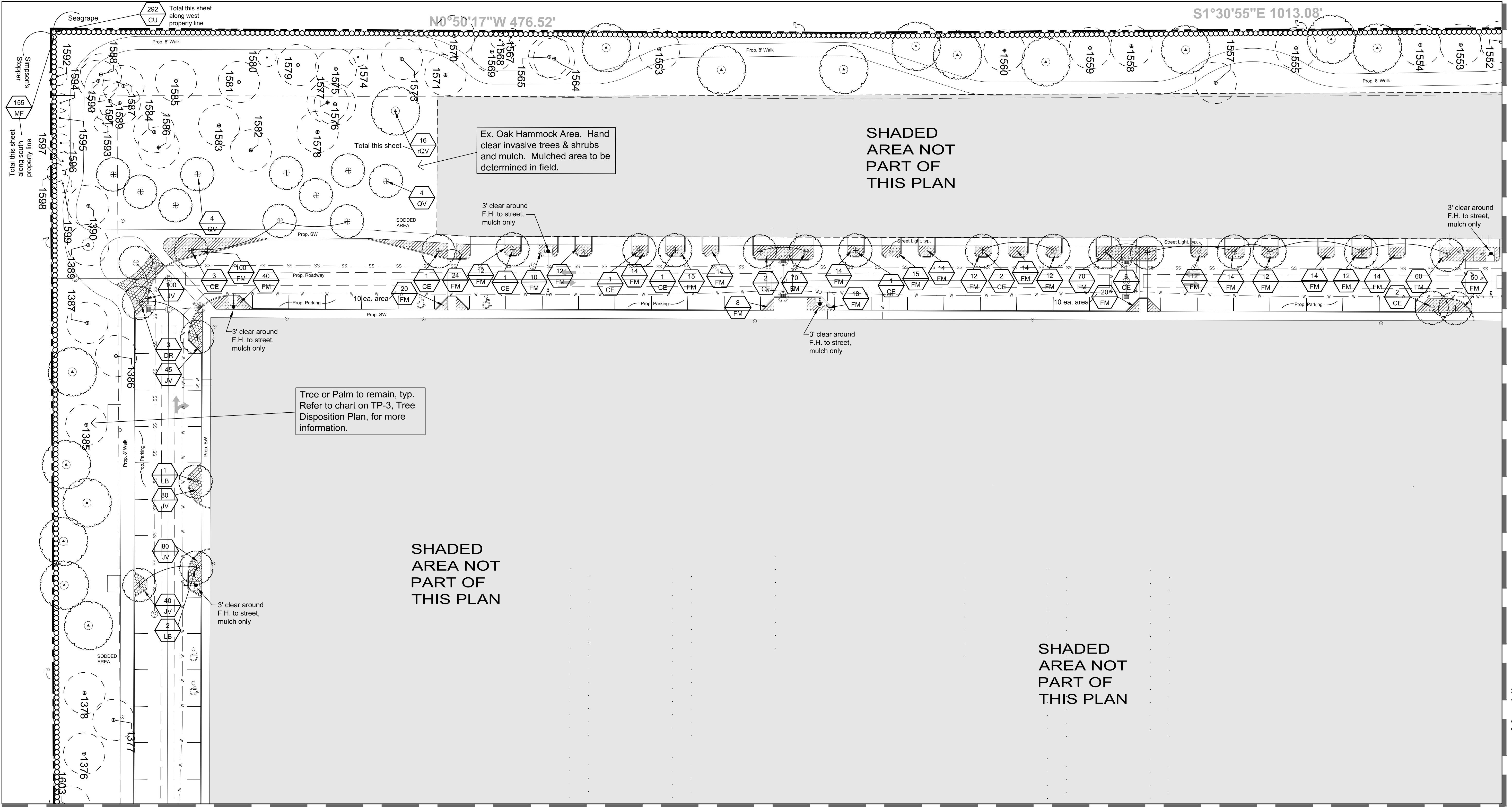
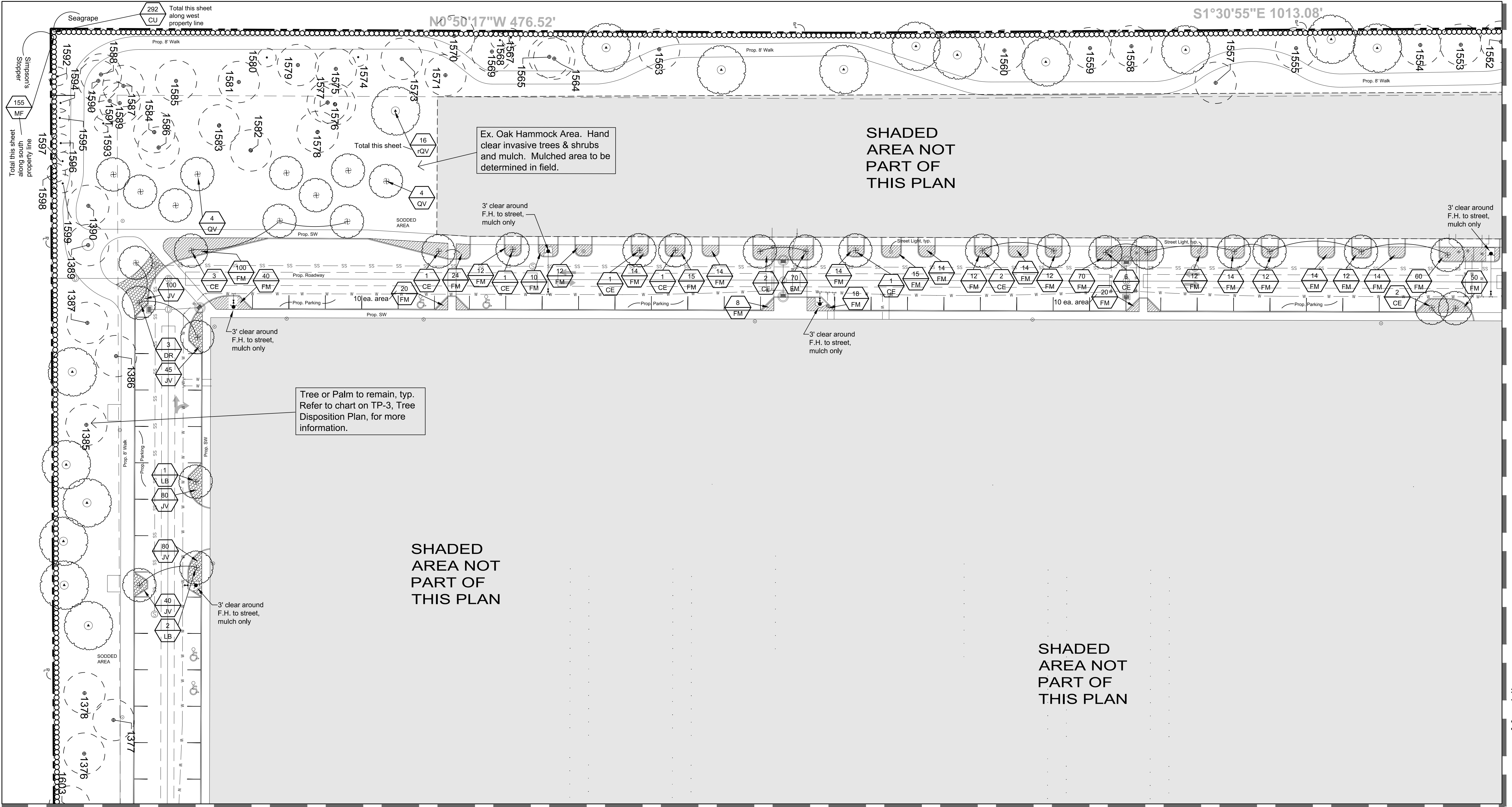
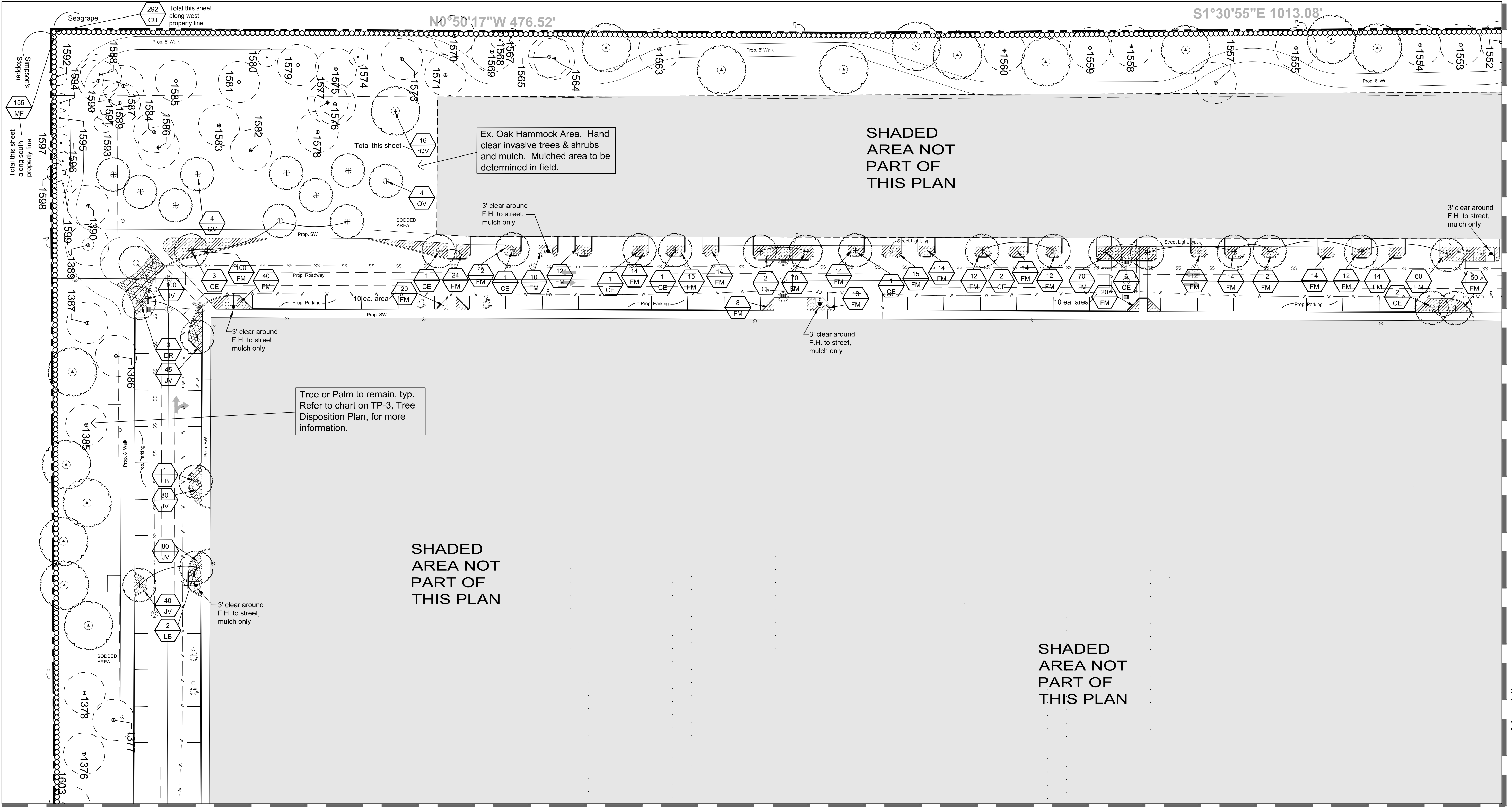
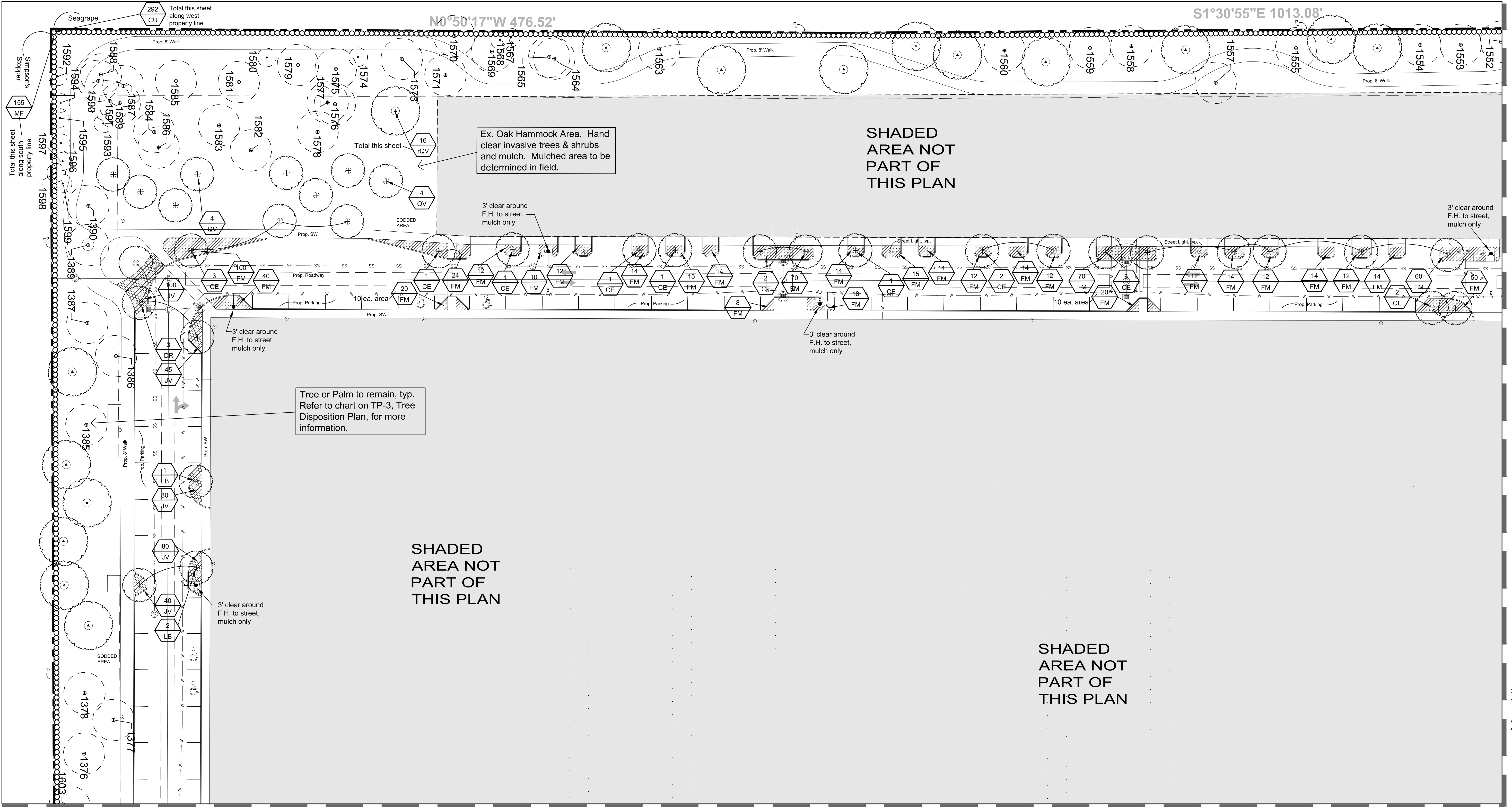
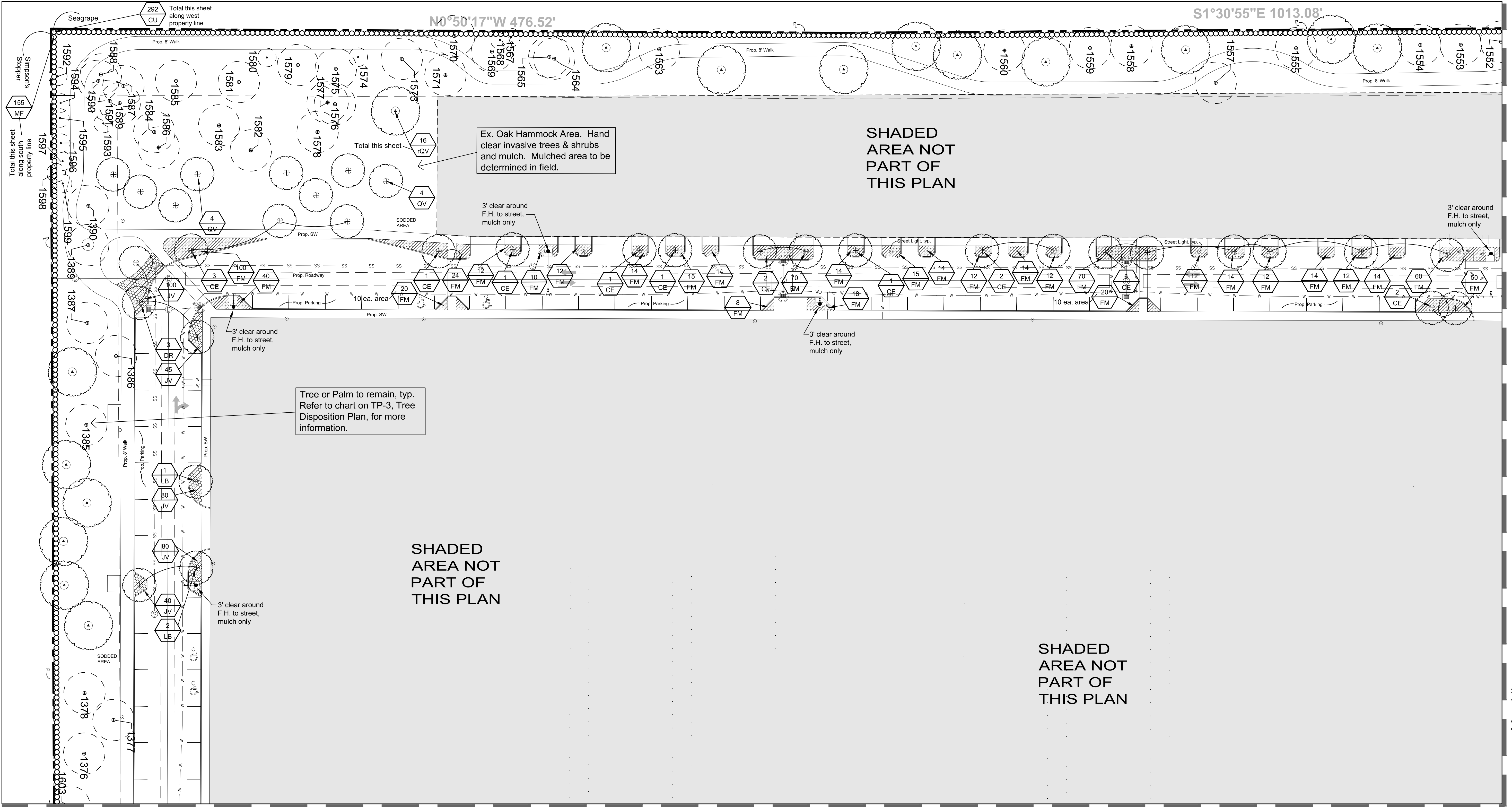
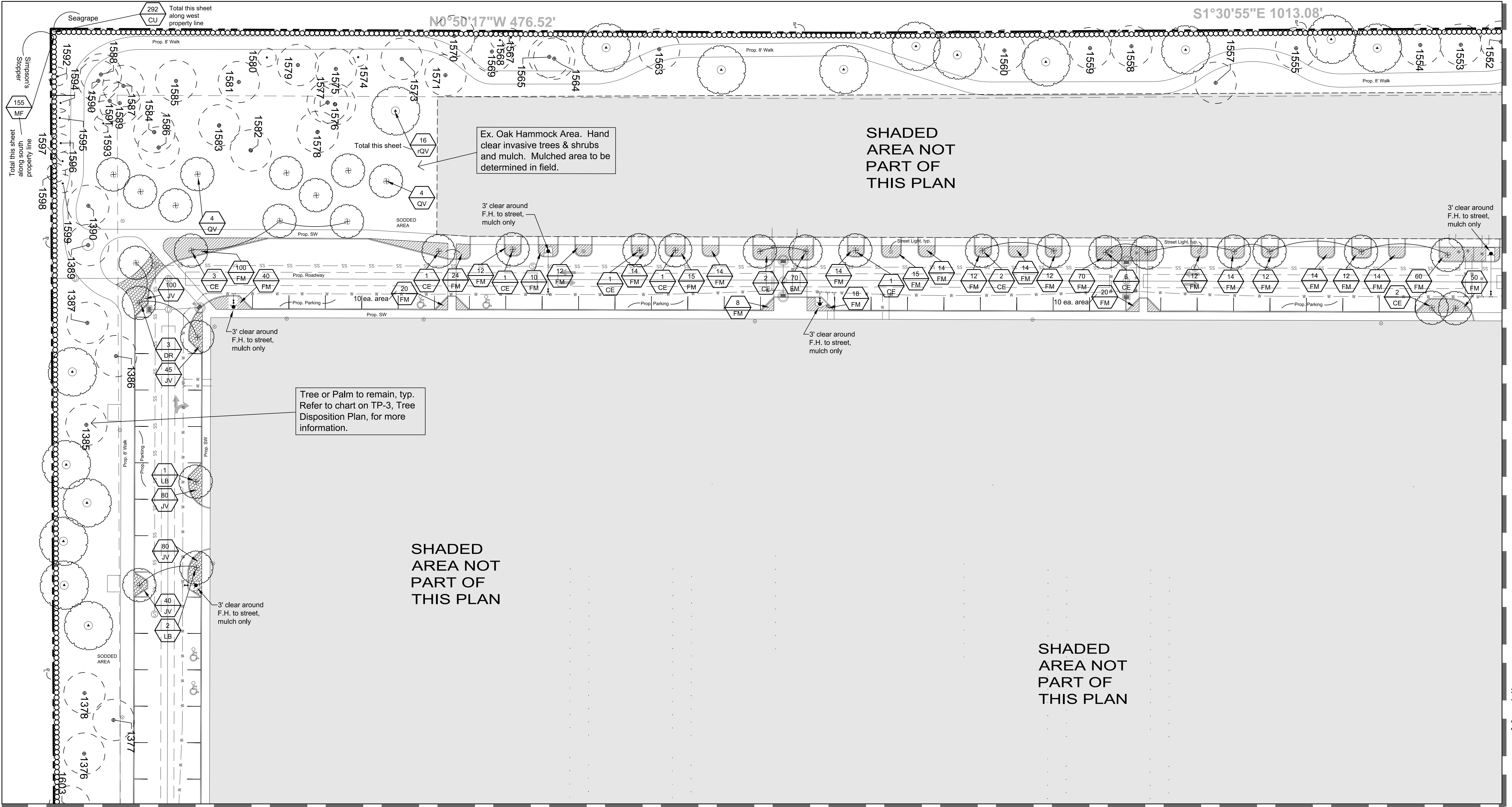
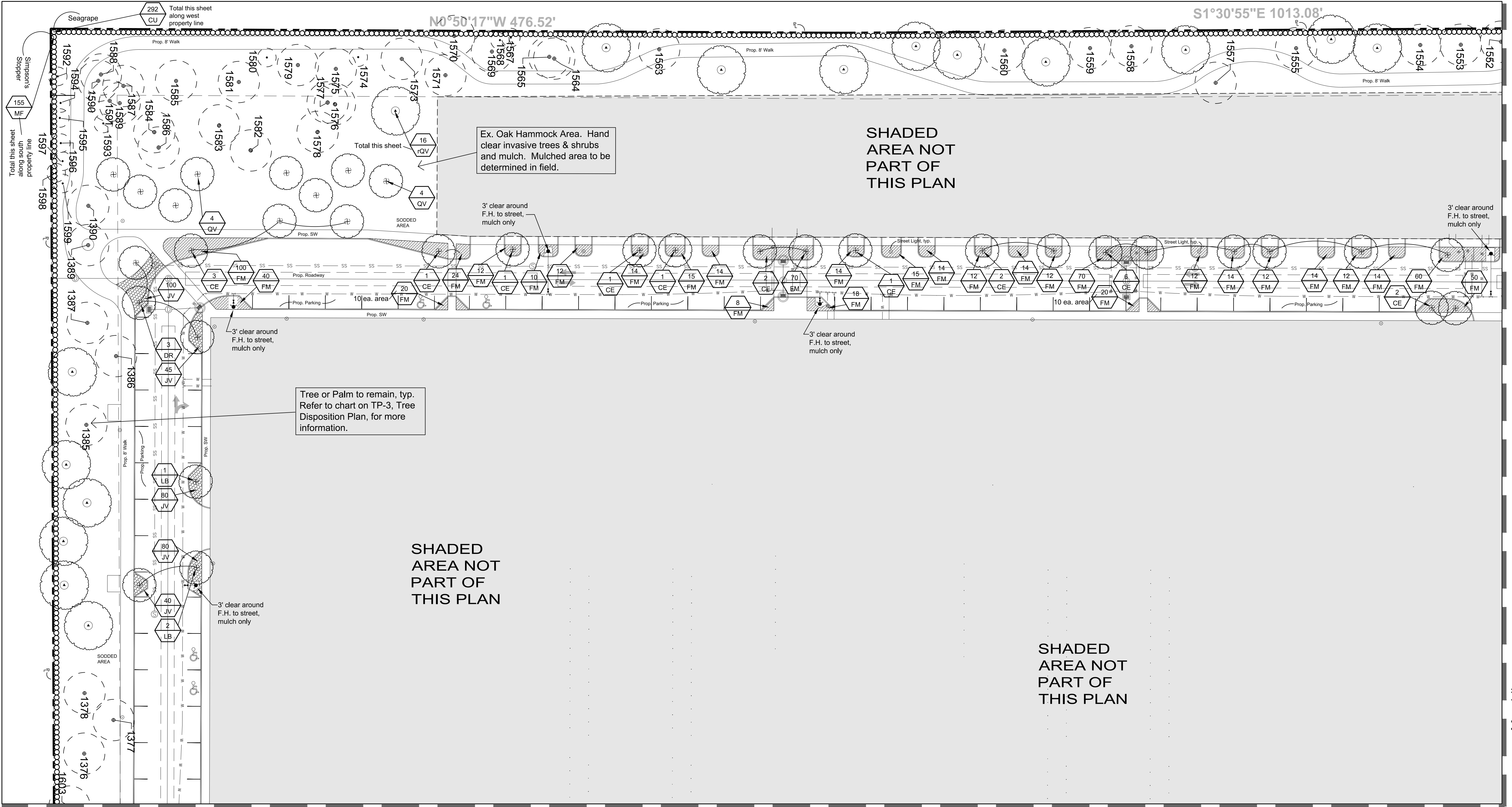
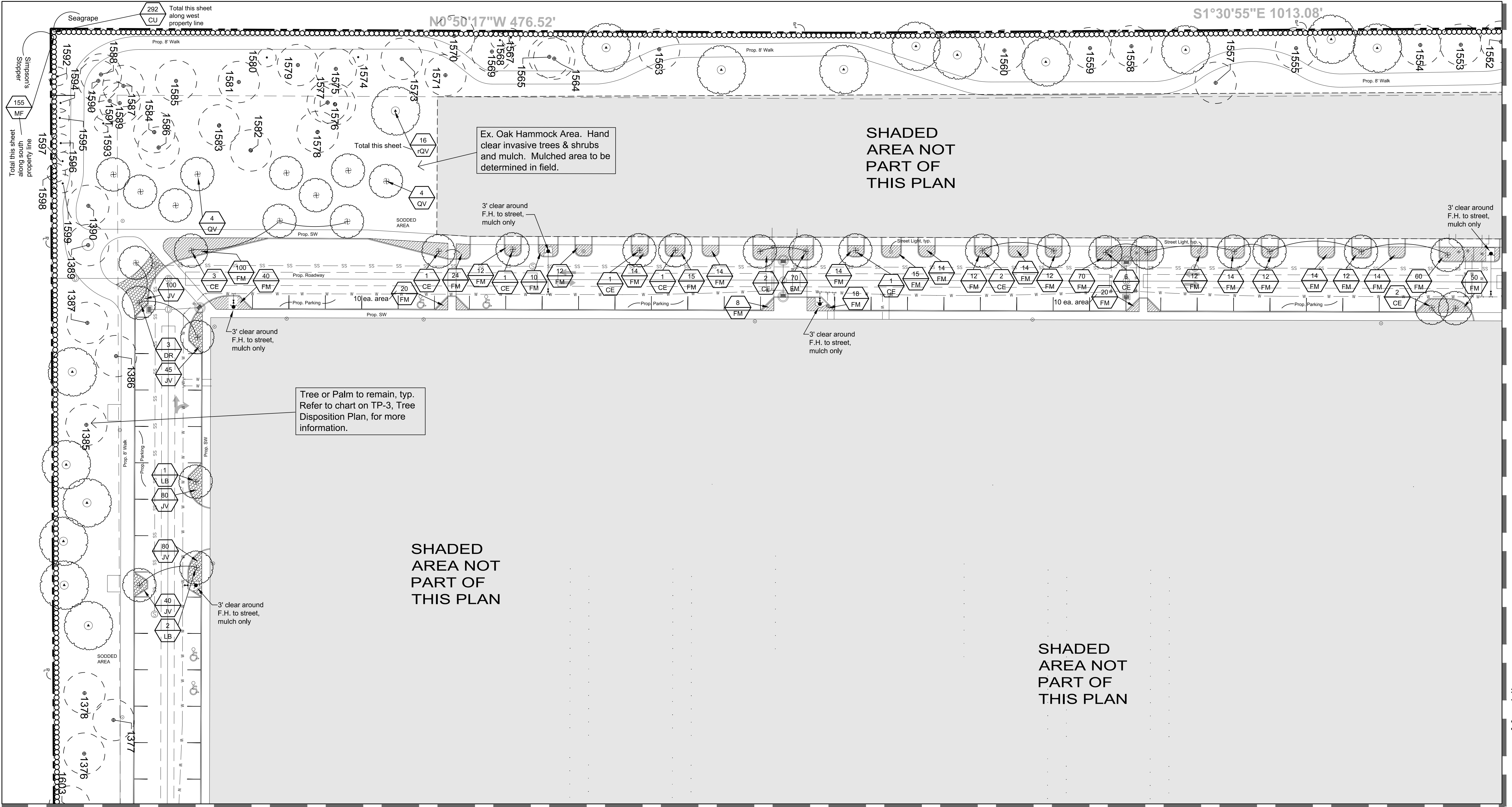
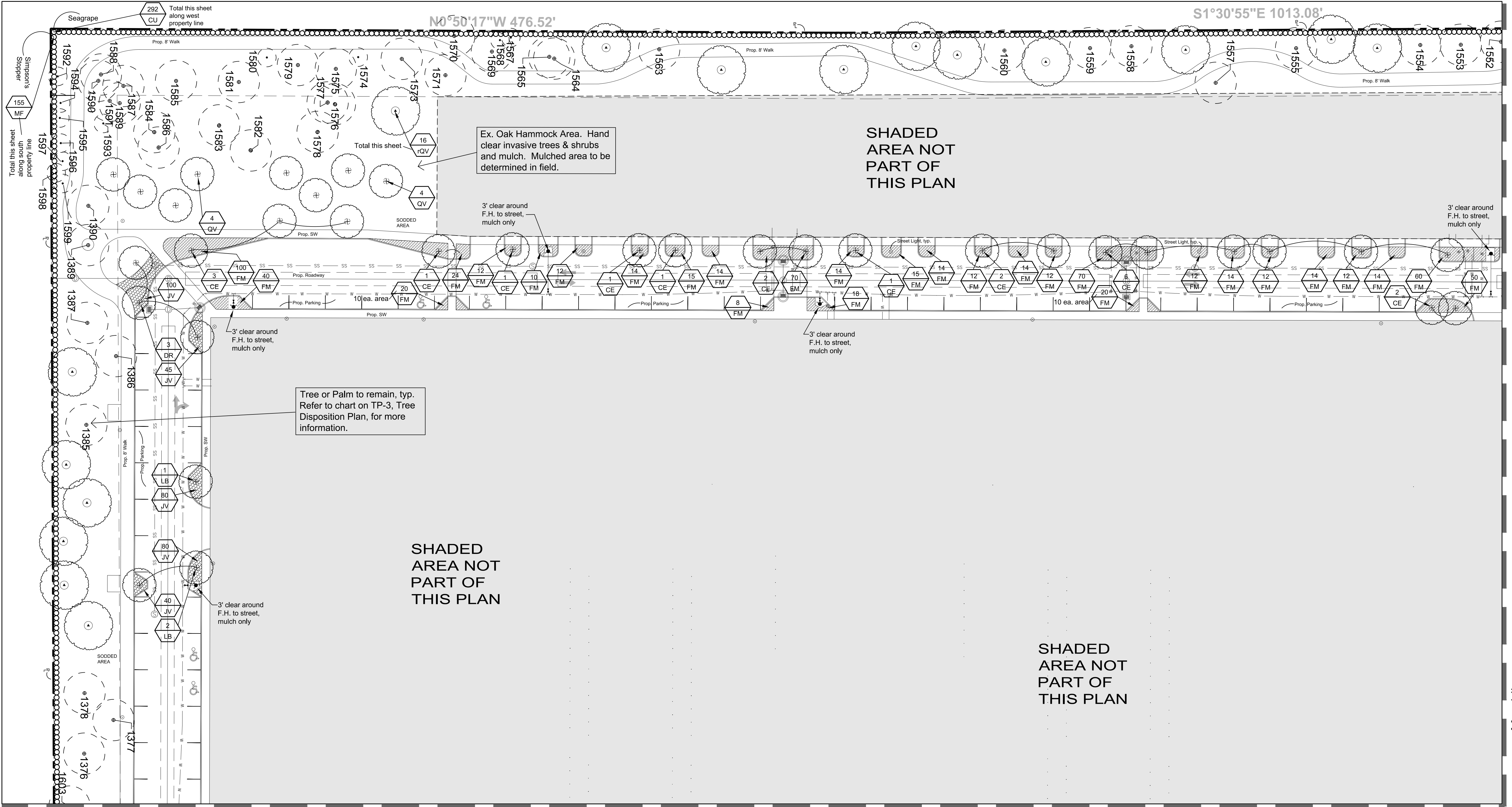
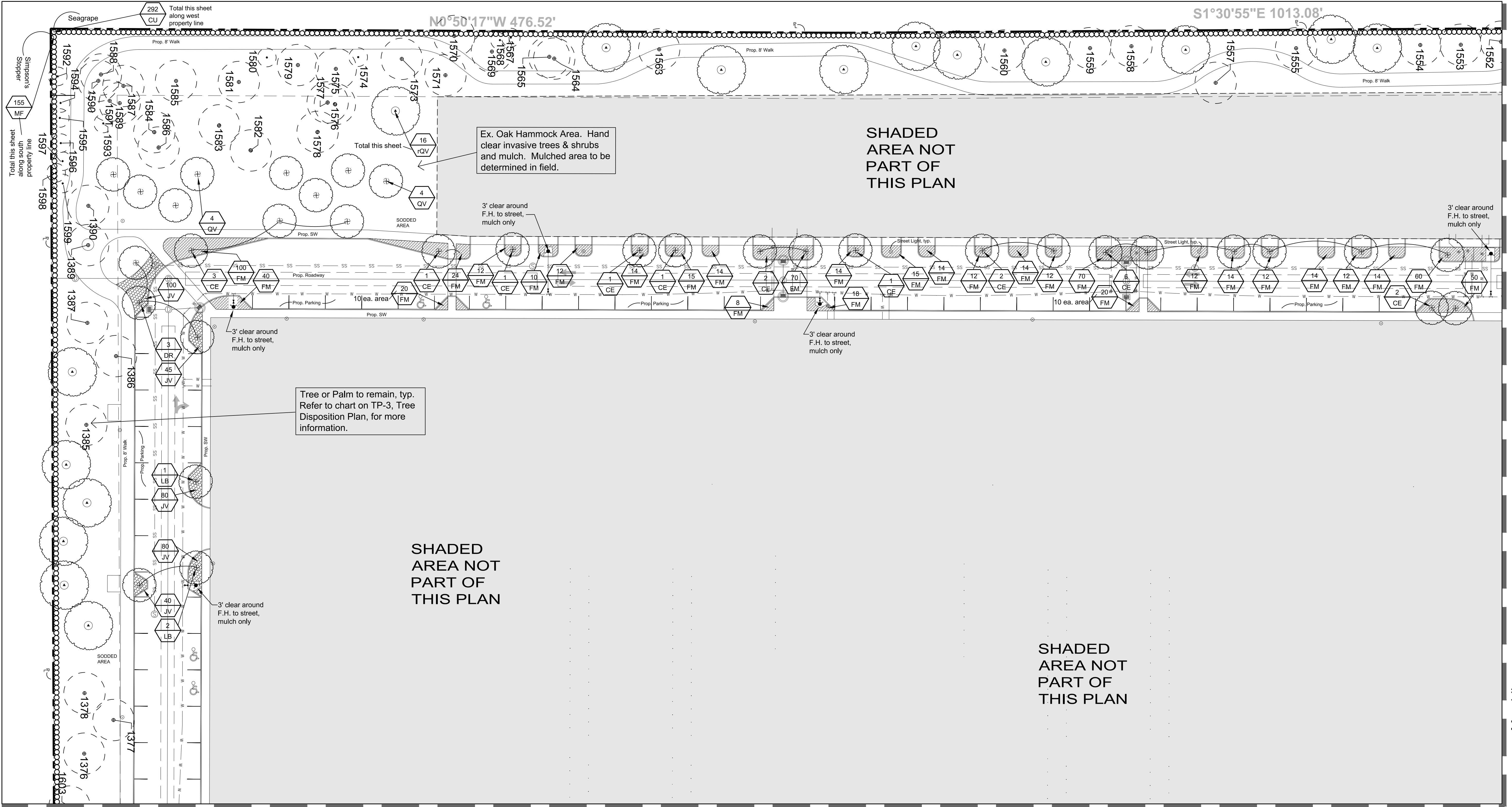
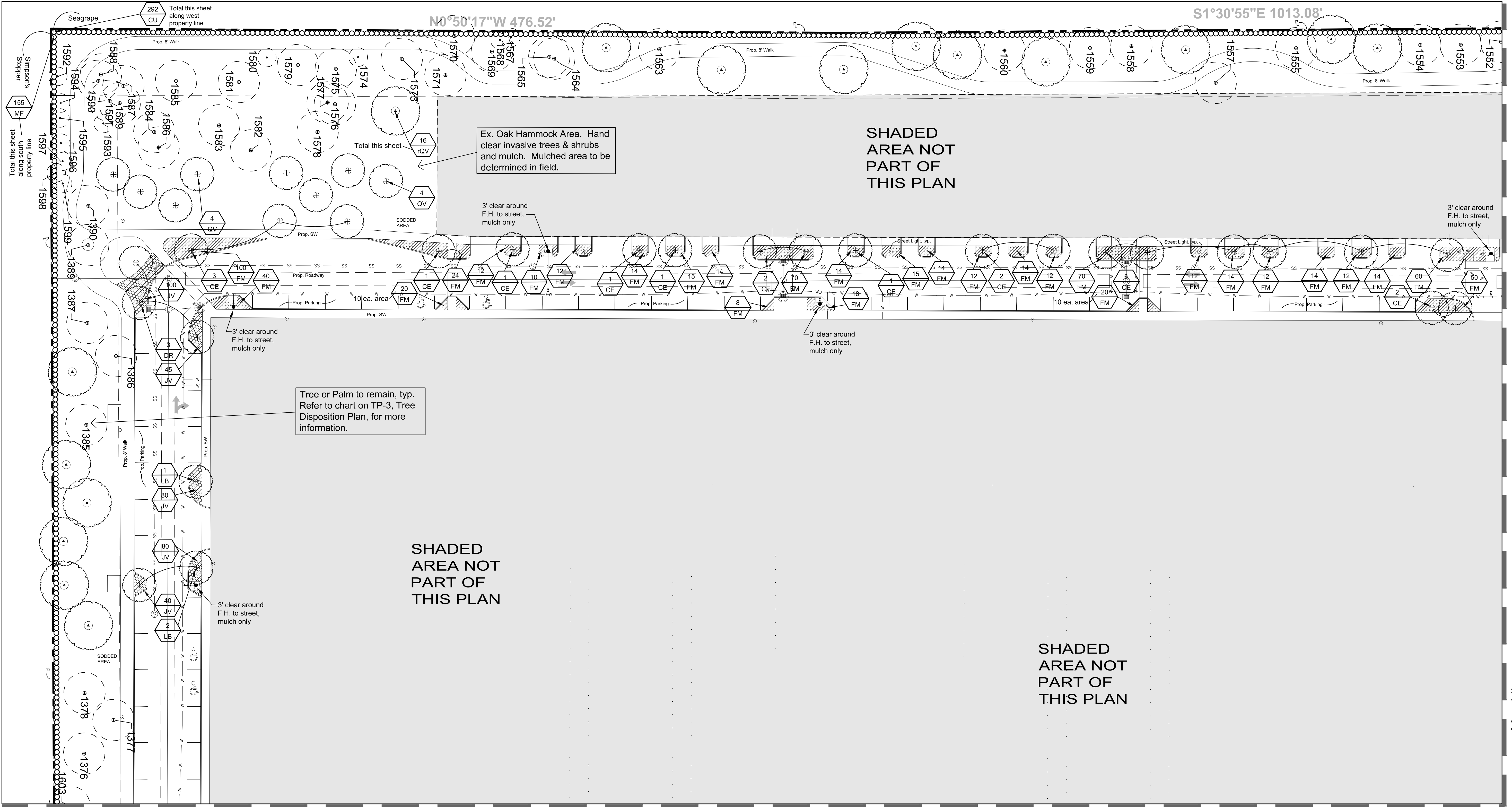
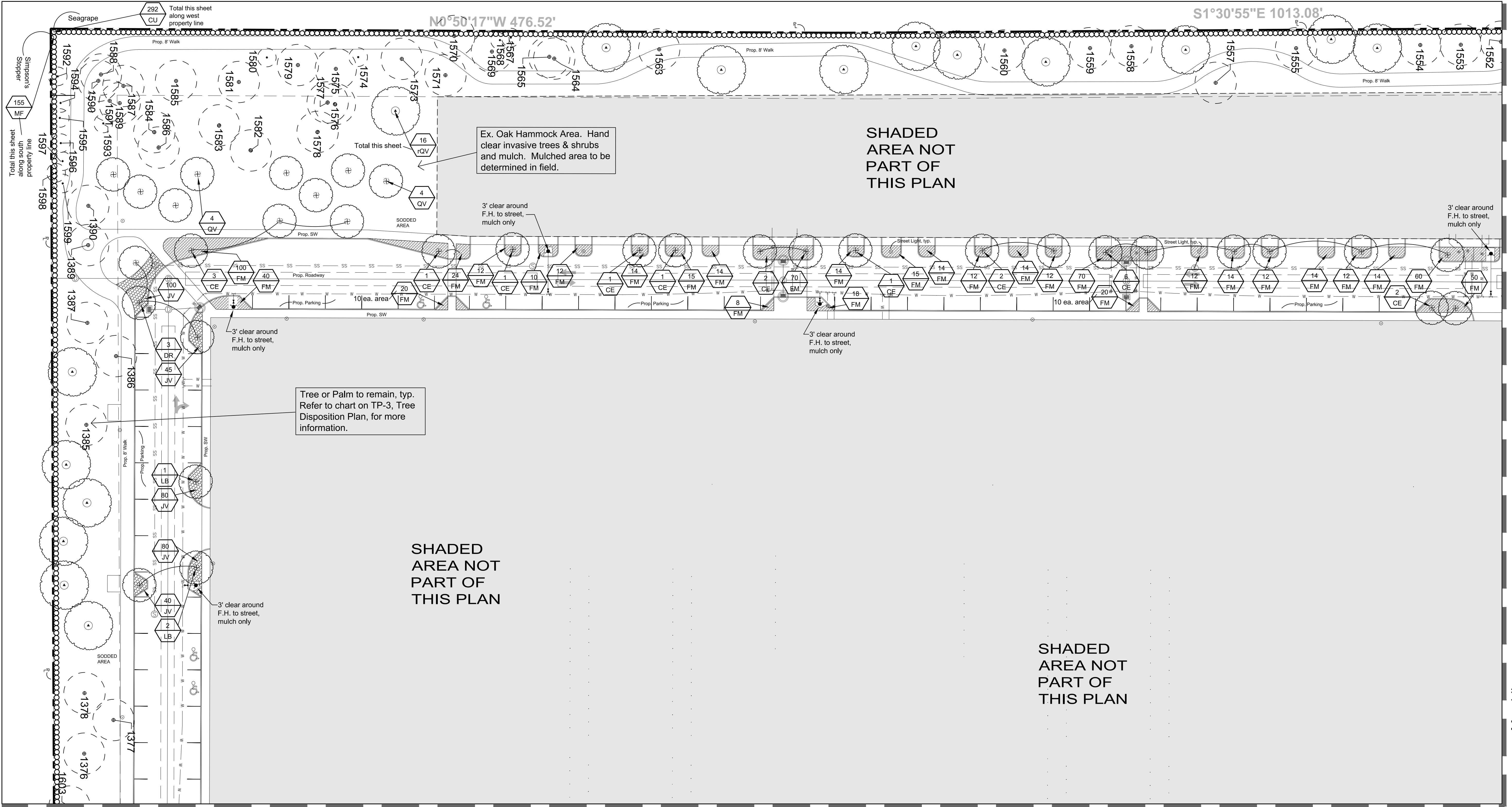
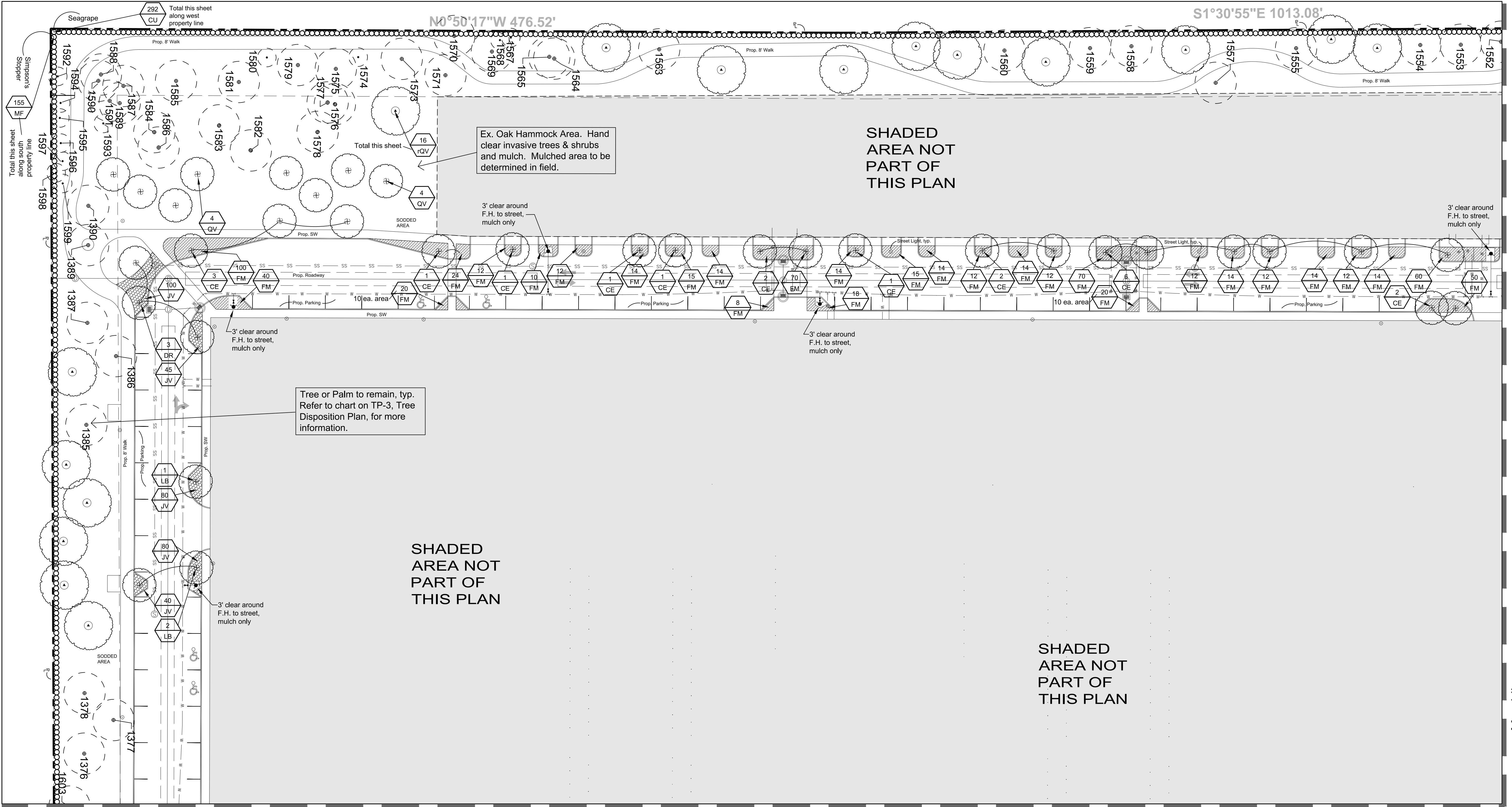
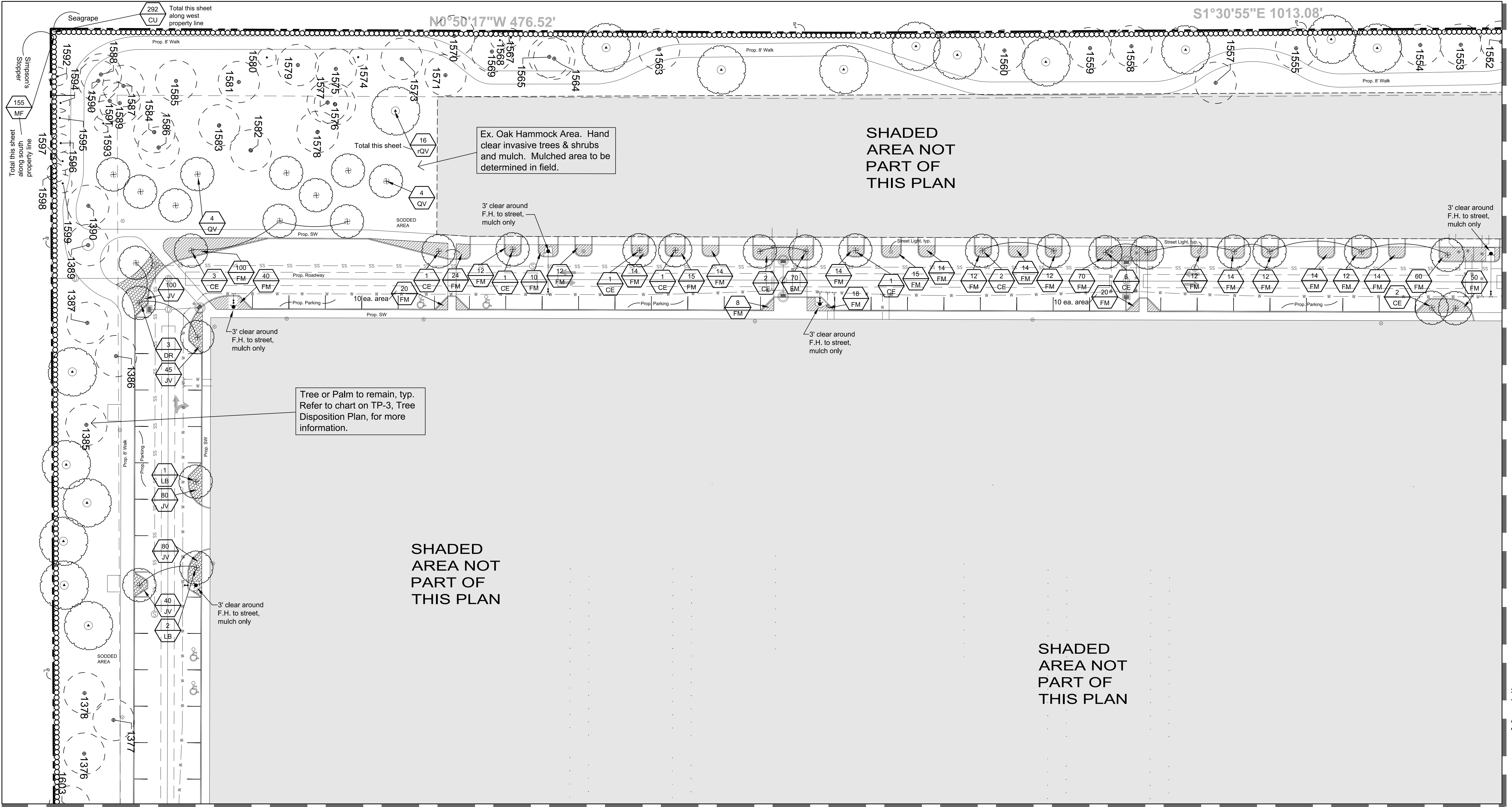
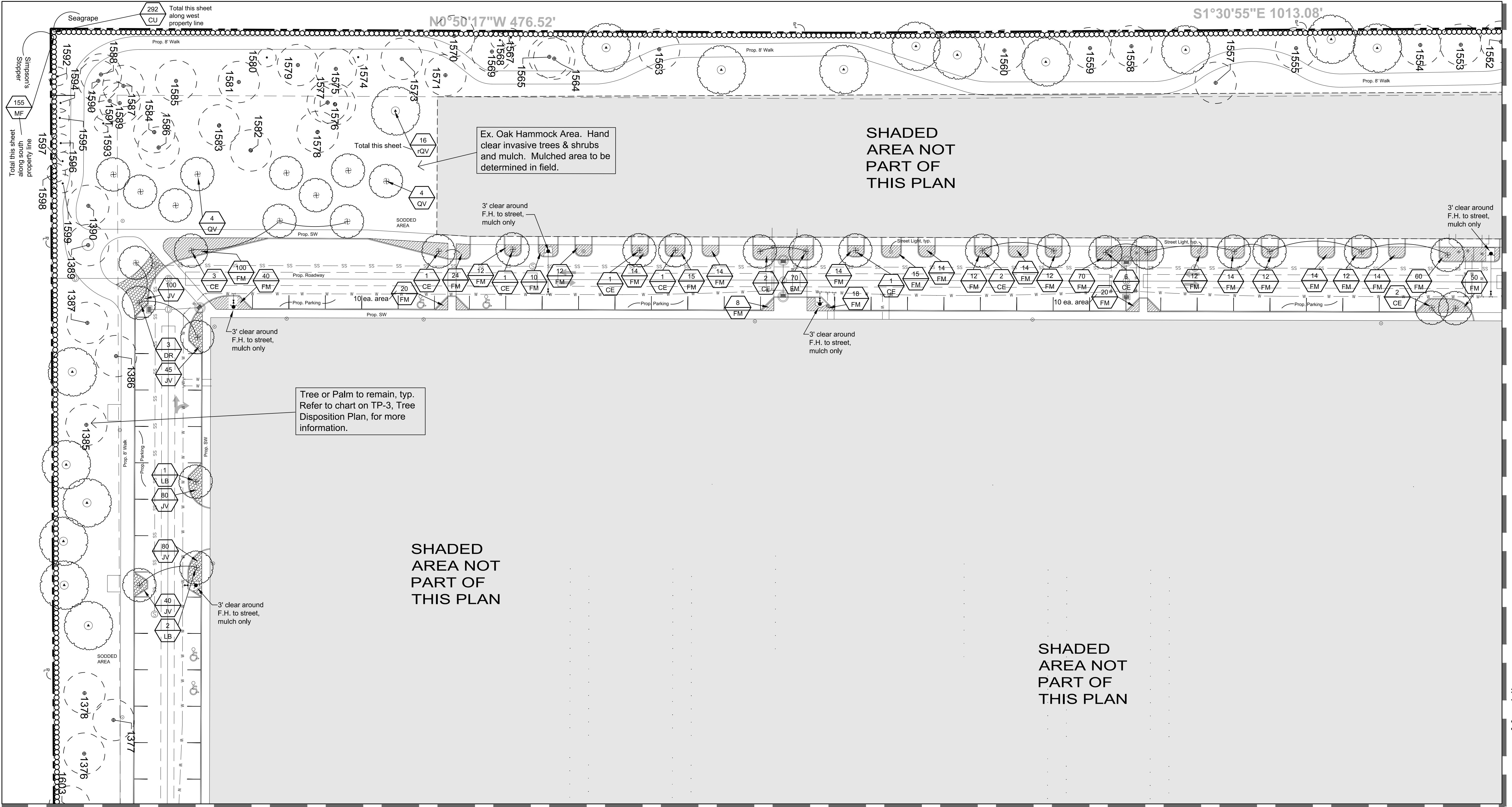
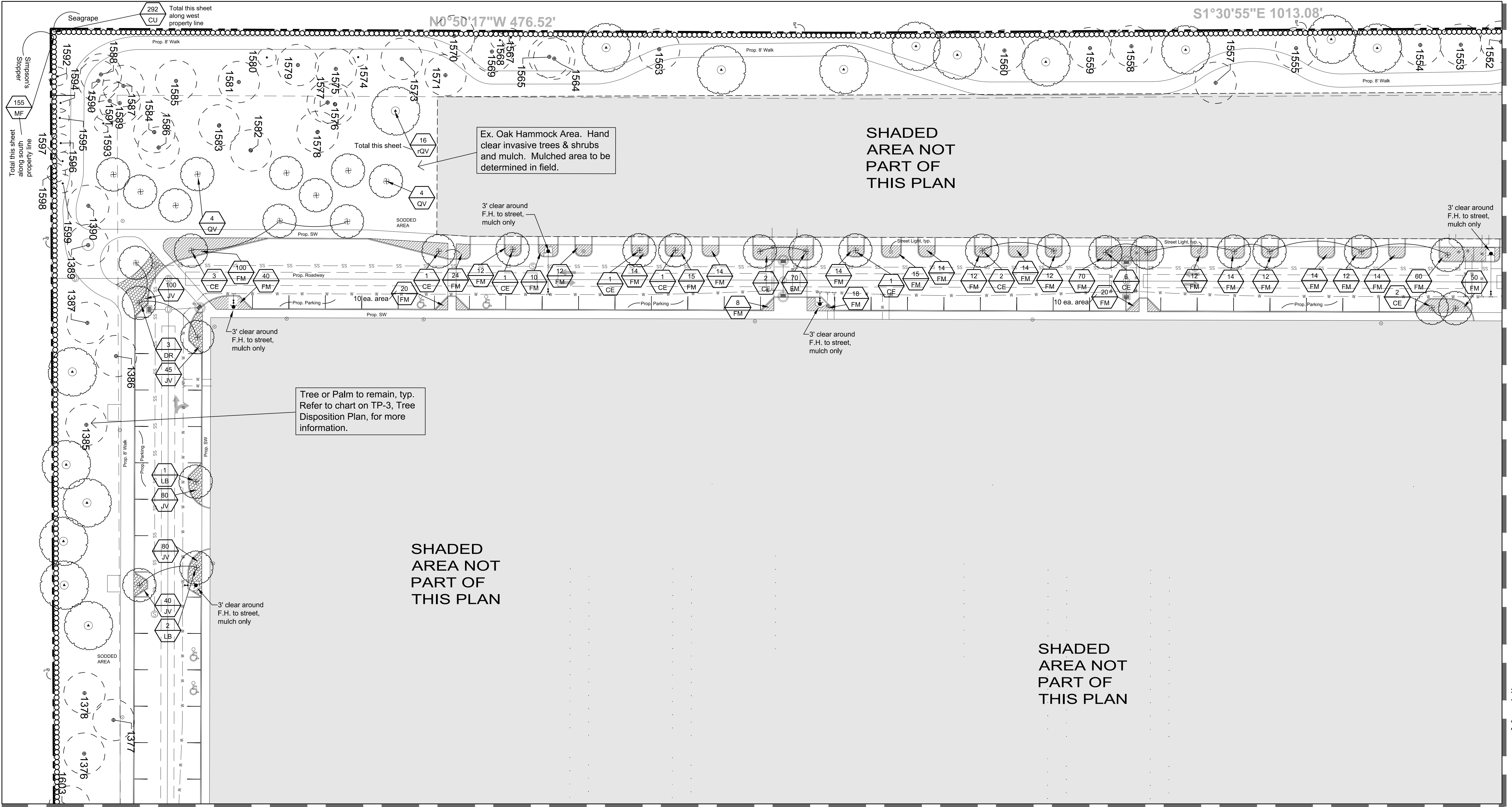
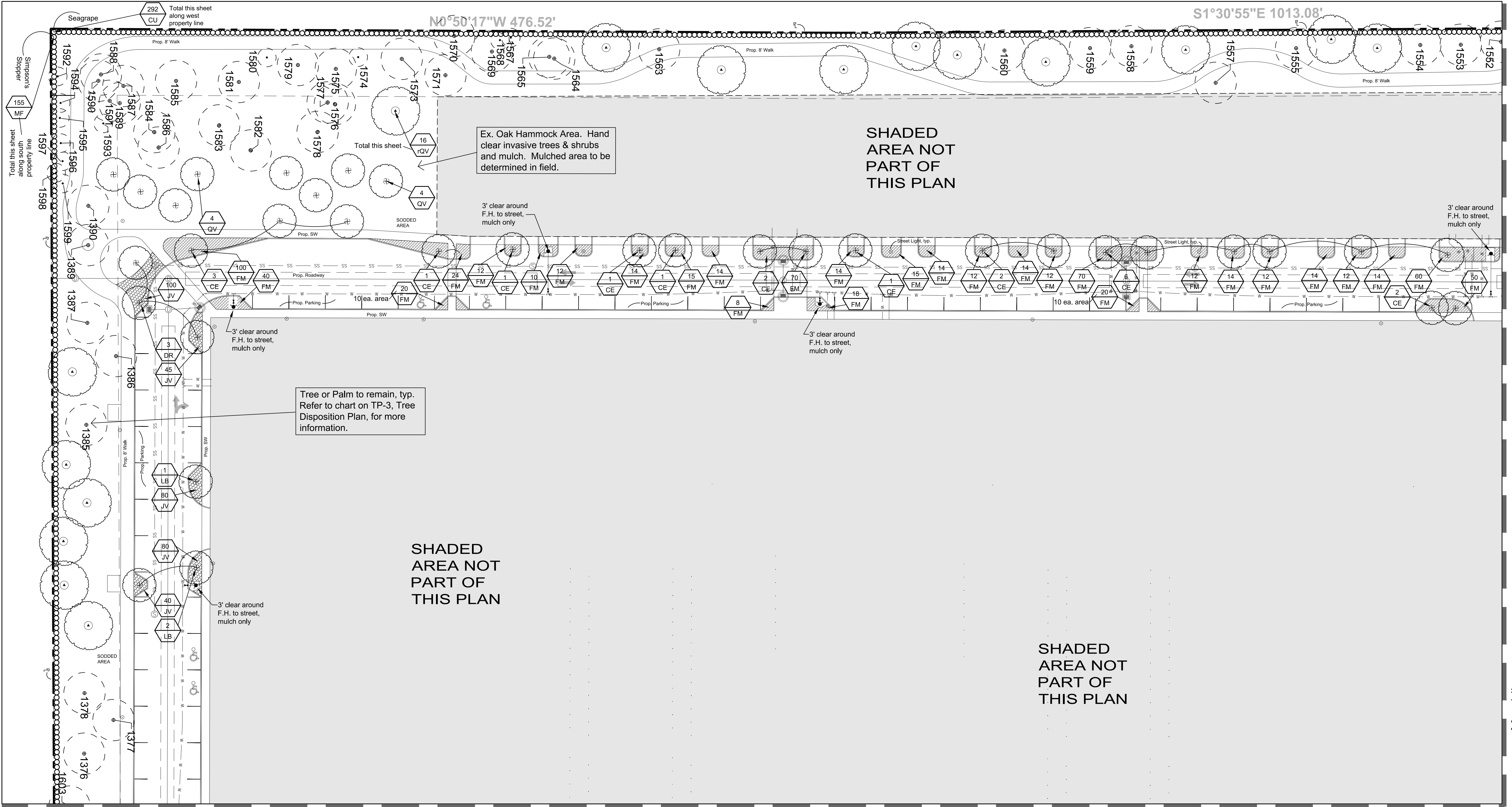
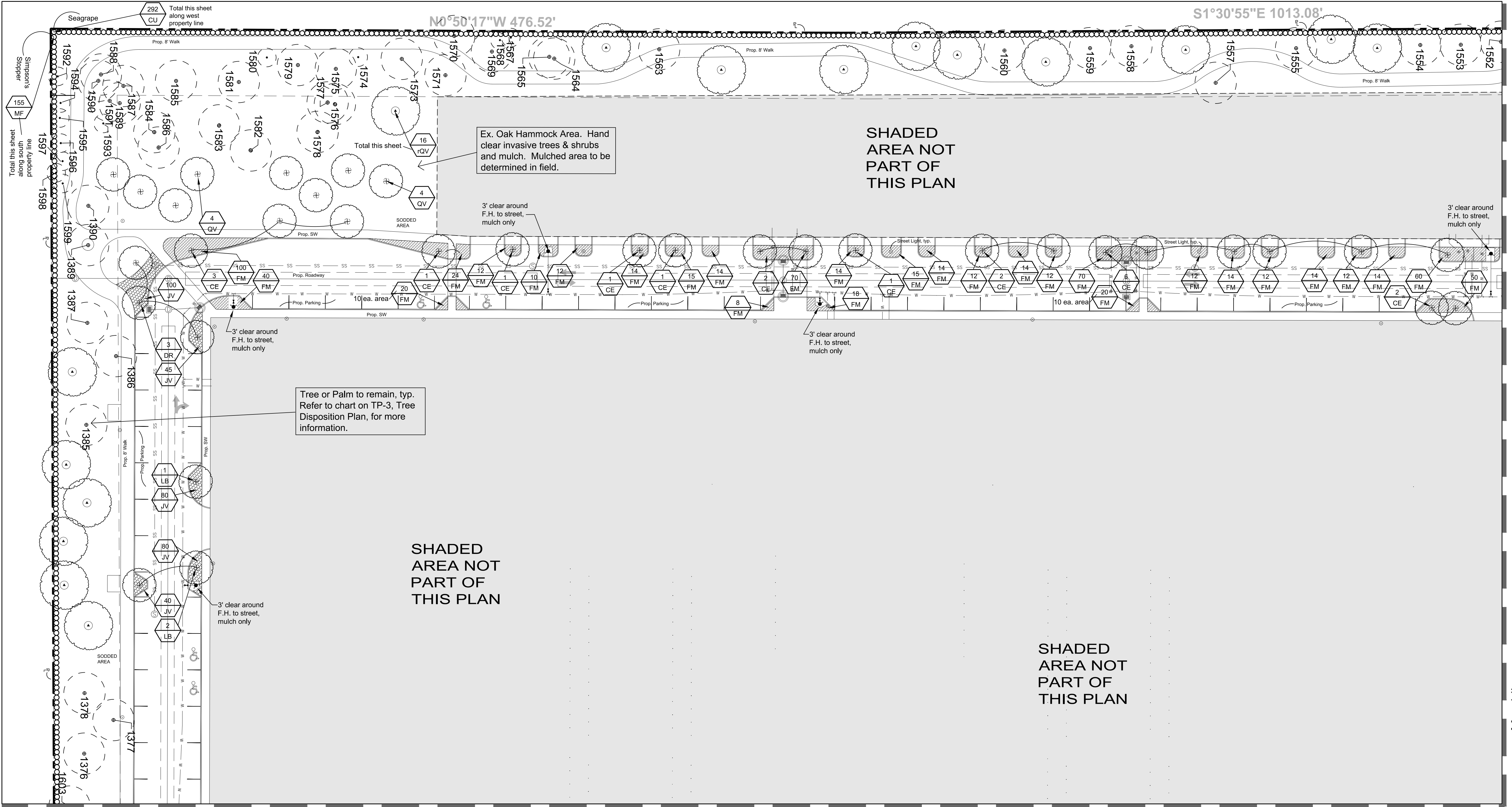
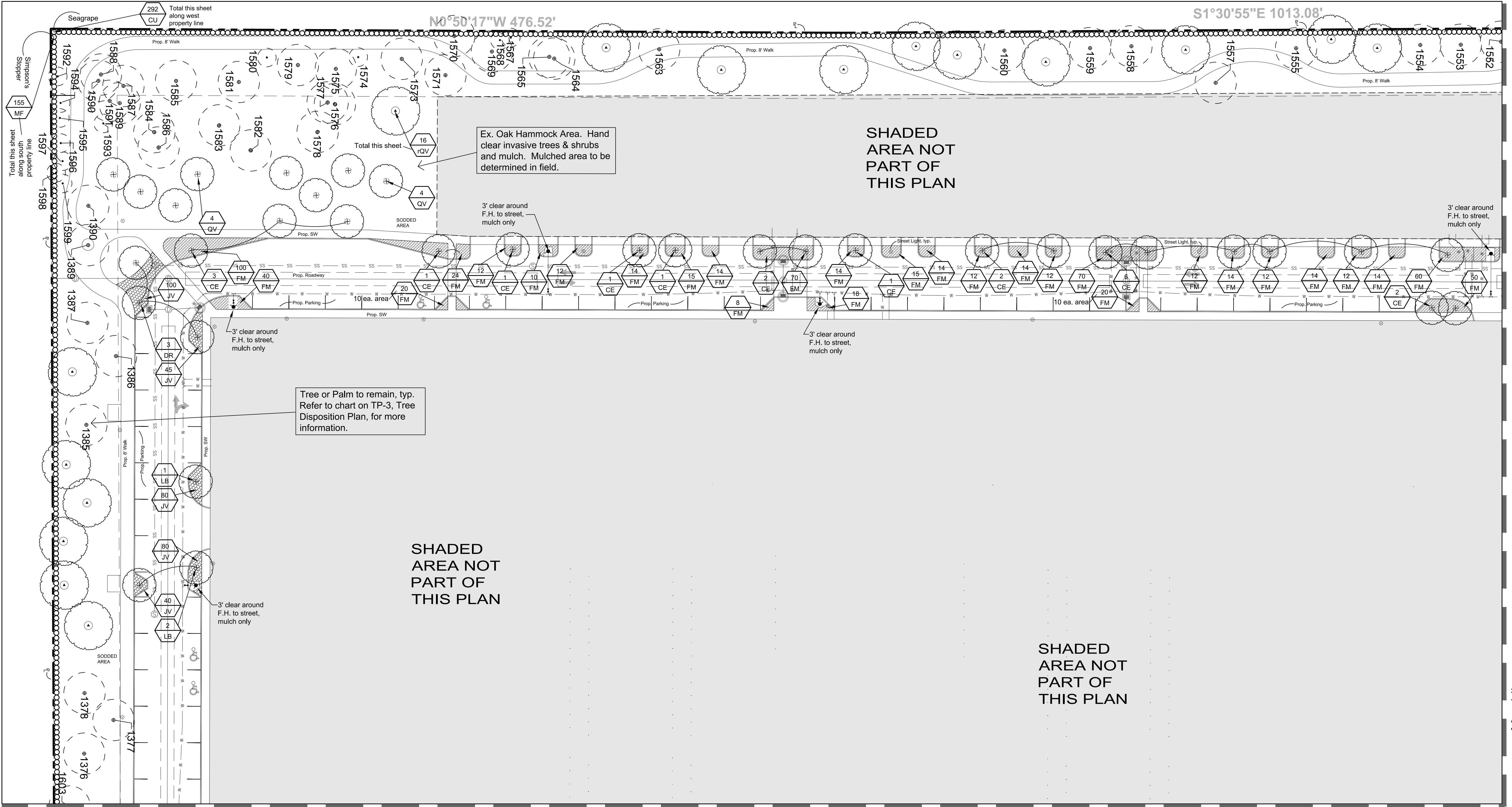
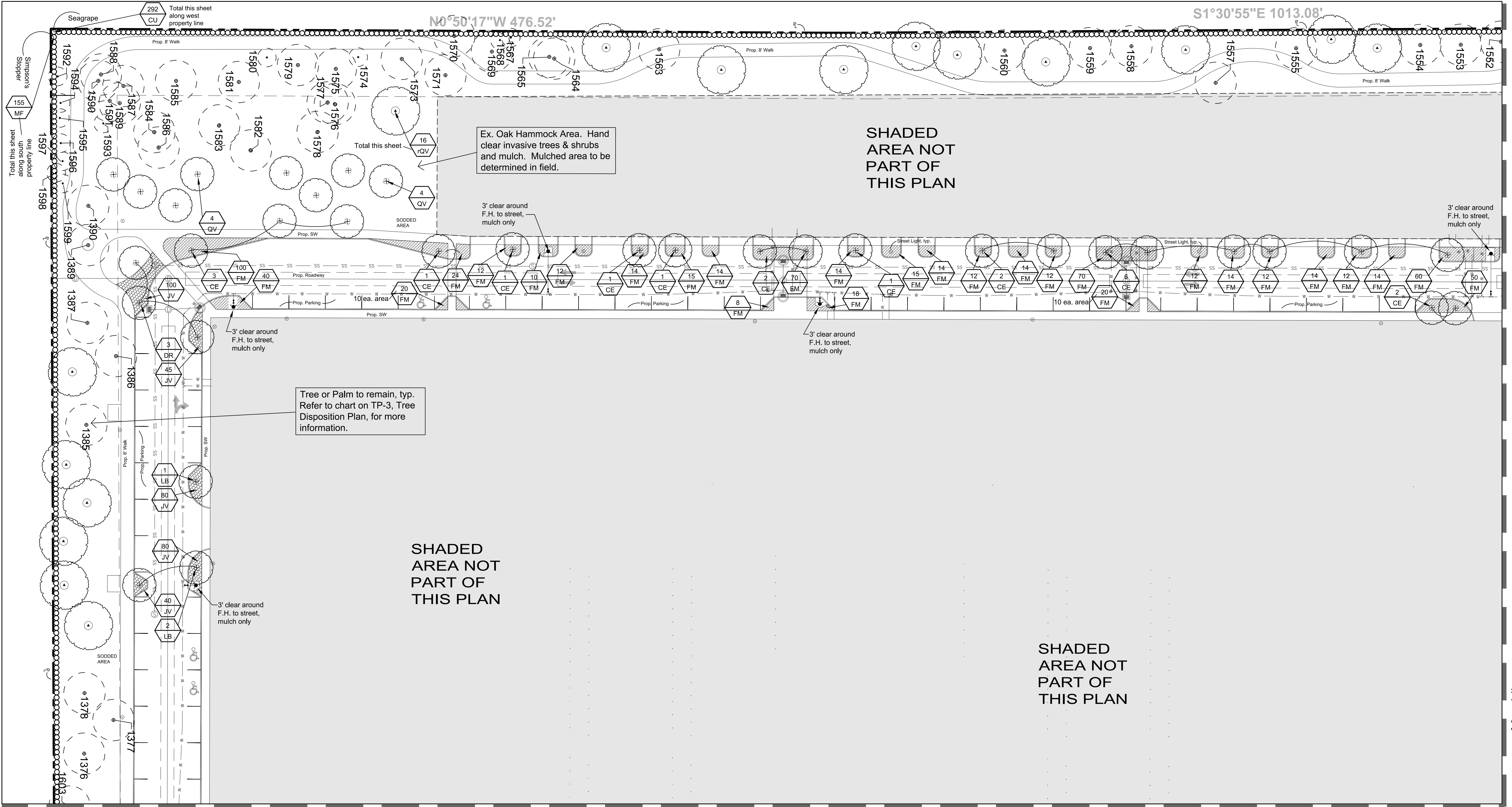
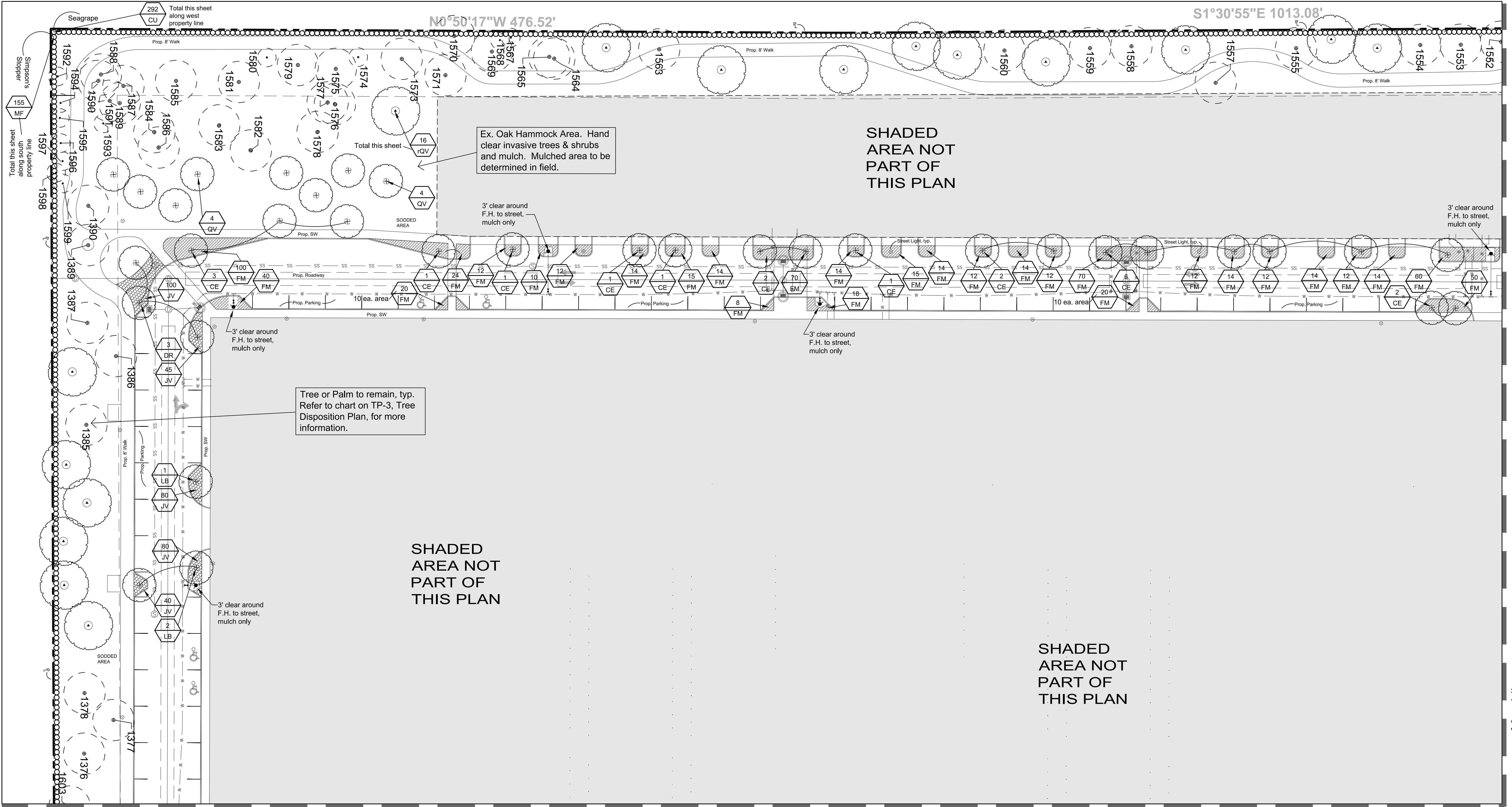
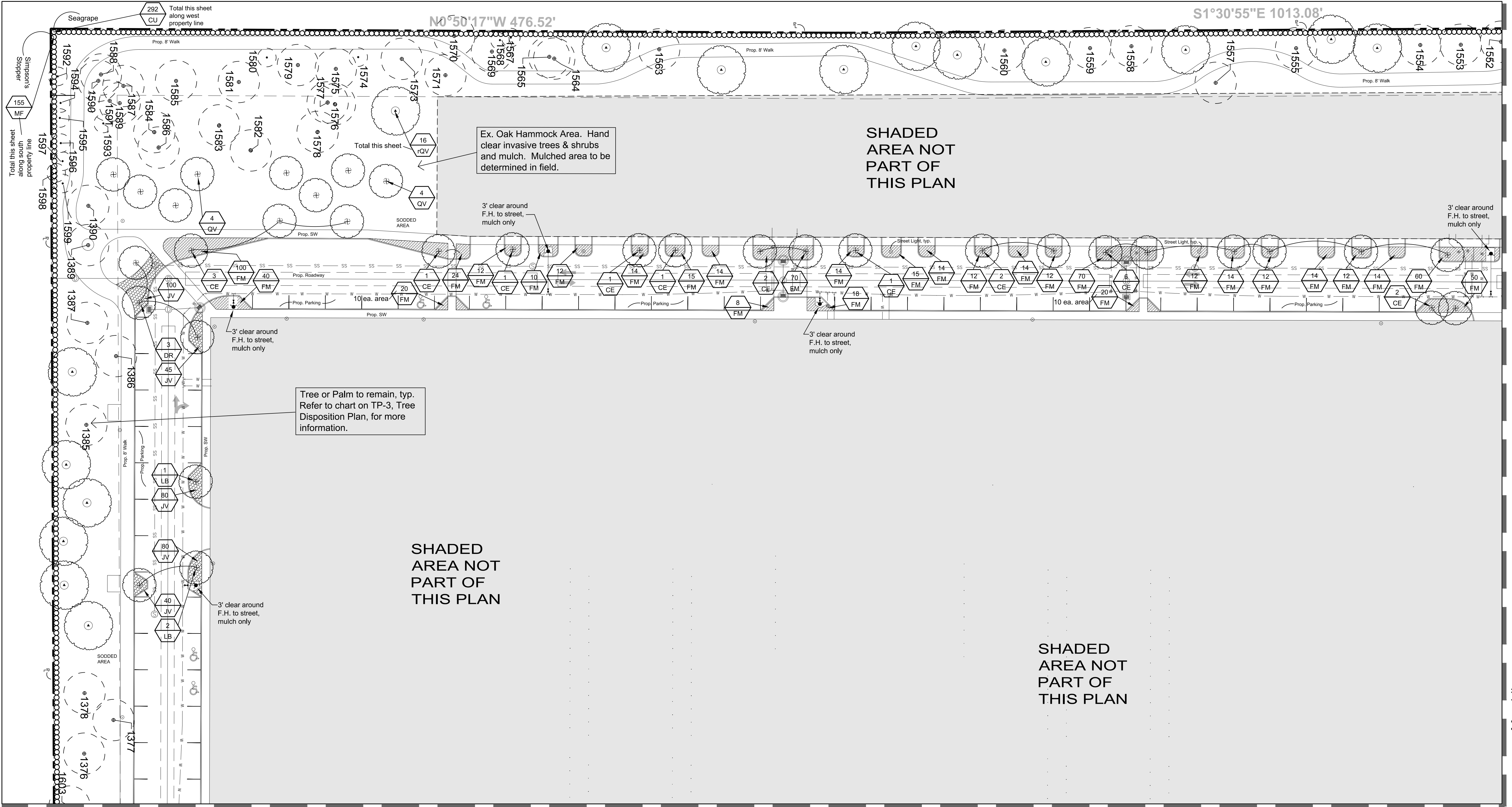
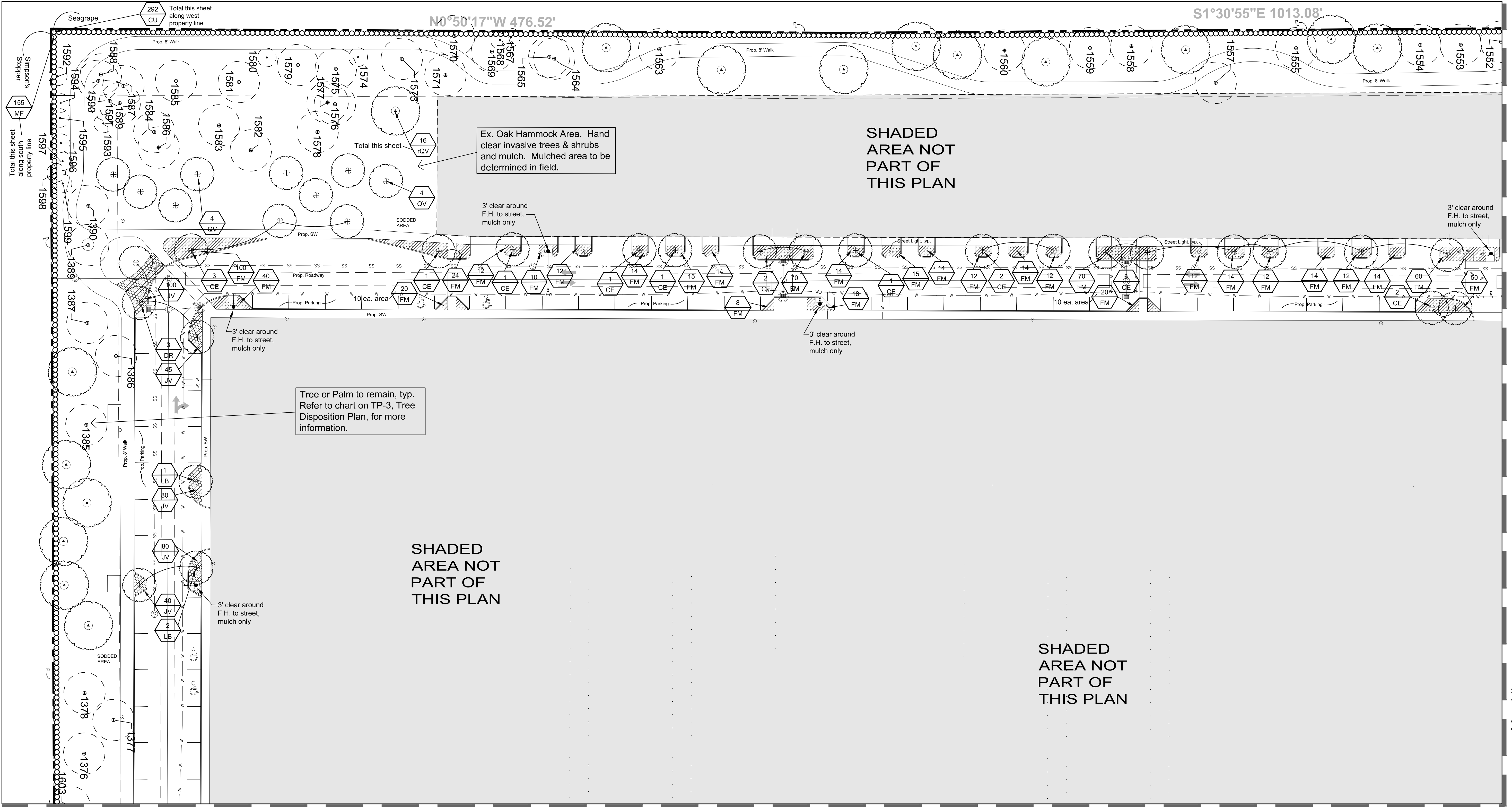
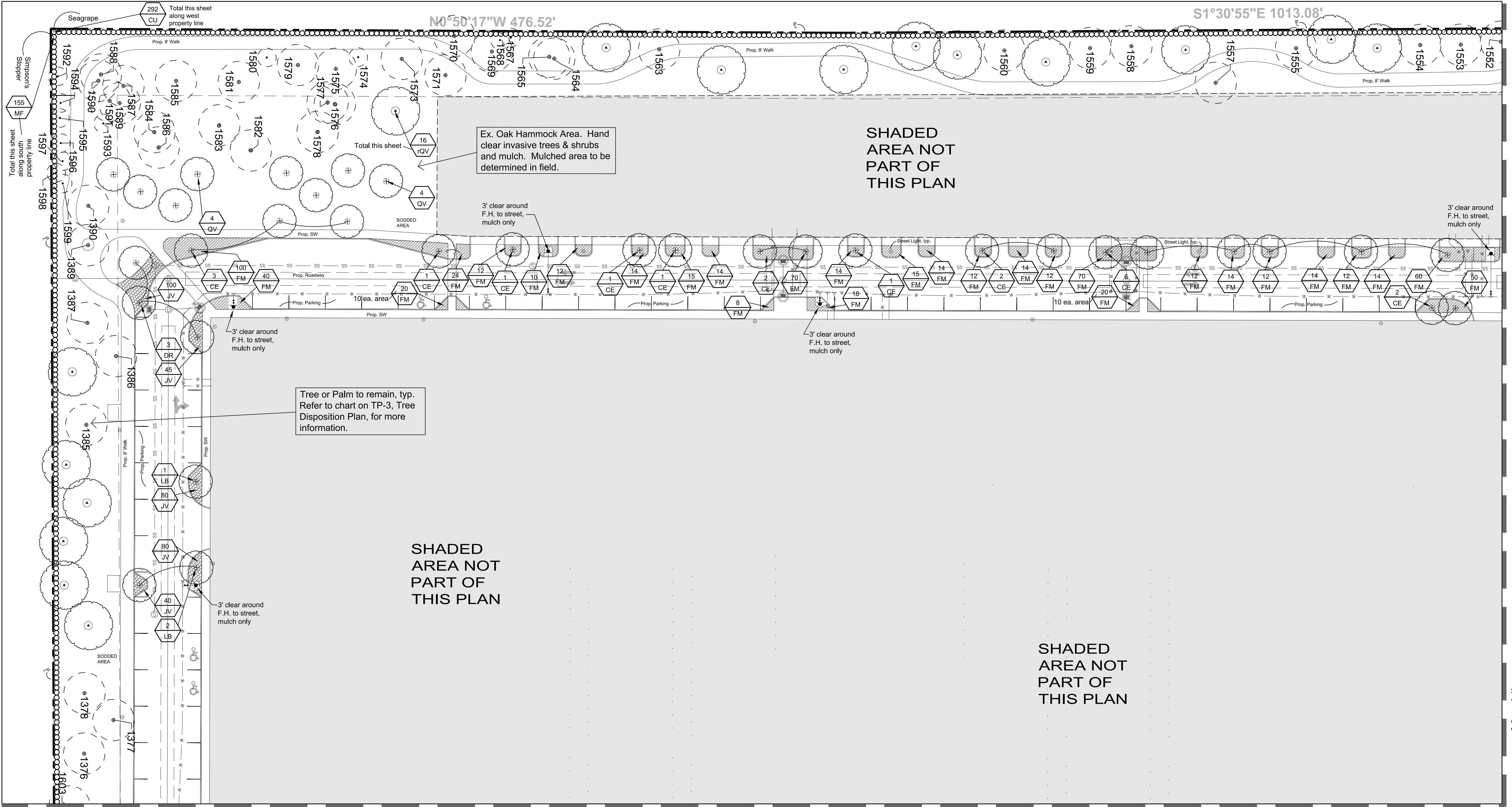
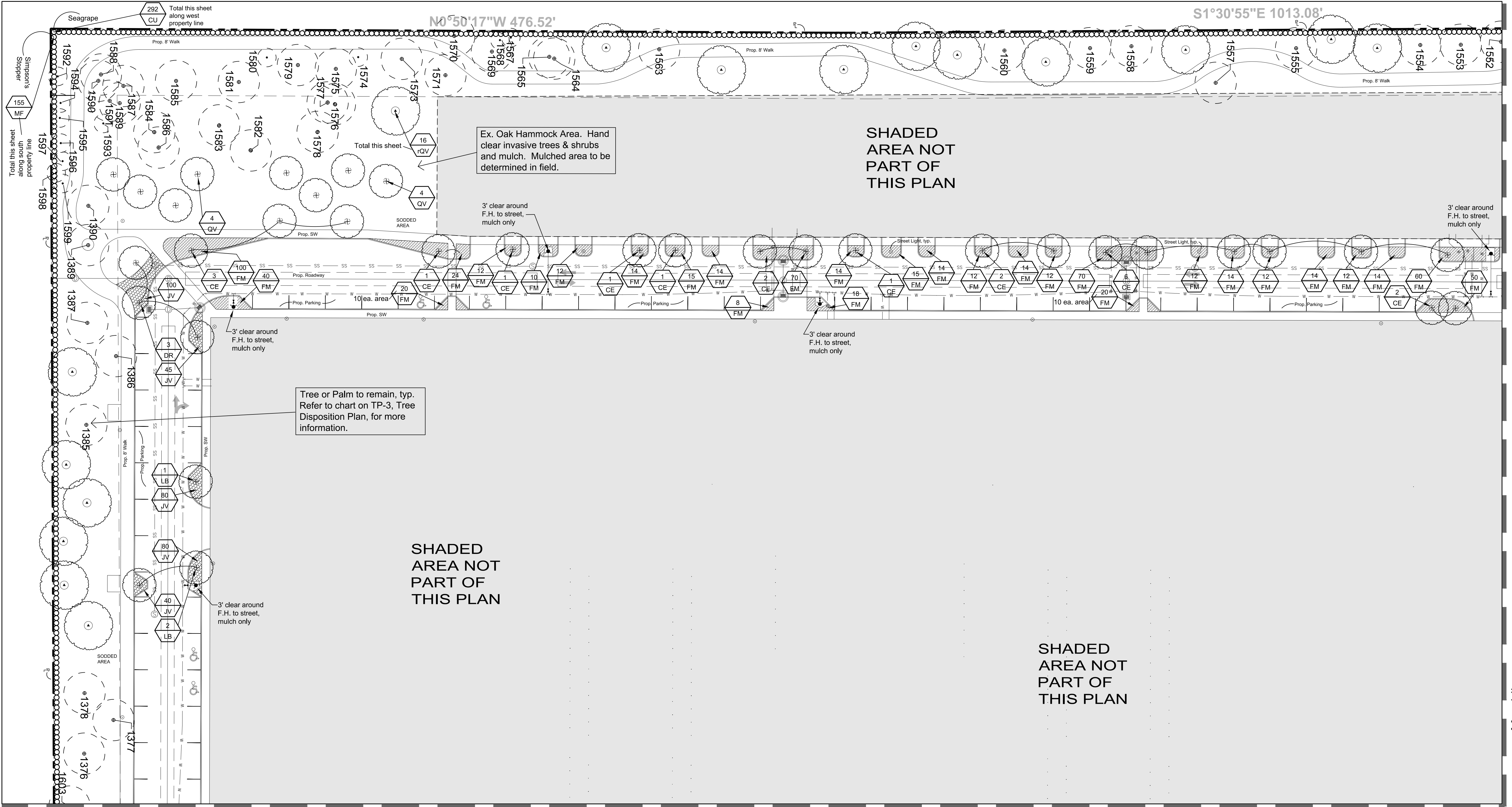
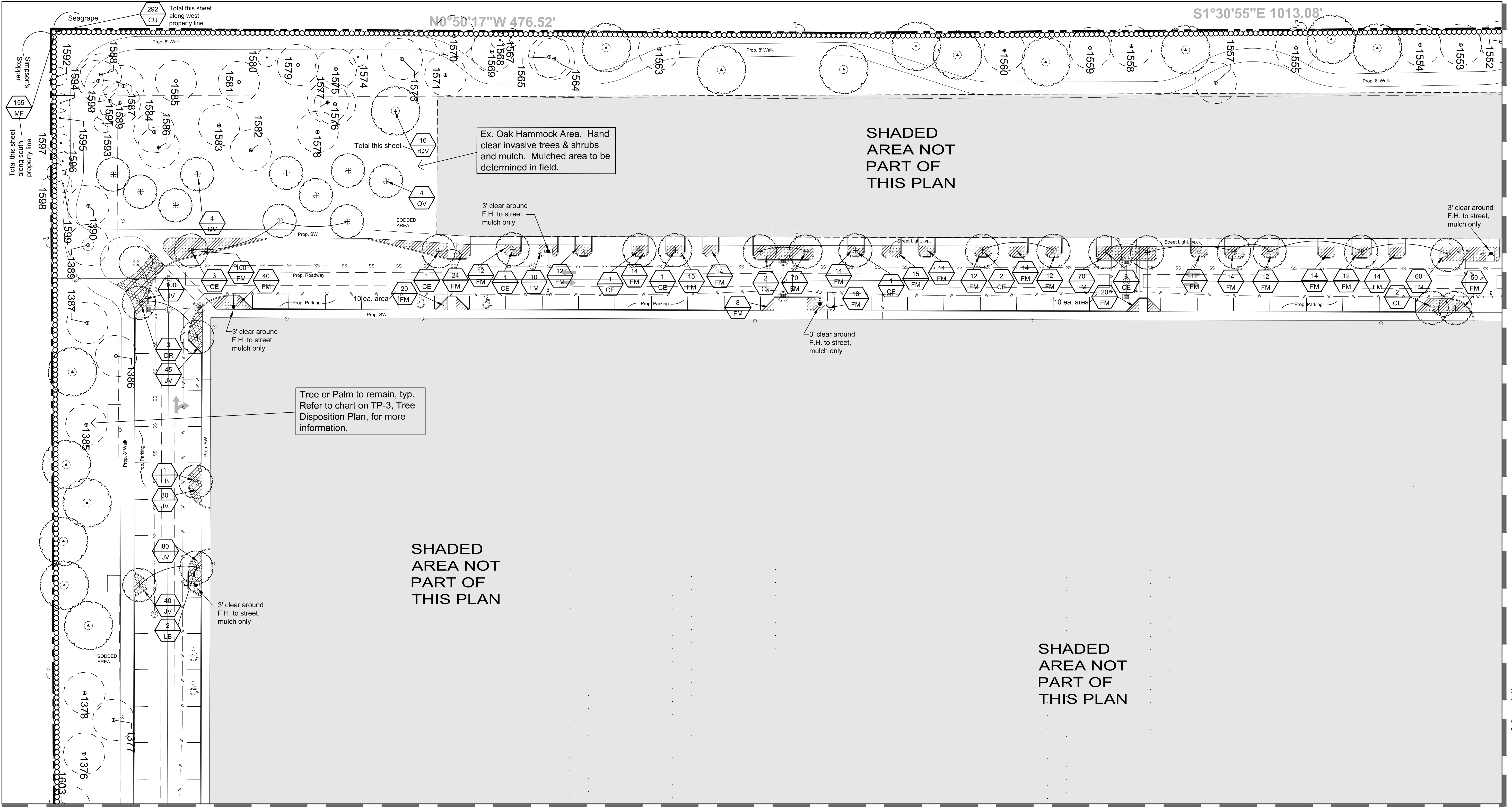
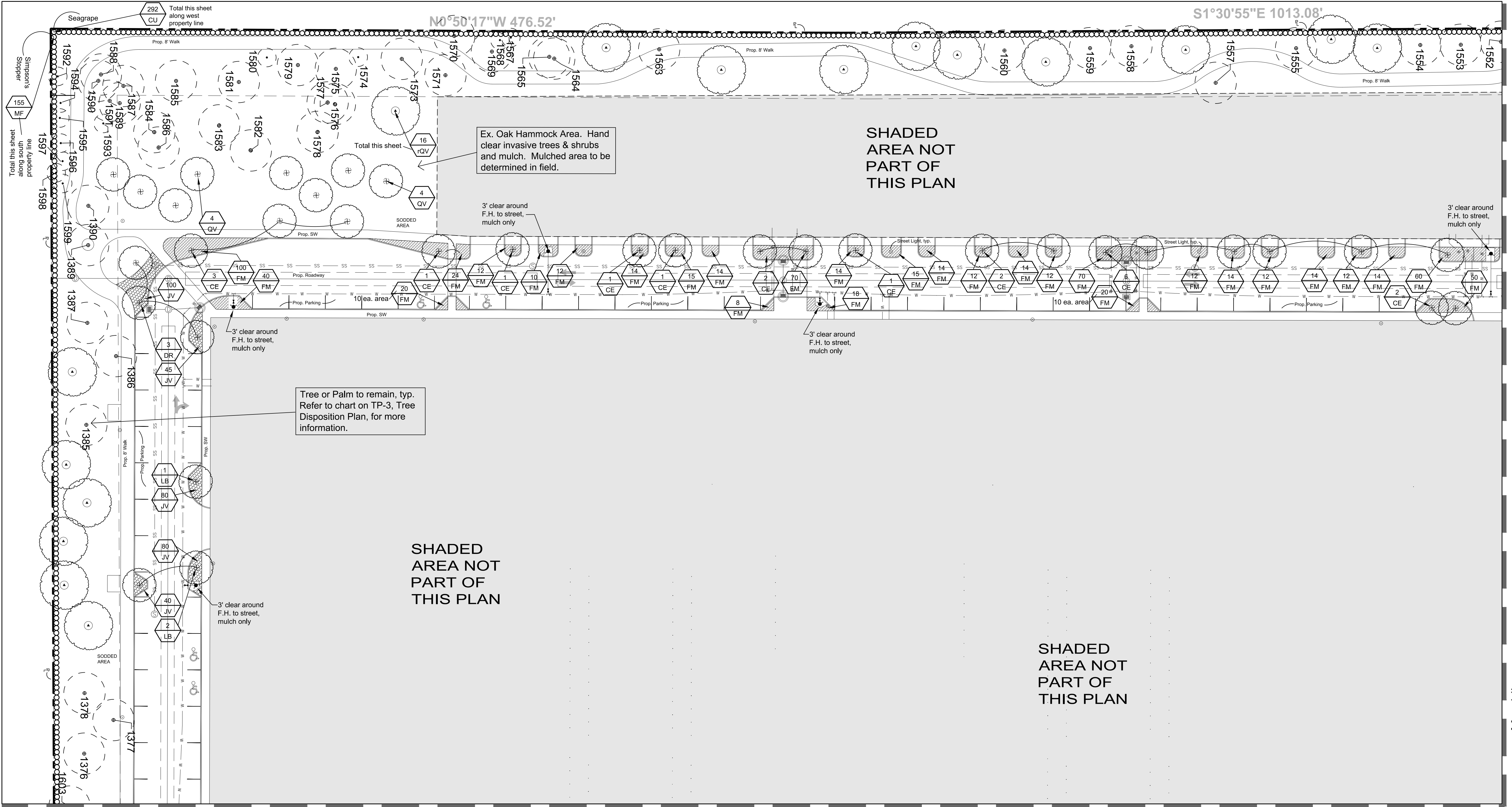
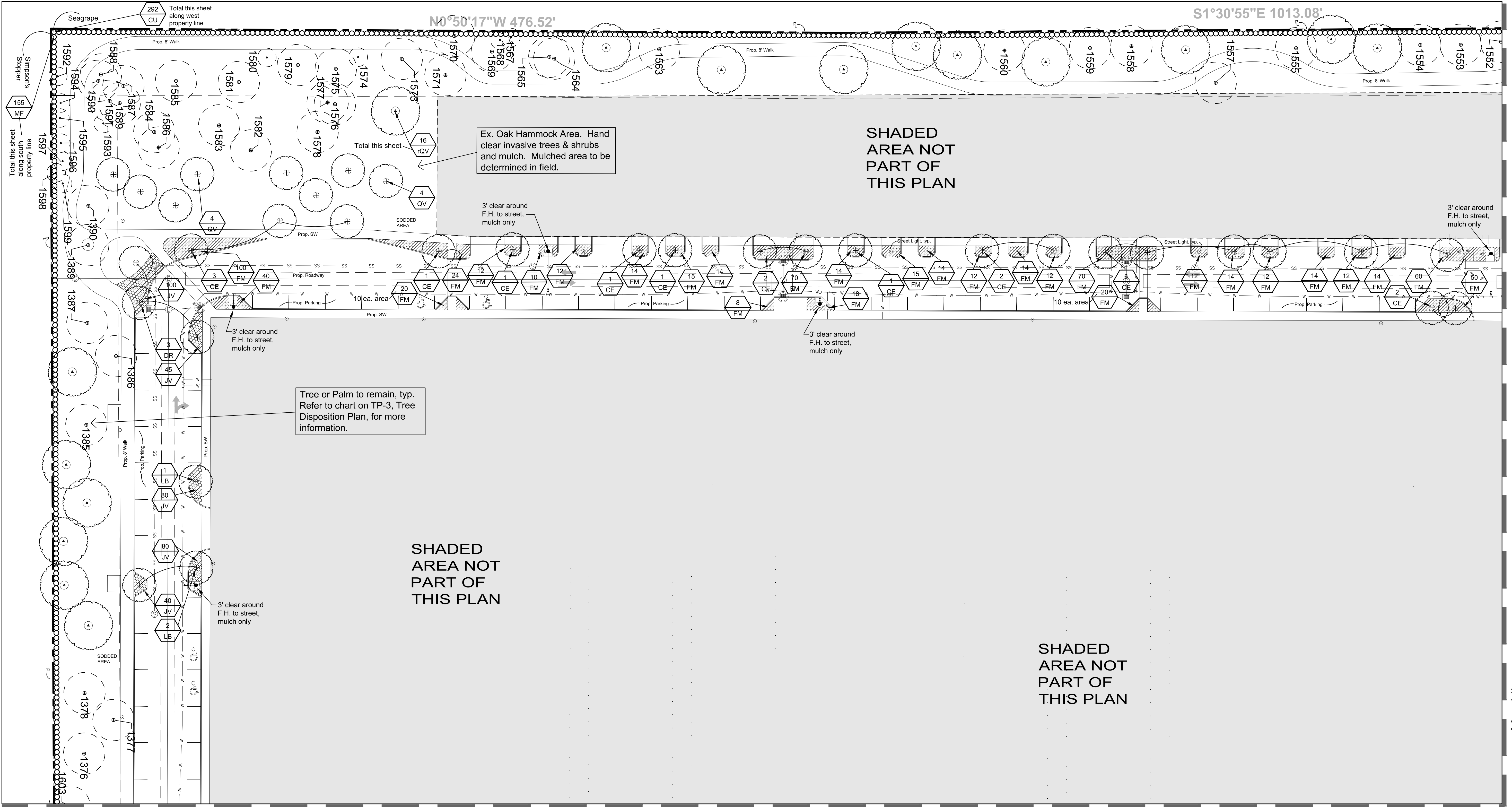
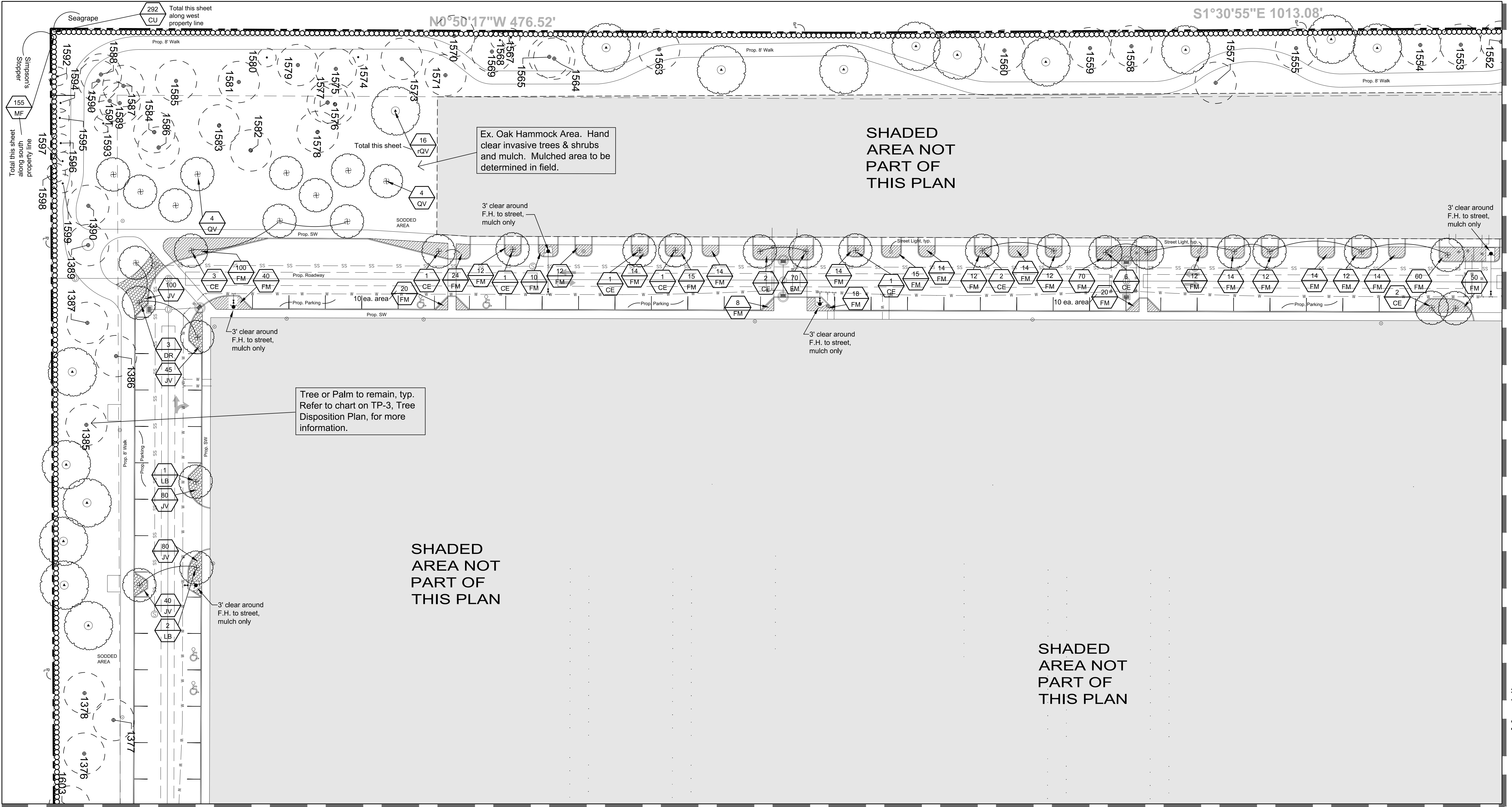
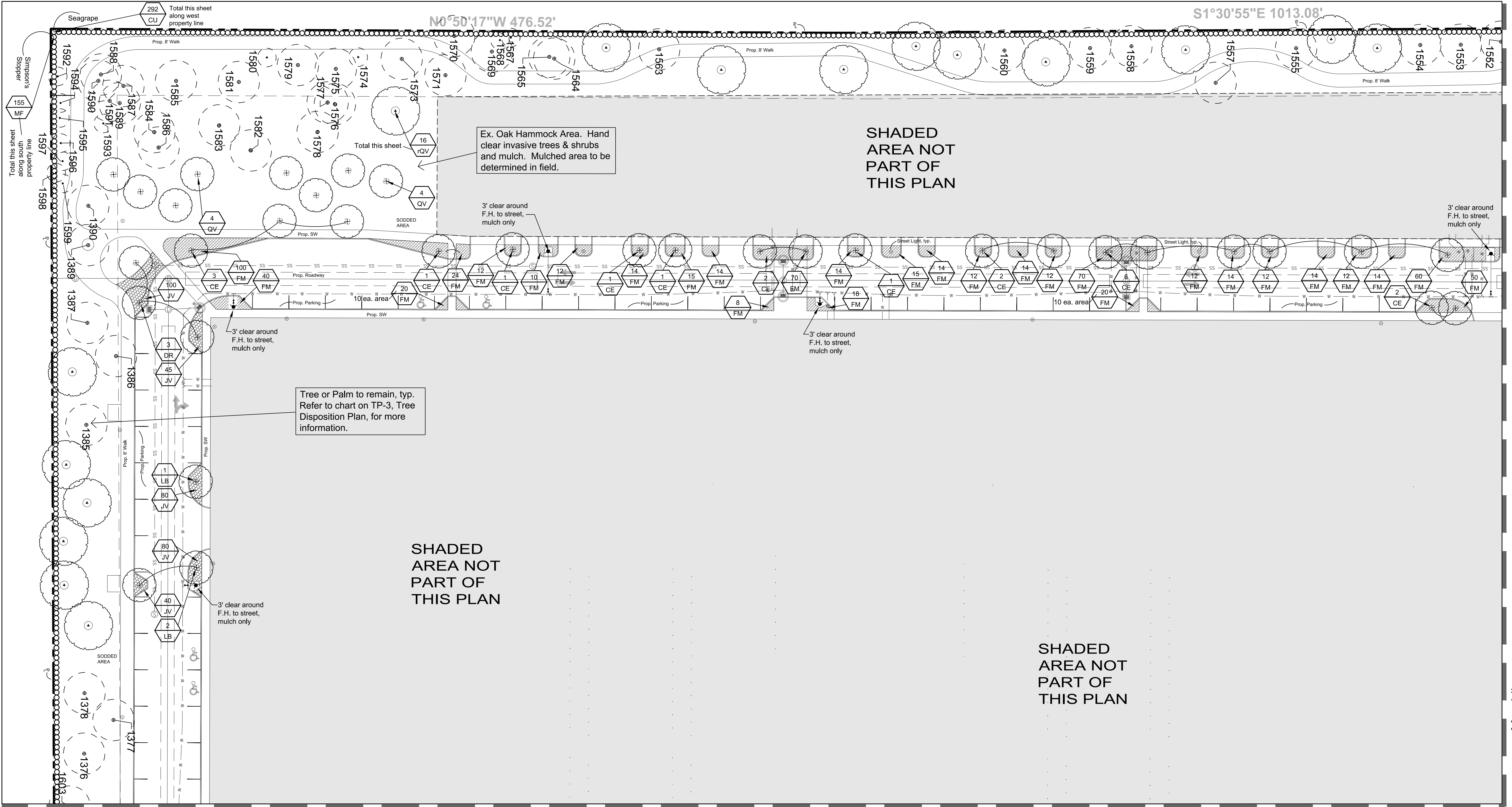
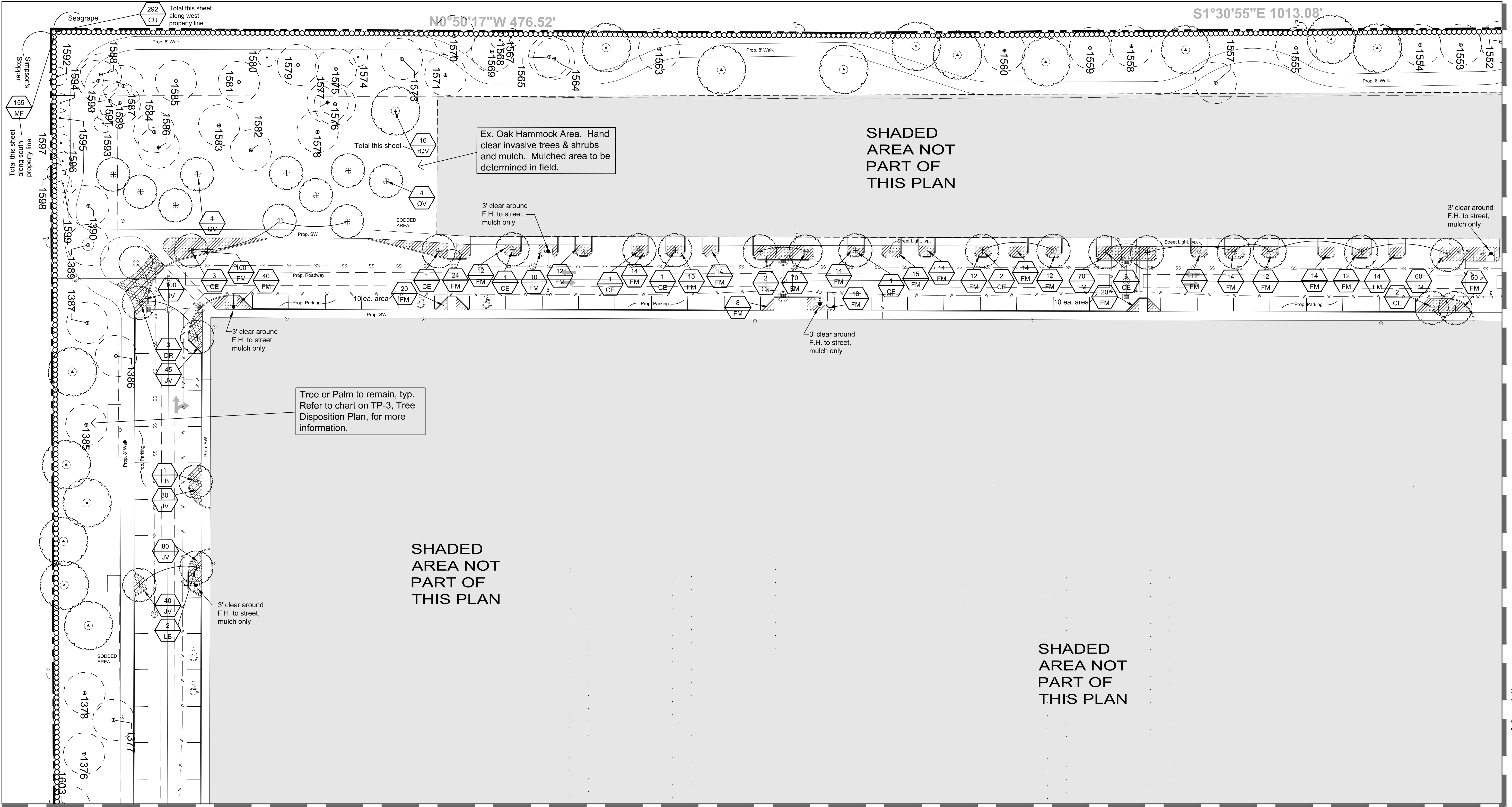
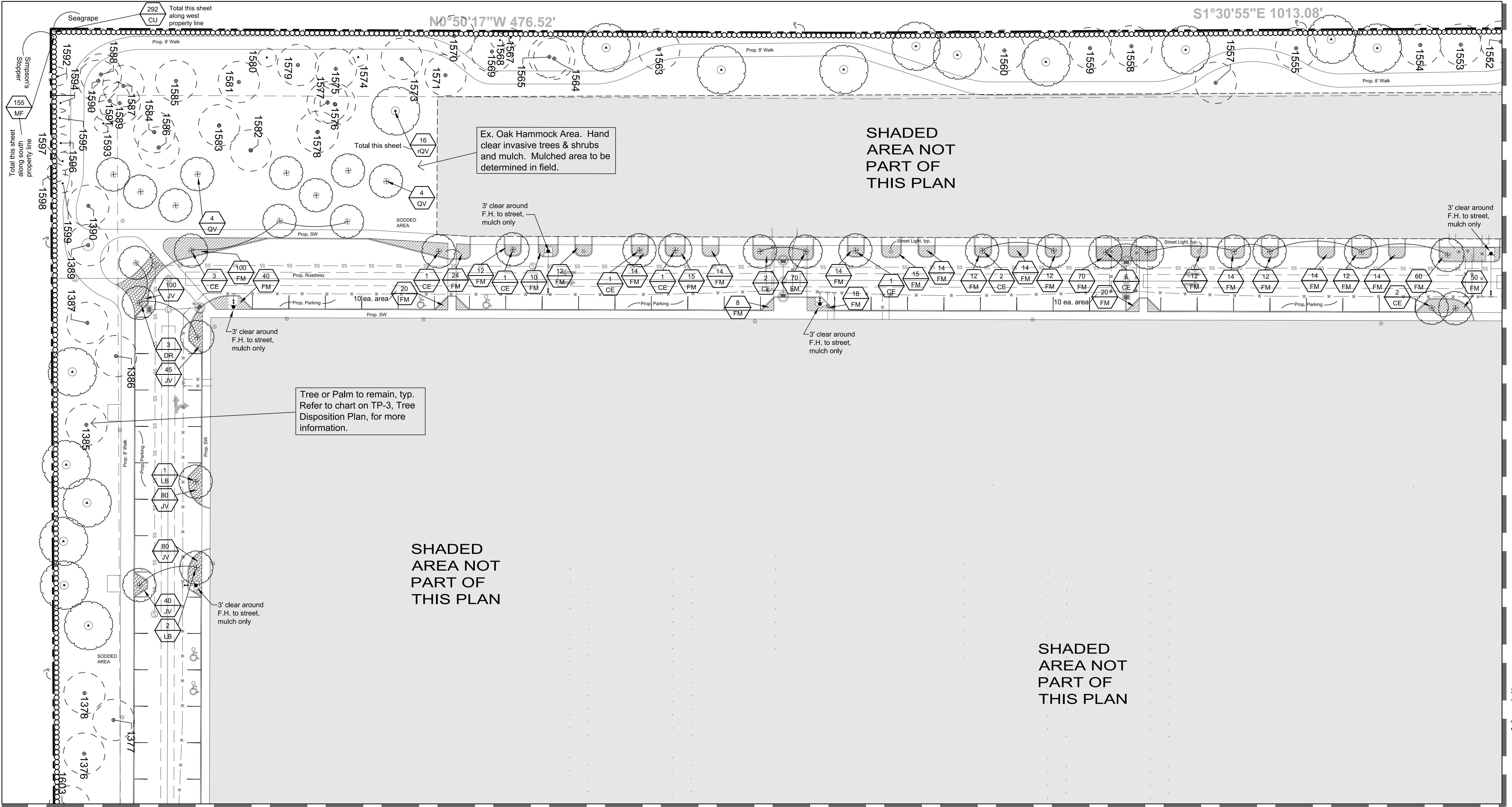
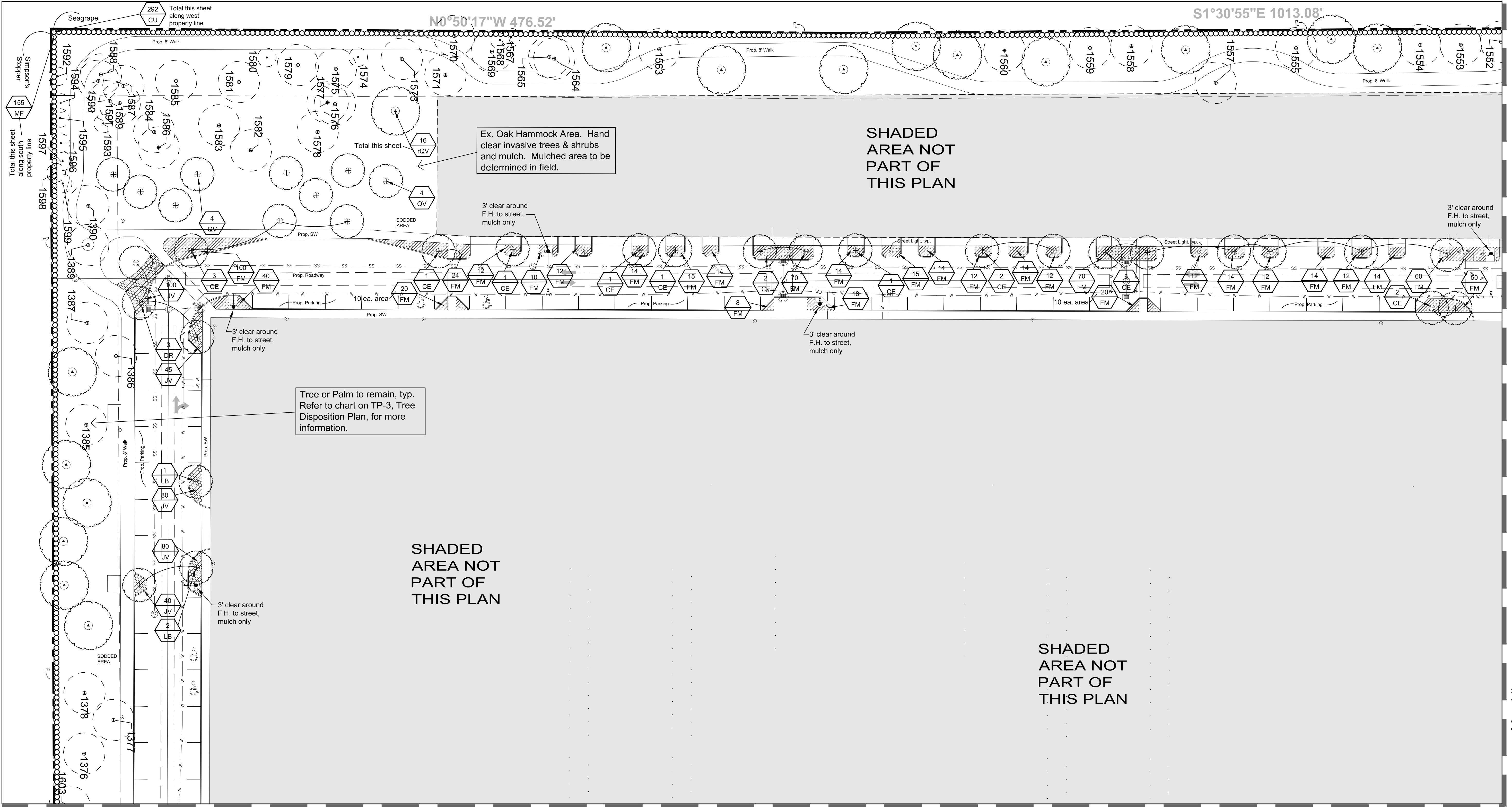
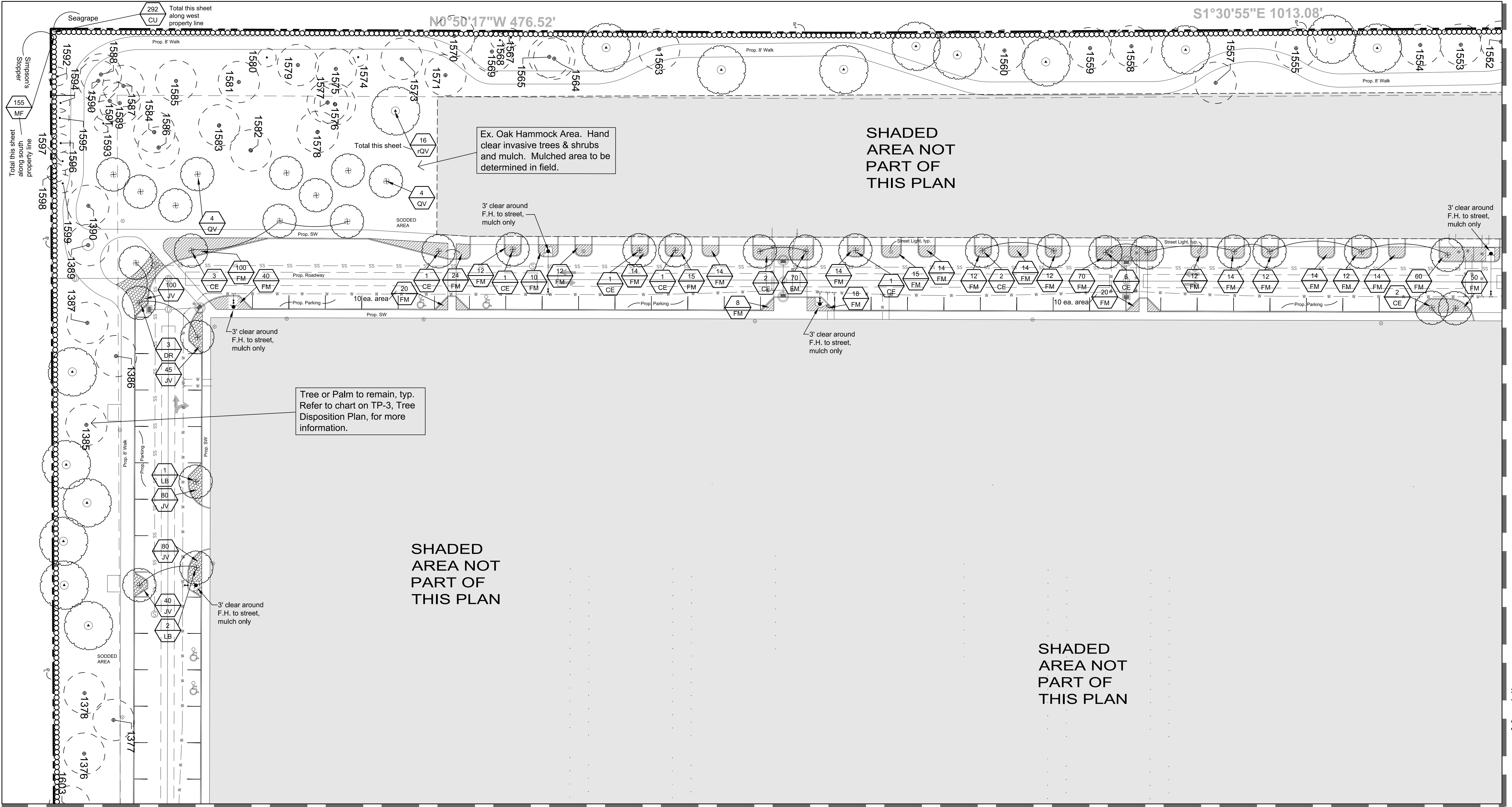
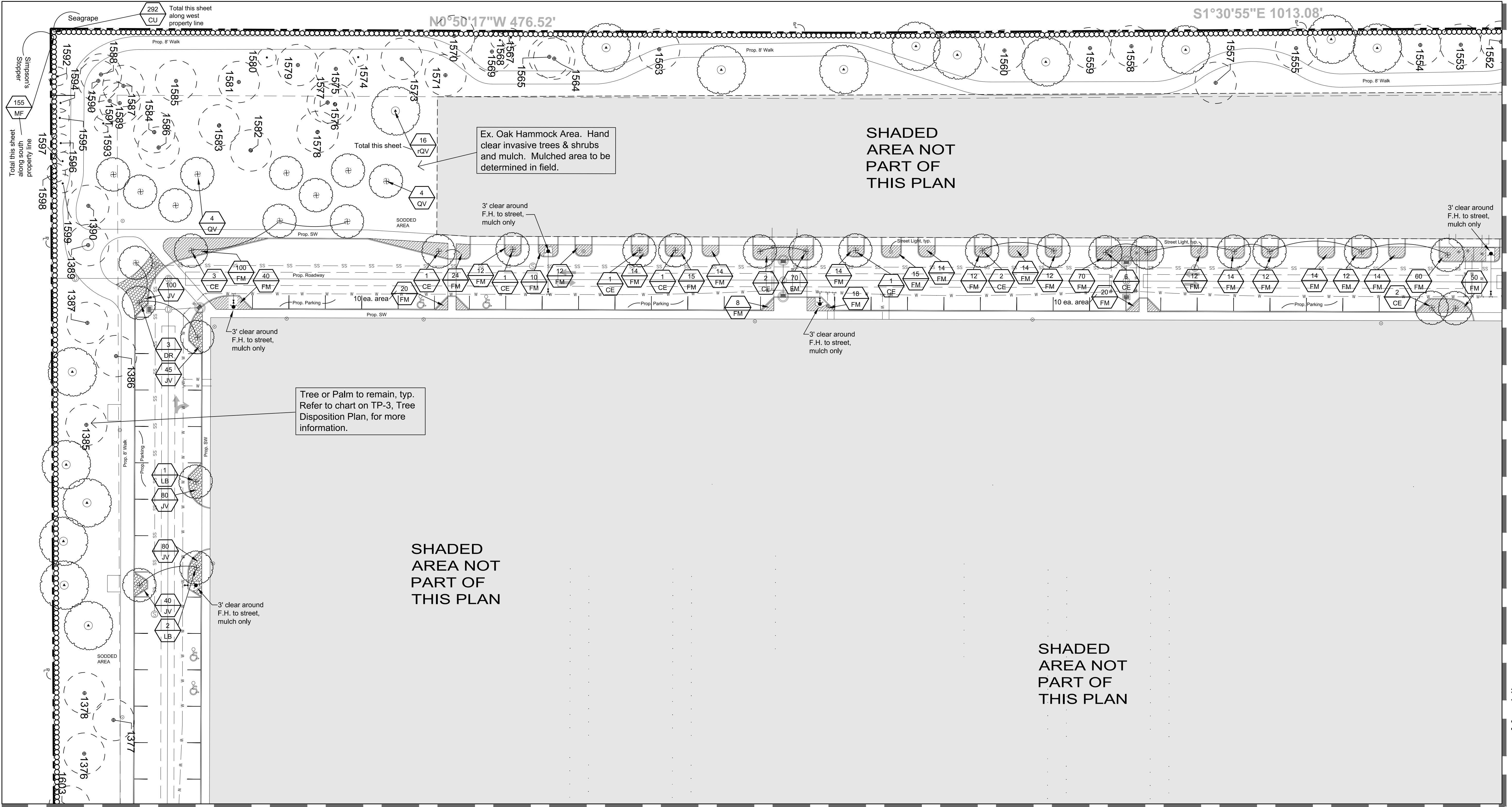
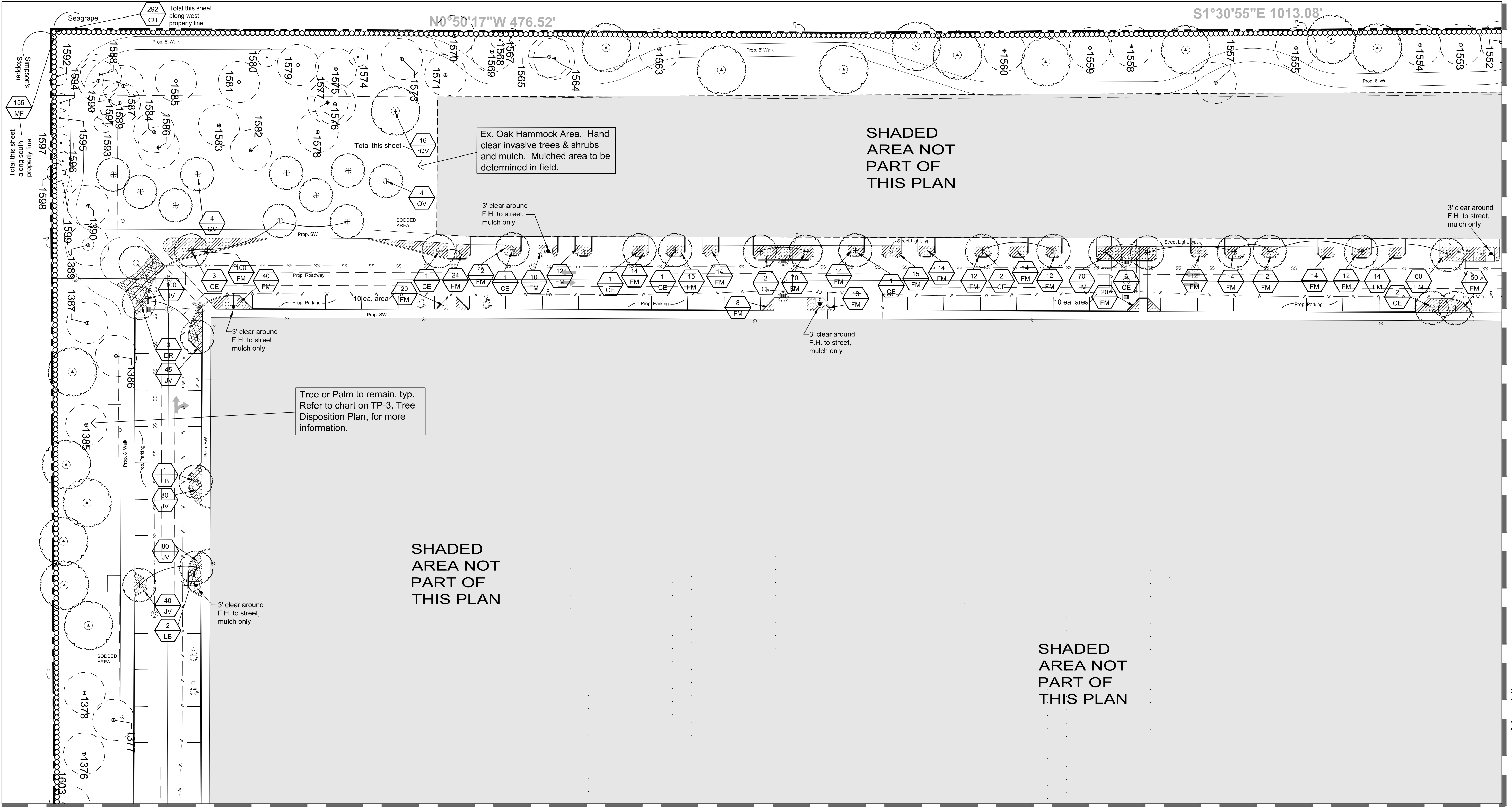
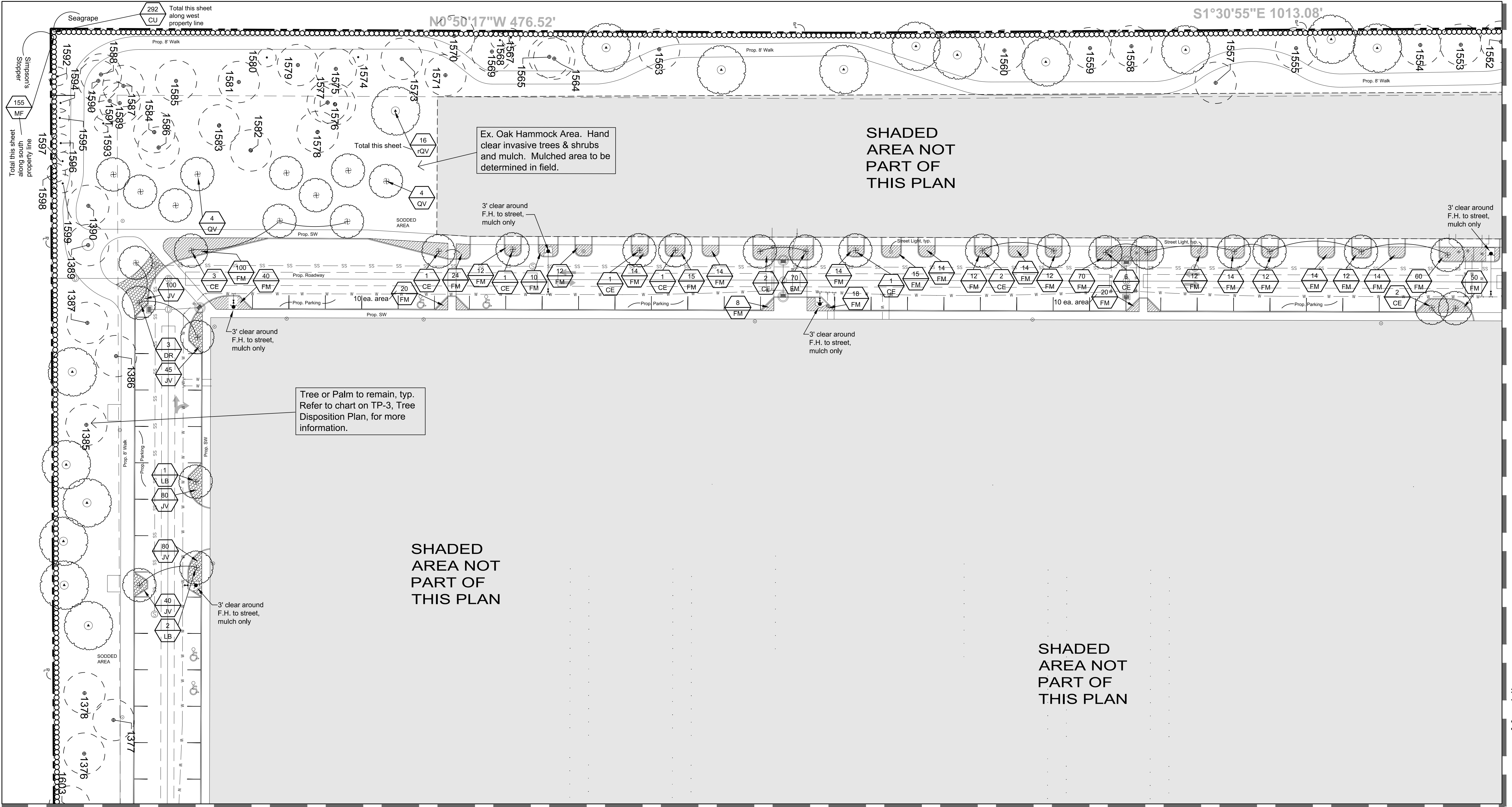
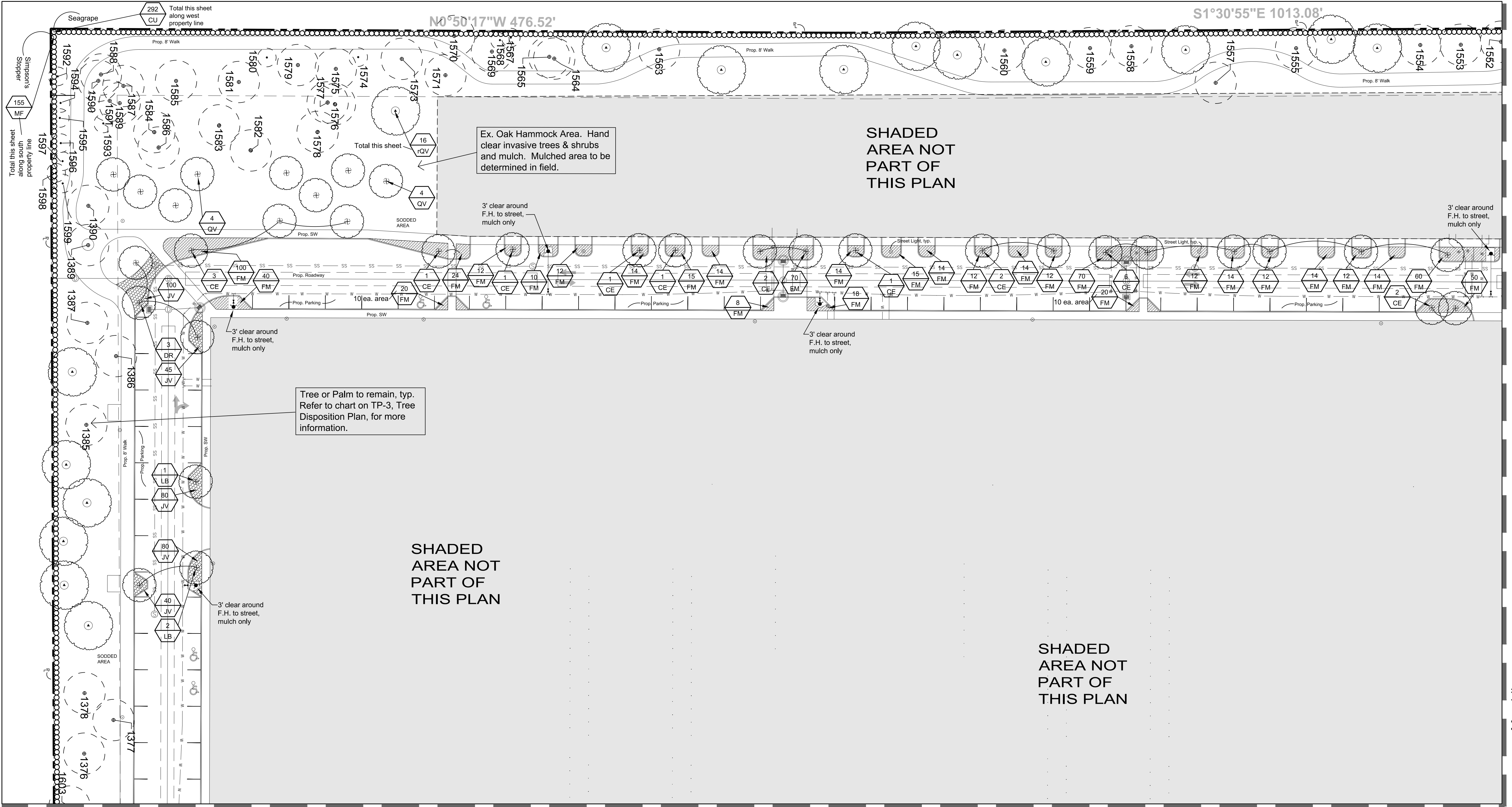
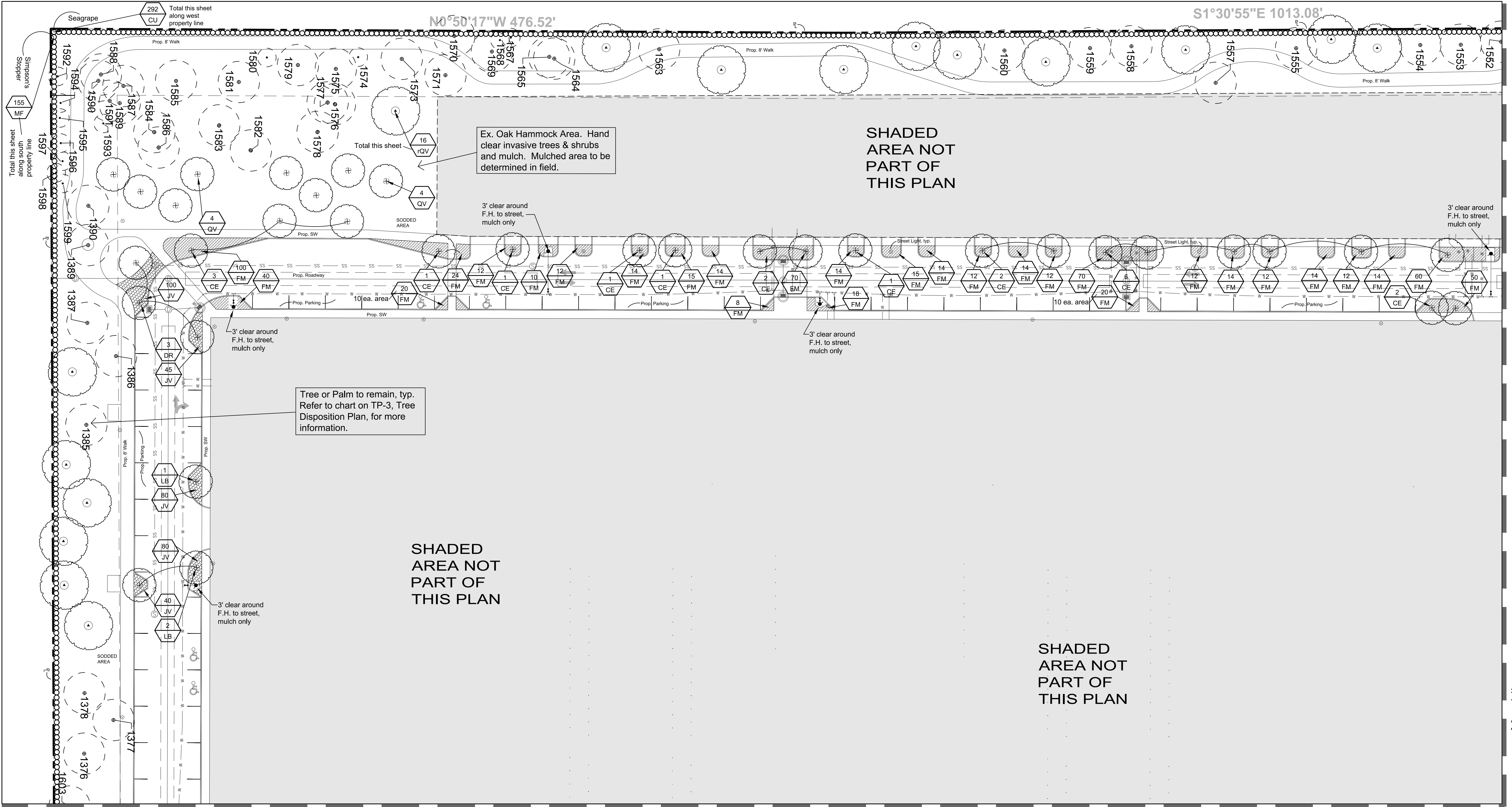
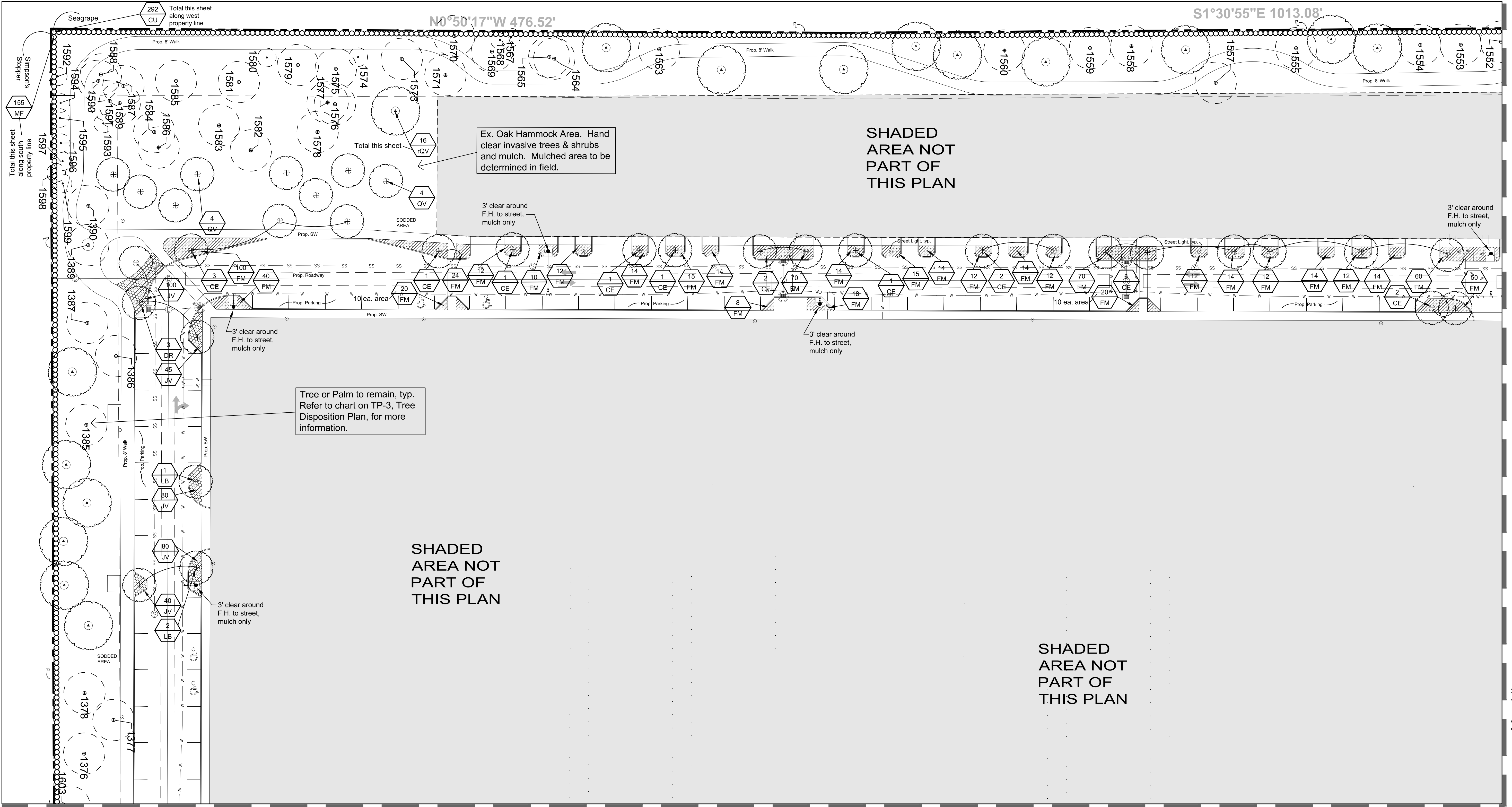
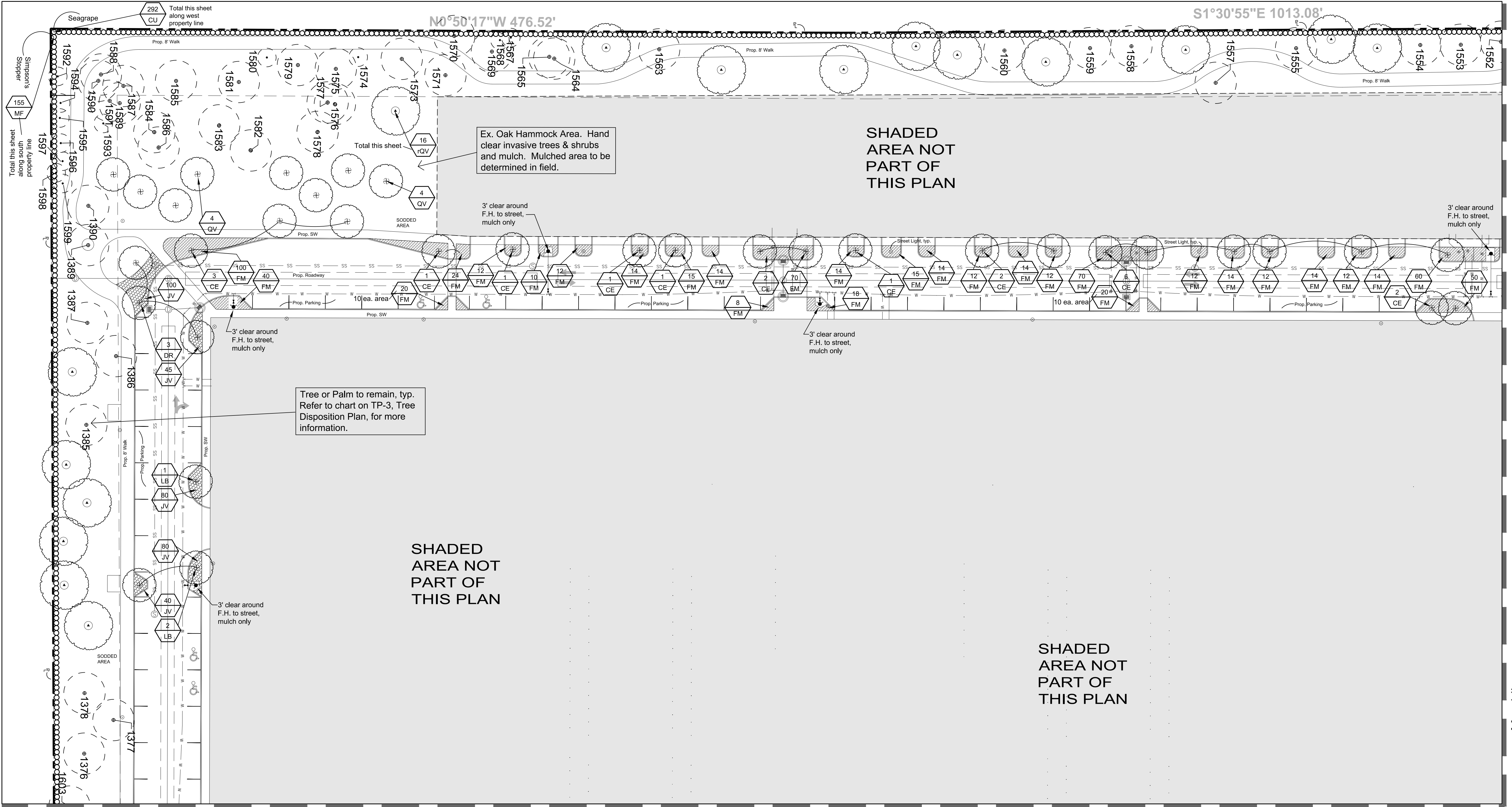
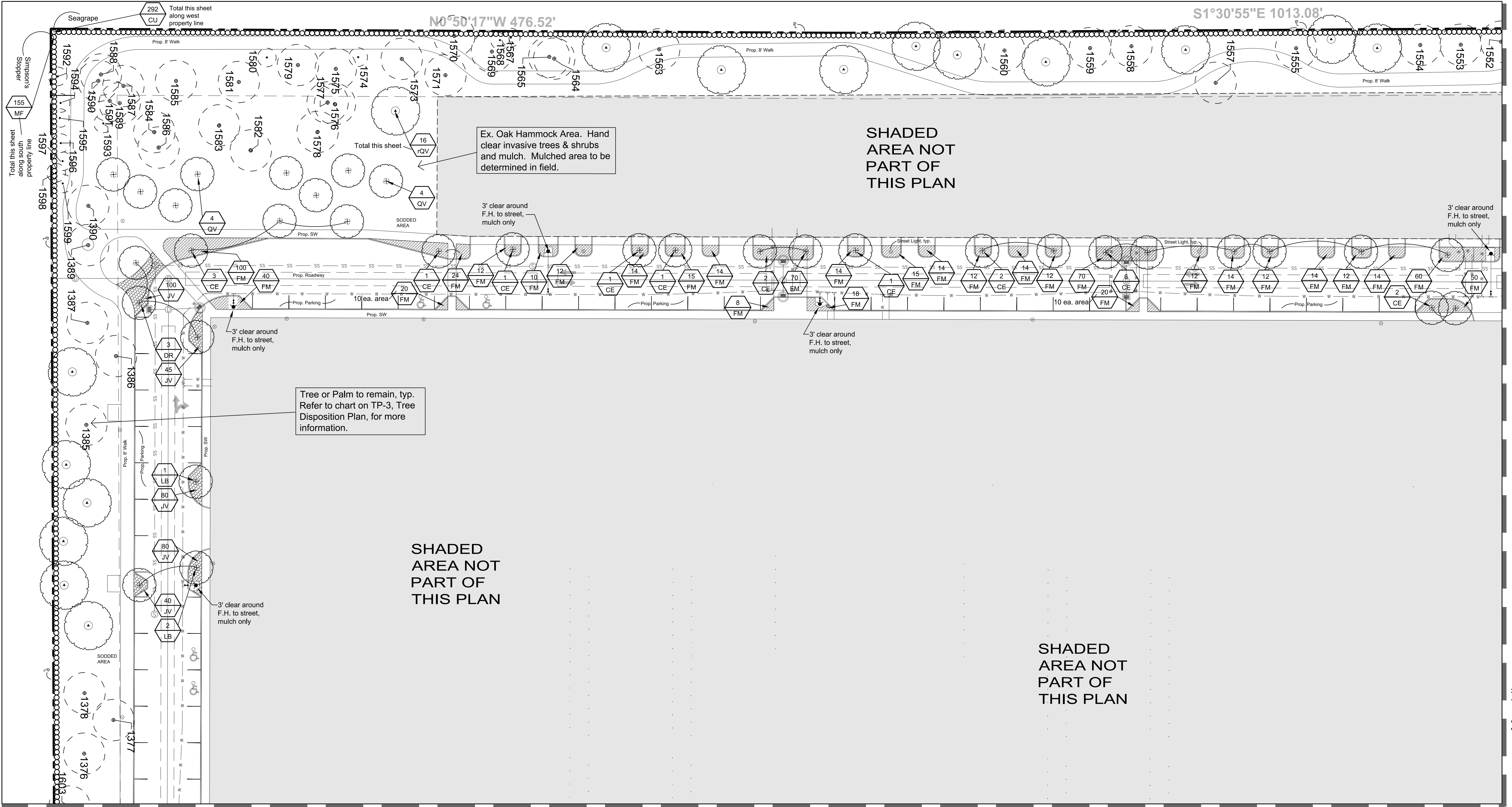
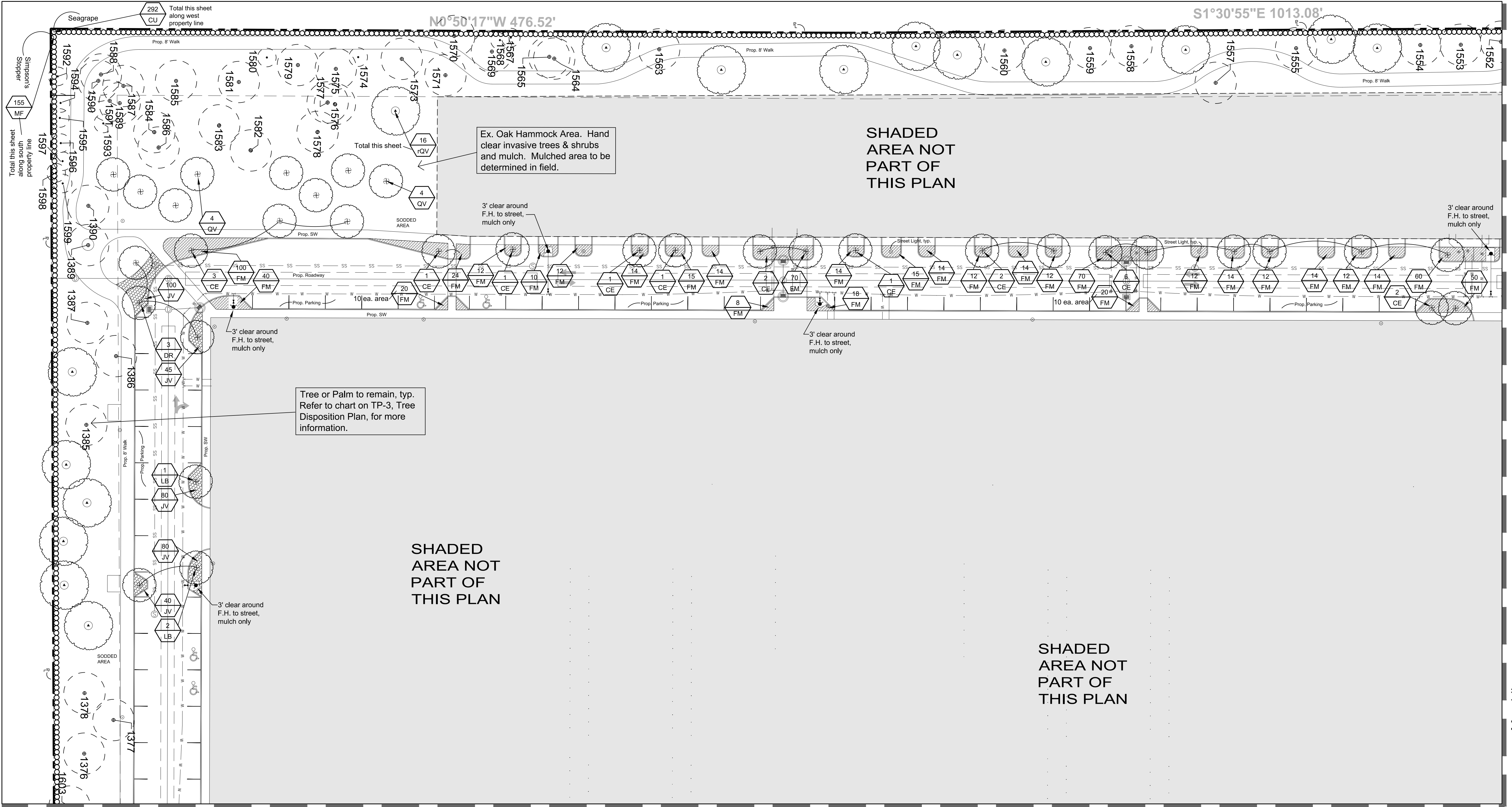
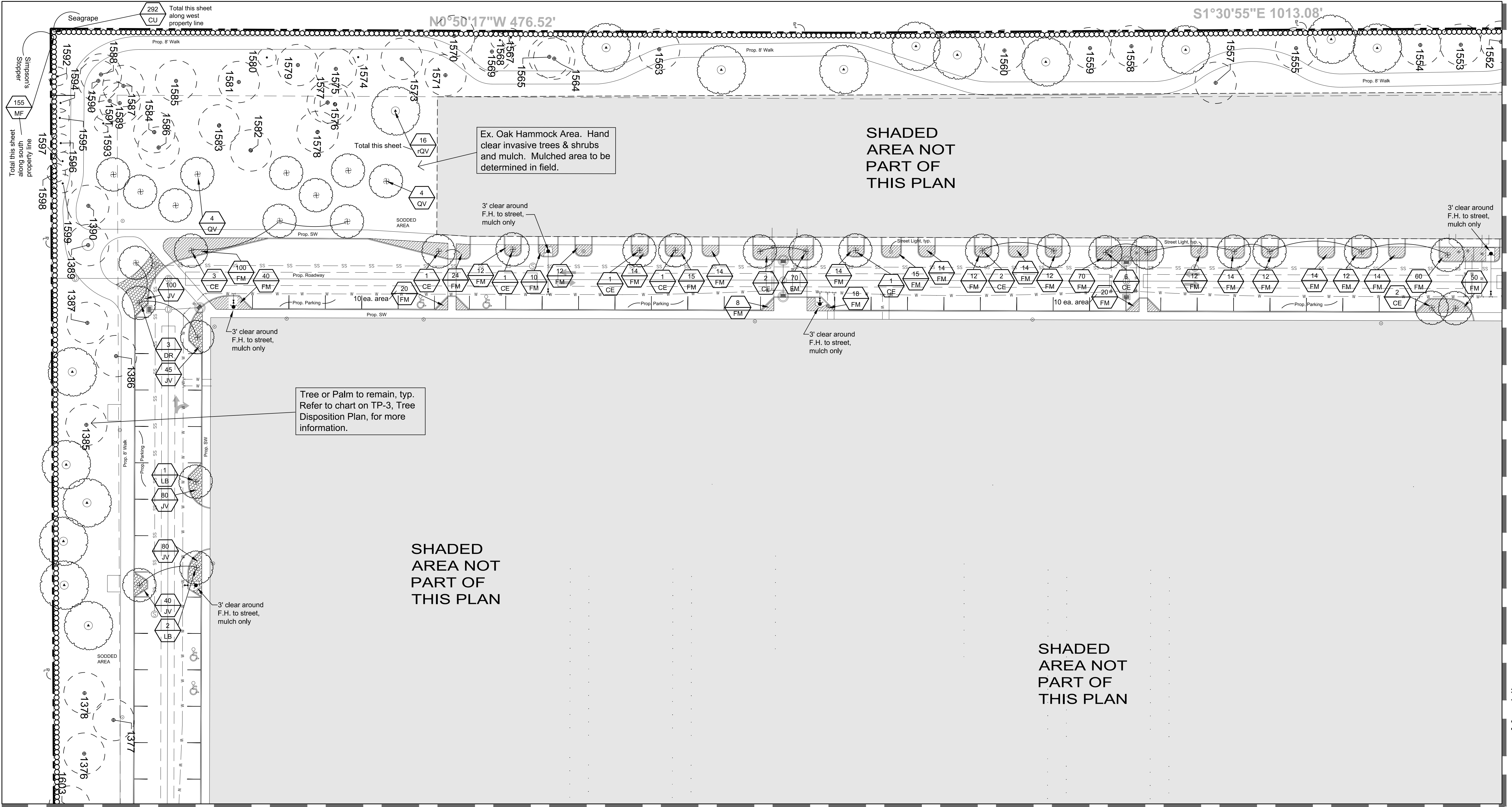
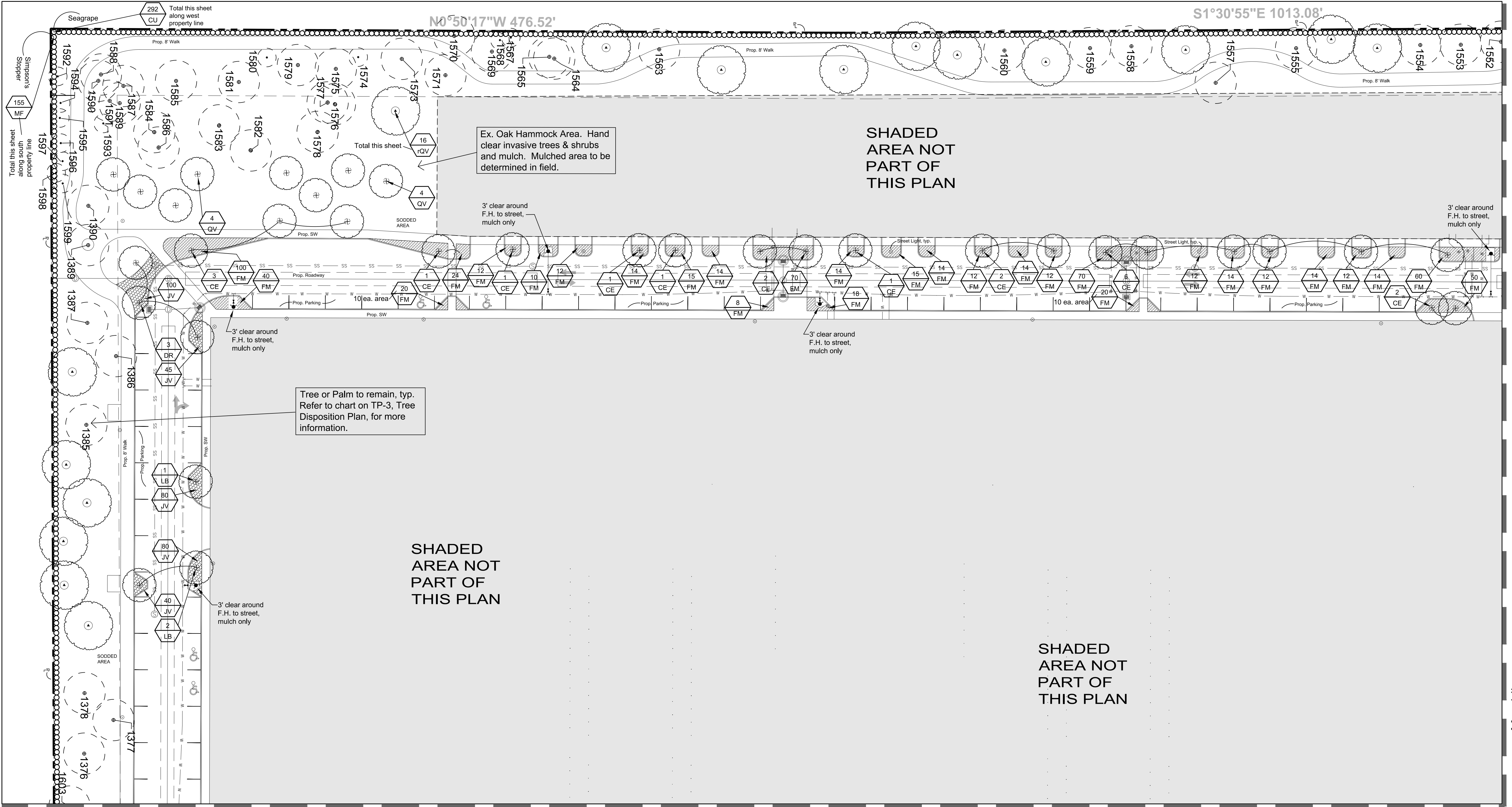
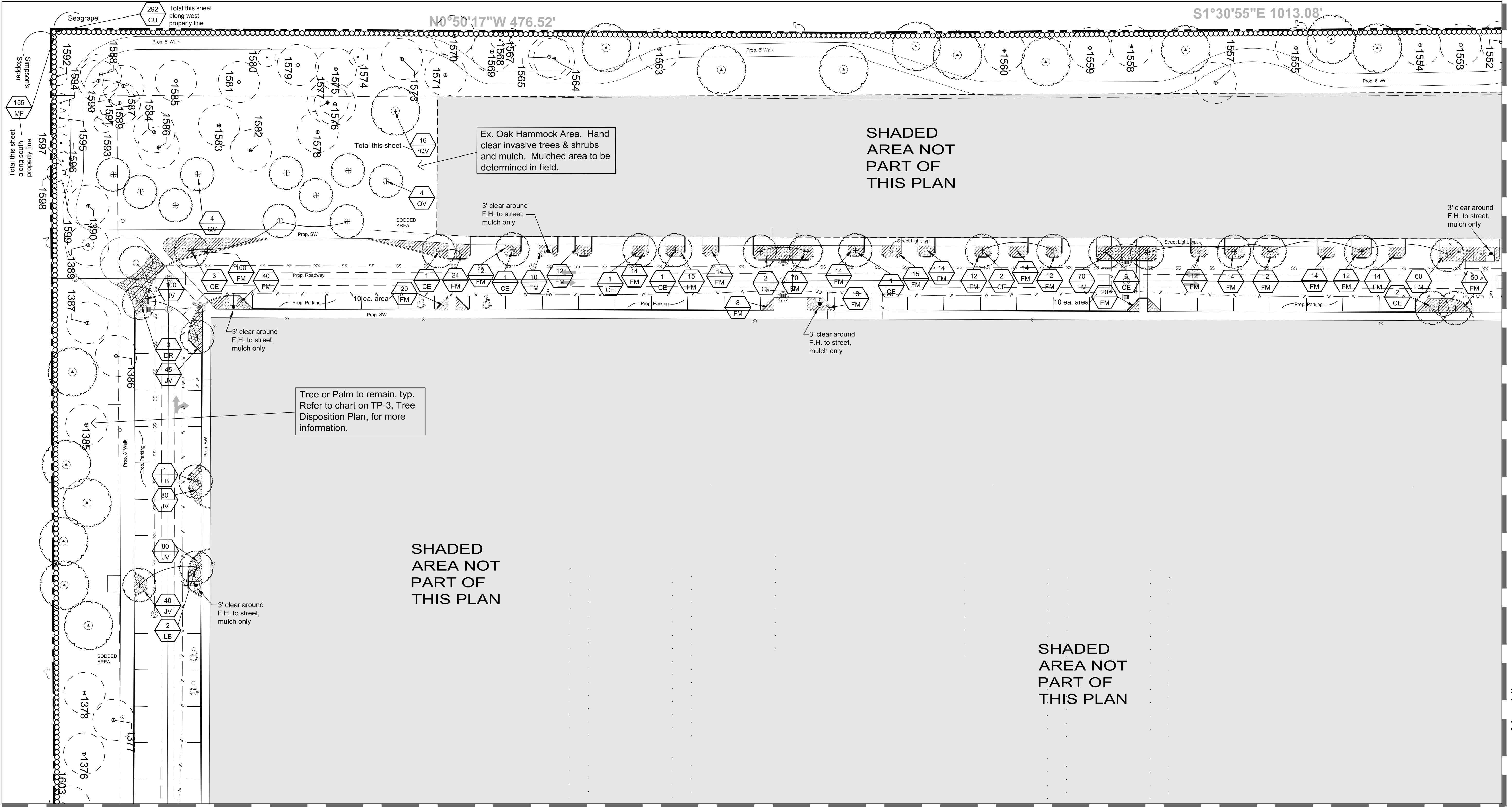
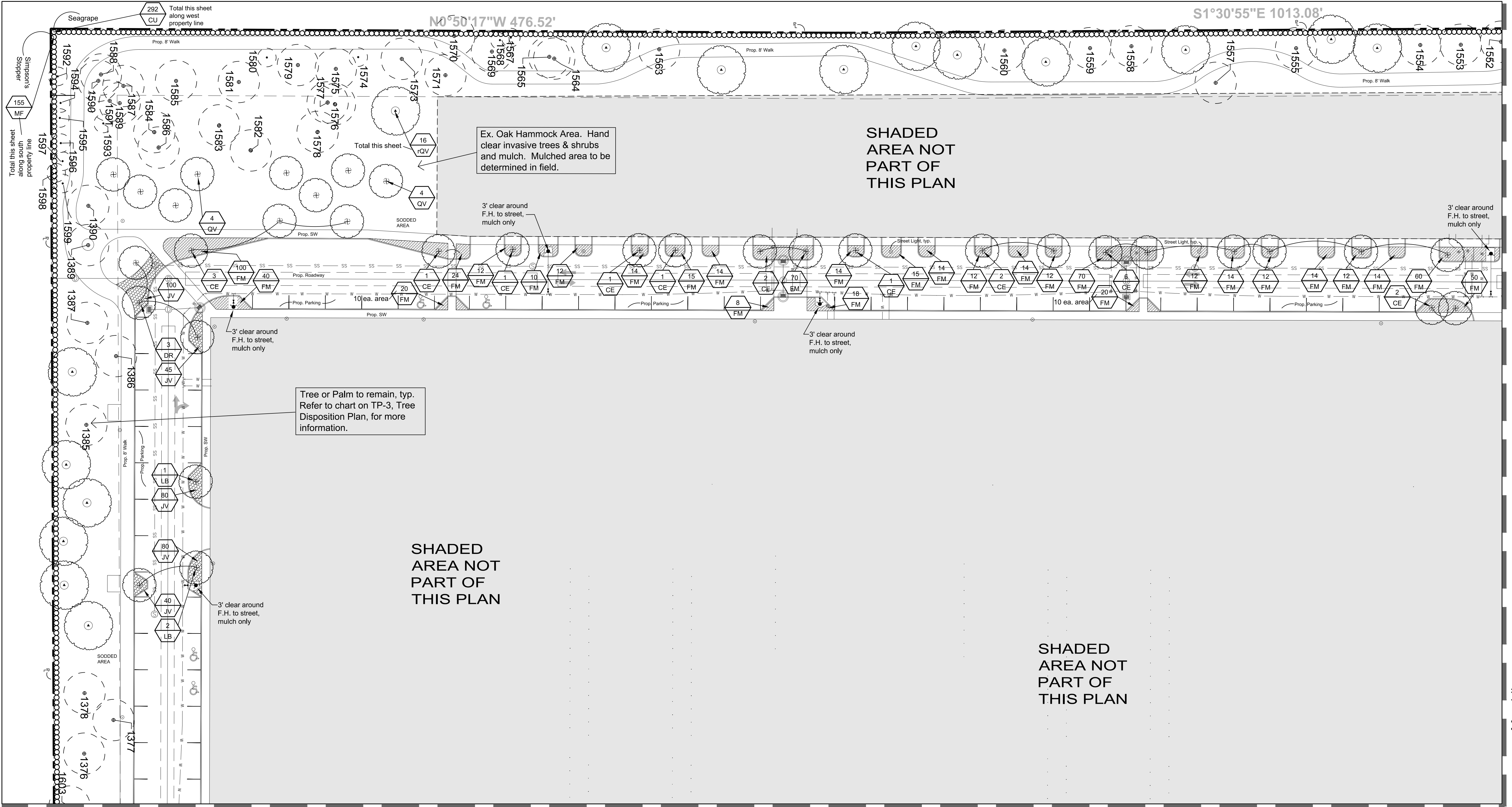
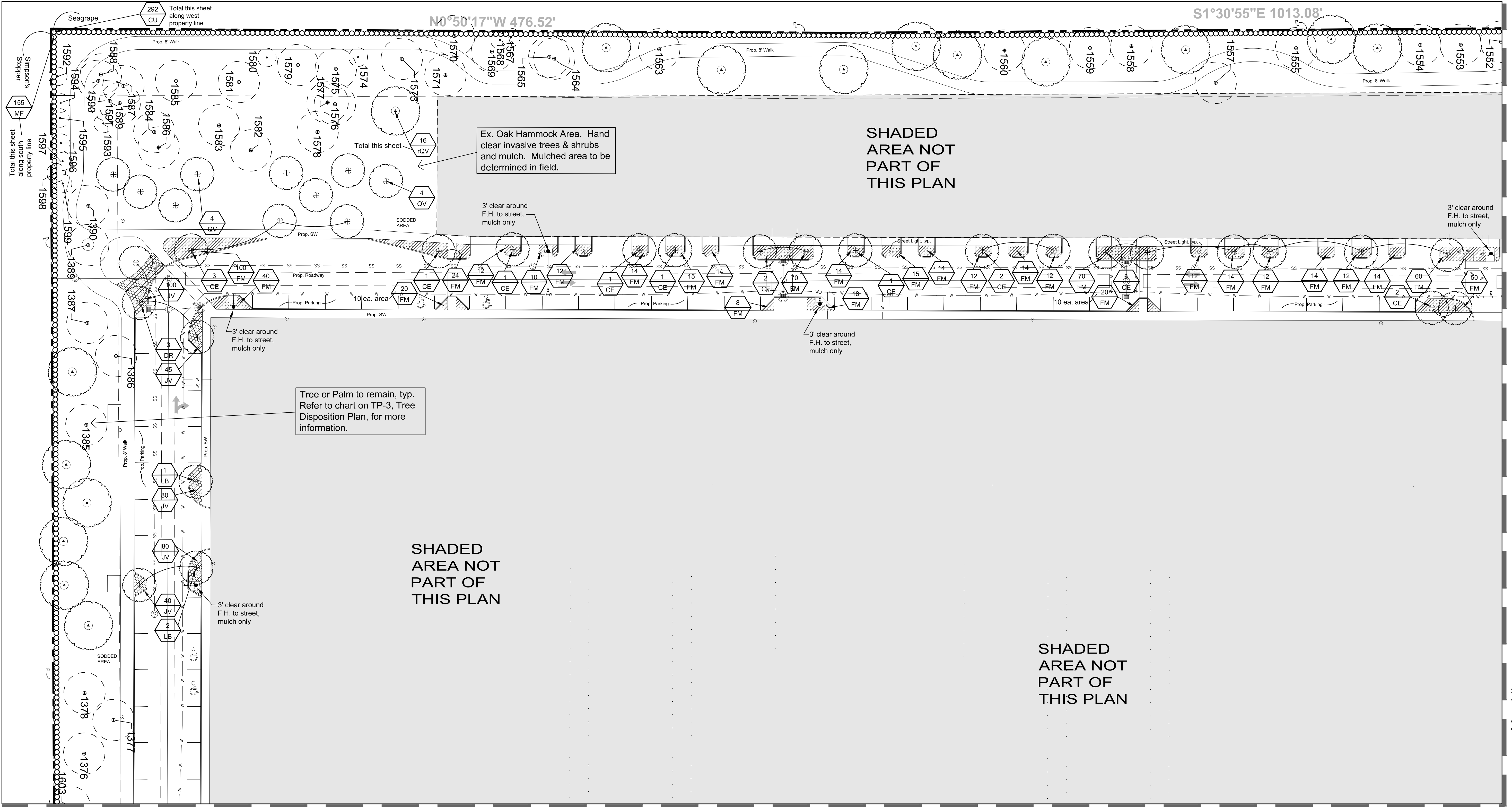
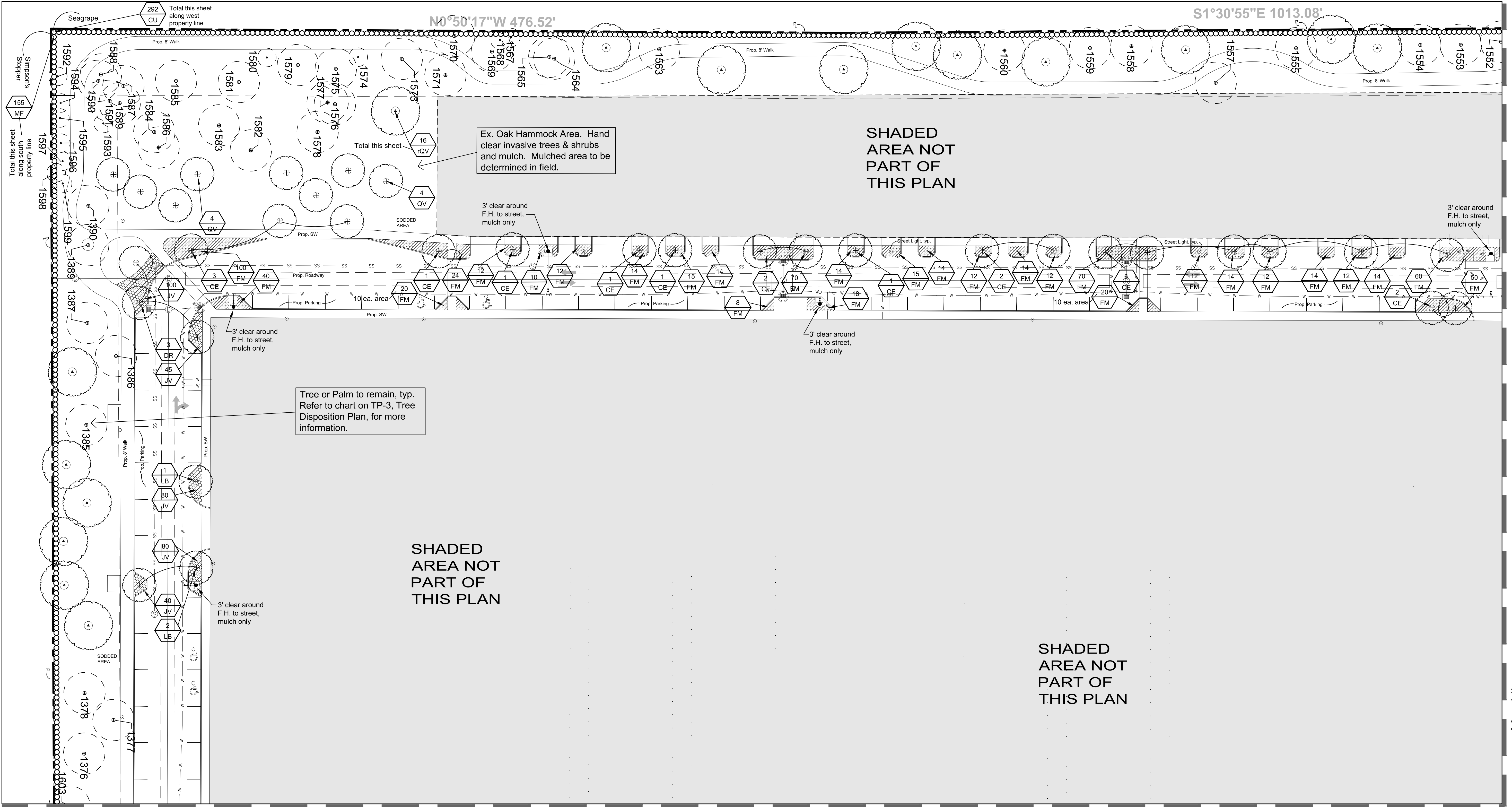
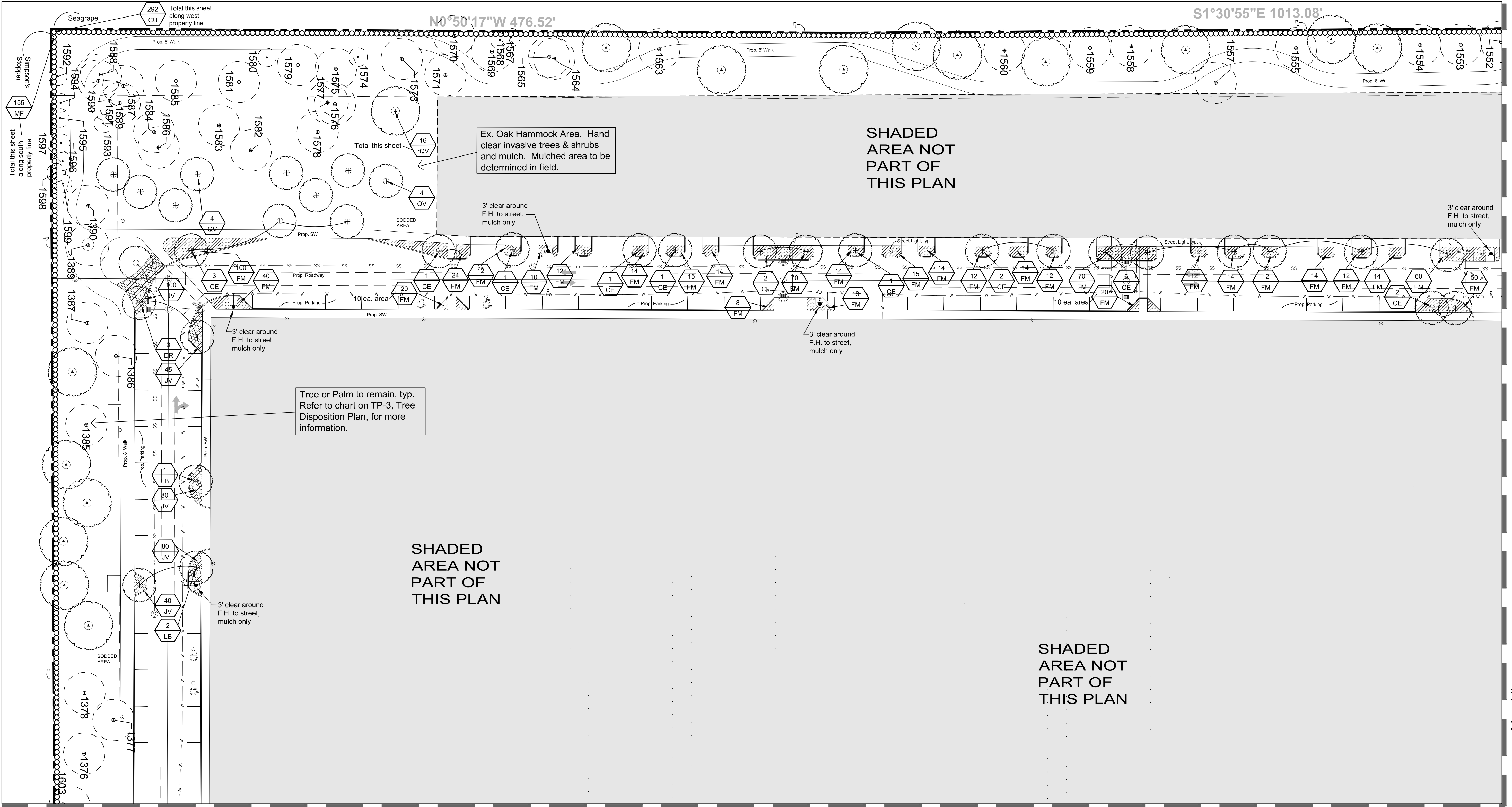
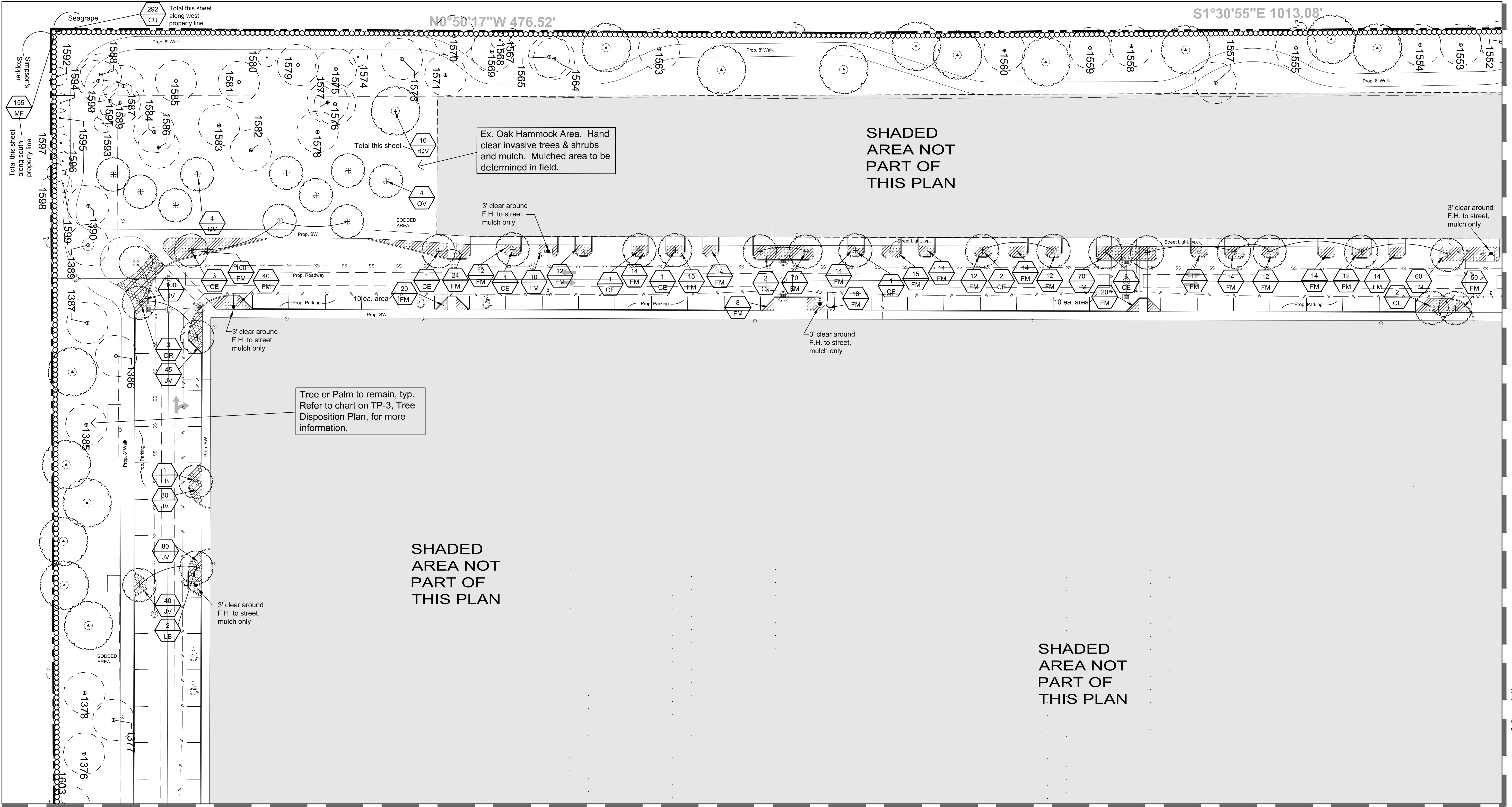
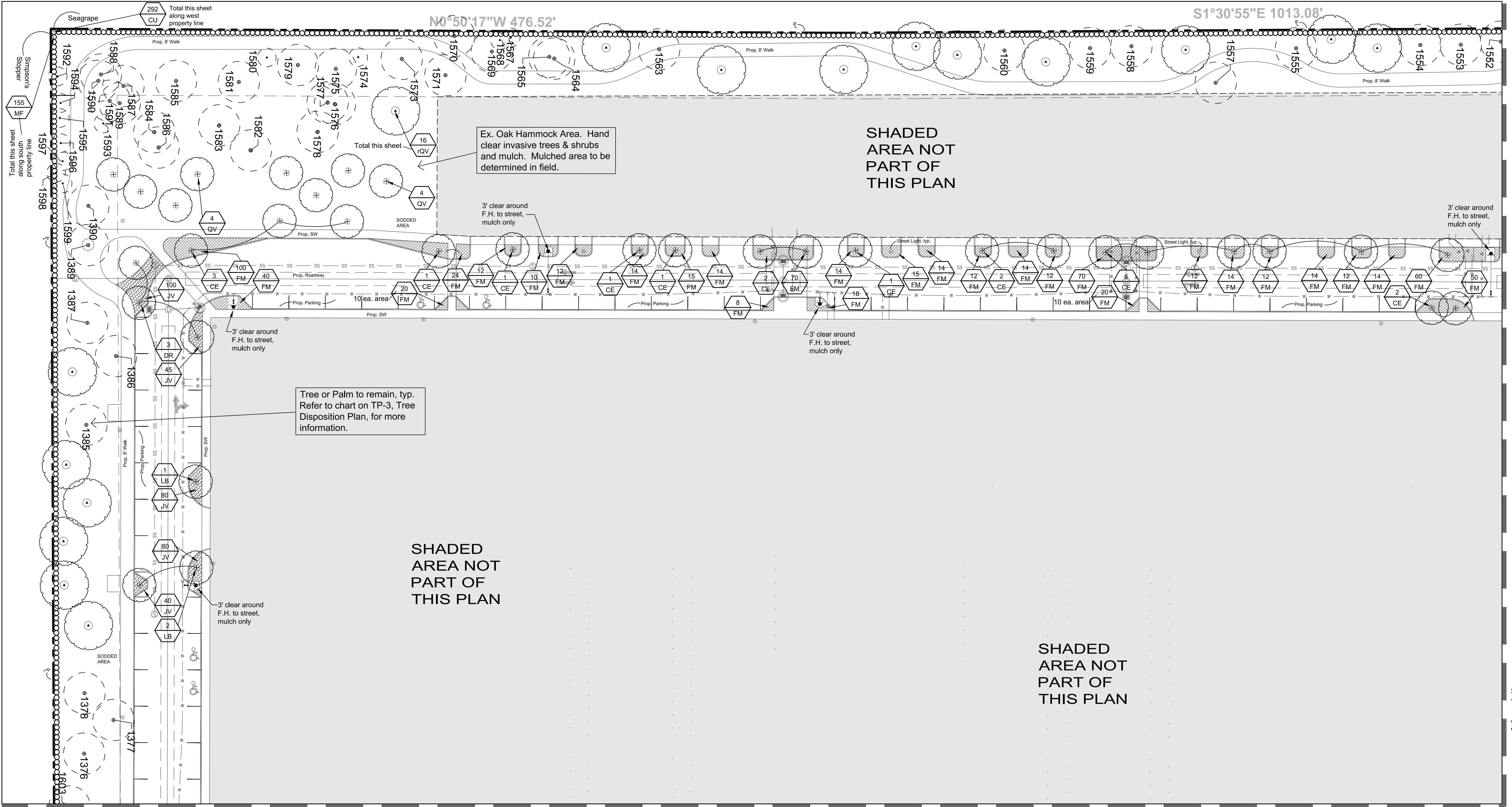
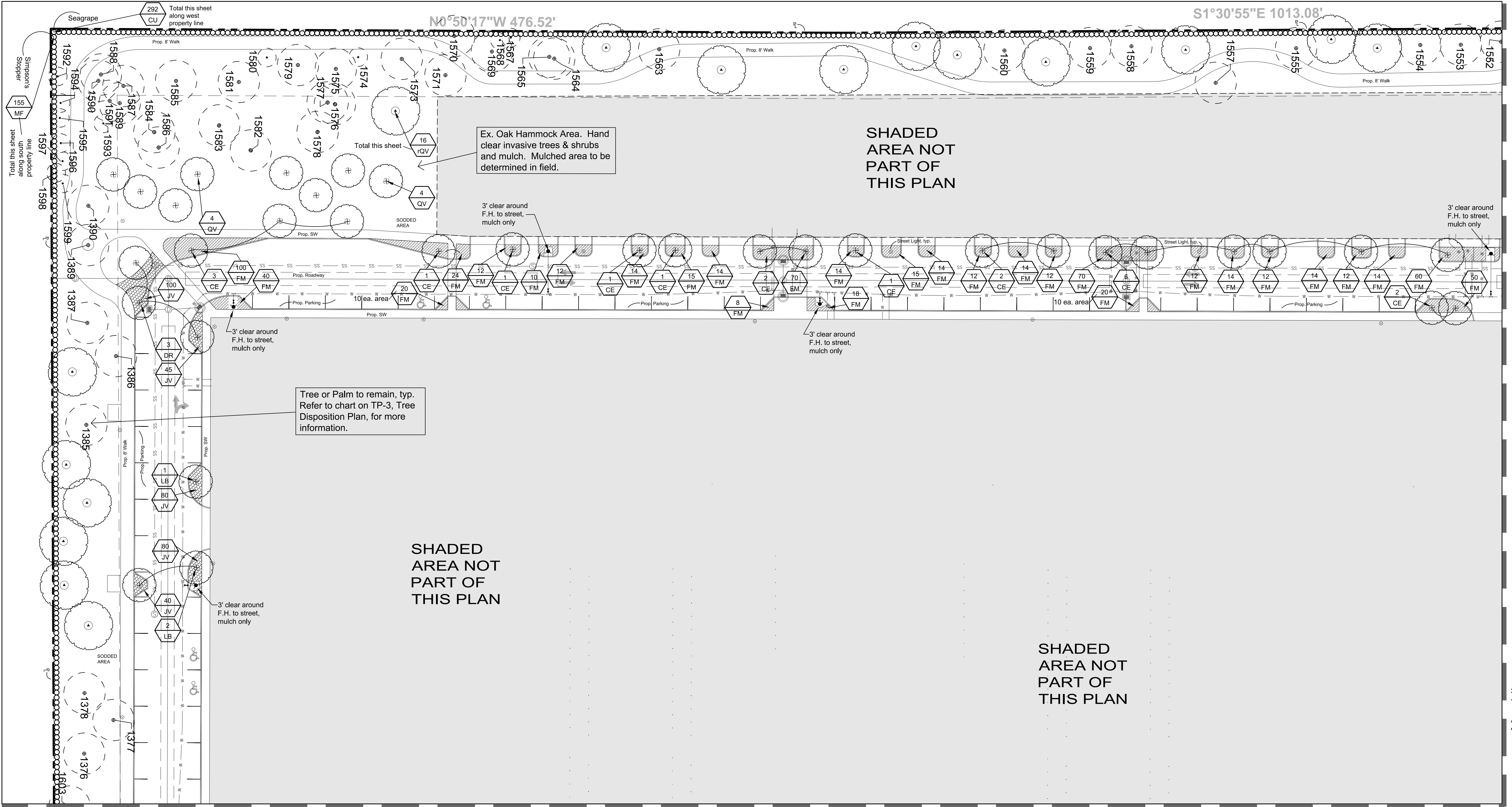
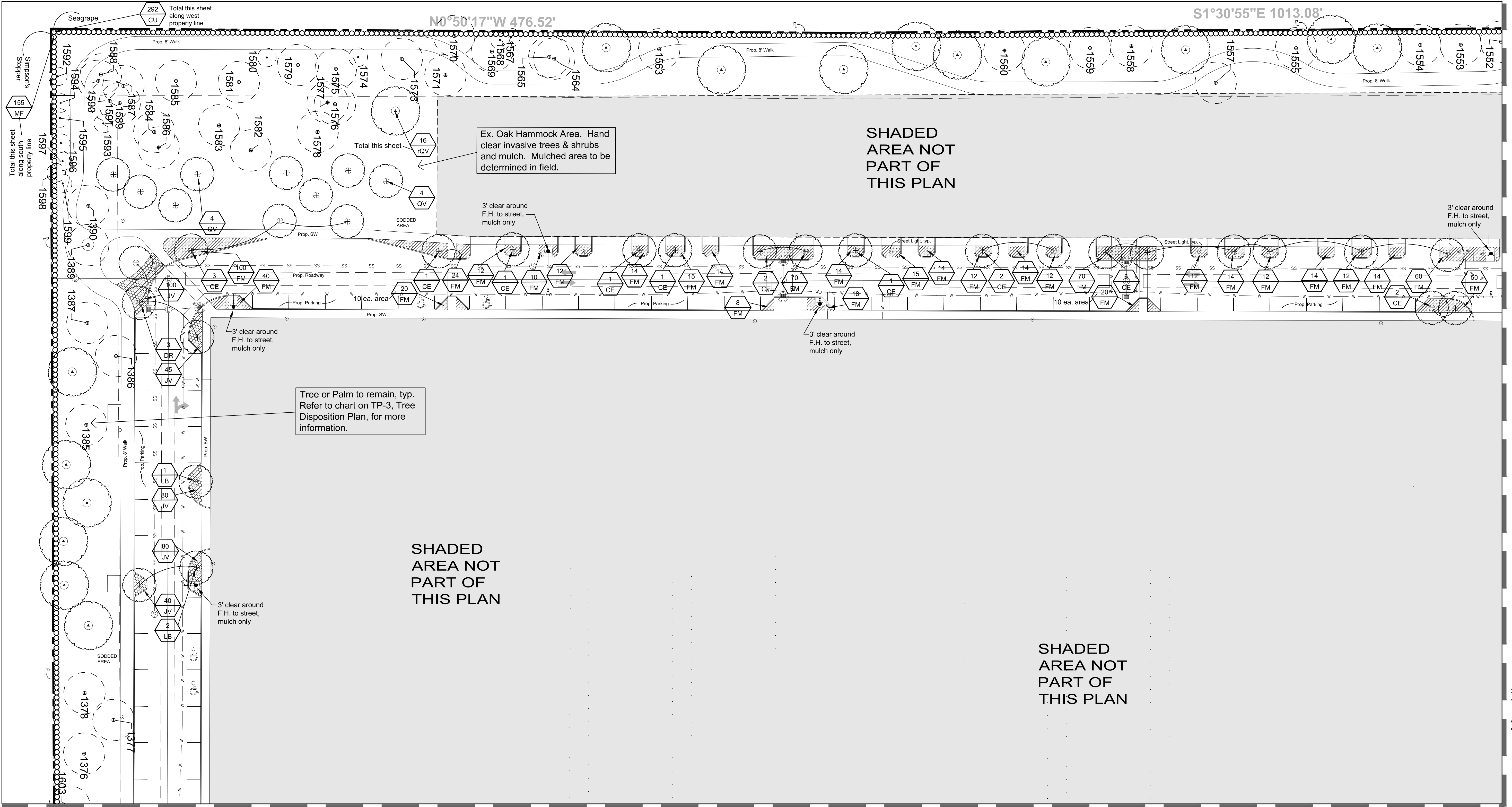
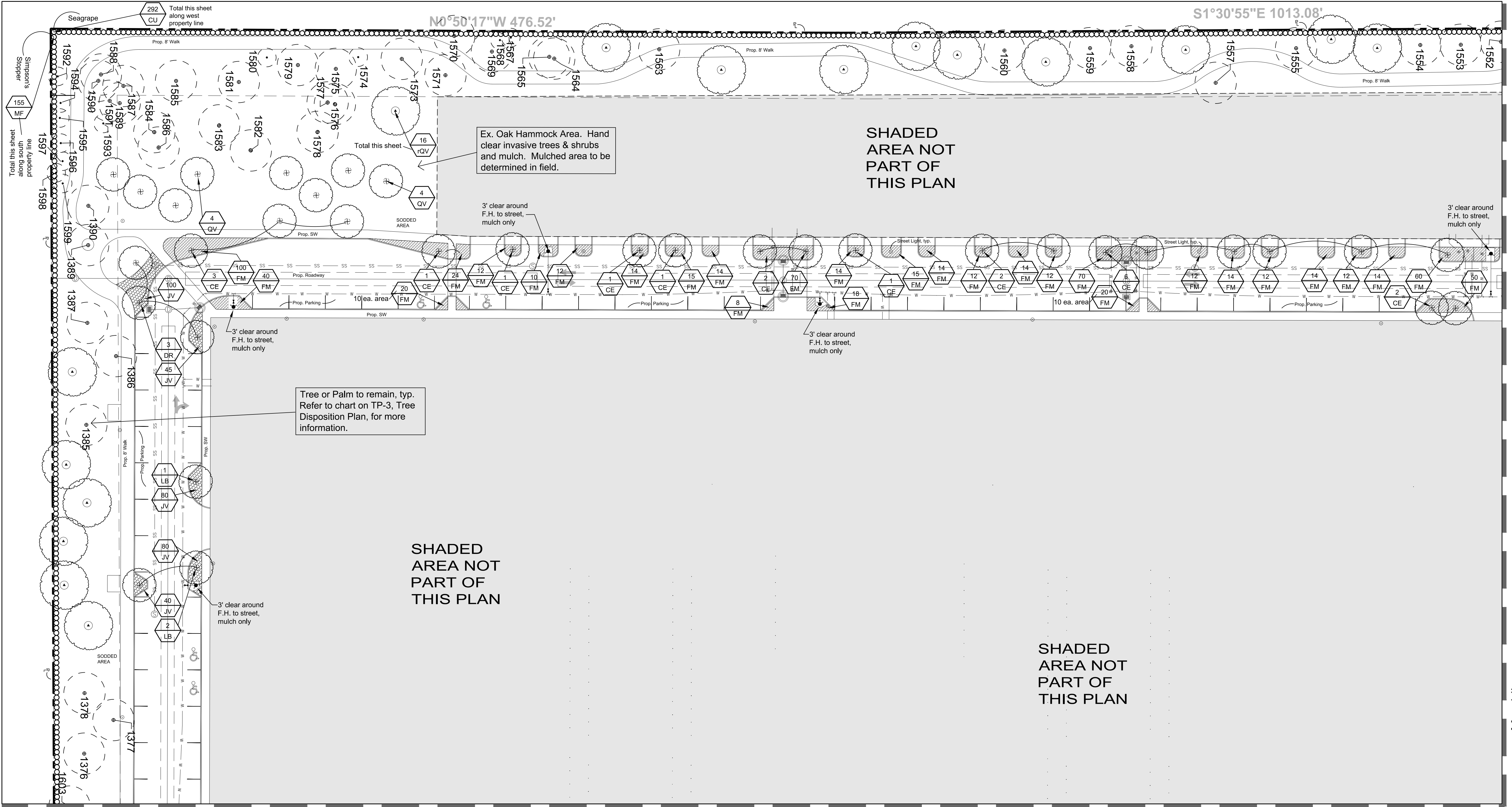
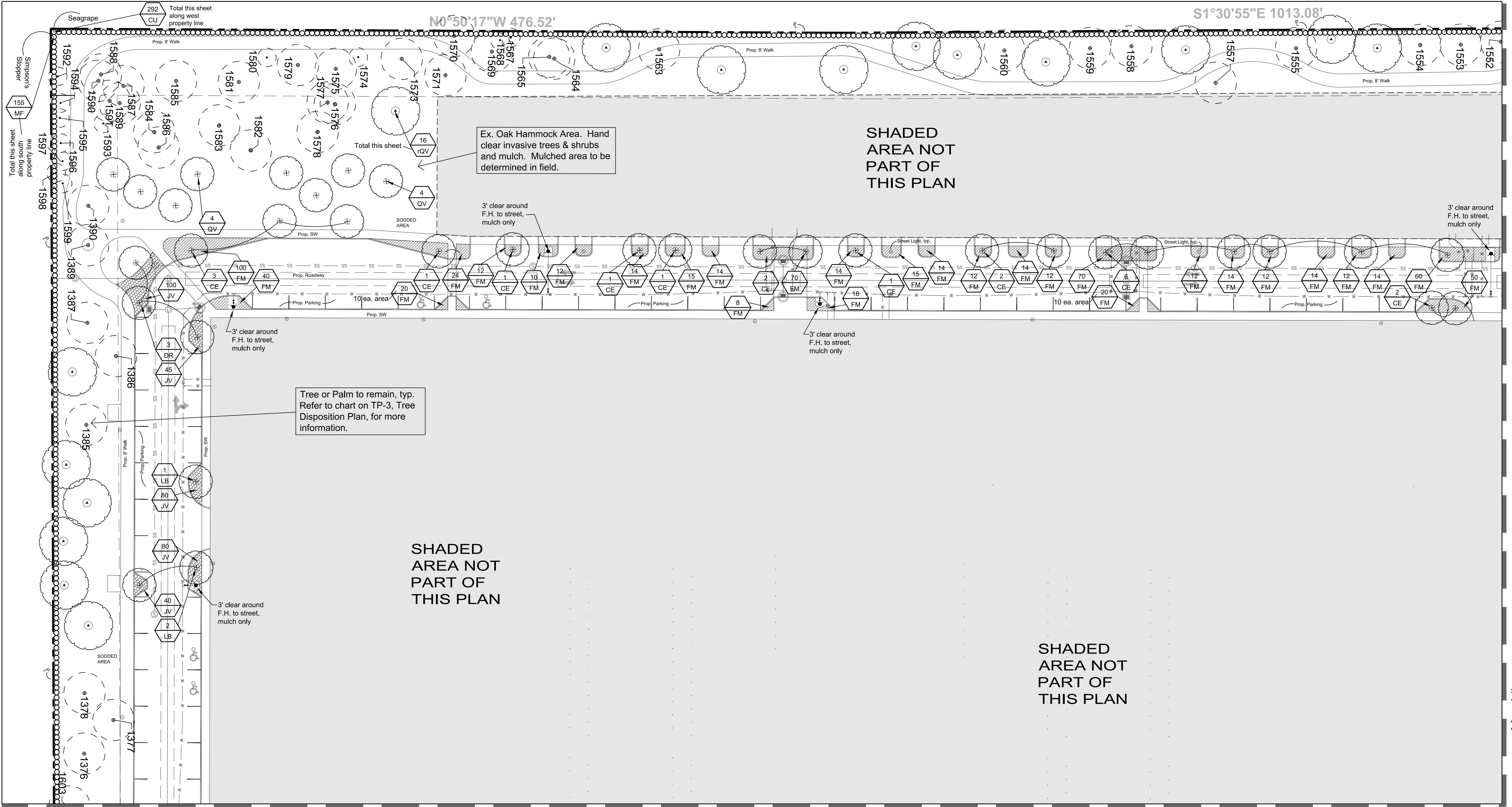
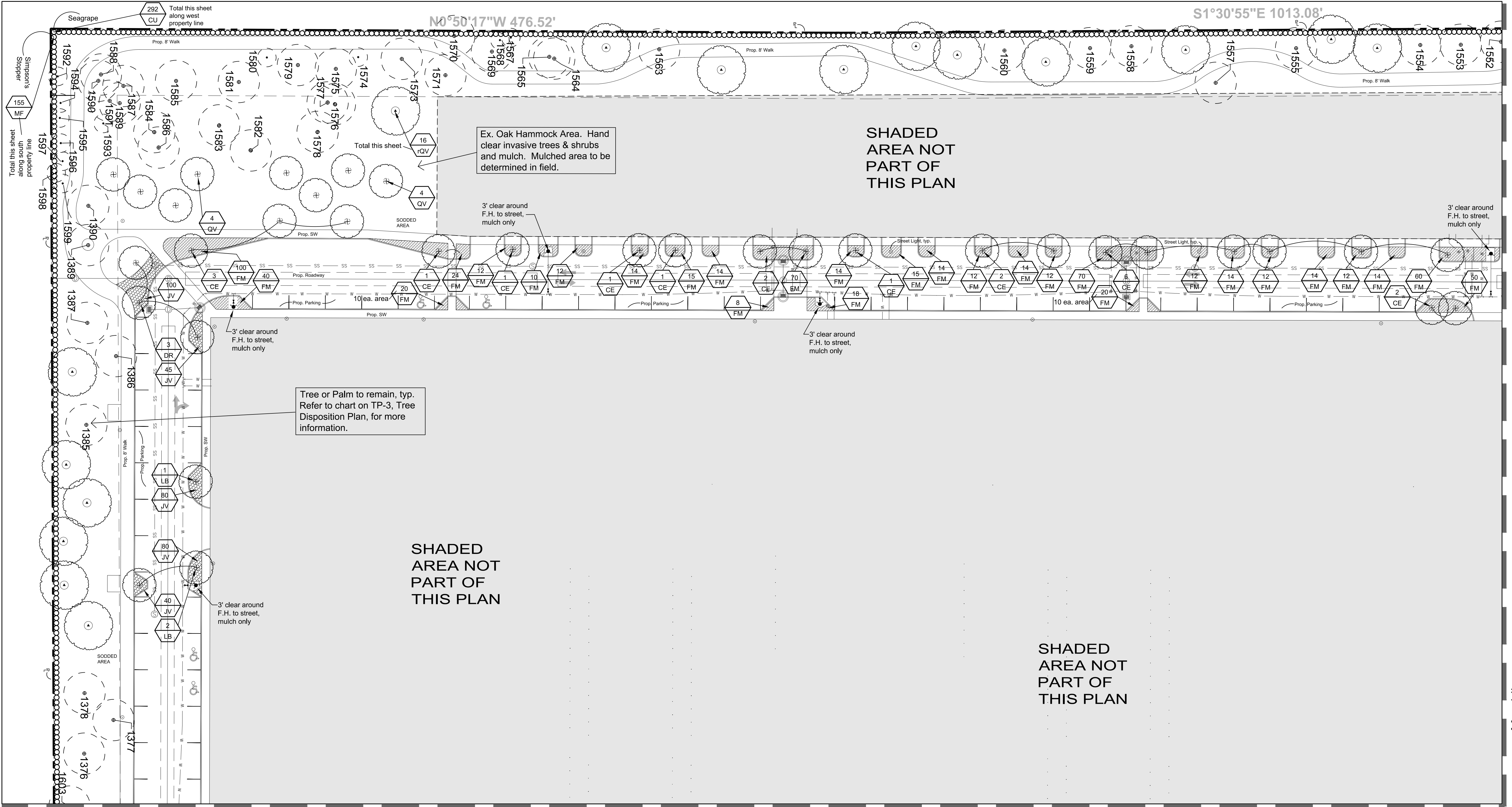
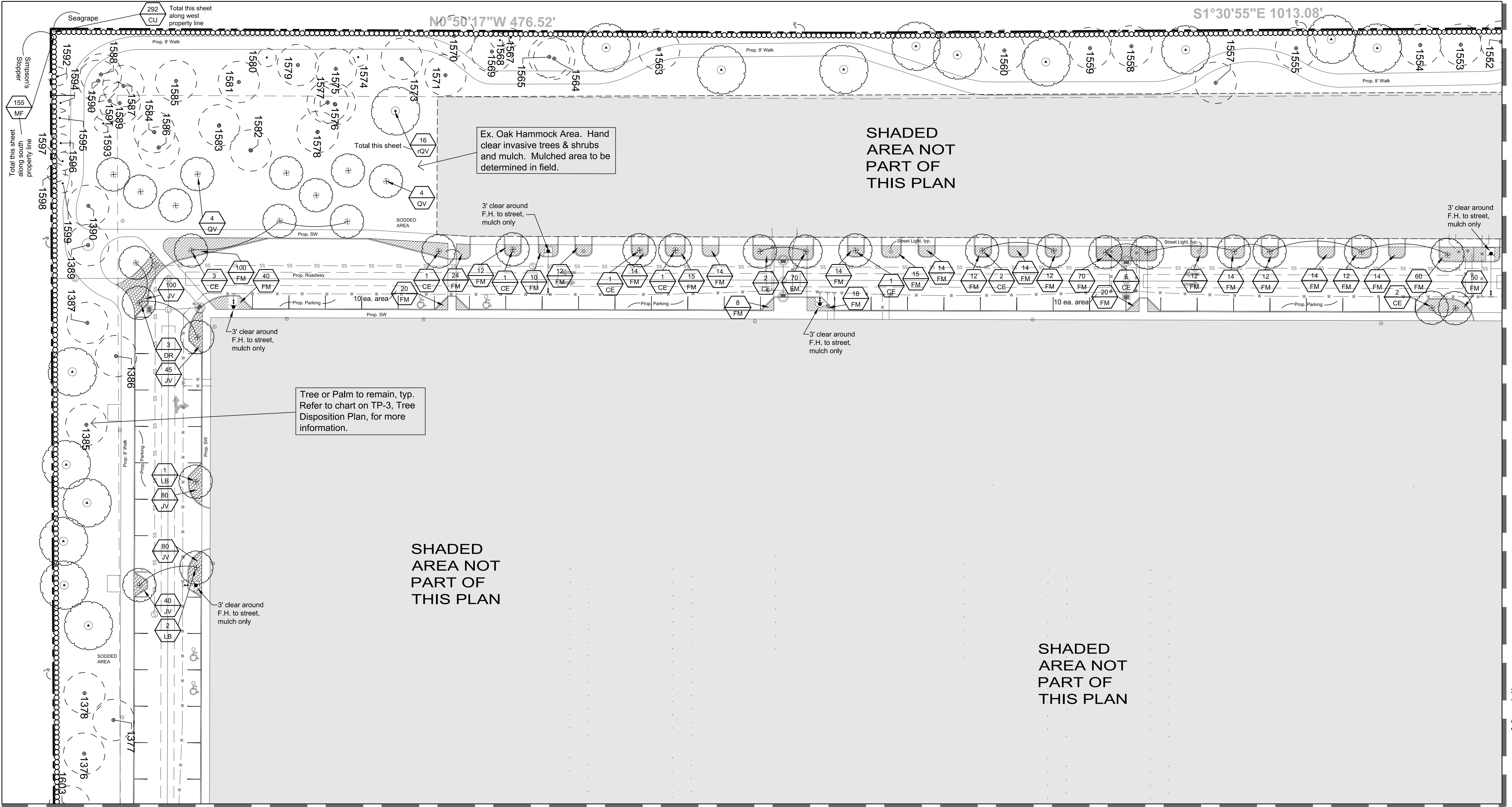
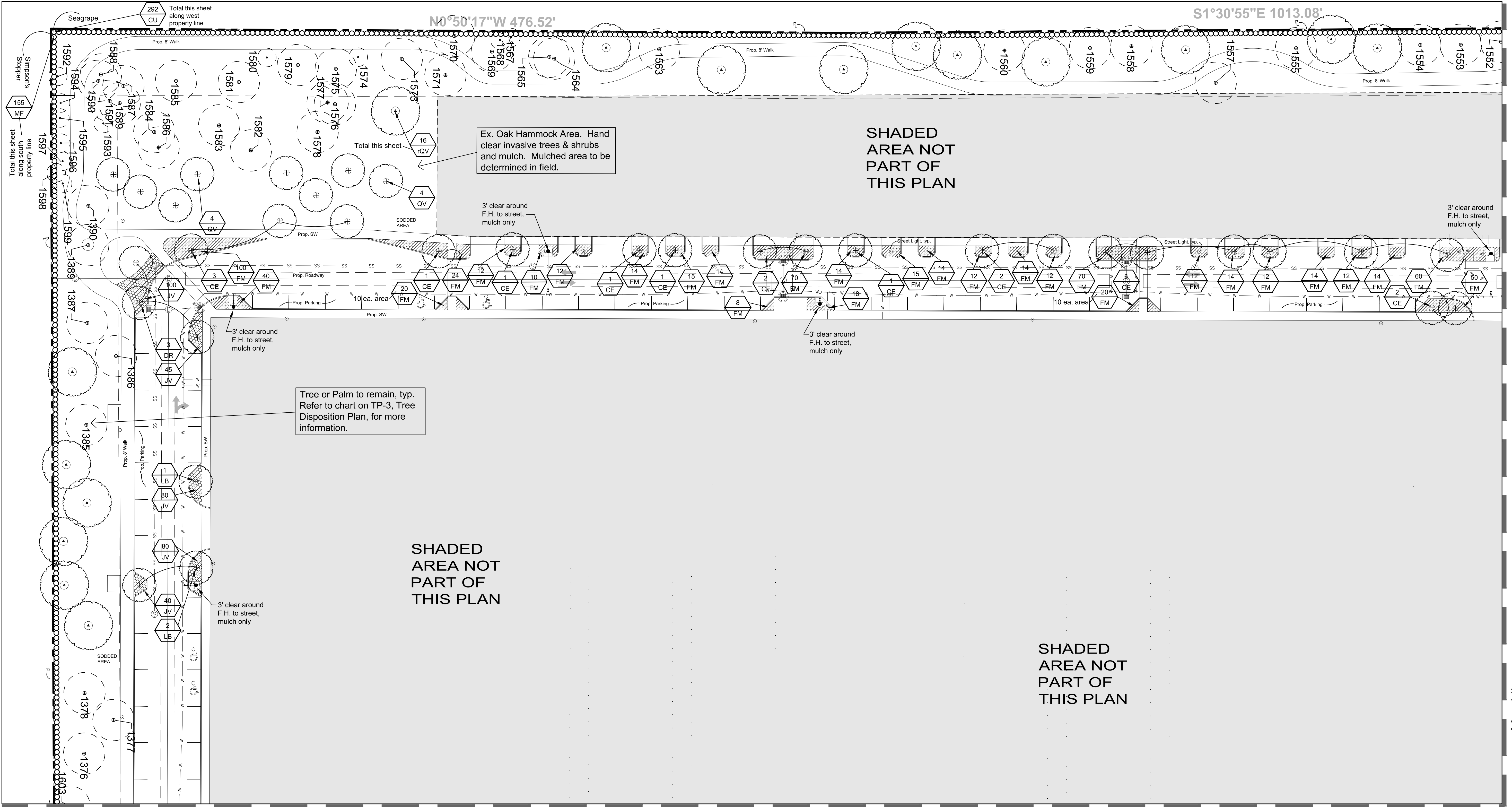
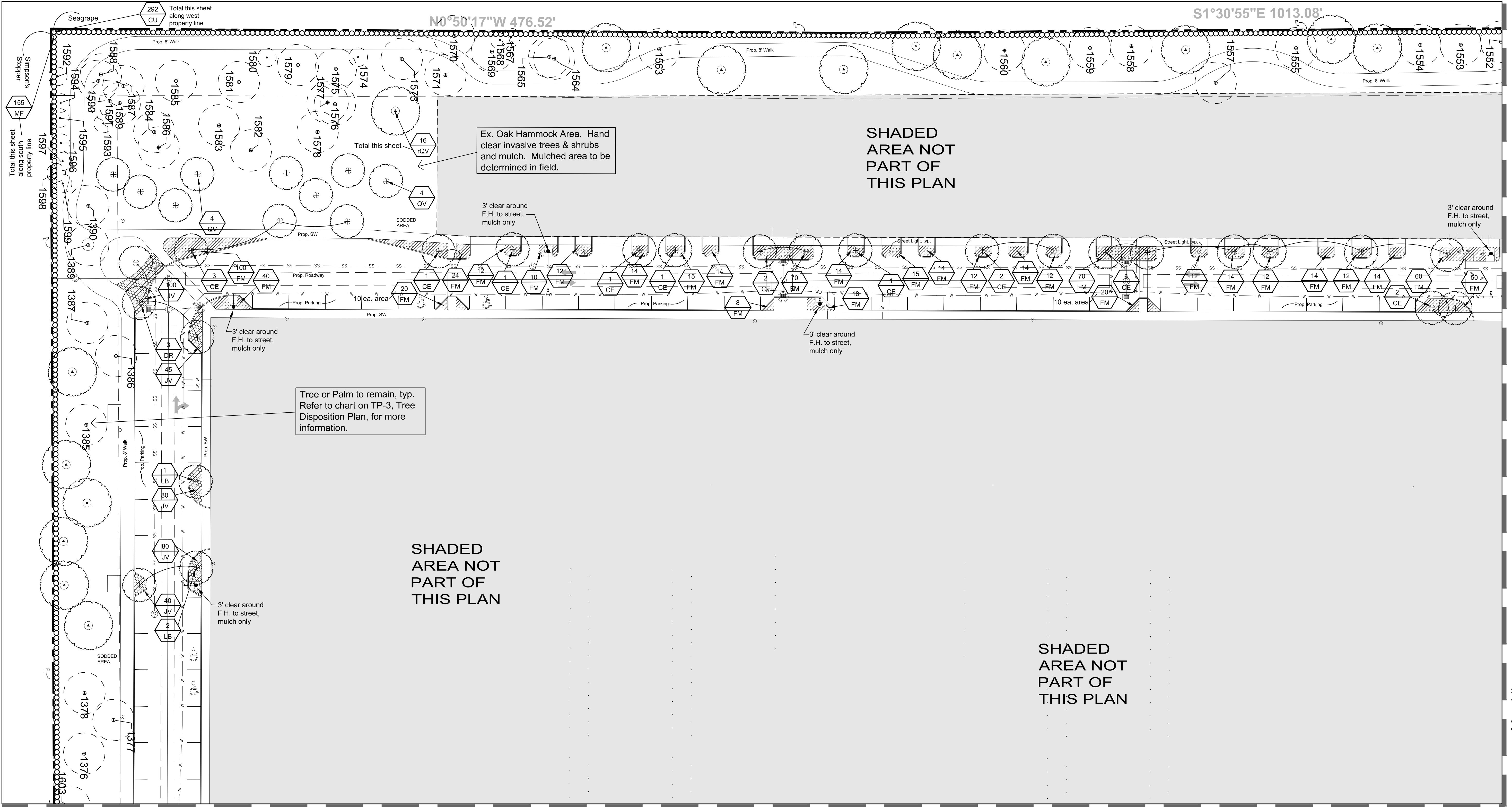
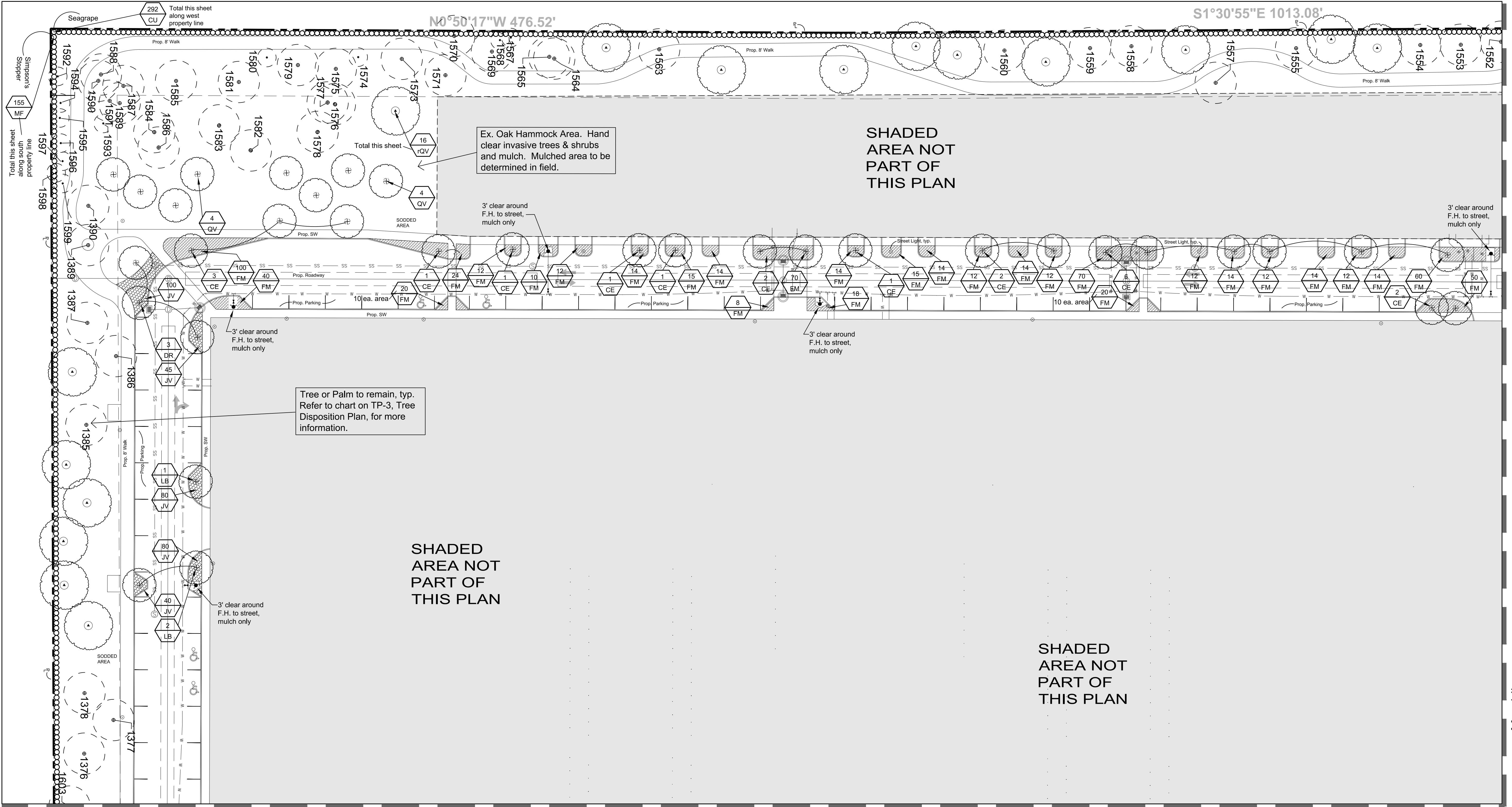
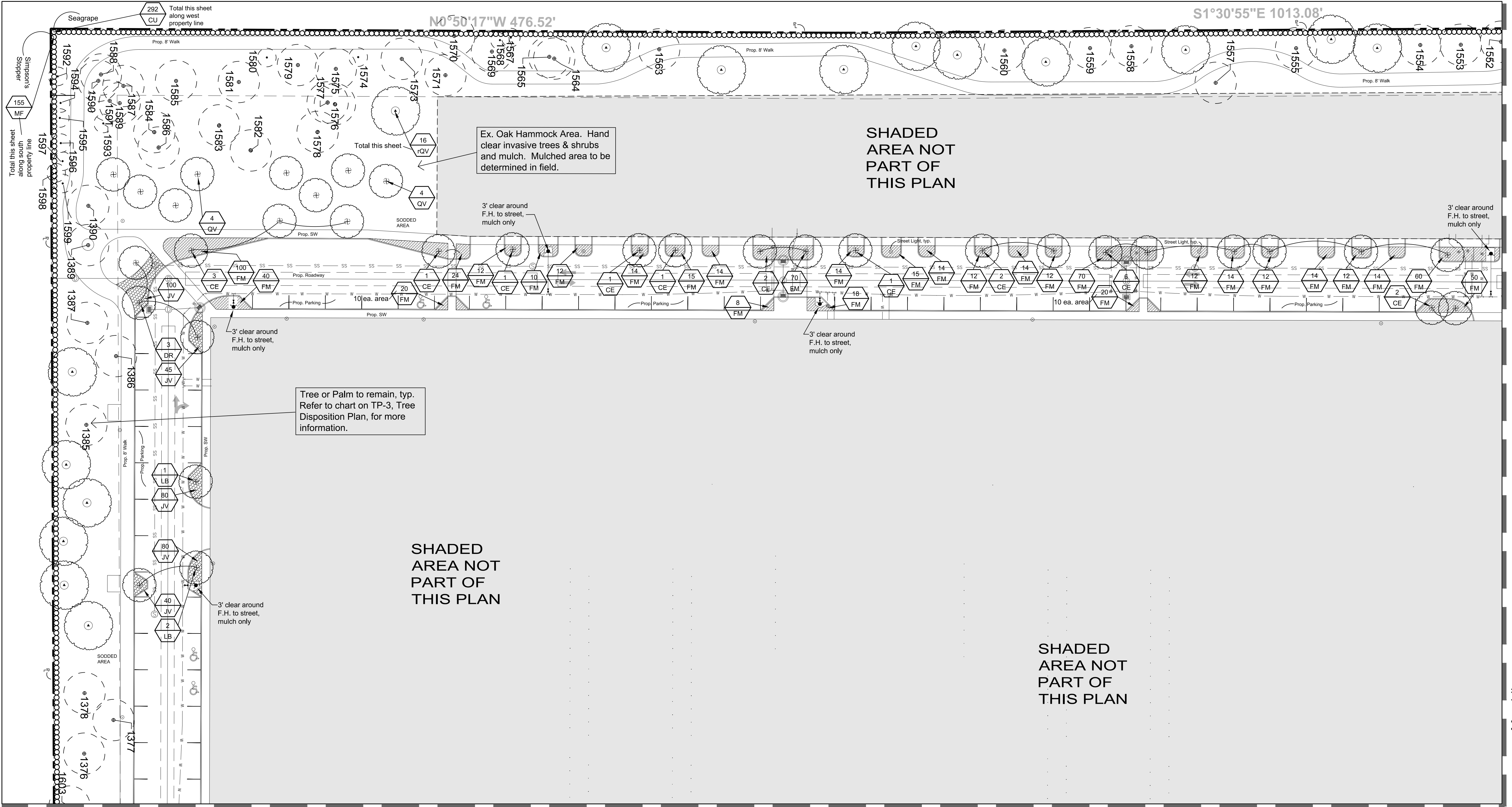
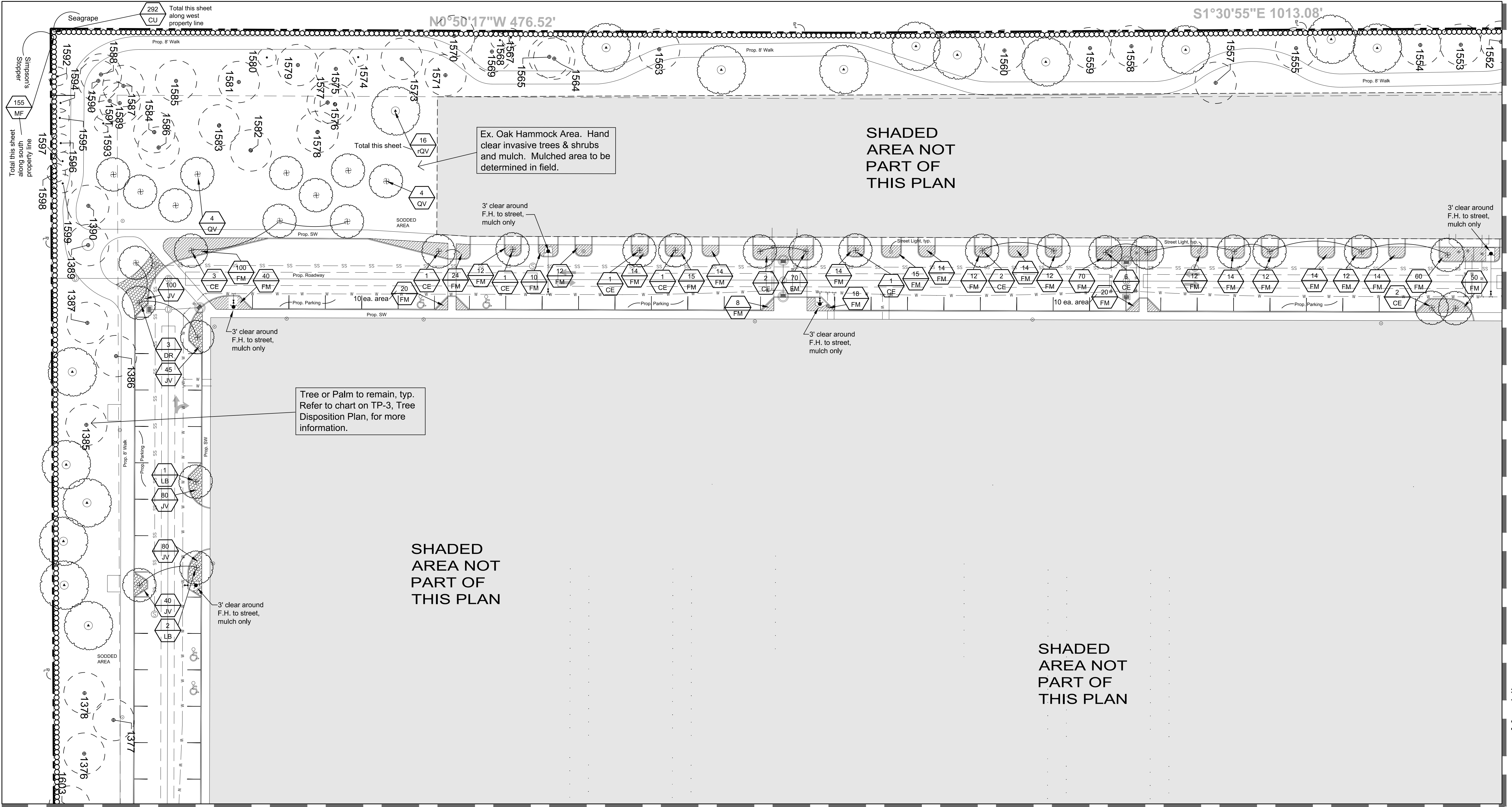
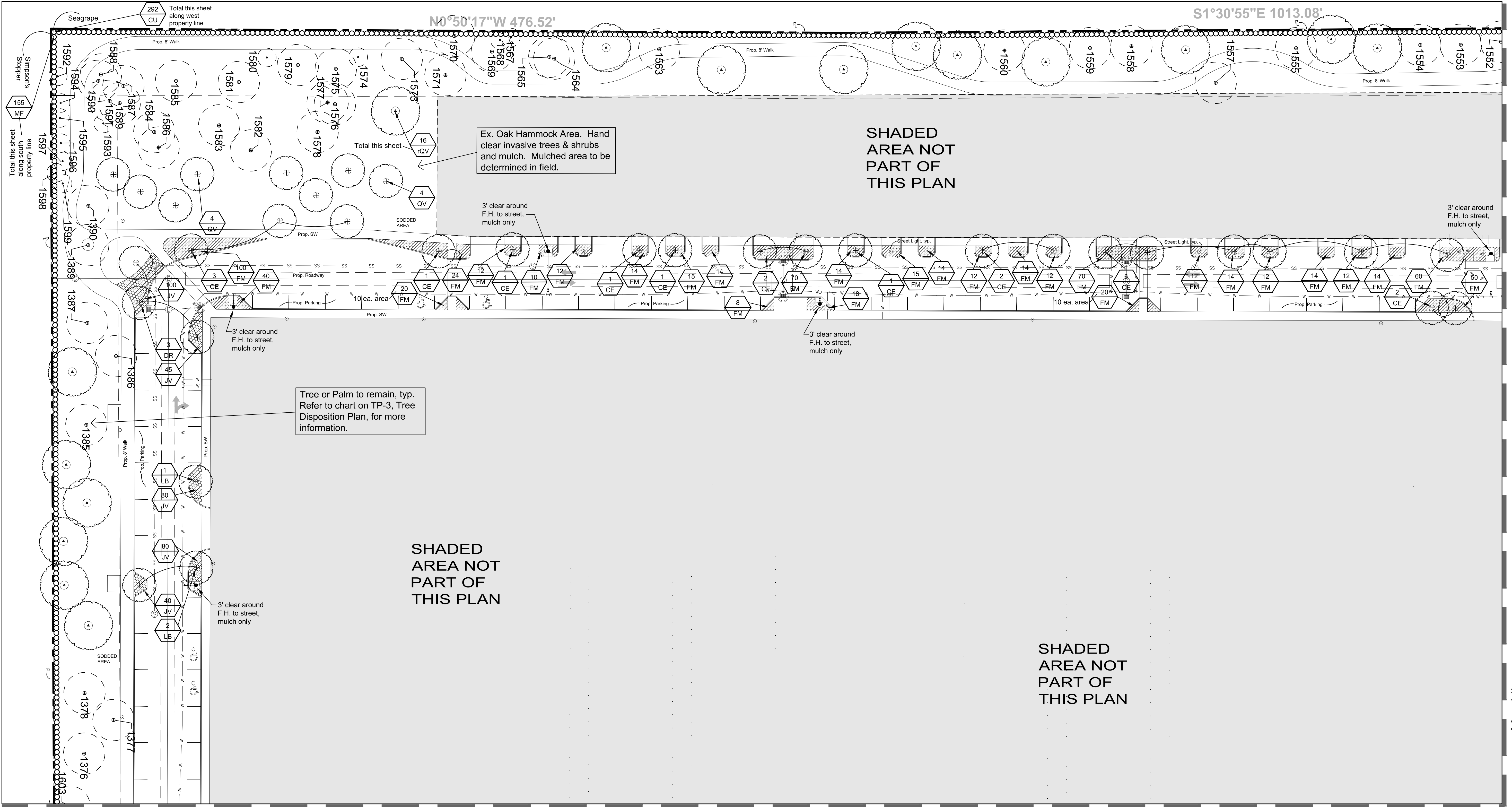
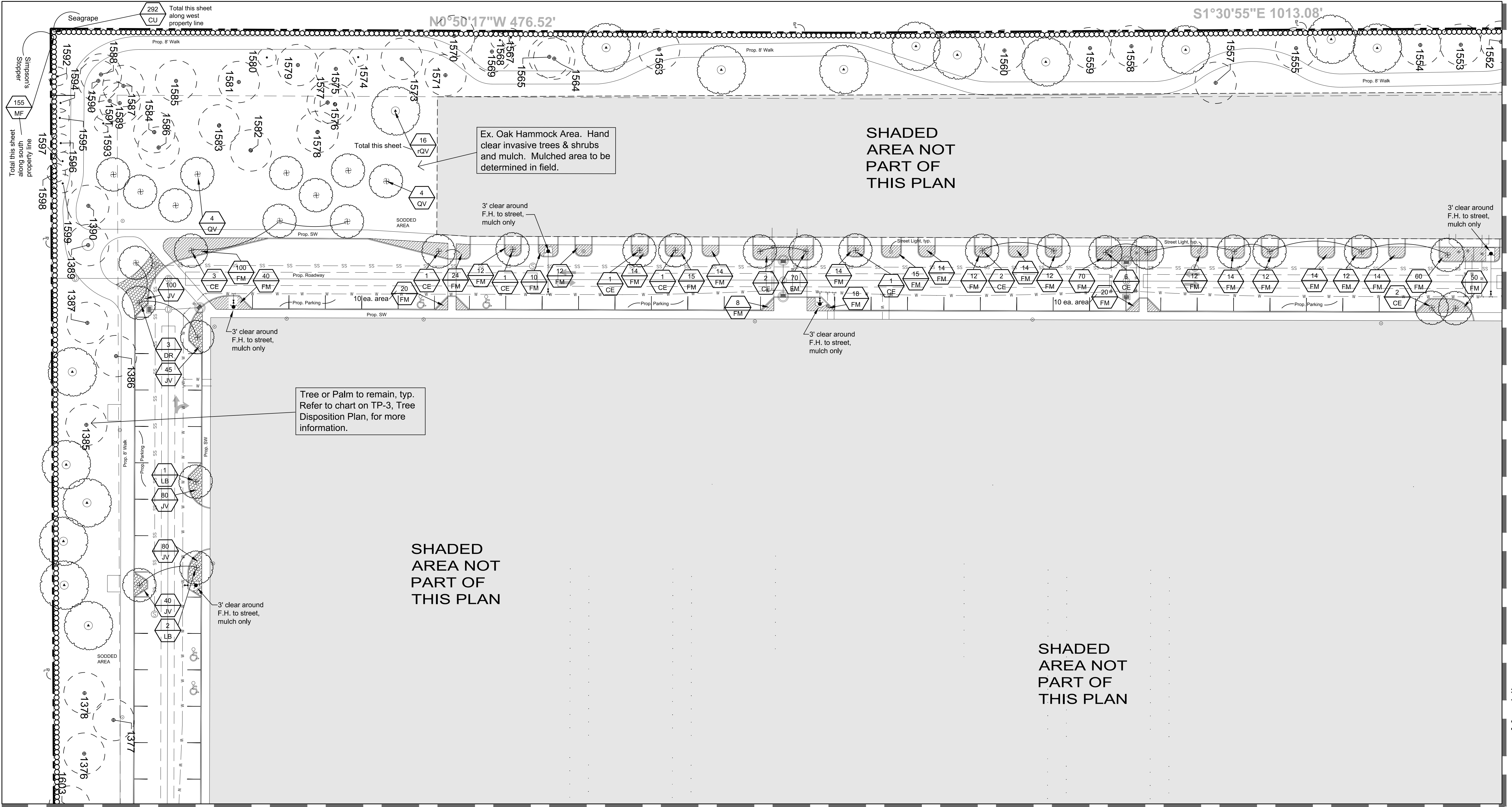
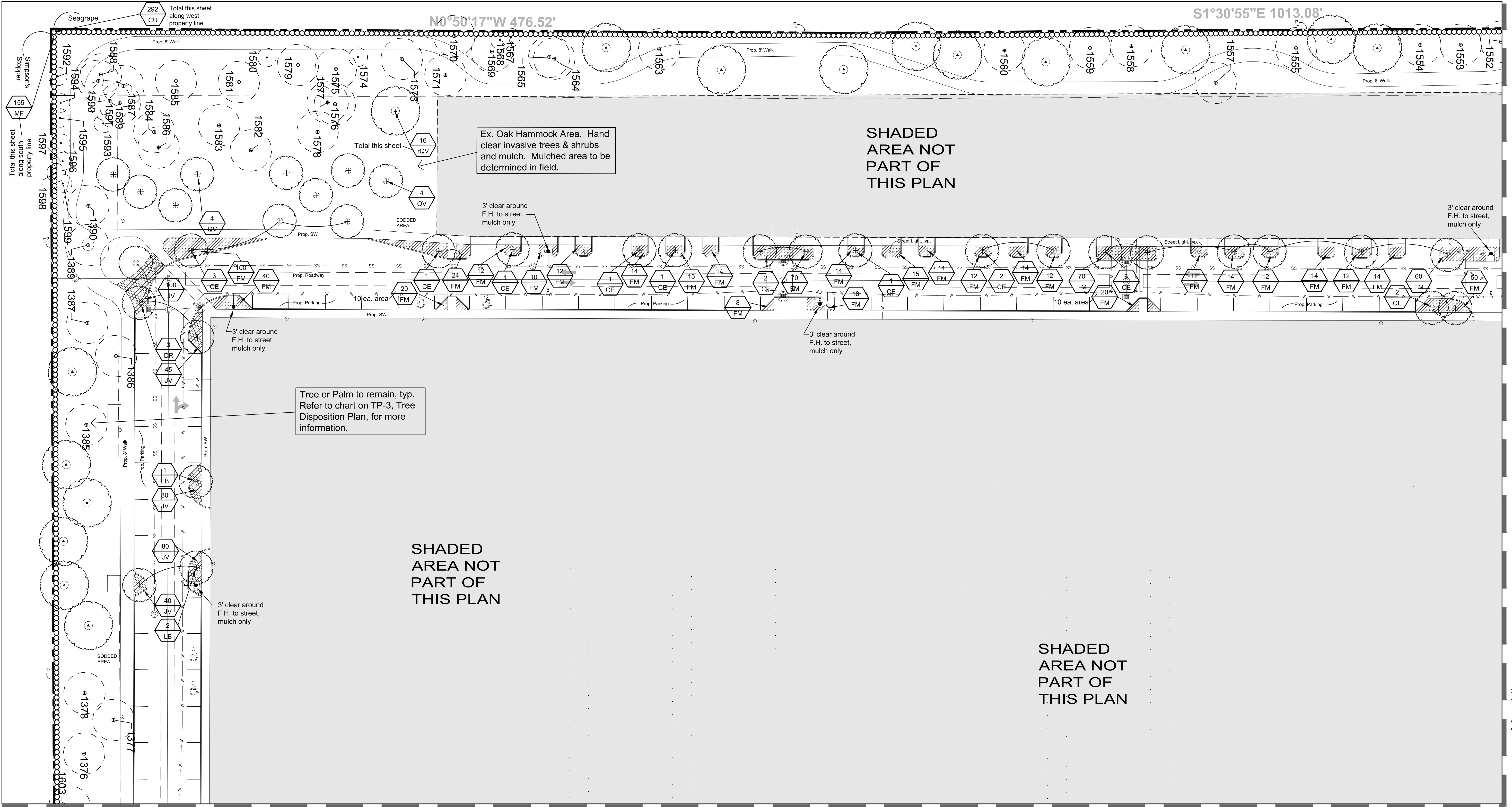
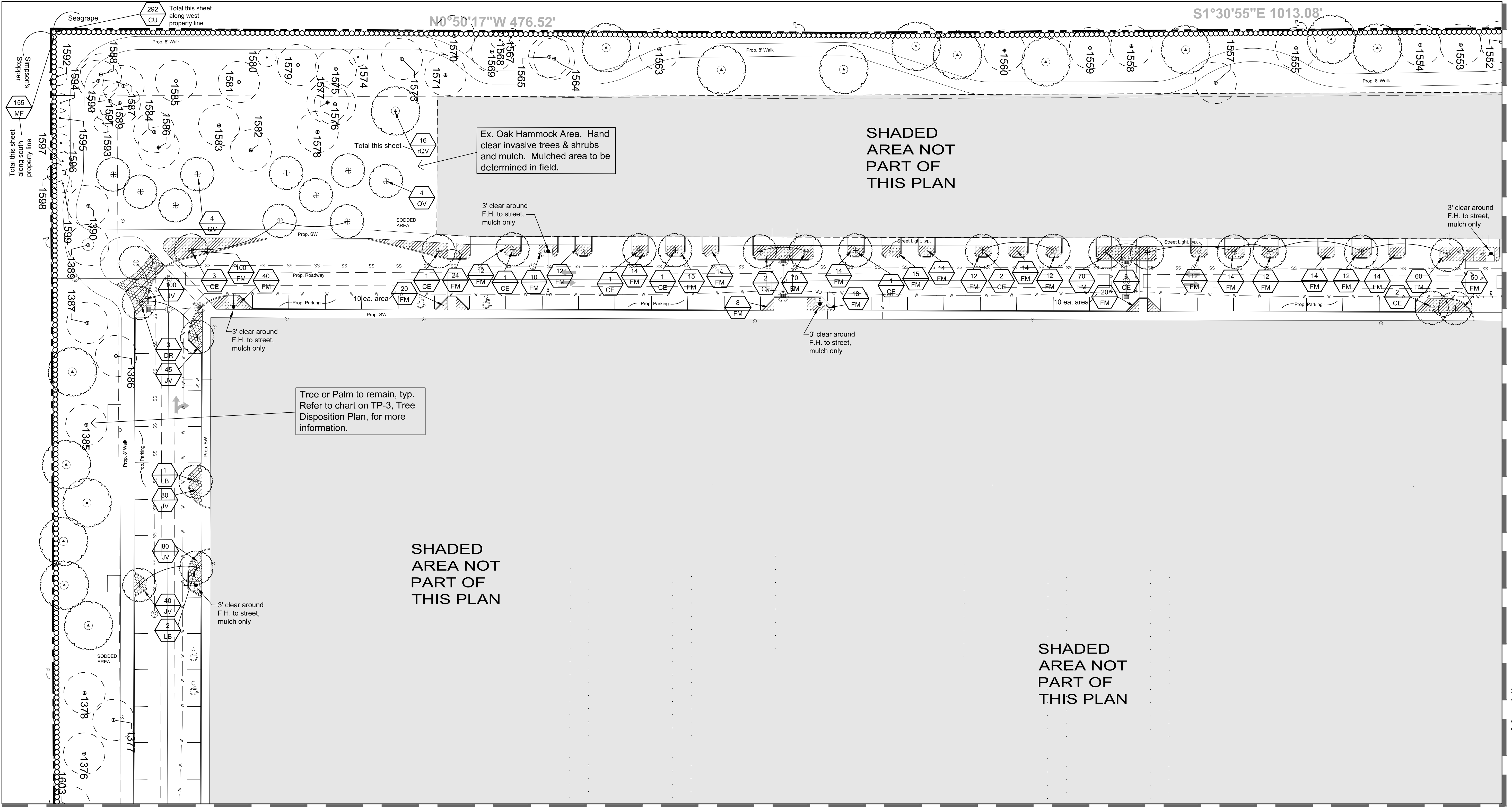
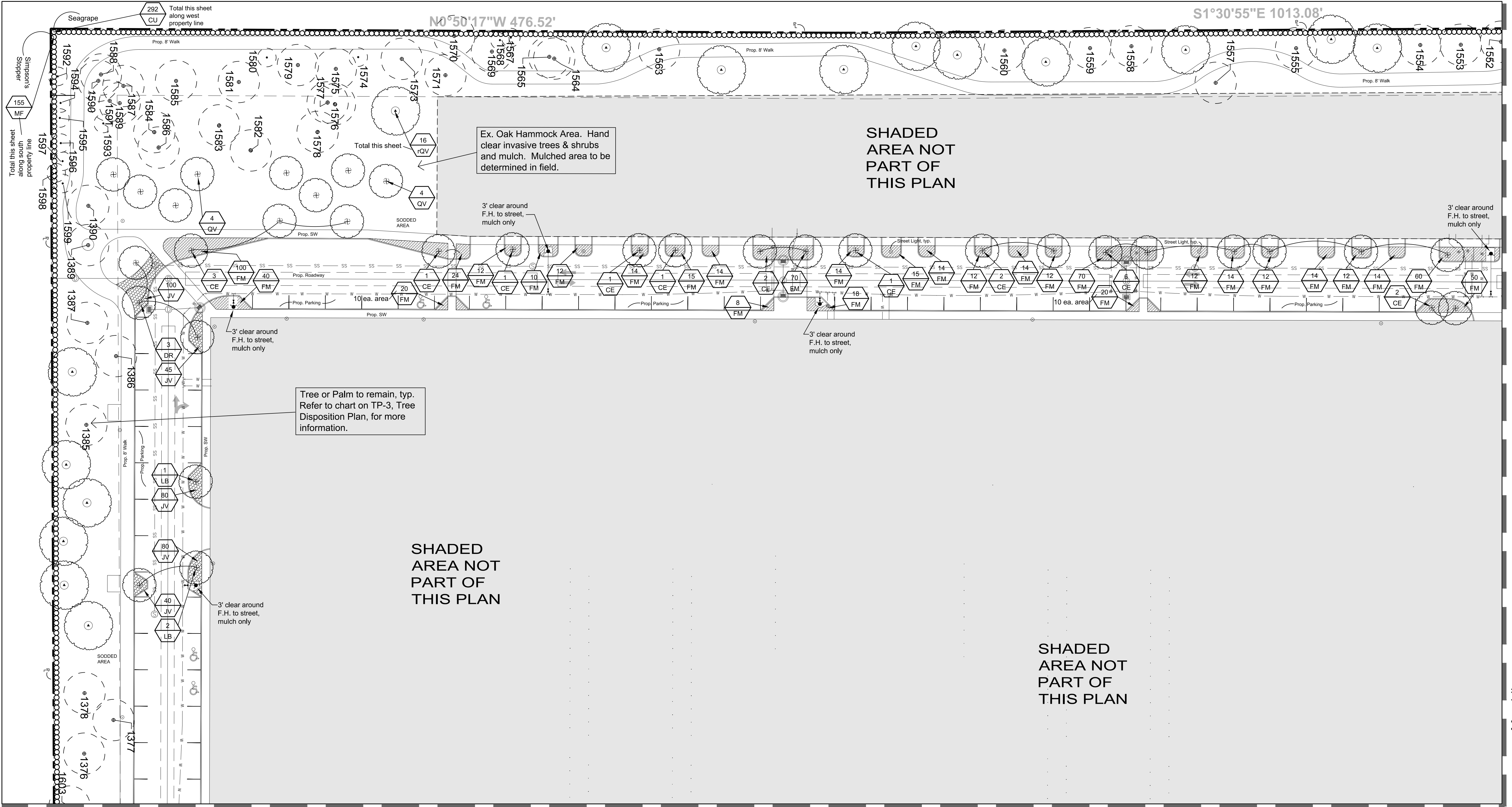
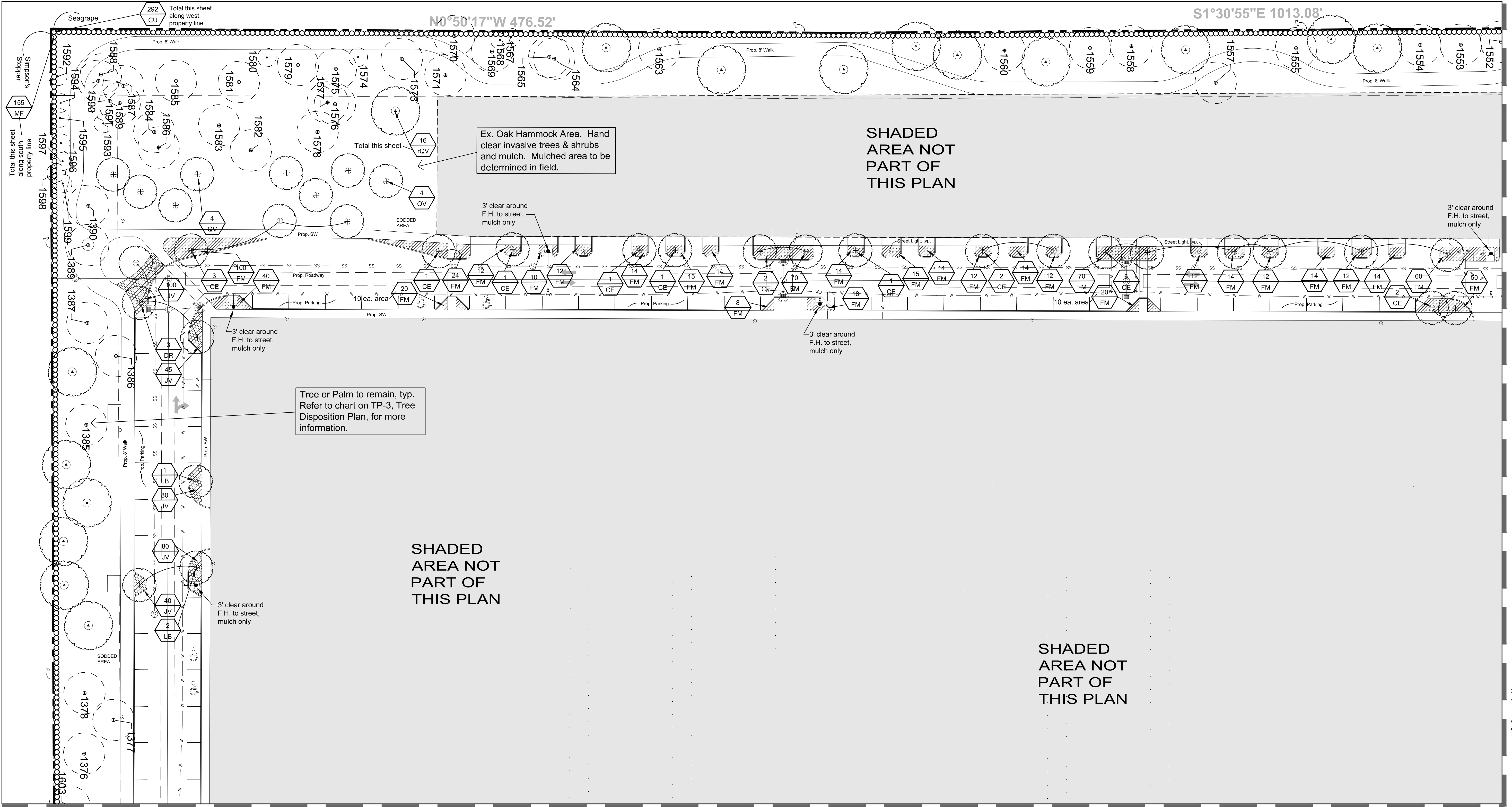
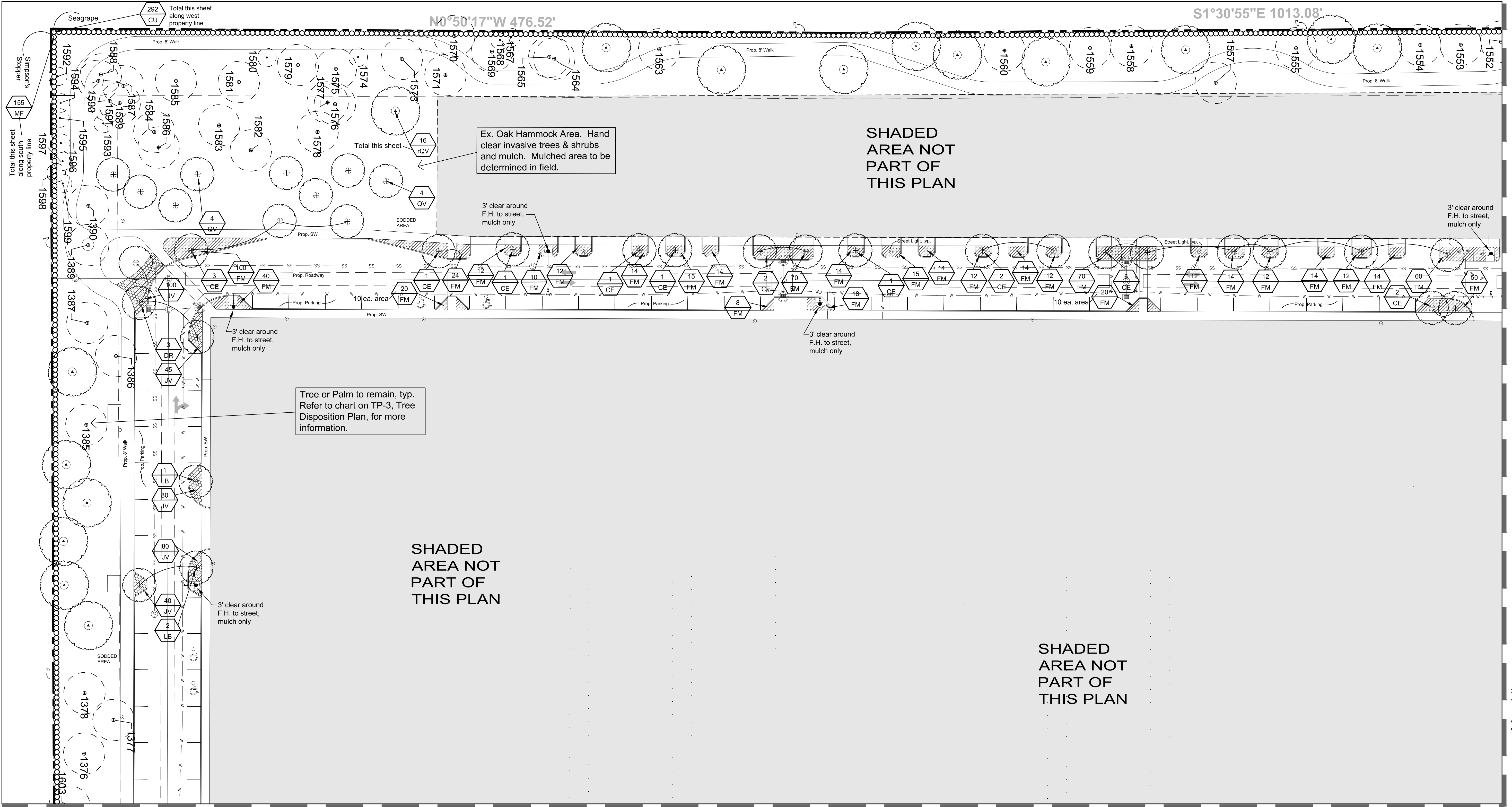
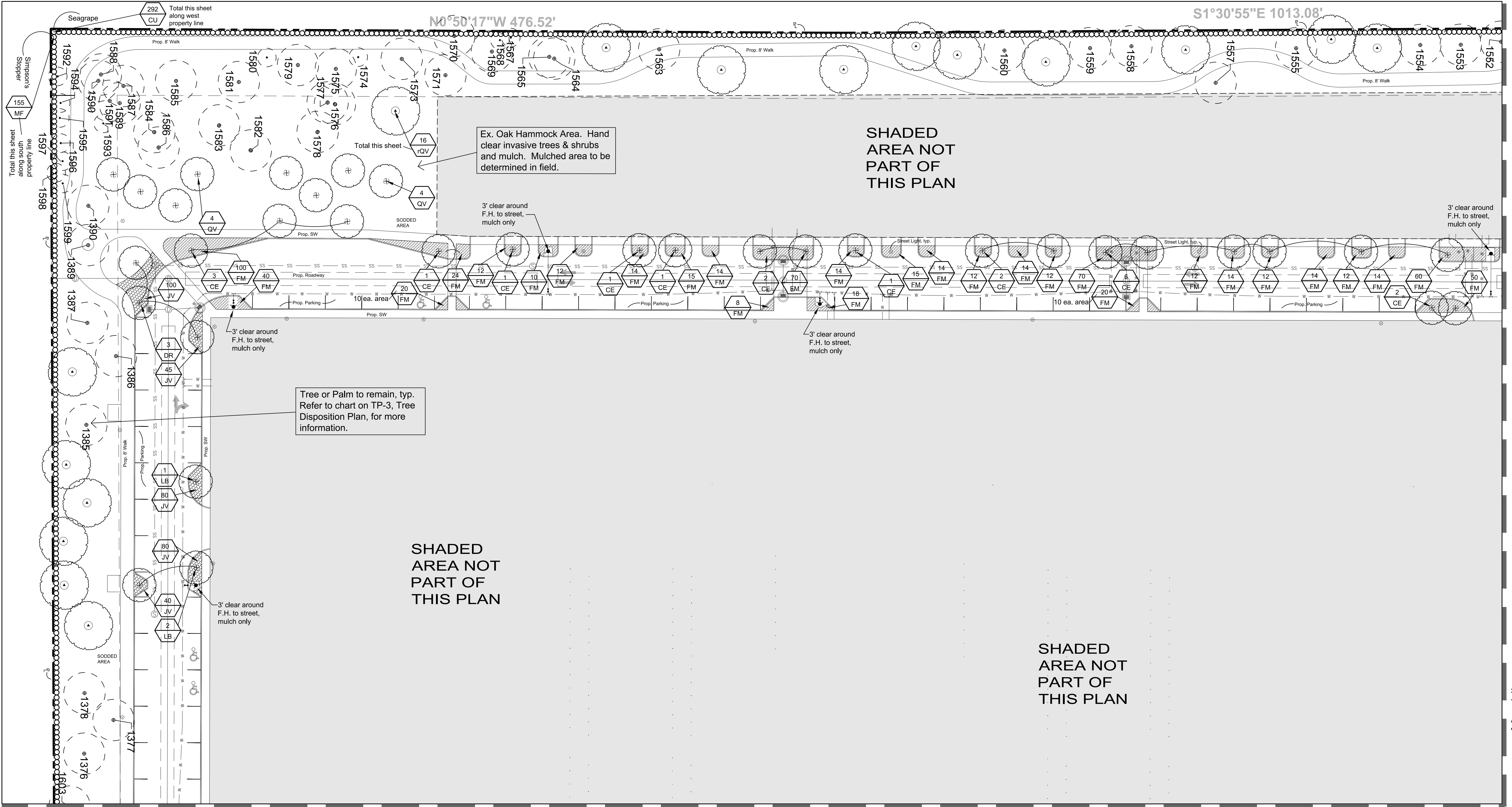
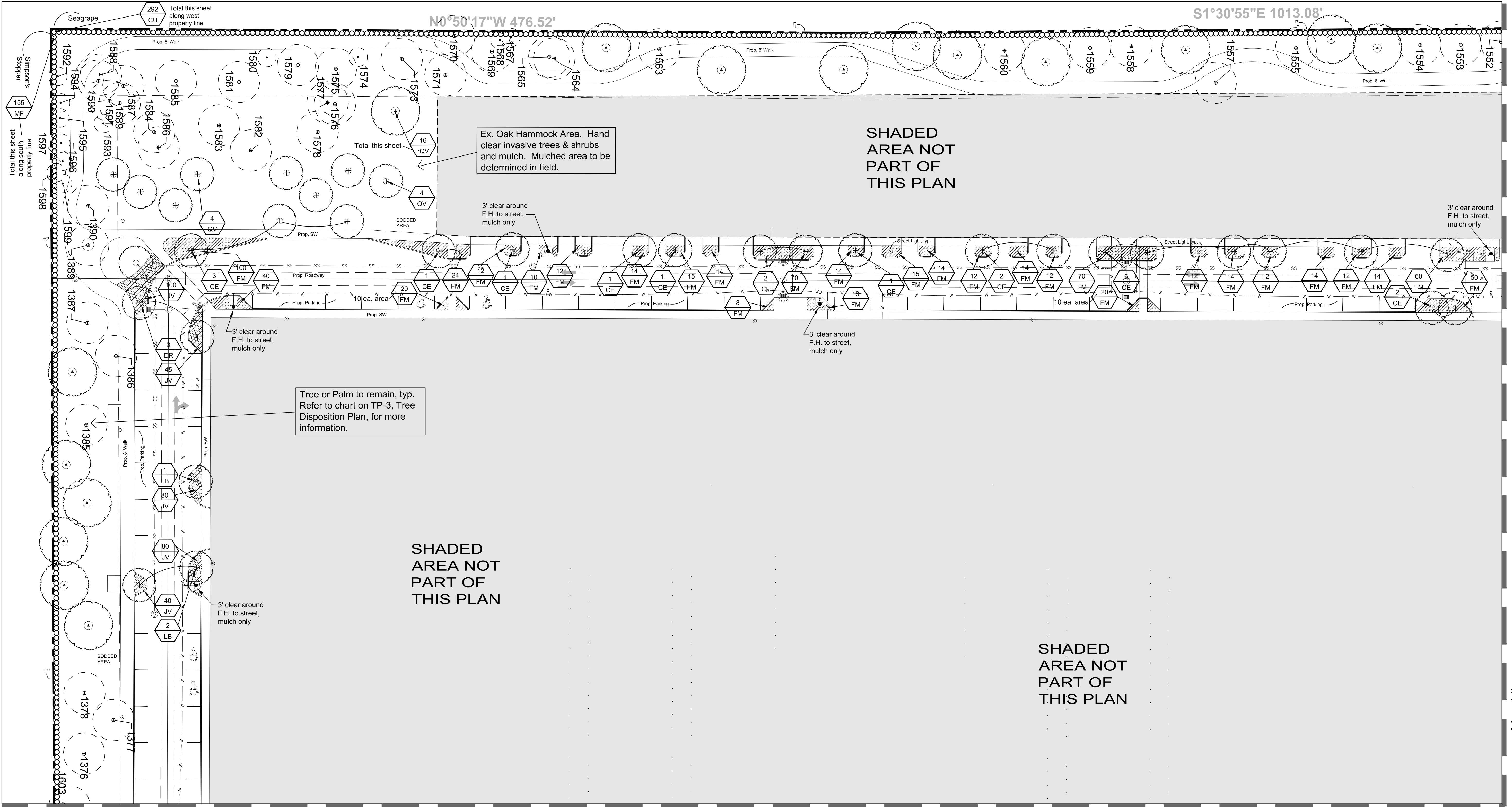
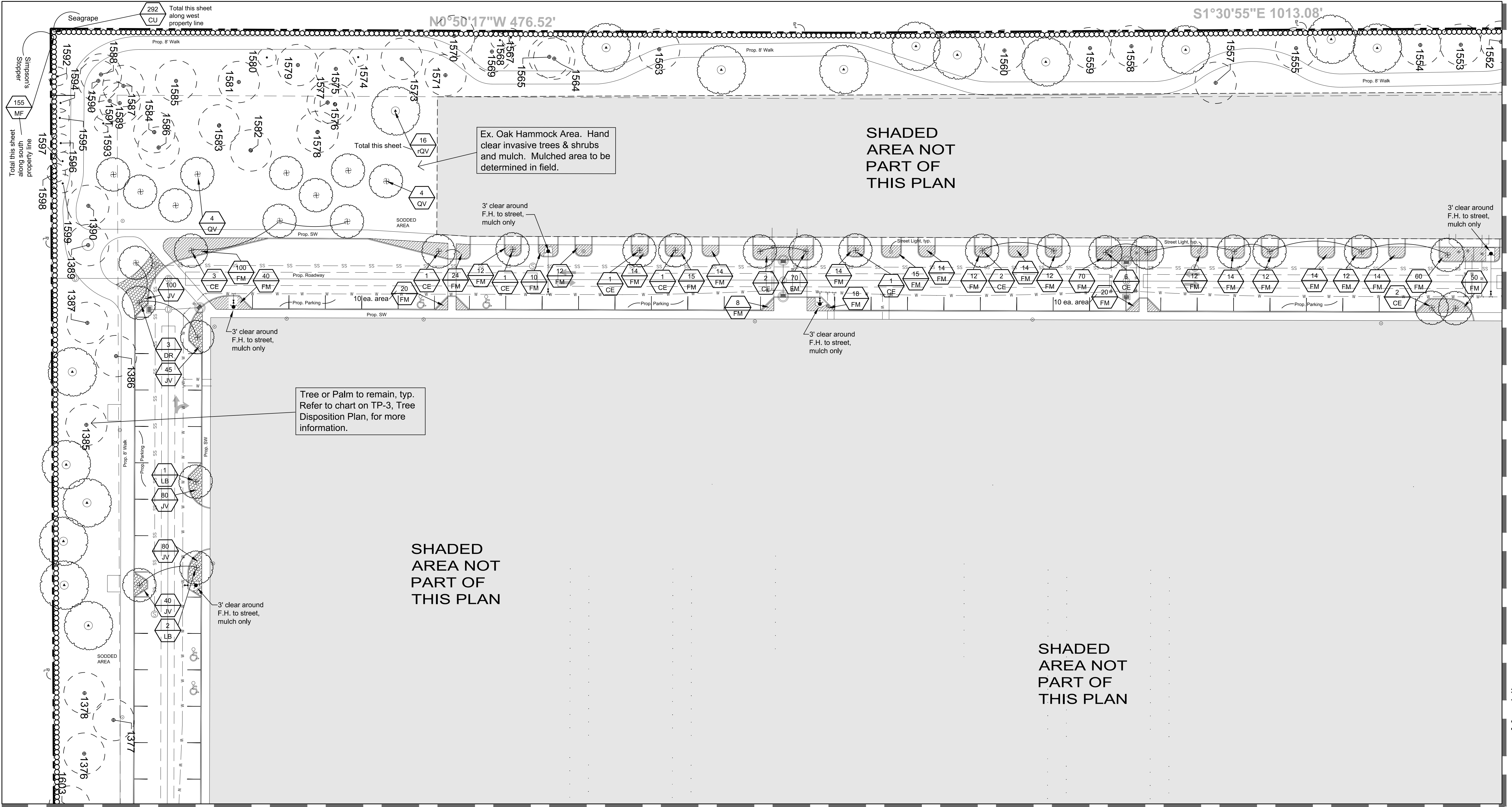
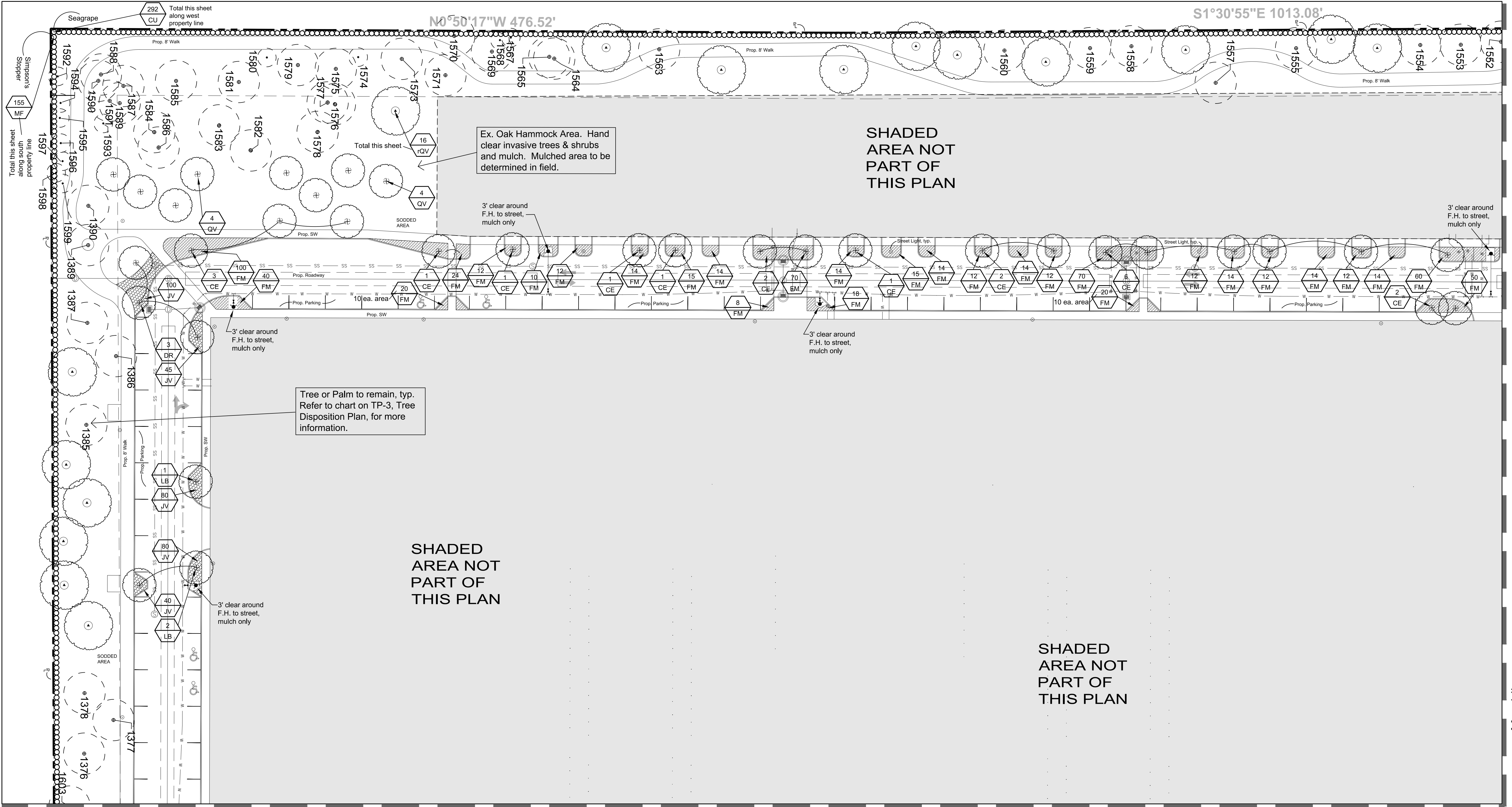
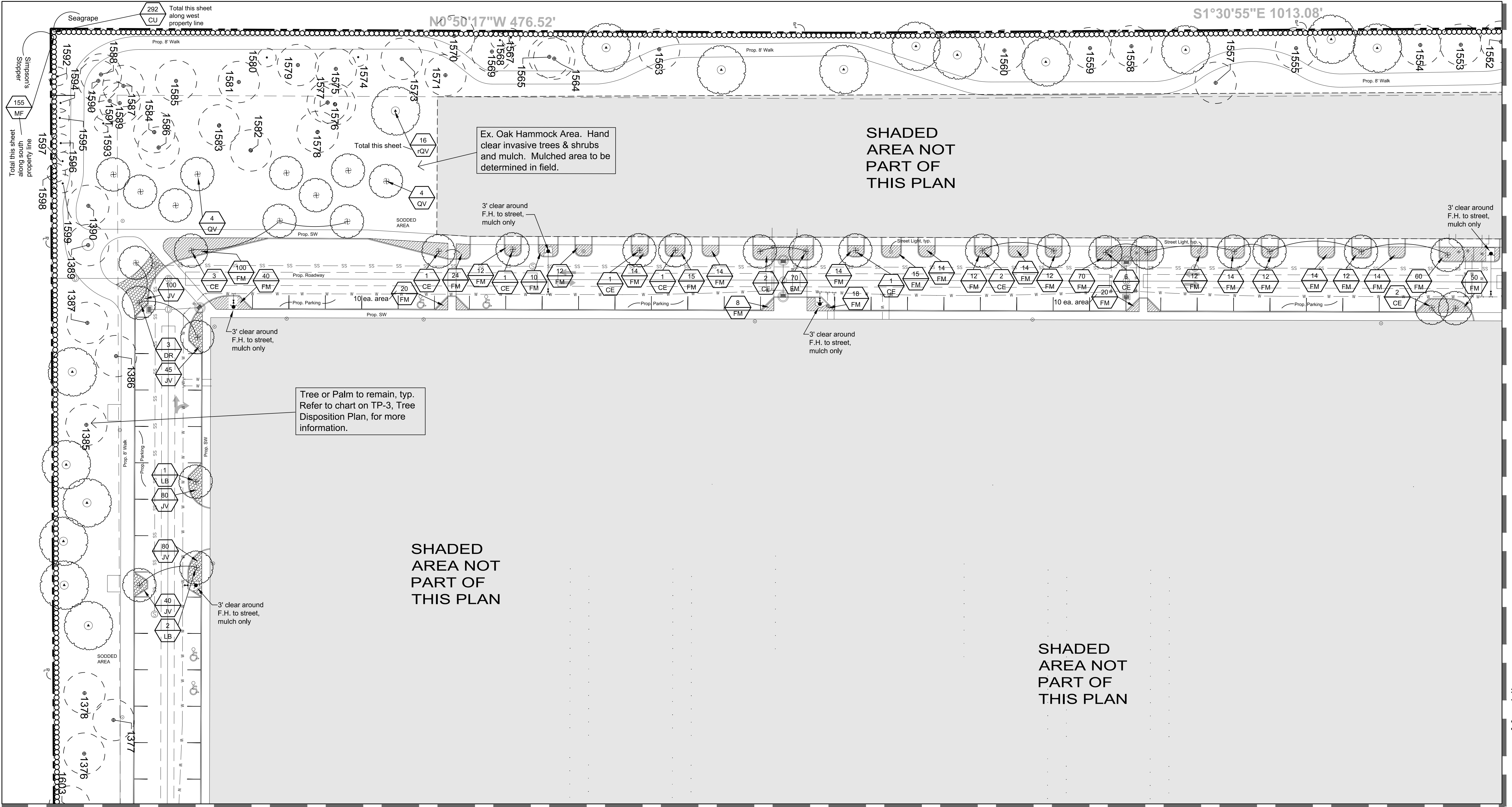
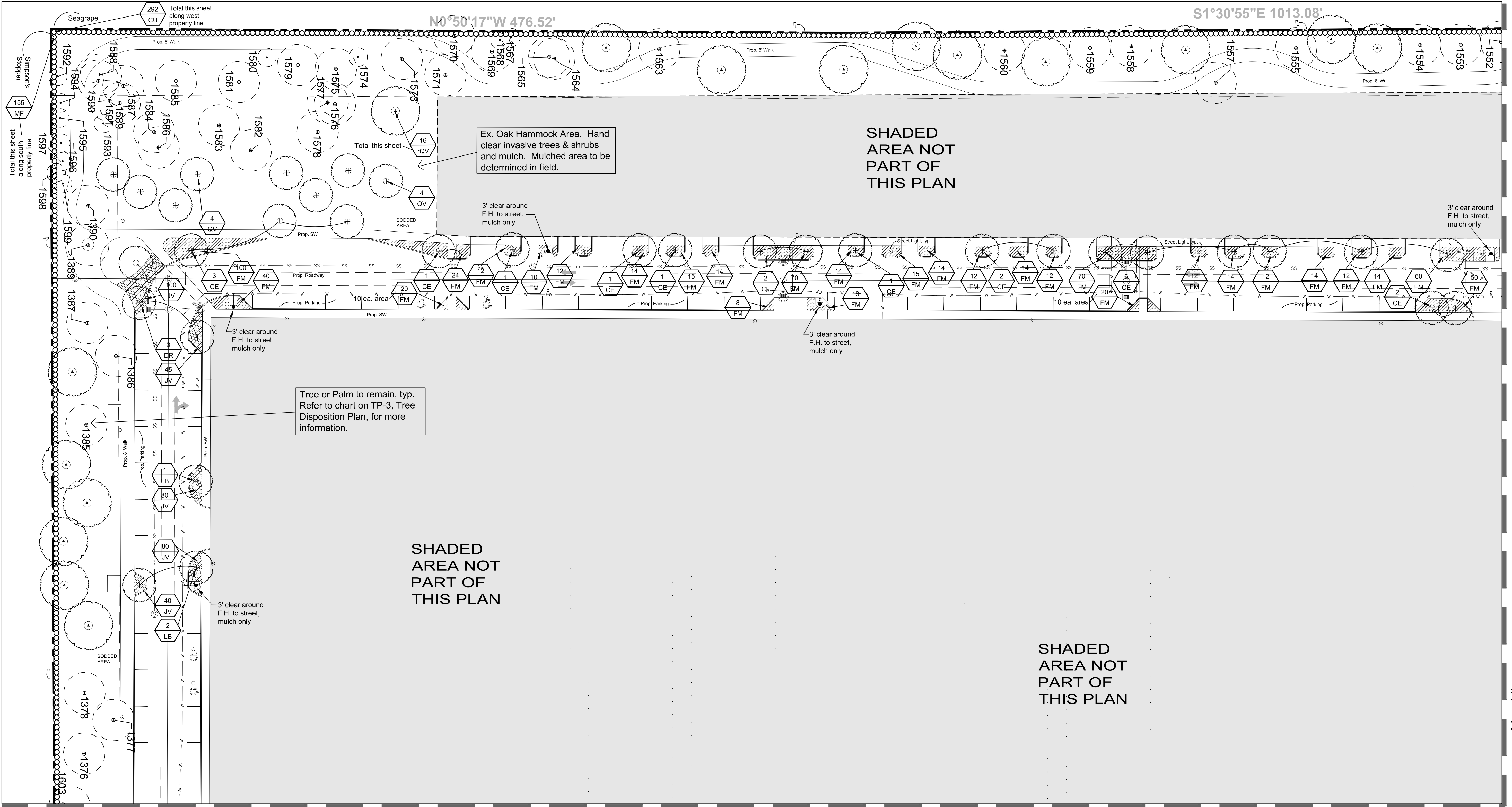
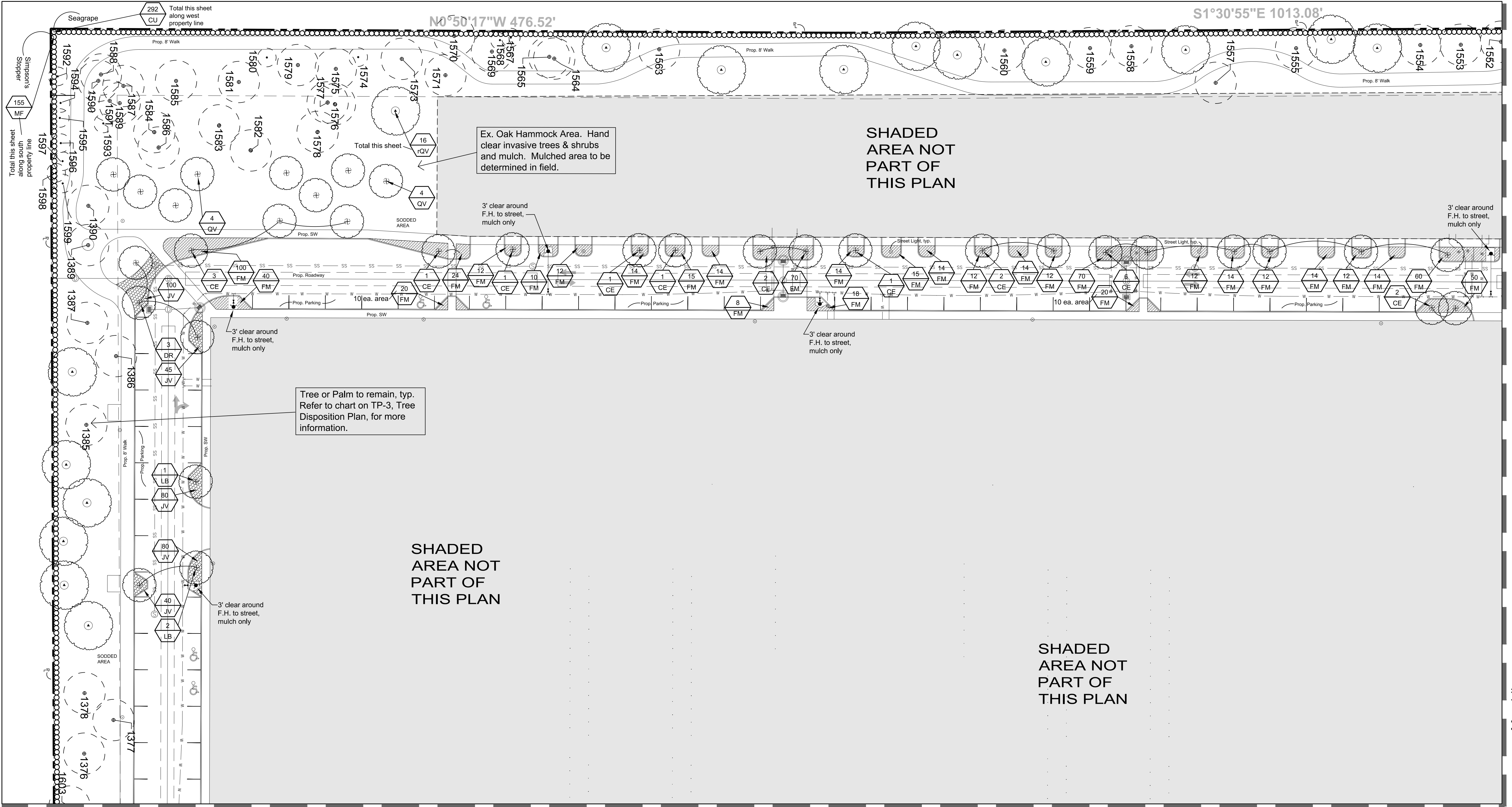
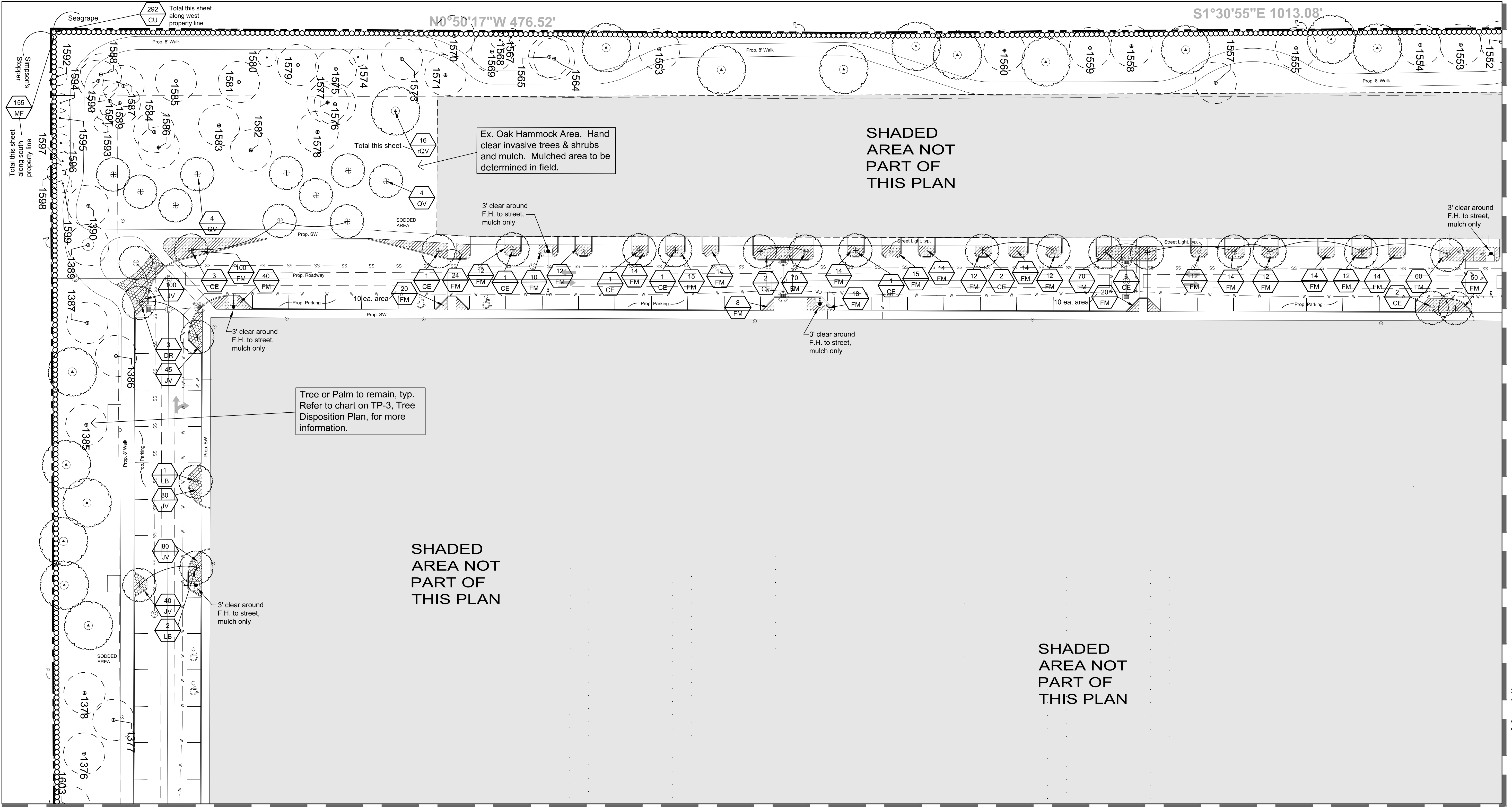
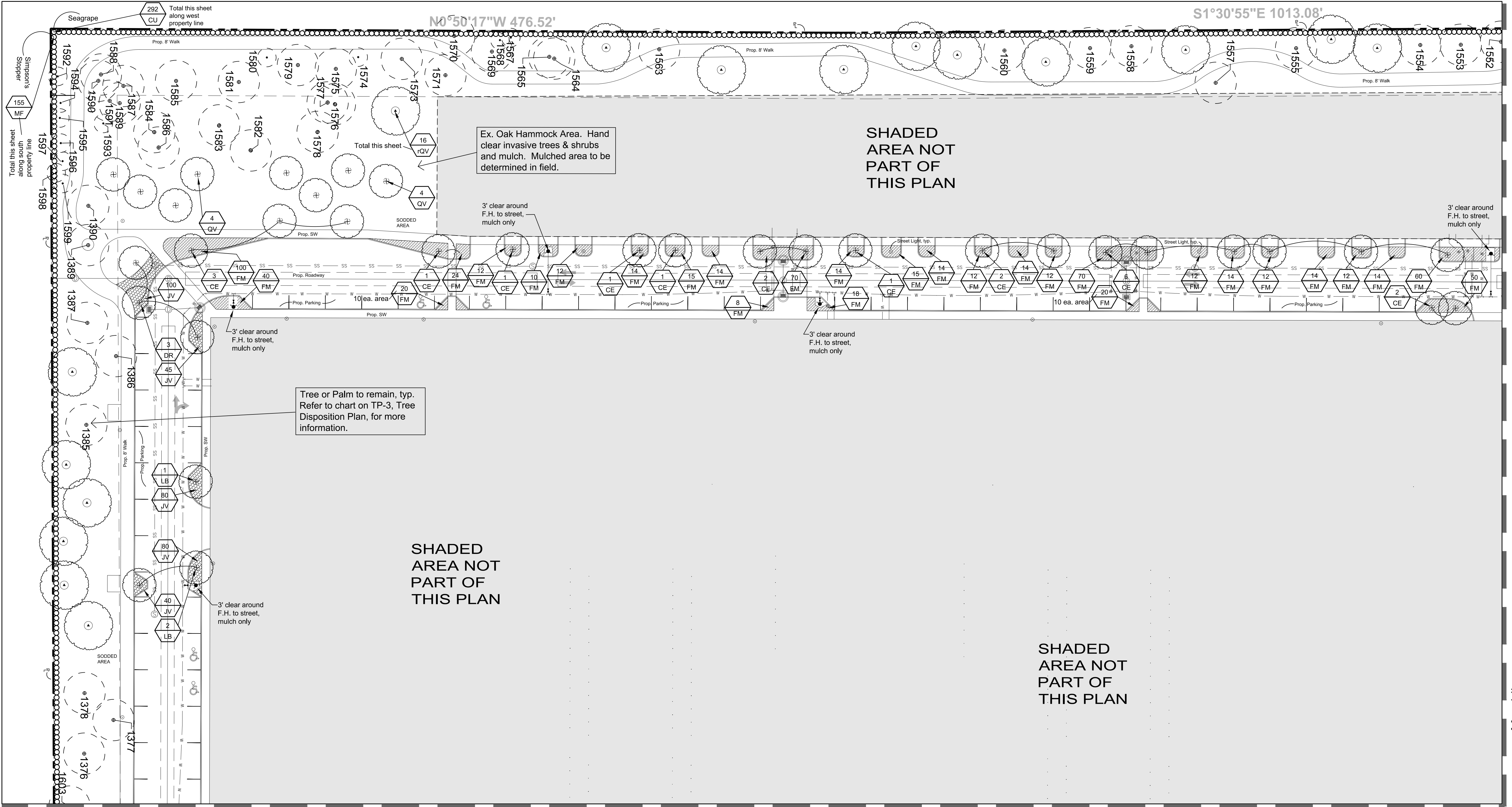
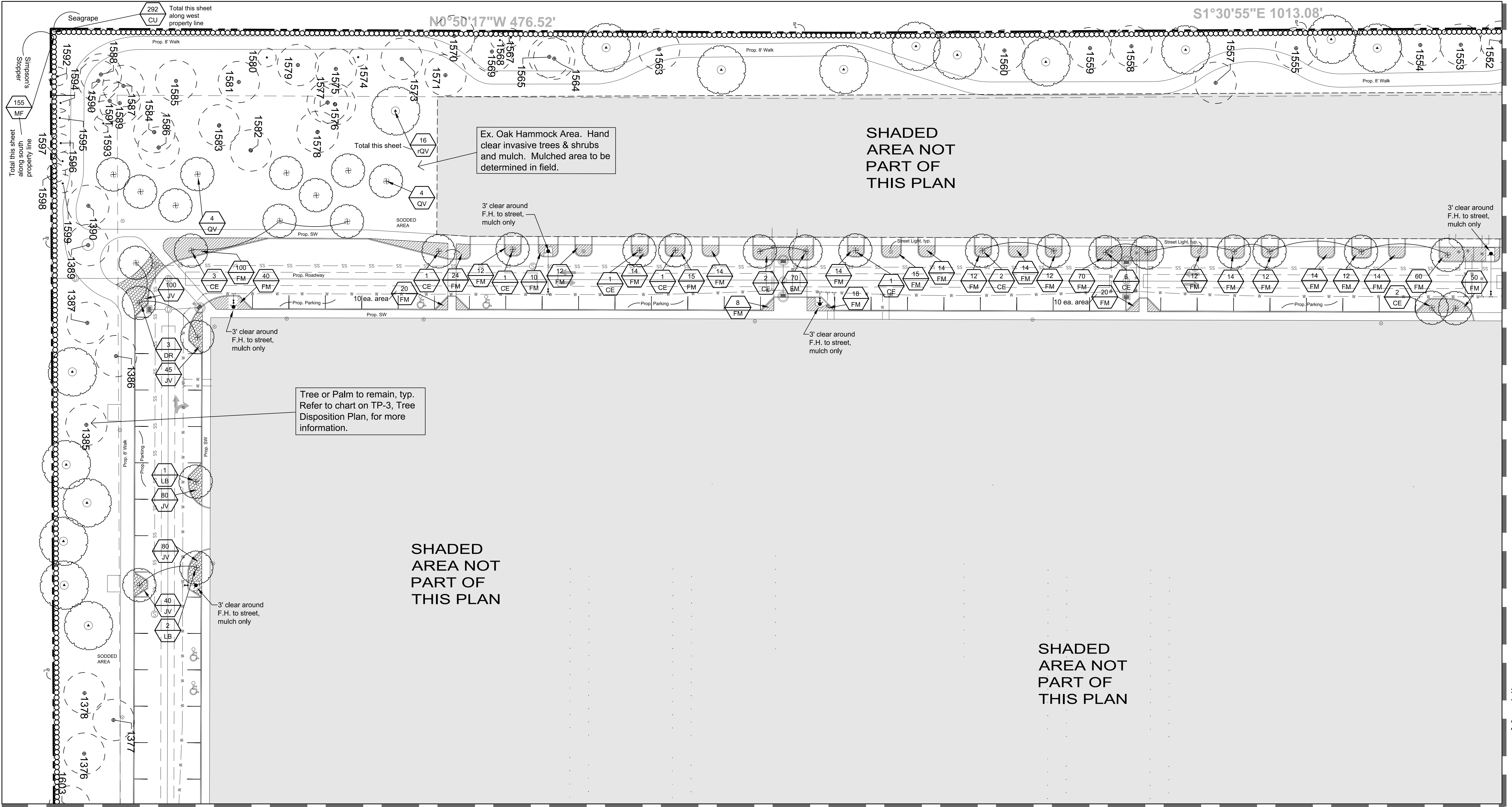
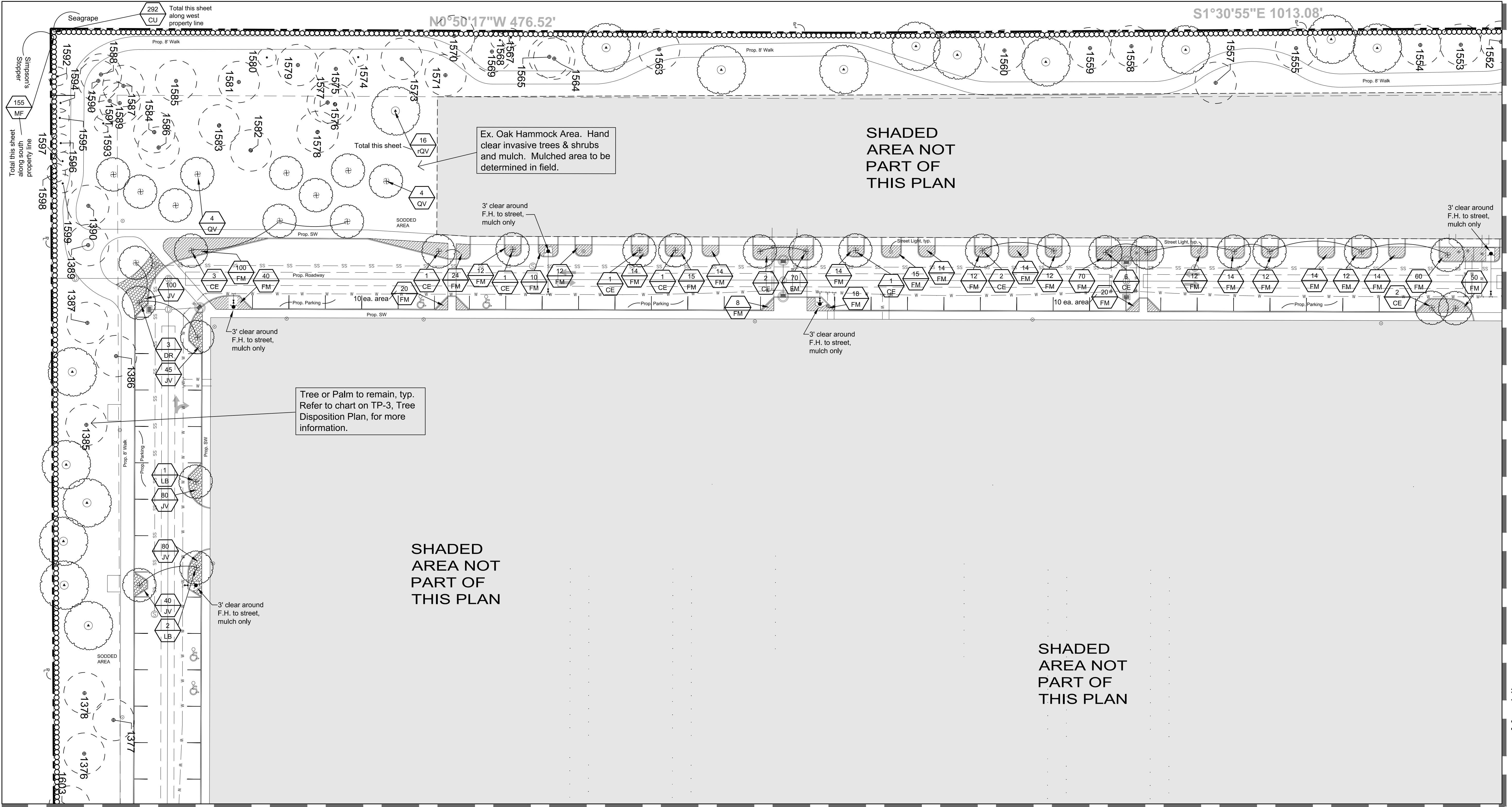
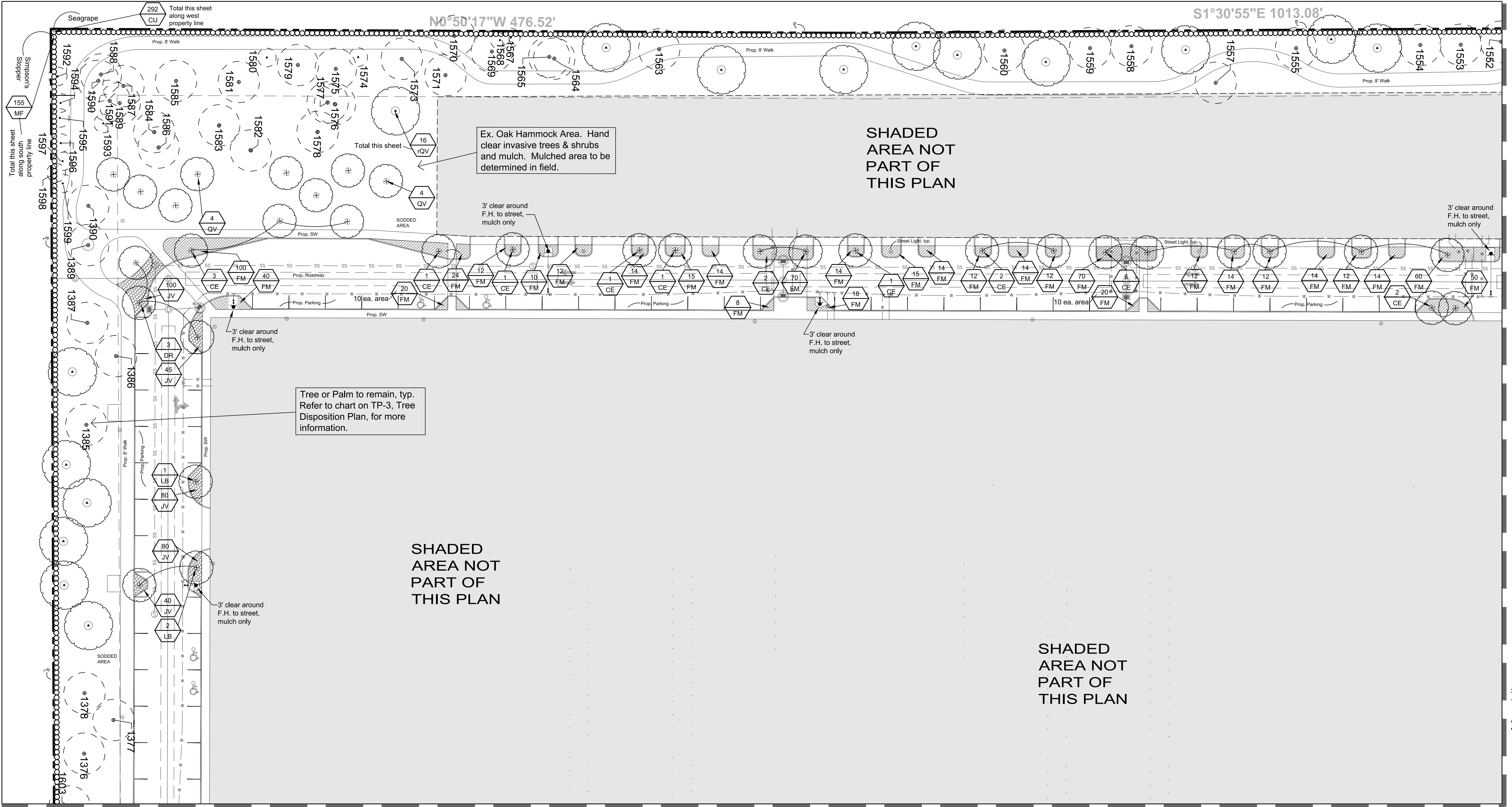
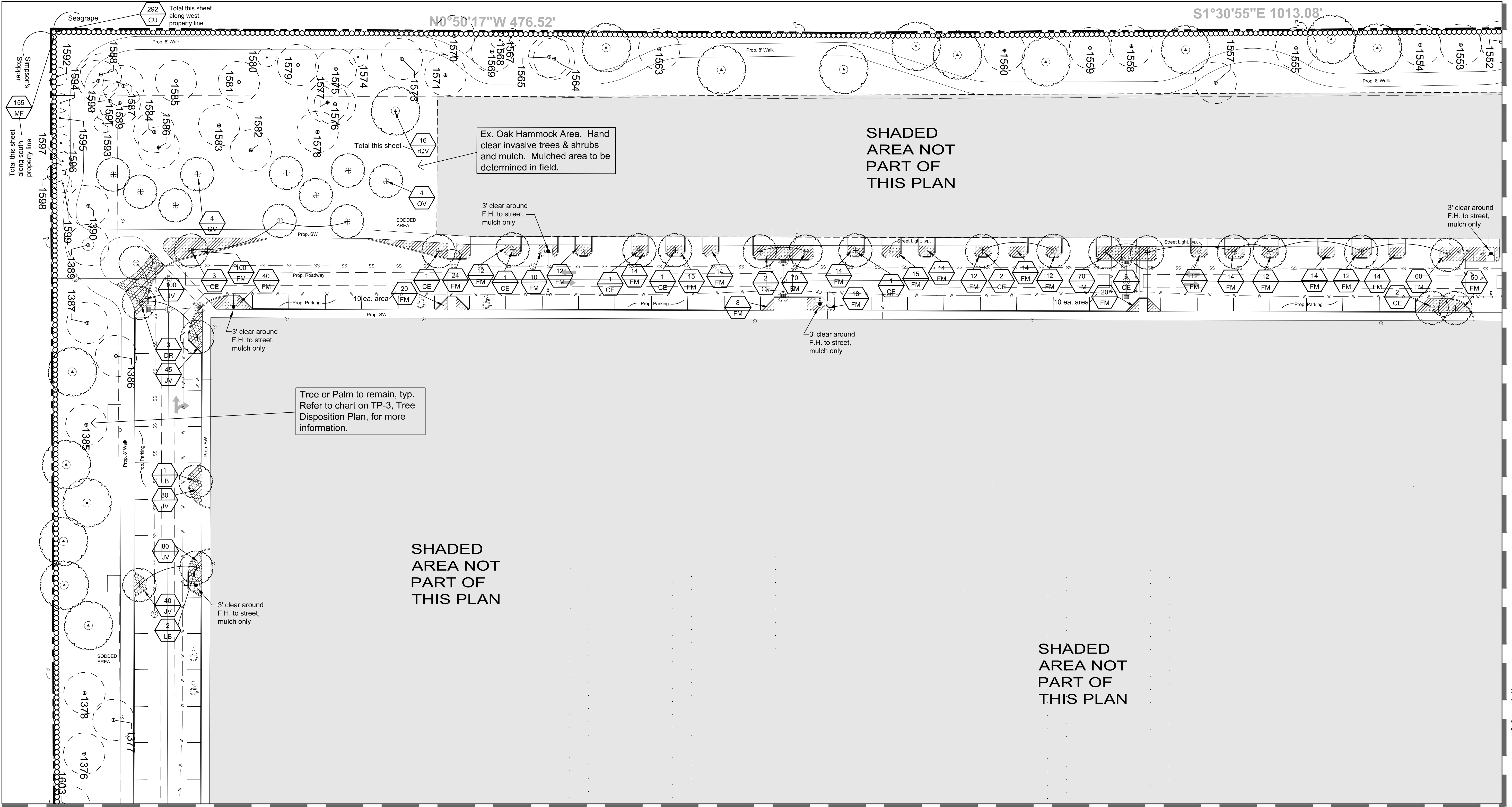
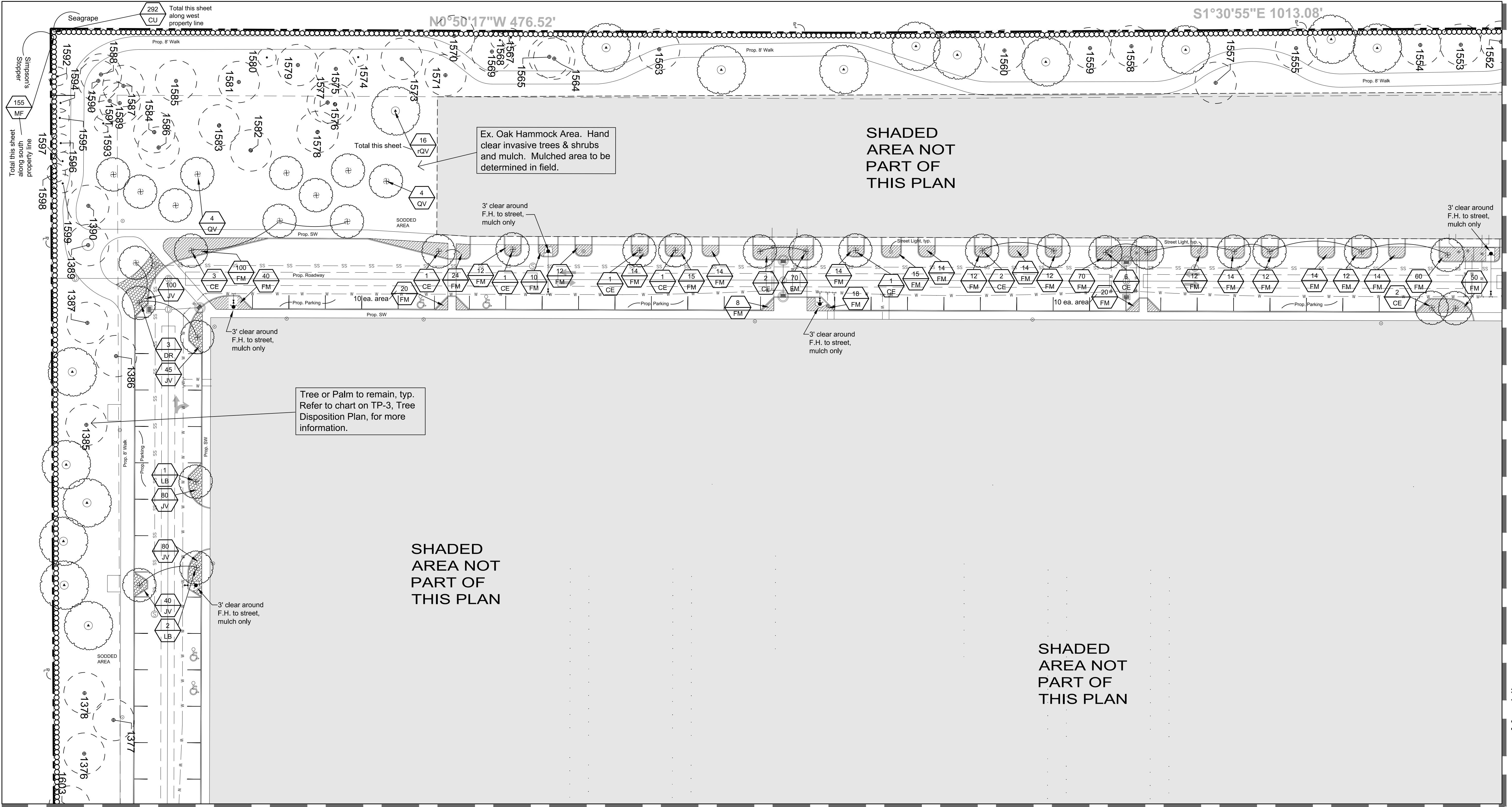
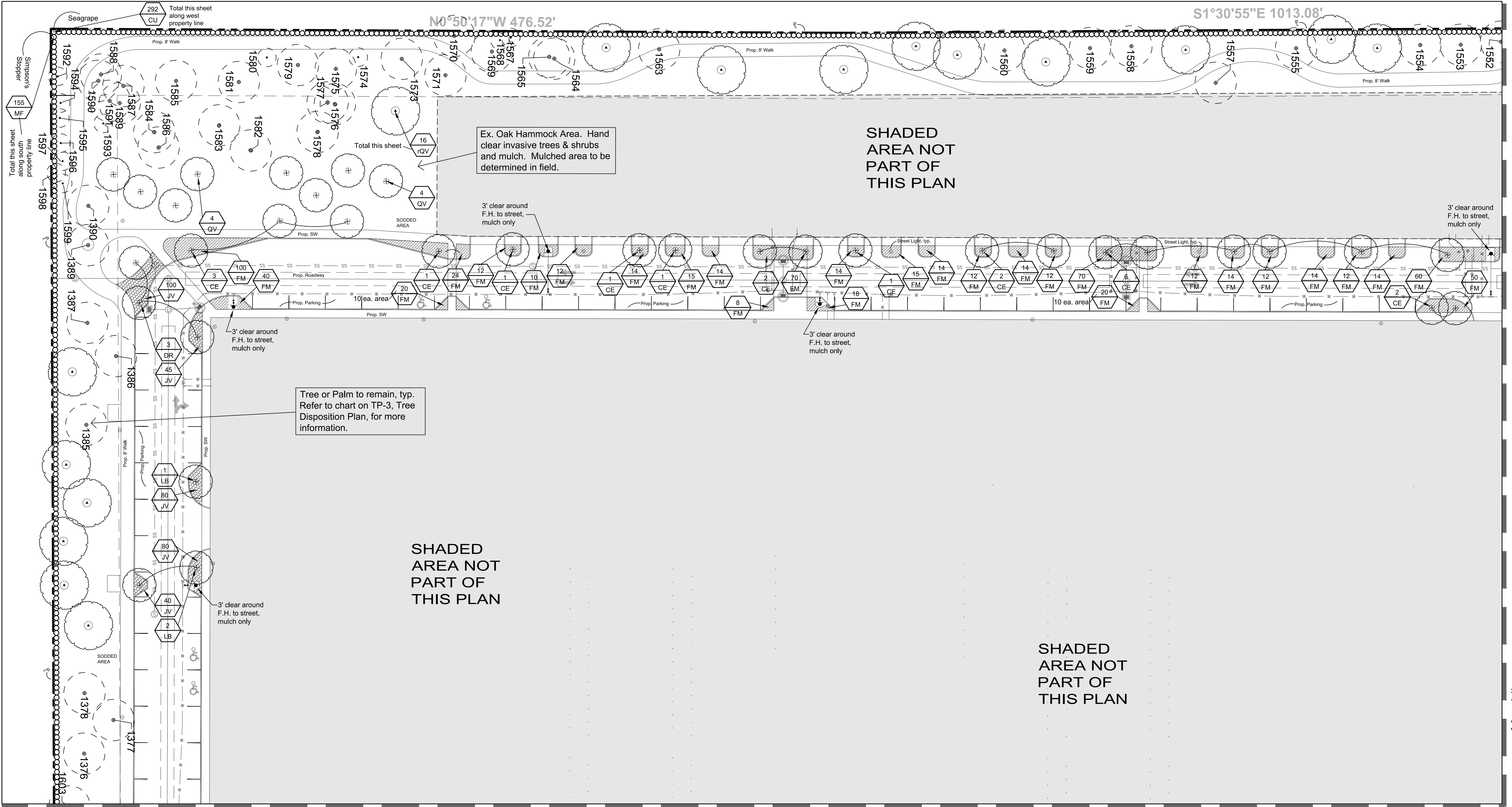
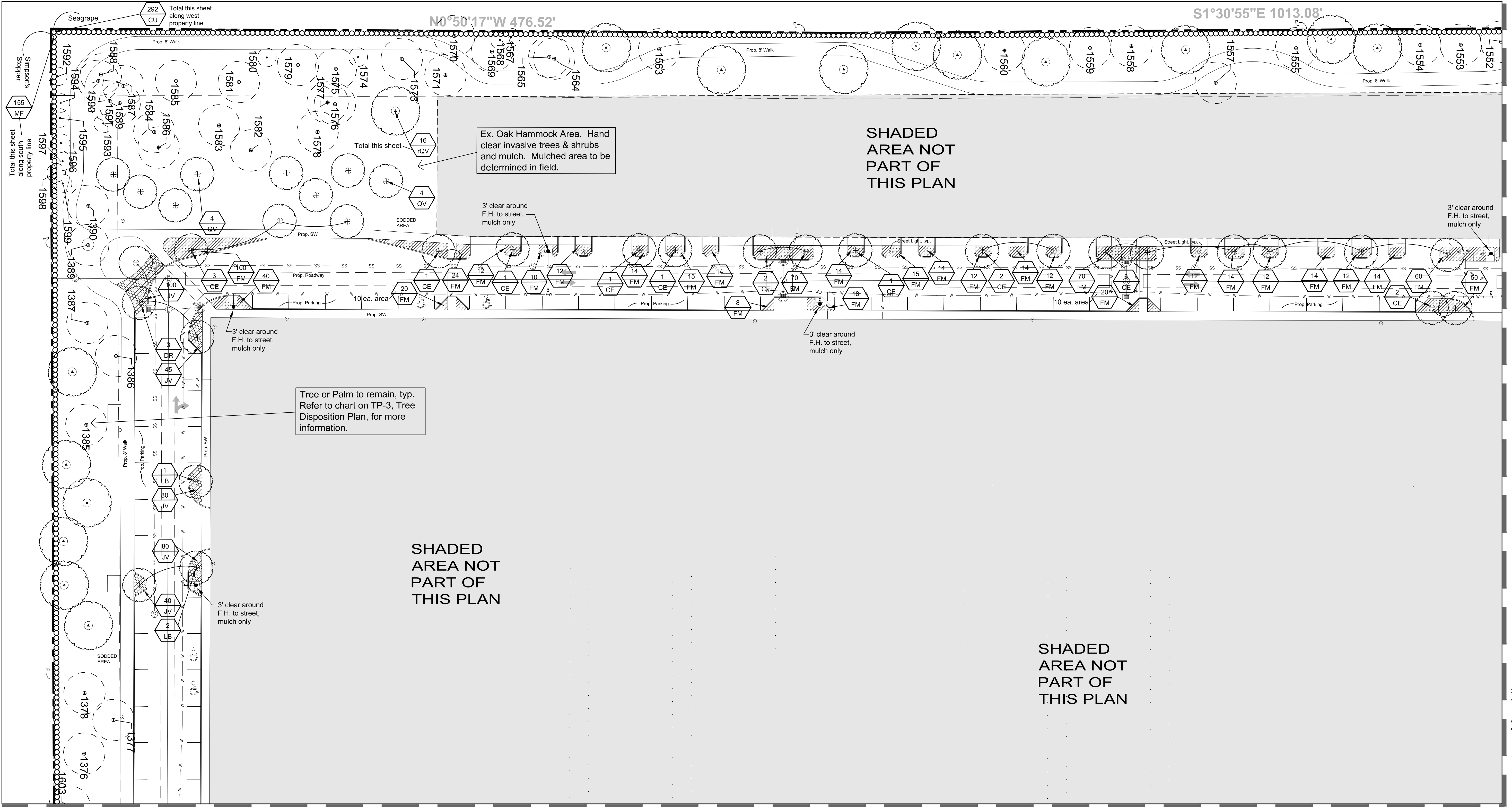
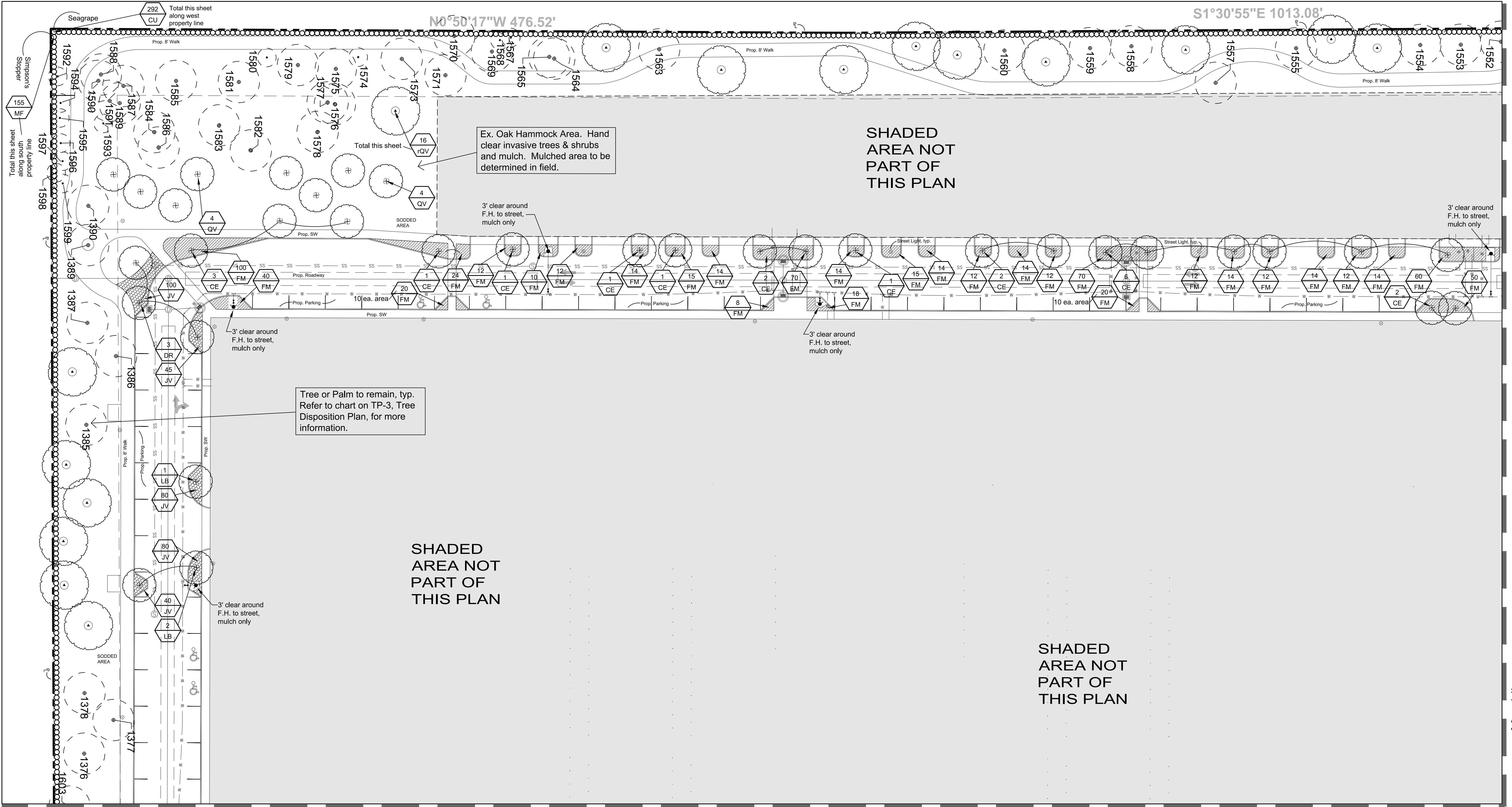
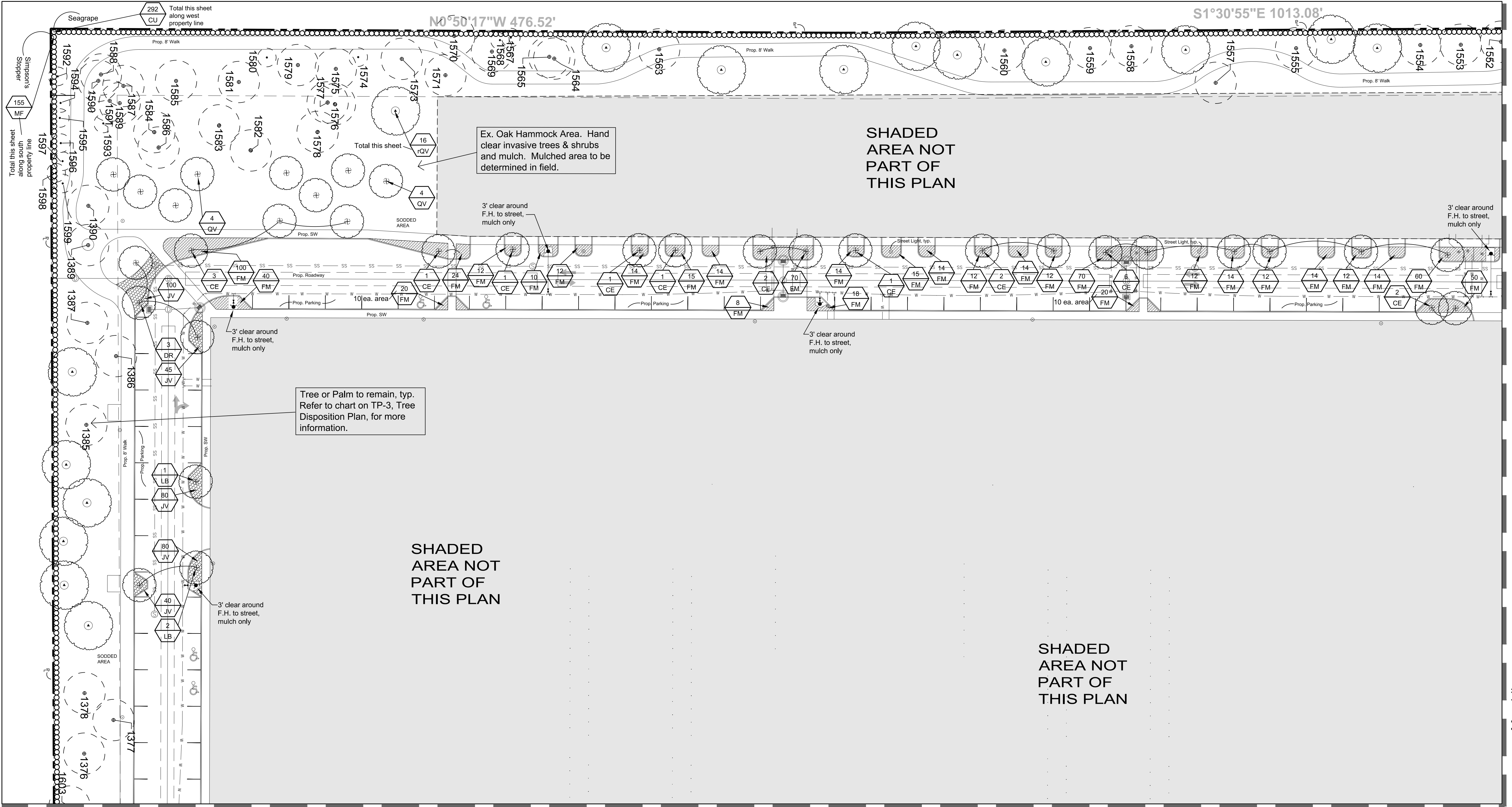
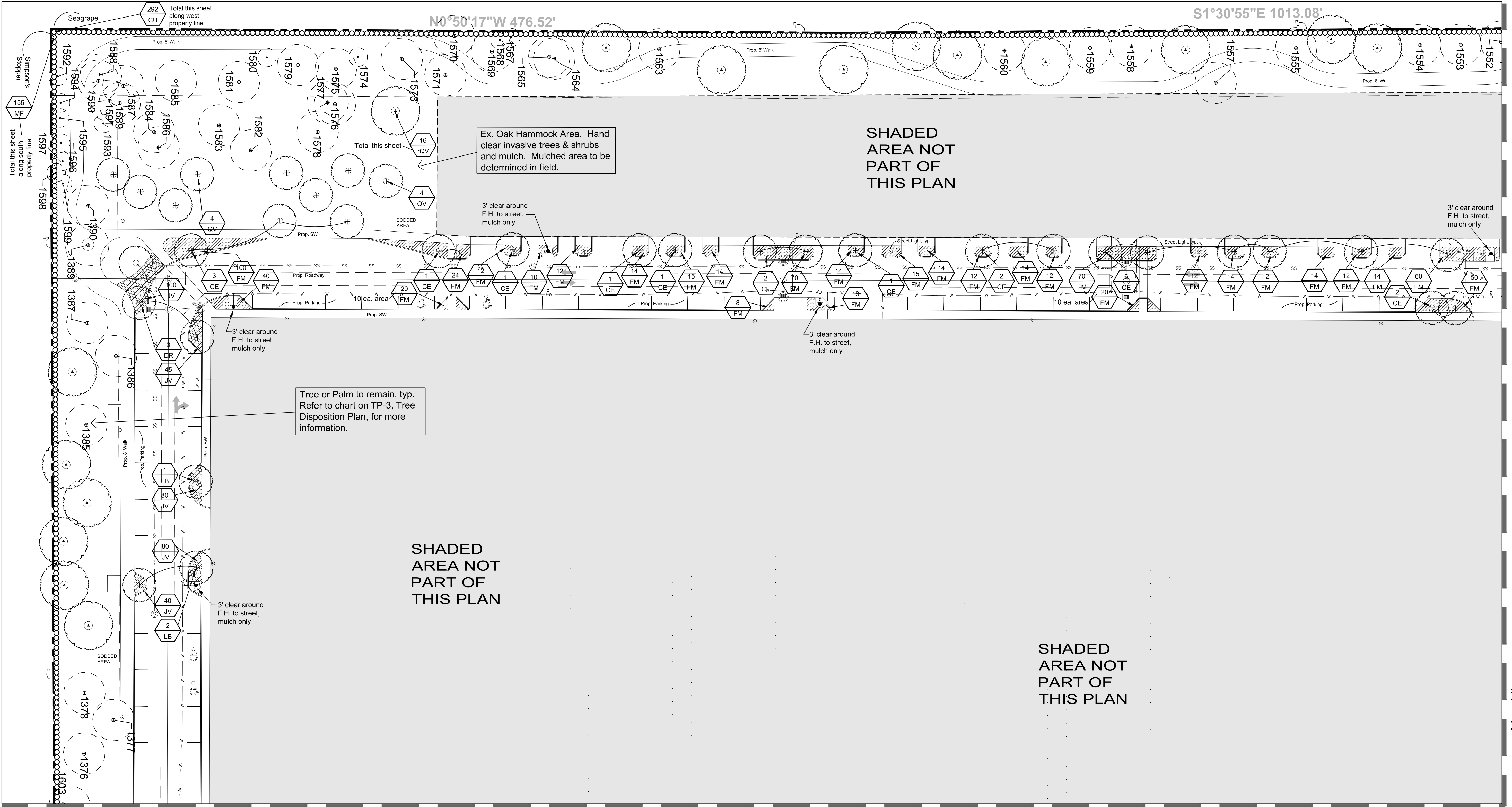
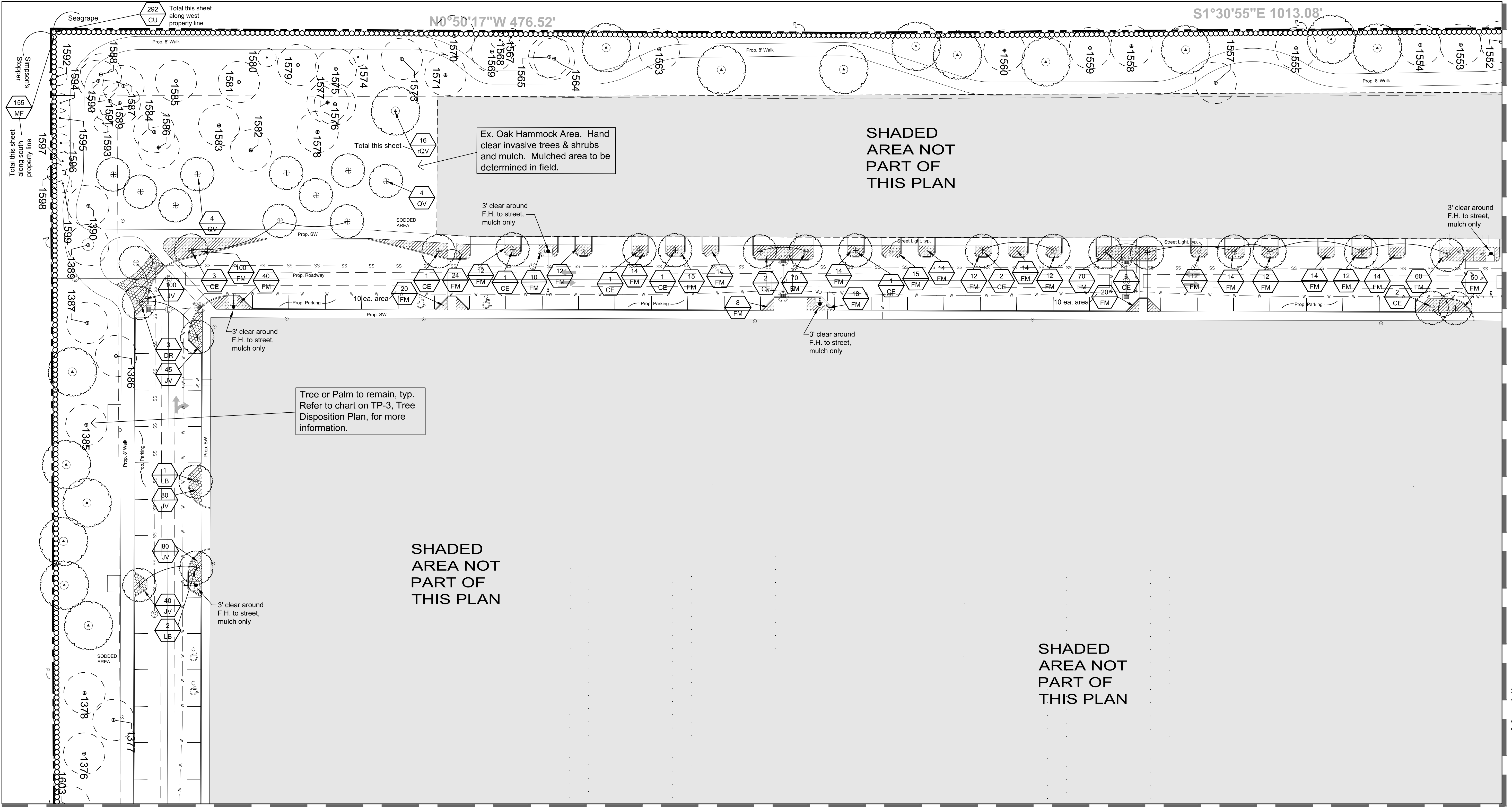
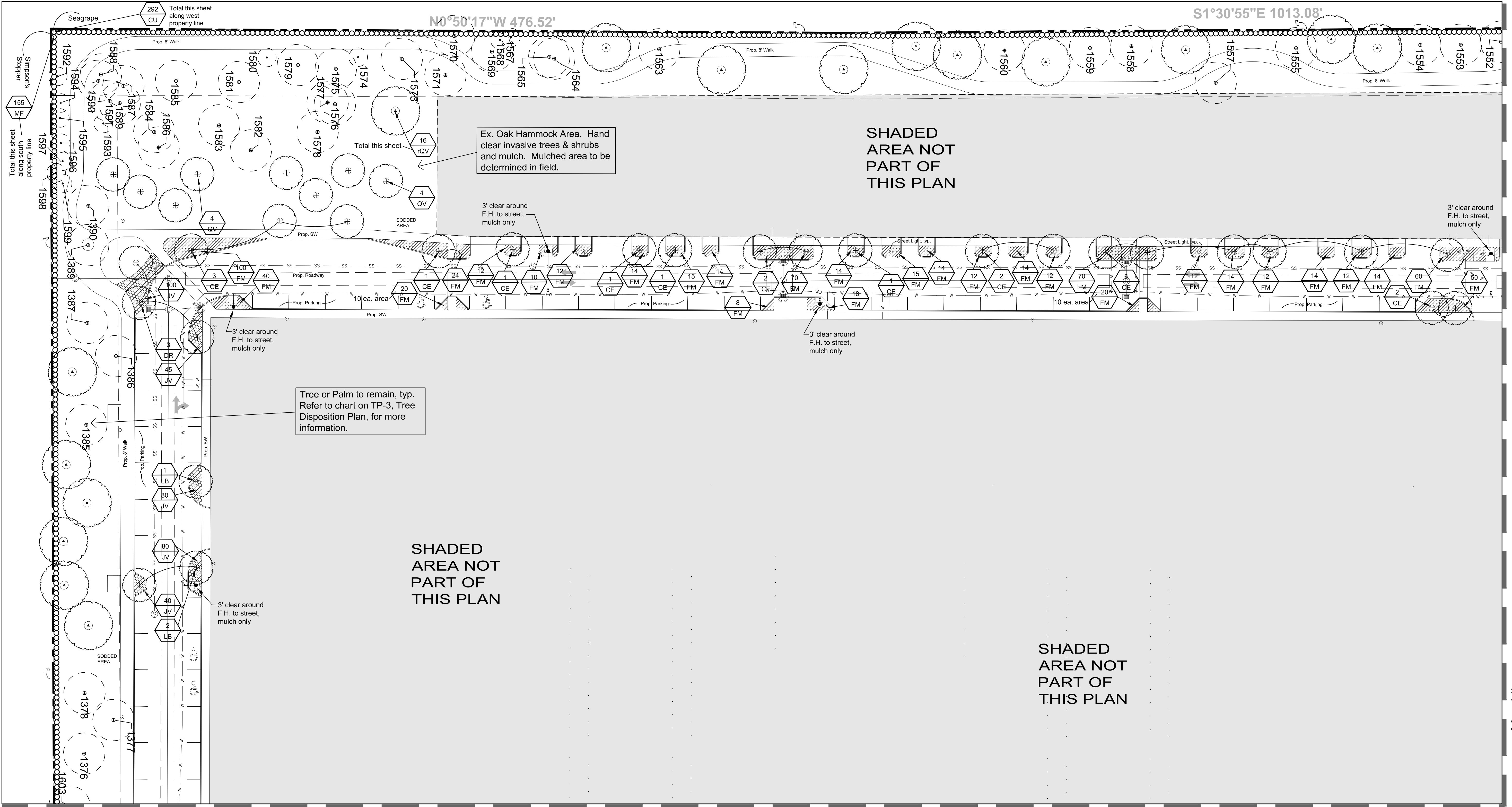
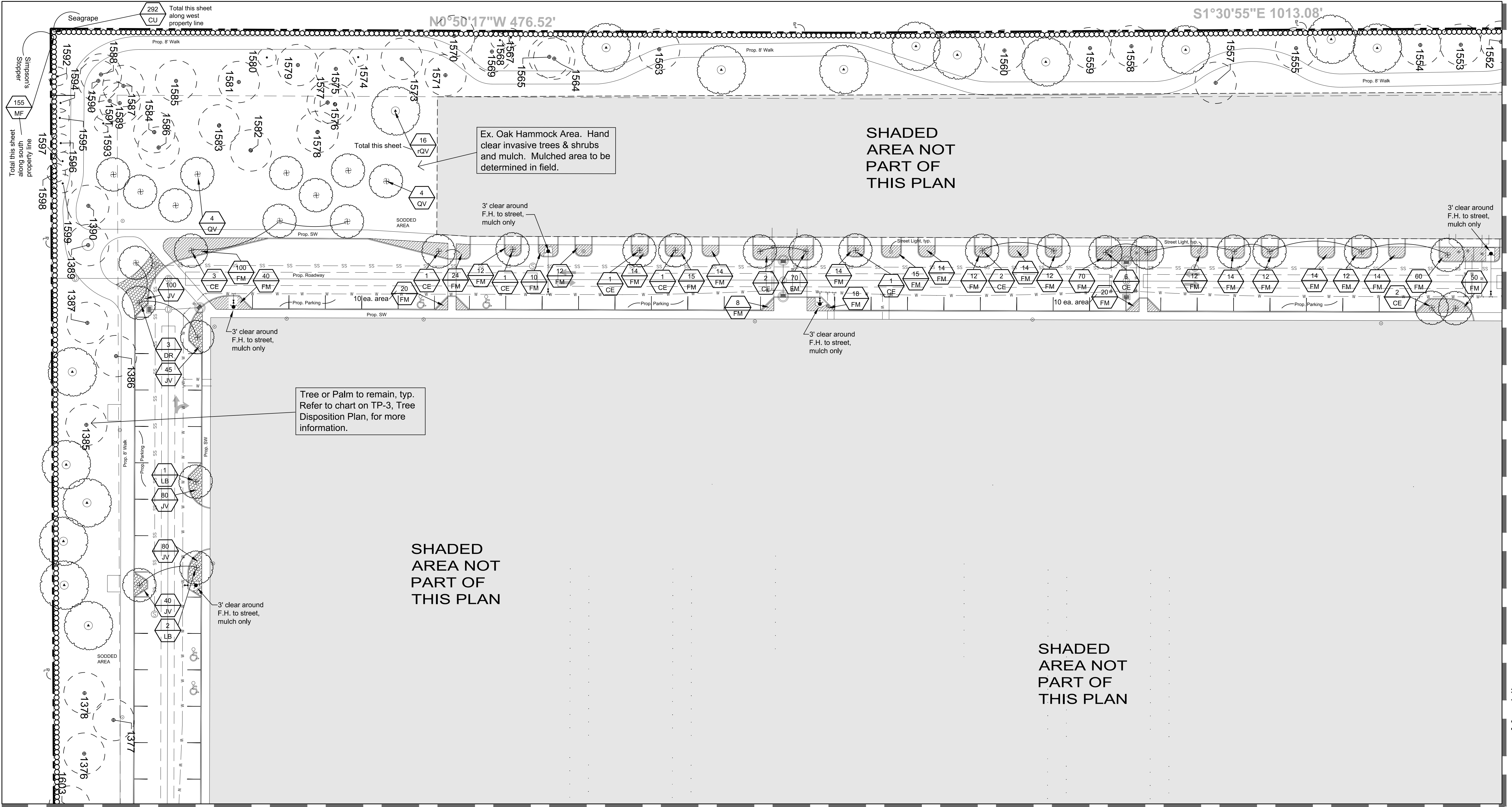
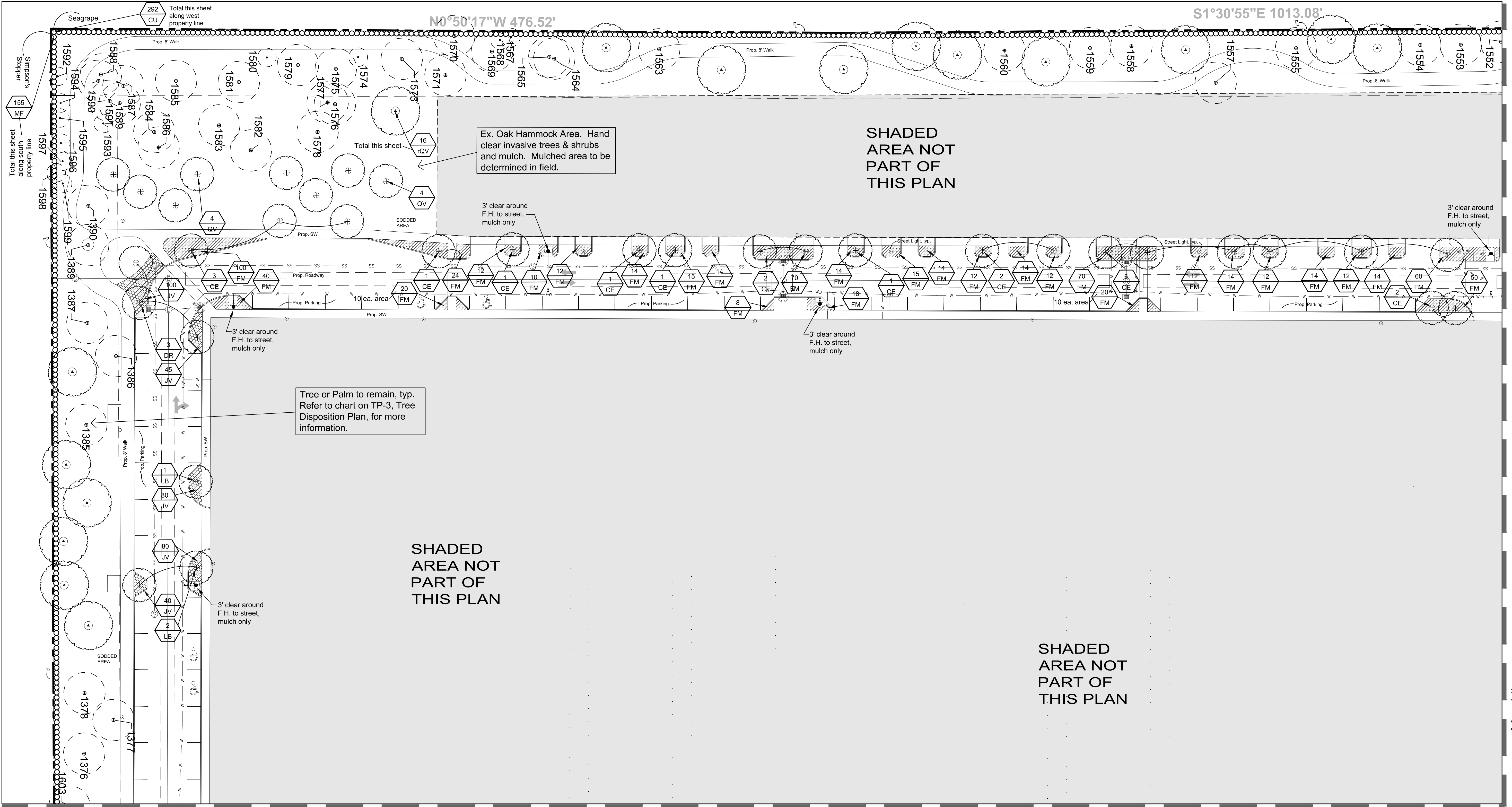
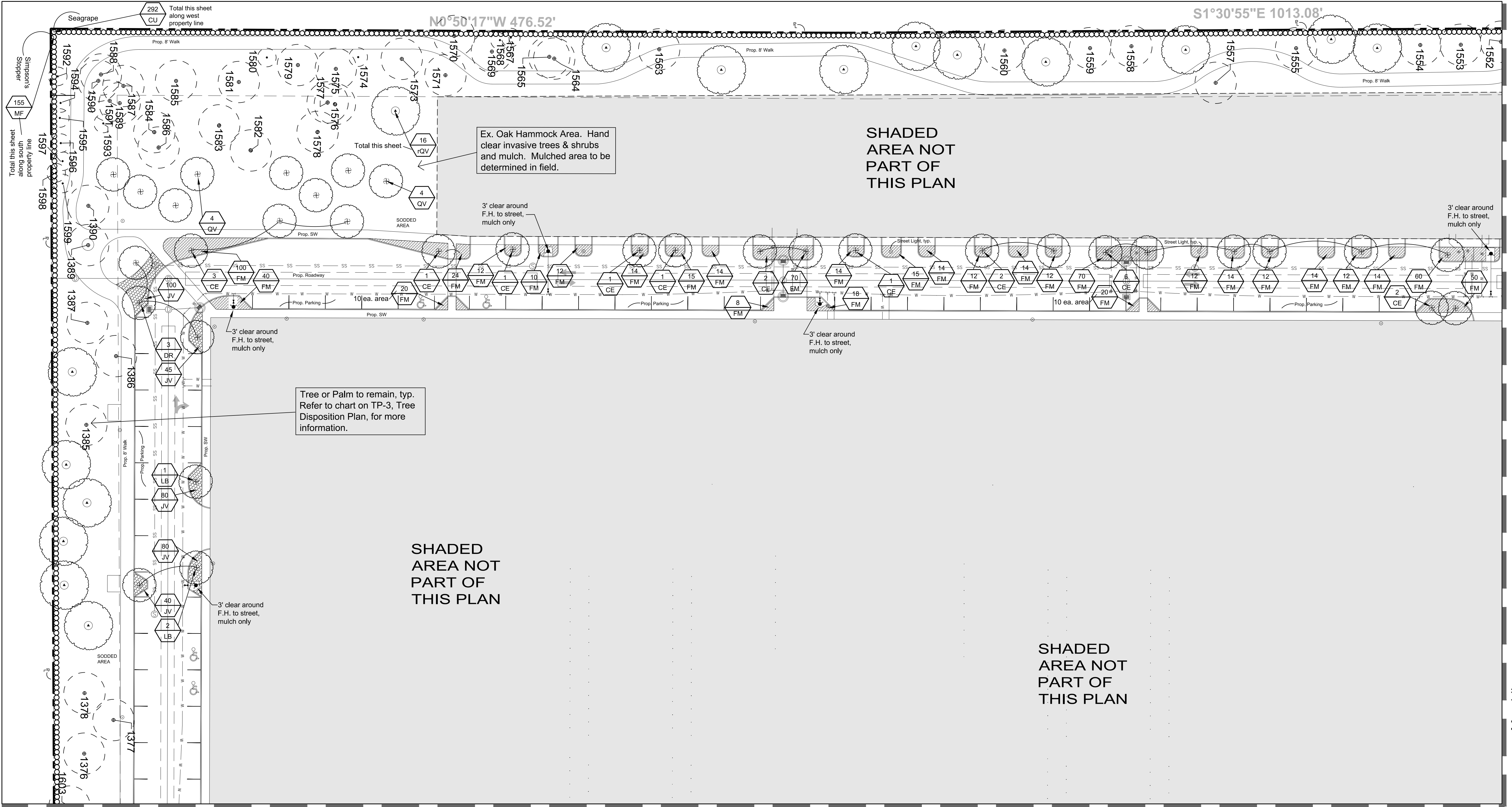
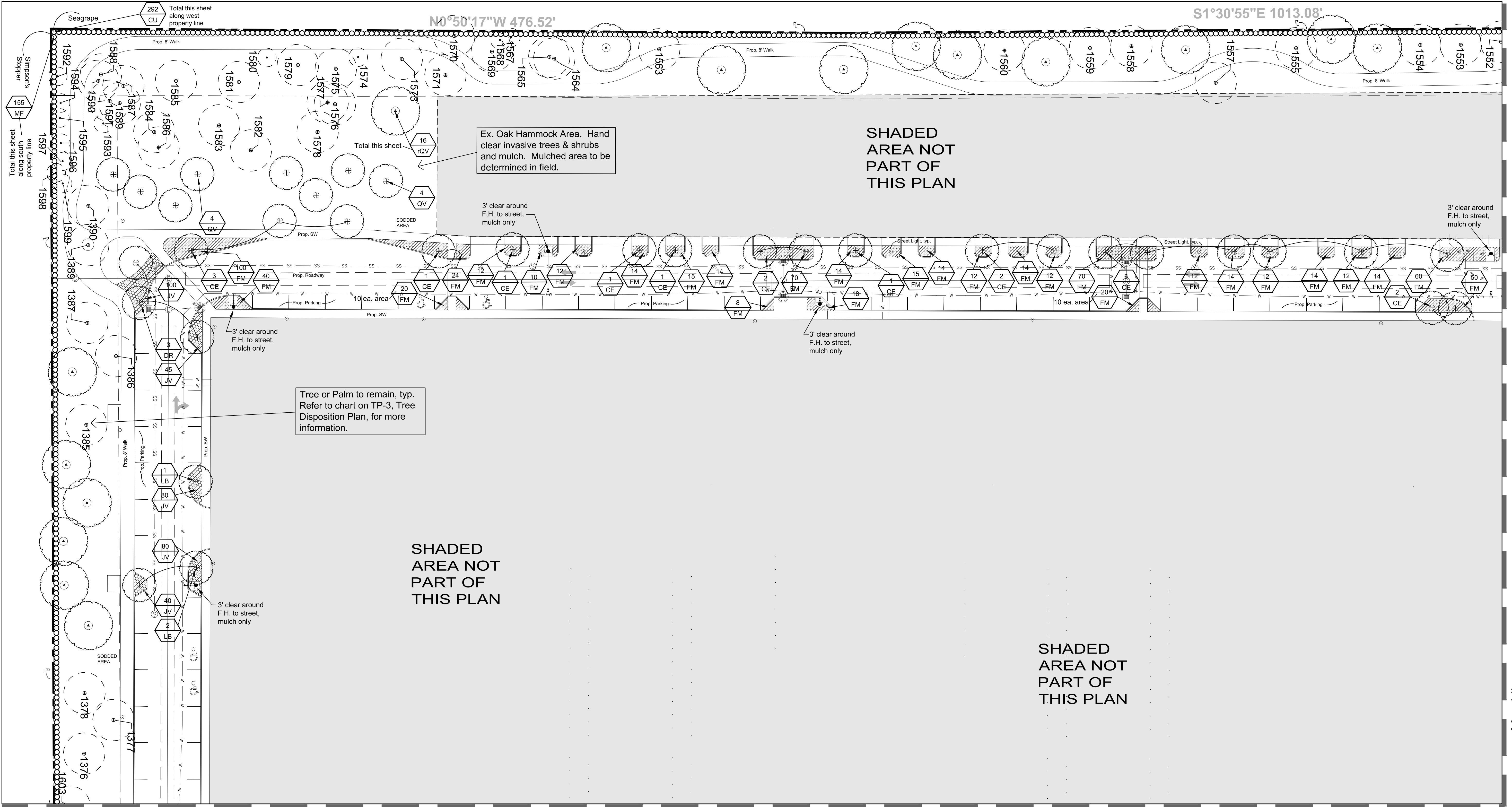
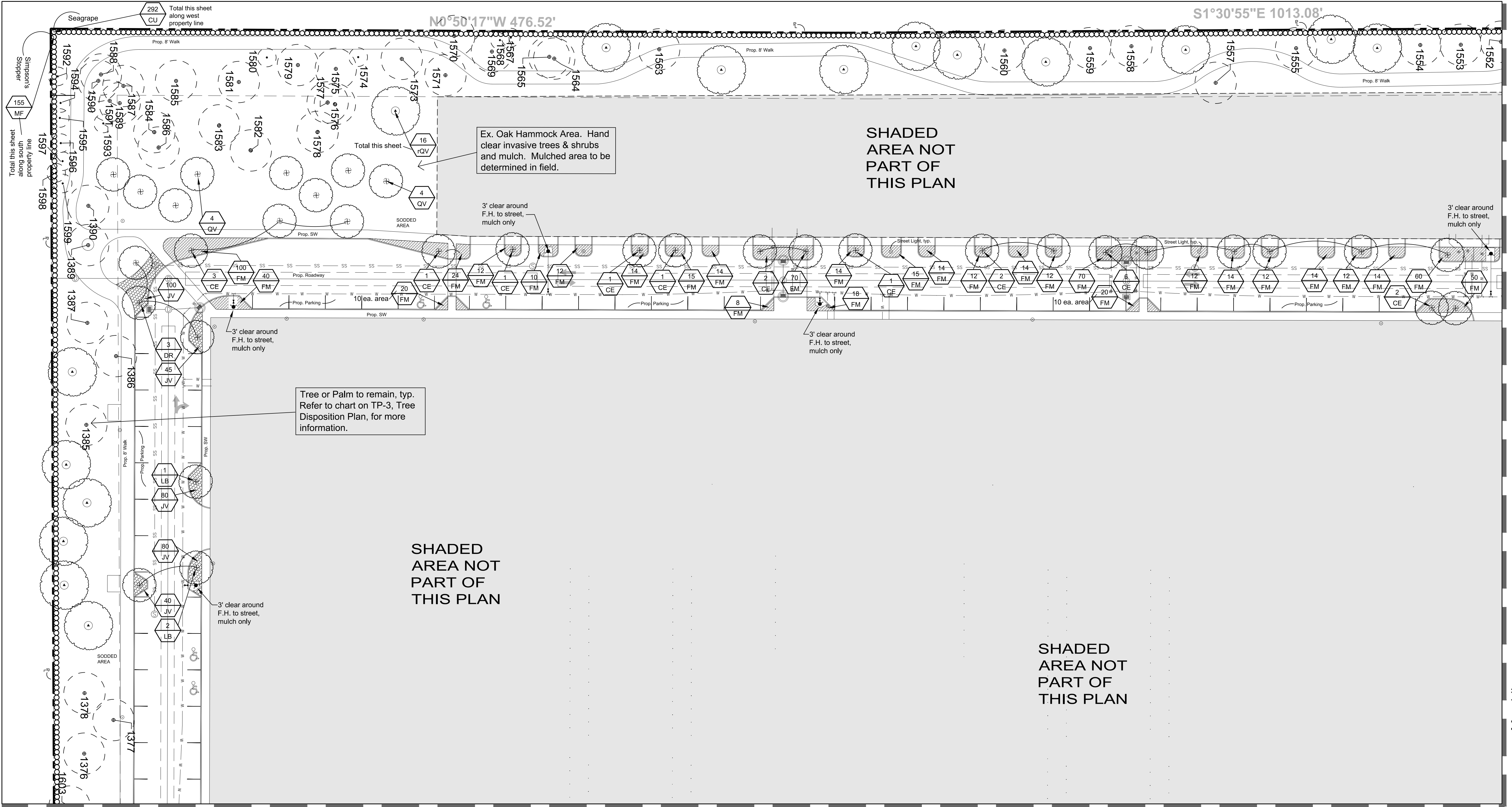
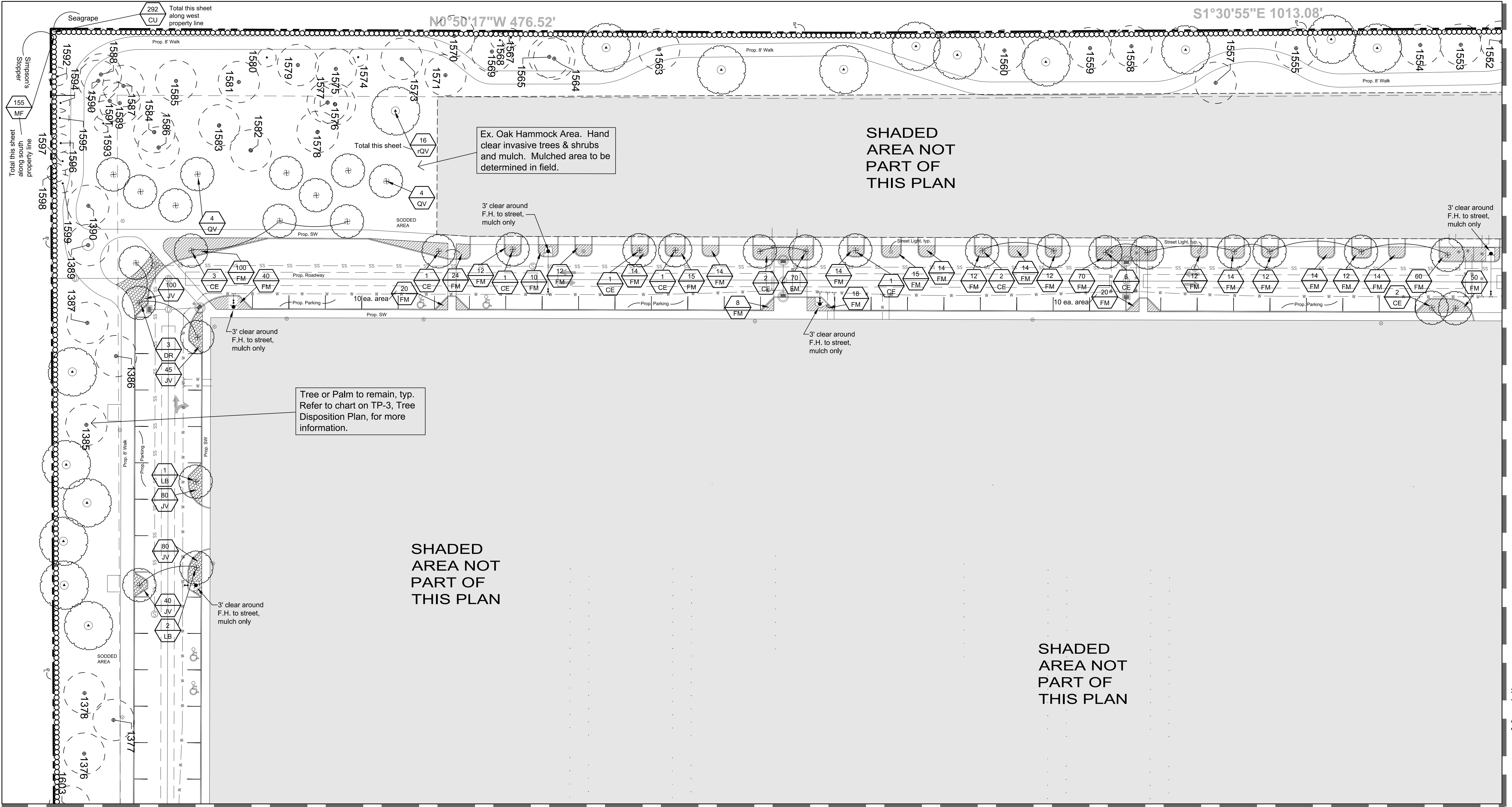
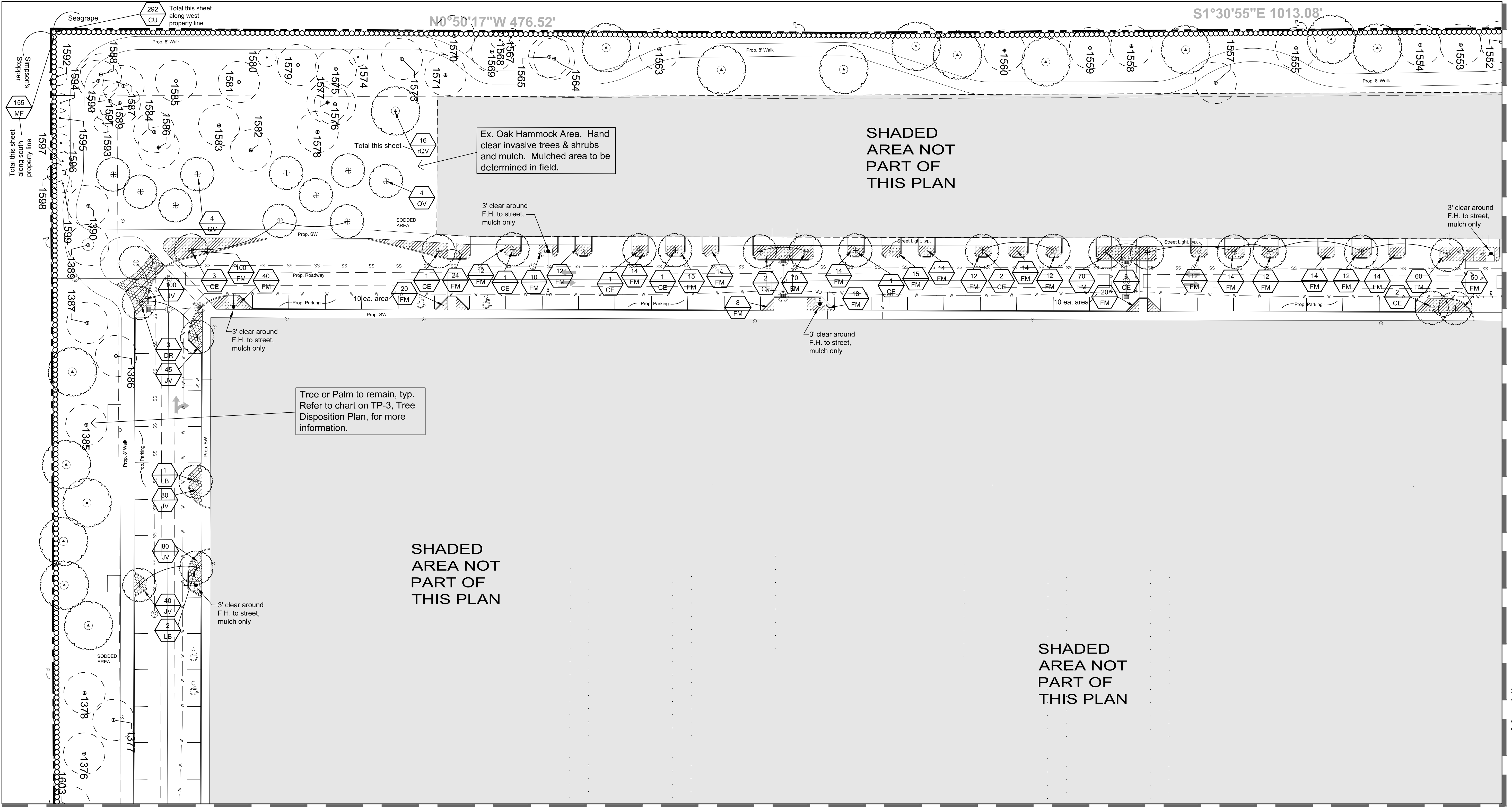
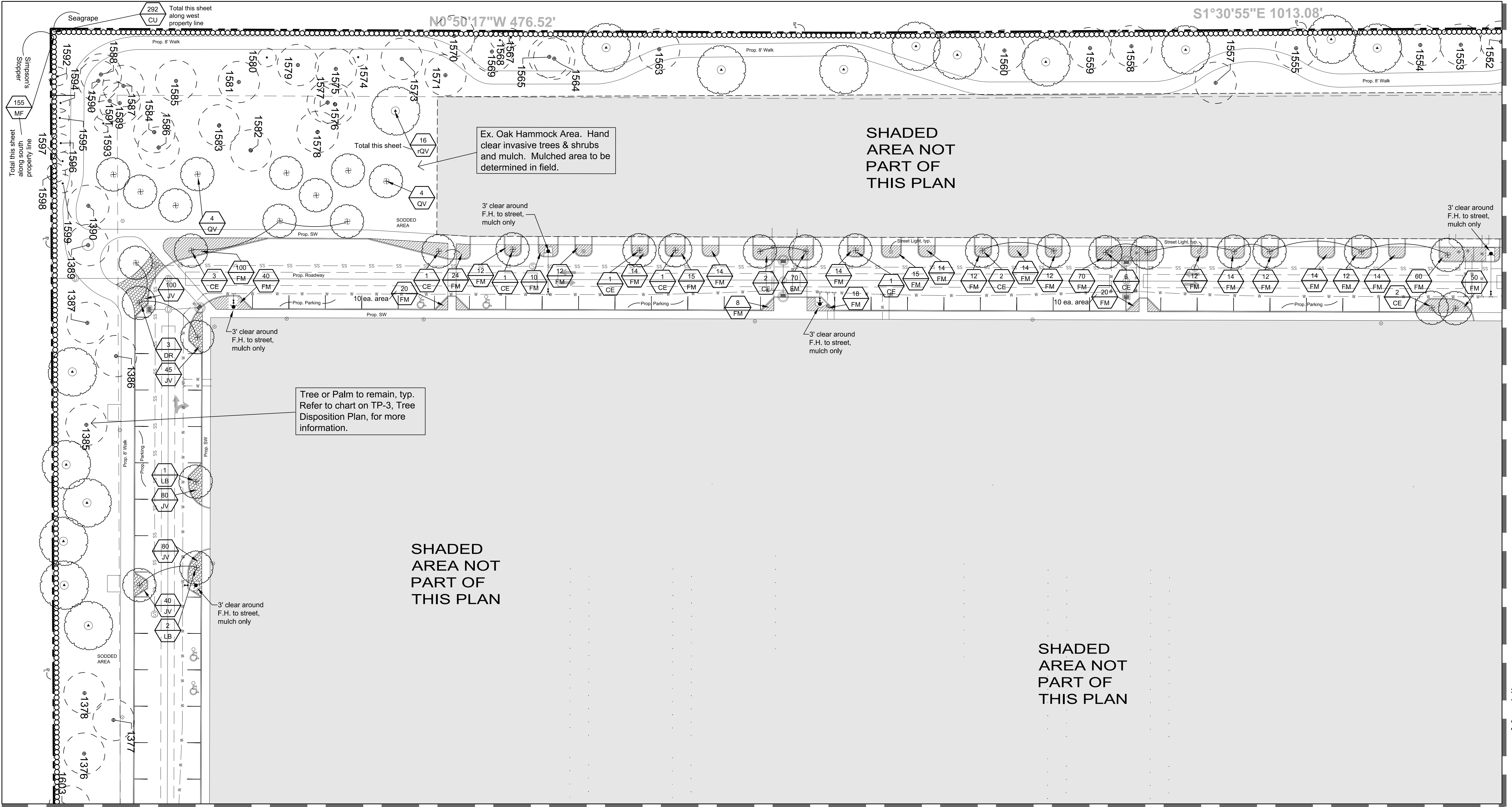
Date	05-06-2019
Scale	As Noted
PN#	1231

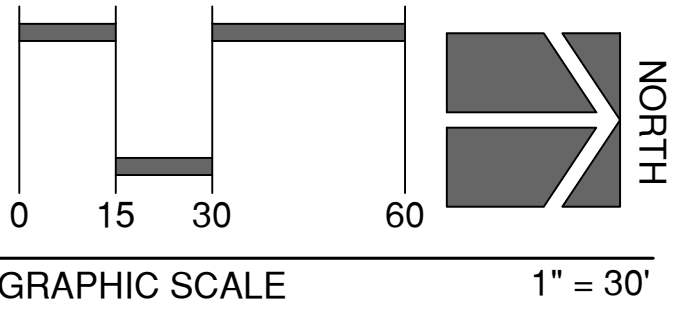
PREPARED BY

Steven E. Tate, RLA
Landscape Architect #967
State of Florida
For The Firm

DATE

Drawing No.
LP-1
OF 8





Drawing No.
LP-3
OF 8

SEE SHEET LP-2



SEE SHEET LP-5

SEE SHEET LP-6



**Covelli
Design
Associates Inc.**

2295 NW Corporate Blvd., Suite 213
Boca Raton, Florida 33431
561-910-0330

LC 26000287
covelldesign.com

Urban Planning • Landscape Architecture

Infrastructure
Landscape Plan
1690-2350 South Congress Avenue
Delray Beach
Florida

Date	05-06-2019
Scale	As Noted
PN#	1231

PREPARED BY

Steven E. Tate, RLA
Landscape Architect #967
State of Florida
For The Firm

DATE

Drawing No.
LP-4
OF 8



SEE SHEET LP-7

Quantity	Plan Symbol	Botanic Name / Common Name Specification	Degree of Drought Tolerance	Tree/Palm Replacement 1:1	Tree d.b.h. Replacement
135	AZ	Alpinia zerumbet 'Variegata' / Variegated Shell Ginger 24" o.a., full, 24" o.c.	VERY		
18	BA	Bulnesia arborea / Verawood 16" ht. x 8' spr., 4" cal., balanced branching, 5' c.t.	VERY		18 @ 4" 72"
43	CA	Crinum procerum splendens / Queen Emma Lily 30" ht.	VERY		
36	CE*	Coccocarpus Erectus / Green Buttonwood 16" ht. x 8' spr., 4" cal., balanced branching, 5' c.t.	VERY		36 @ 4" 144"
24	CES*	Coccocarpus erectus sericeus / Silver Buttonwood 12" ht. x 6' spr., 5' c.t., multi-stem tree form	VERY	24	
10	CG	Caesalpinia granadillo / Bridalveil Tree 12" ht. x 6' spr., 5' c.t.	MOD	10	
5	CS	Chorisia speciosa 'Monsa' / Thornless Floss Silk Tree 16" ht. x 8' spr., 8" cal., balanced branching, 5' c.t.	VERY	4	1 @ 5" 5"
500	CU	Coccoloba uvifera / Seagrape 36" ht. x 24" spr., 30" o.c., full to ground	VERY		
1047	CI*	Chrysobalanus Icaao 'Red Tip' / Red Tip Cocoplum 24" ht. x 15" spr., 24" o.c.	VERY		
15	DR	Delonix regia / Royal Poinciana 18-20' x 10' spr., 6" cal., balanced branching, 6' c.t.	VERY	1	14 x 6" 90"
780	ES	Euphorbia milii "Short & Sweet" / Thornless Crown 10" o.a., 12" o.c., pink	VERY		
2415	FM	Ficus microcarpa 'Green Island' / Green Island Ficus 12" ht. x 15-18" spr., maintain at 24" ht.	-		
750	IV*	Ilex Vomitoria 'Shellings Dwarf' / Dwarf Yaupon Holly 10-12" ht. x 15" spr., 15" o.c.	VERY		
5950	JV	Jaminum volubile / Wax Jasmine 10-12" ht. x 15" spr., 15" o.c.	VERY		
35	LA	Lagerstroemia indica 'Muskogee' / Pink Crape Myrtle 16" ht. x 6.5' spr., 4" cal., 5' c.t. standard	VERY	25	10 x 4" 40"
11	LB*	Lysiloma Bahamiensis / Wild Tamarind 16" ht. x 8' spr., 4" cal., 5' c.t., balanced branching	VERY		11 x 4" 44"
30	LJ	Ligustrum Japonicum / Japanese Privet 12" ht. x 6' spr., 5' c.t., multi-stem tree form	VERY	30	

Quantity	Plan Symbol	Botanic Name / Common Name Specification	Degree of Drought Tolerance	Tree/Palm Replacement	Tree d.b.h. Replacement
403	MF*	Myrcianthes Fragrans / Simpson Stopper 30" ht. x 20-24" spr., 30" o.c.	VERY		
1530	MU*	Muhlenbergia capillaris / Pink Muhly Grass 24" ht. x 18" spr., 24" o.c.	VERY		
175	PS	Philodendron selloum / Selloum 24" ht., min. 2 heads per pot, 30" o.c.	VERY		
4	PV	Petrea volubilis / Queen's Wreath 36" ht., min. 3 main runners, train to arbor with plastic ties	VERY		
8	QV*	Quercus Virginiana / 'Highbri' Live Oak 16" ht. x 8"spr., 4" d.b.h., 5' c.t.	VERY	8	
23	QVH*	Quercus Virginiana 'Highbri' / 'Highbri' Live Oak 16" ht. x 8"spr., 4" cal., 5' c.t.	VERY		23 @ 4" 92"
23	RE	Roystonea Elata / Royal Palm g.w. ht. as noted on plan, heavy trunk, matched	VERY	23 palms	
200	SA	Schefflera Arboricola "Trinette" / Dwarf Var. Schefflera 18" ht. x 12" spr., 24" o.c.	VERY		
22	SG*	Simarouba glauca / Paradise Tree 16" ht. x 8" spr., 4" d.b.h., balanced branching, 5' c.t.	VERY	18	4 @ 4" 16"
58	SP*	Sabal palmetto / Cabbage Palm Stagger c.t. hts. 14-20' in ea. group per detail on LP-8	VERY	58 palms	
19	TC	Tabebuia caraiba / Yellow Trumpet Tree 16" ht. x 8" spr., 4" d.b.h., balanced branching	VERY	19	
Trees & Palms to be Relocated					
71	rQV*	Quercus Virginiana / Live Oak Relocated from site. Note oaks to be relocated with 18" and larger trunks are noted by tree # per the Tree Disposition Plan and are to be relocated to park area as shown on LP-3 & 5.	VERY		
58	rSP*	Sabal palmetto / Cabbage Palm Relocated from site. Stagger c.t. hts. 14-20' in ea. group per detail on LP-8	VERY		

SEE ALSO TREE DISPOSITION PLAN & MULTI-FAMILY PLAN

Trees & Palms to be Relocated - 129
(rated quality at least 40% by LeGette report and located in developable area)

Trees - 71 (all live oaks) THIS PLAN - 71 LIVE OAKS RELOCATION SHOWN
Palms - 58 (all cabbage palms) - THIS PLAN 58 CABBAGE PALMS RELOCATION SHOWN

Trees & Palms to Remove - 364
(located in total site, due to rating in report)

Trees	Rating	Quant.	
0-49%	176	@ 1:1 Trees	THIS PLAN 139 @ 1:1 REPLACEMENT TREES 37 TREES REPLACED IN MULTI-FAMILY PLAN
50-100%	31	Total dbh = 501"	
Total - 207			THIS PLAN 503" REPLACEMENT

Palms		
<i>Rating</i>	<i>Quant.</i>	
0-49%	142	
50-100%	15 (up to 60' ht.)	
Total -	157	

THIS PLAN 81 REPLACEMENT PALMS
76 PALMS TO BE REPLACED IN MULTI-FAMILY
PLAN

TOTAL TREES & PALMS ORIGINALLY ON SITE - 616

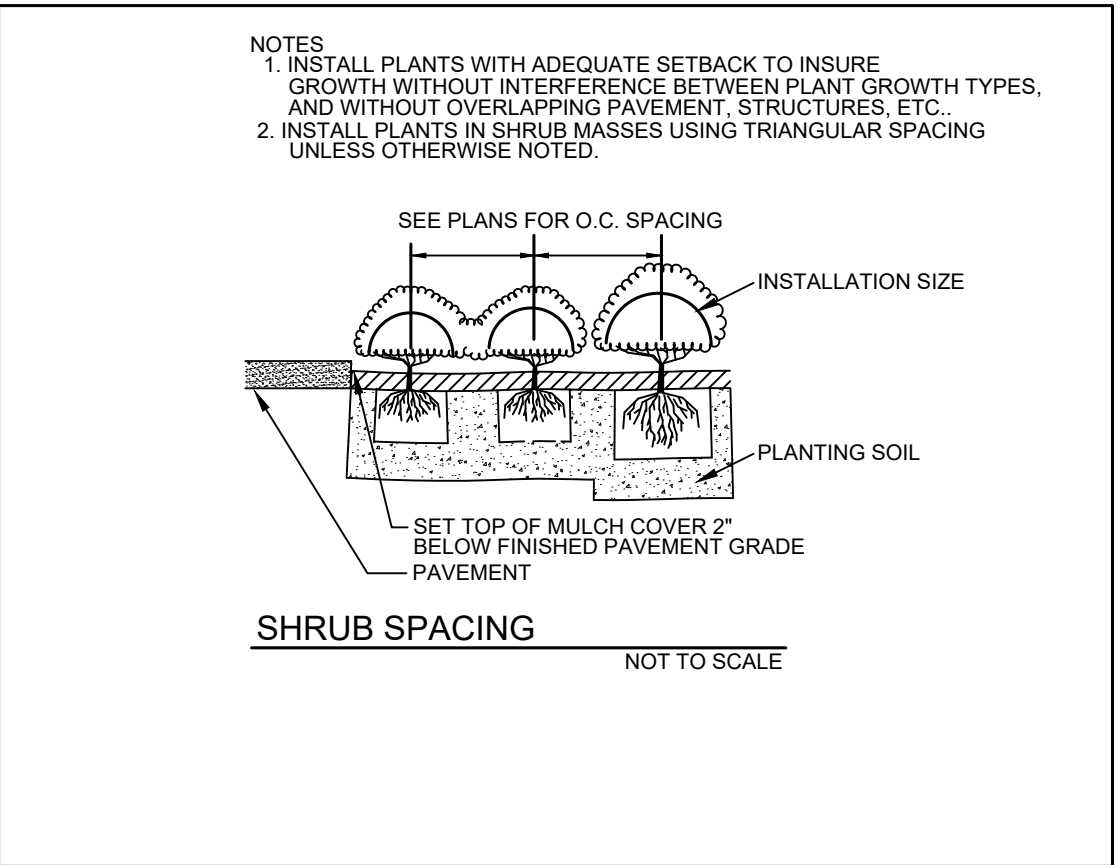
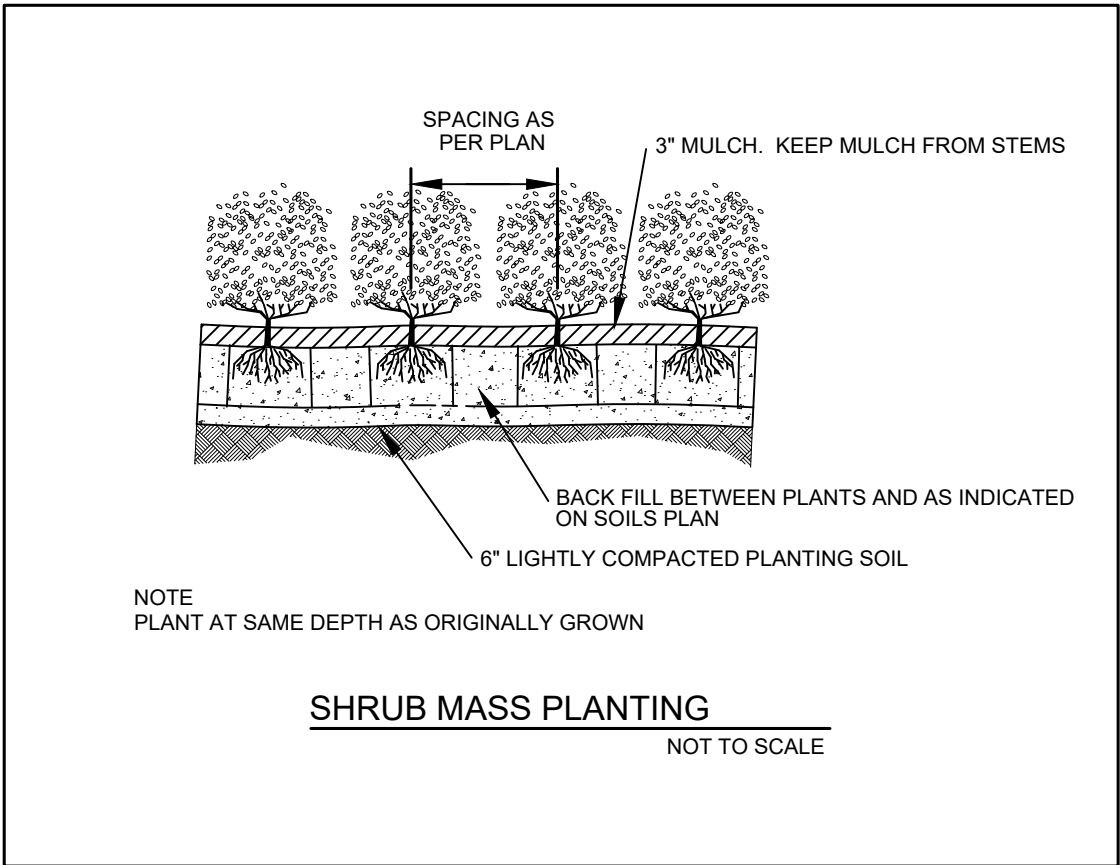
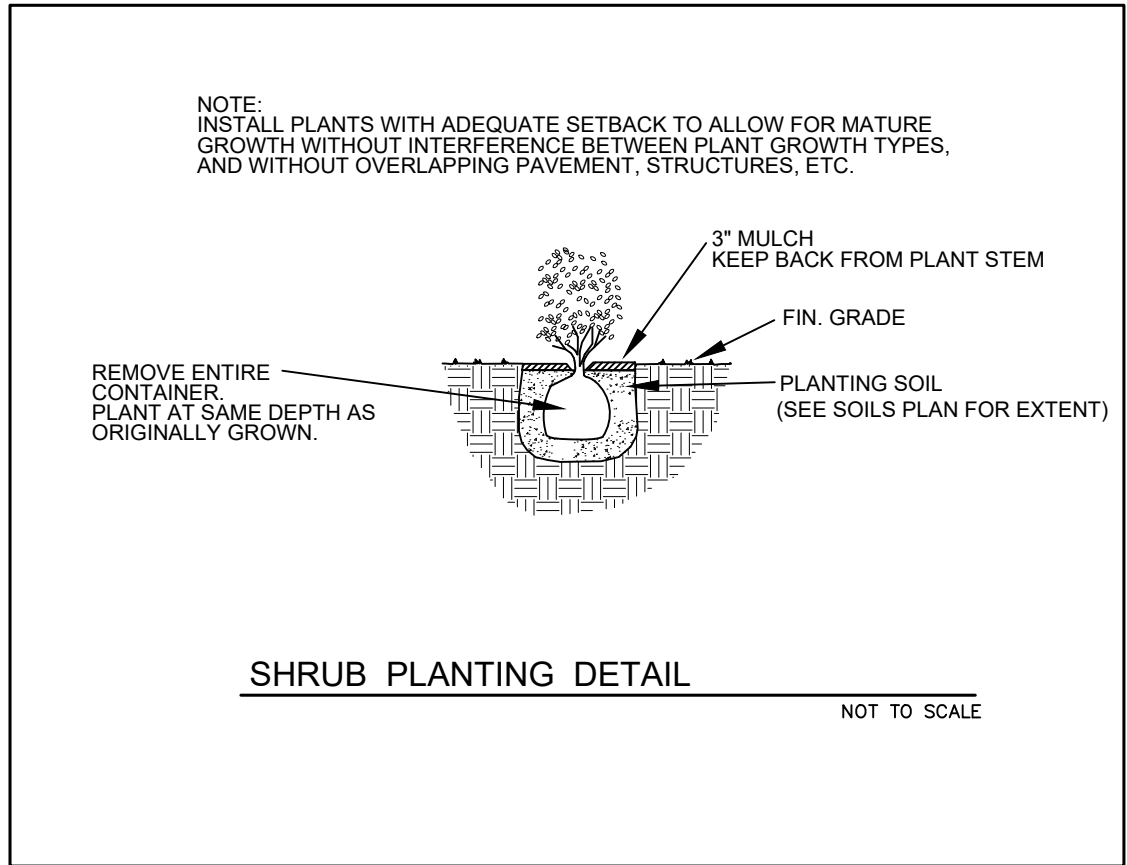
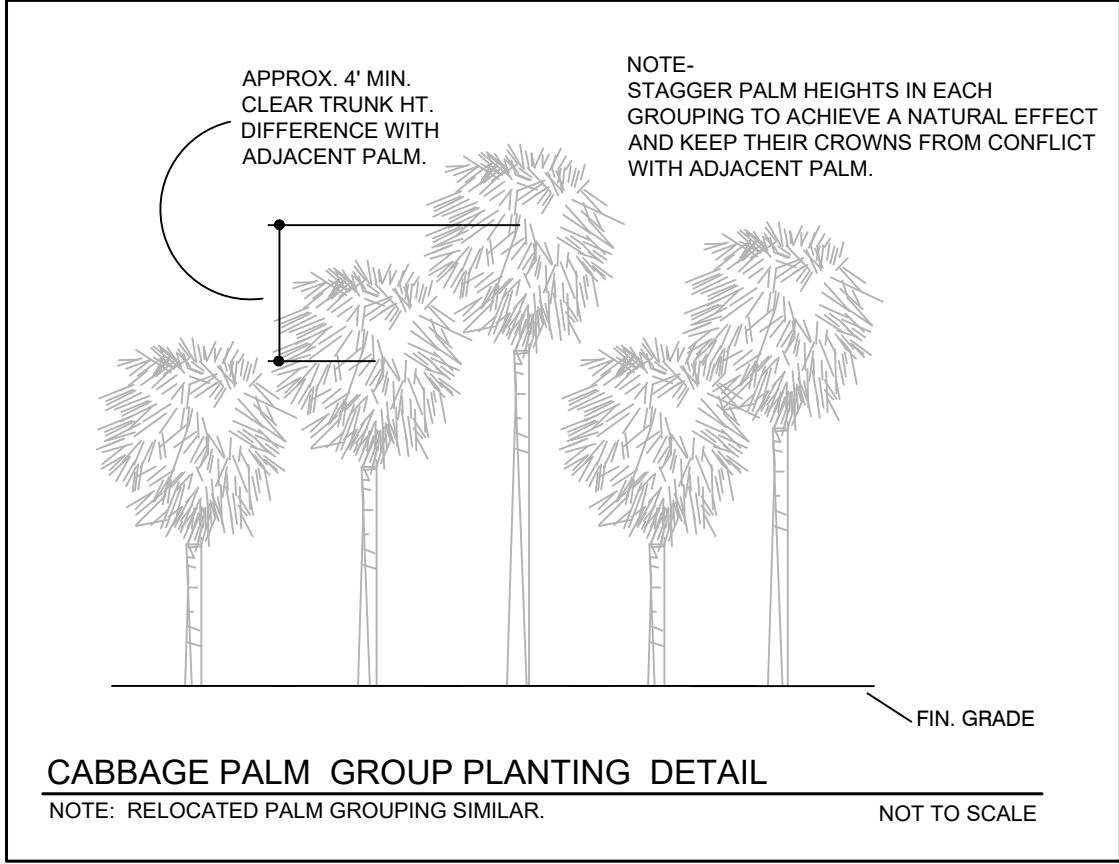
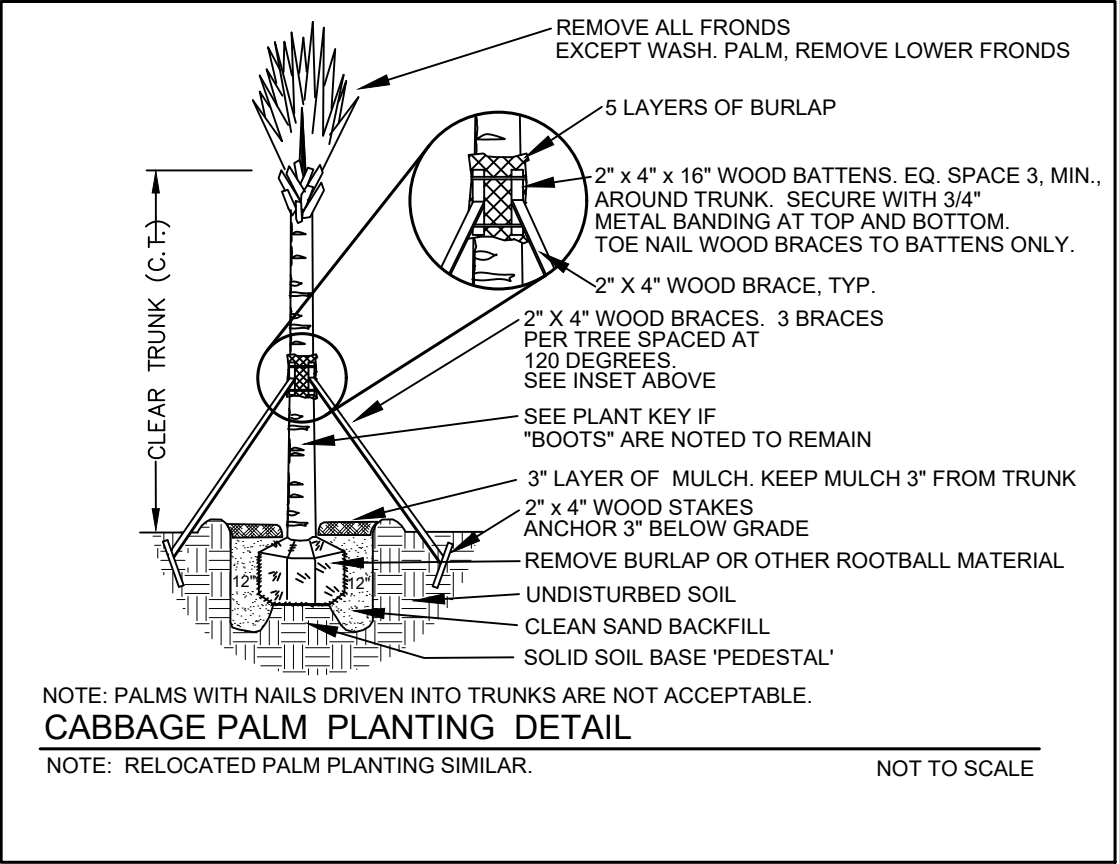
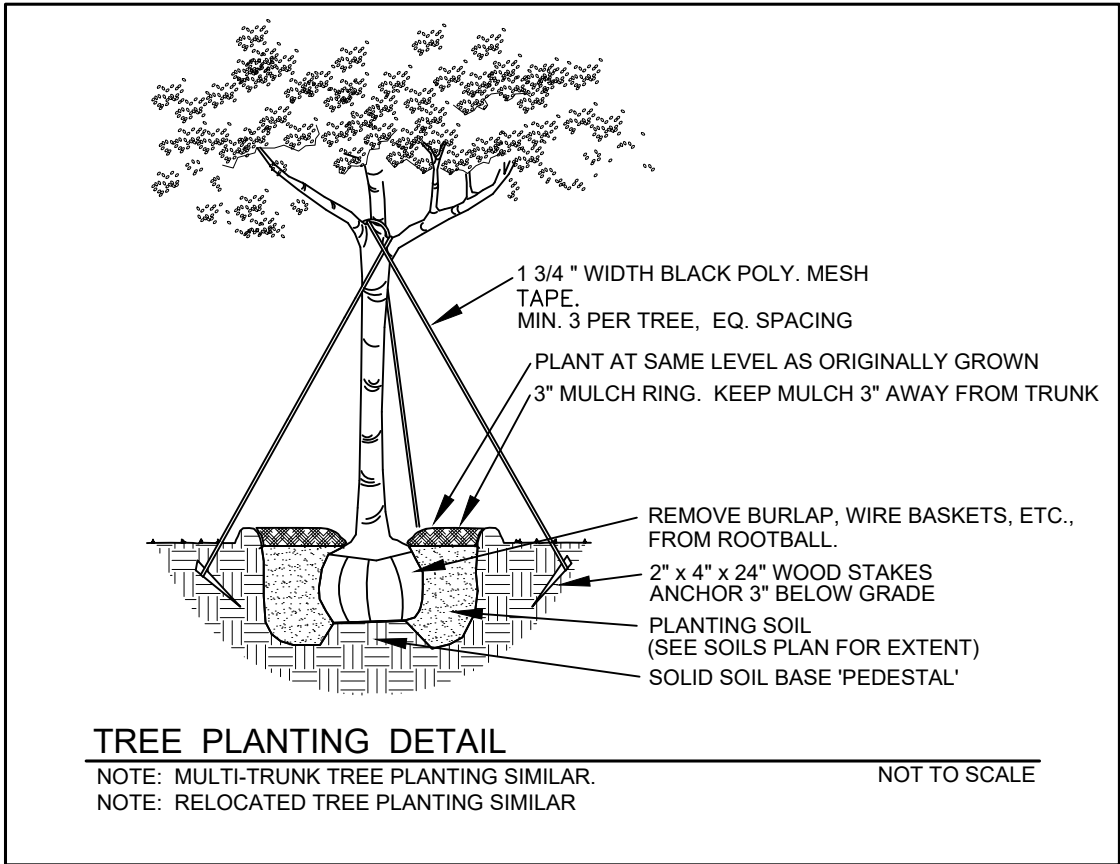
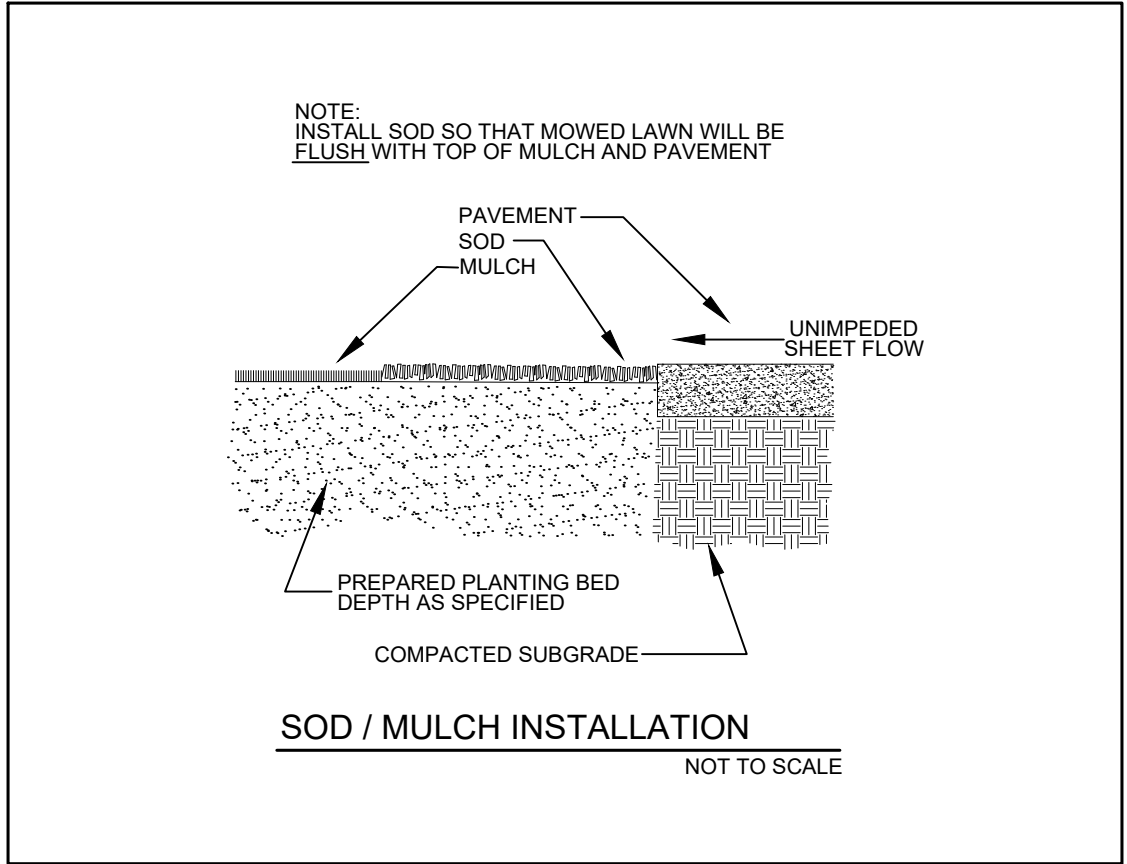
Abbreviations:
c.w. - clear wood o.a. - overall
g.w. - grey wood o.c. - on-center spacing
ht. - height spr. - spread

* = Florida Native

1. The Contractor is responsible to verify all plant quantities and report any discrepancies to the Landscape Architect.
2. Drought tolerance noted is per SFWMD (May 2003) "Waterwise" South Florida Edition or University of Florida IFAS Extension Service, as applicable.



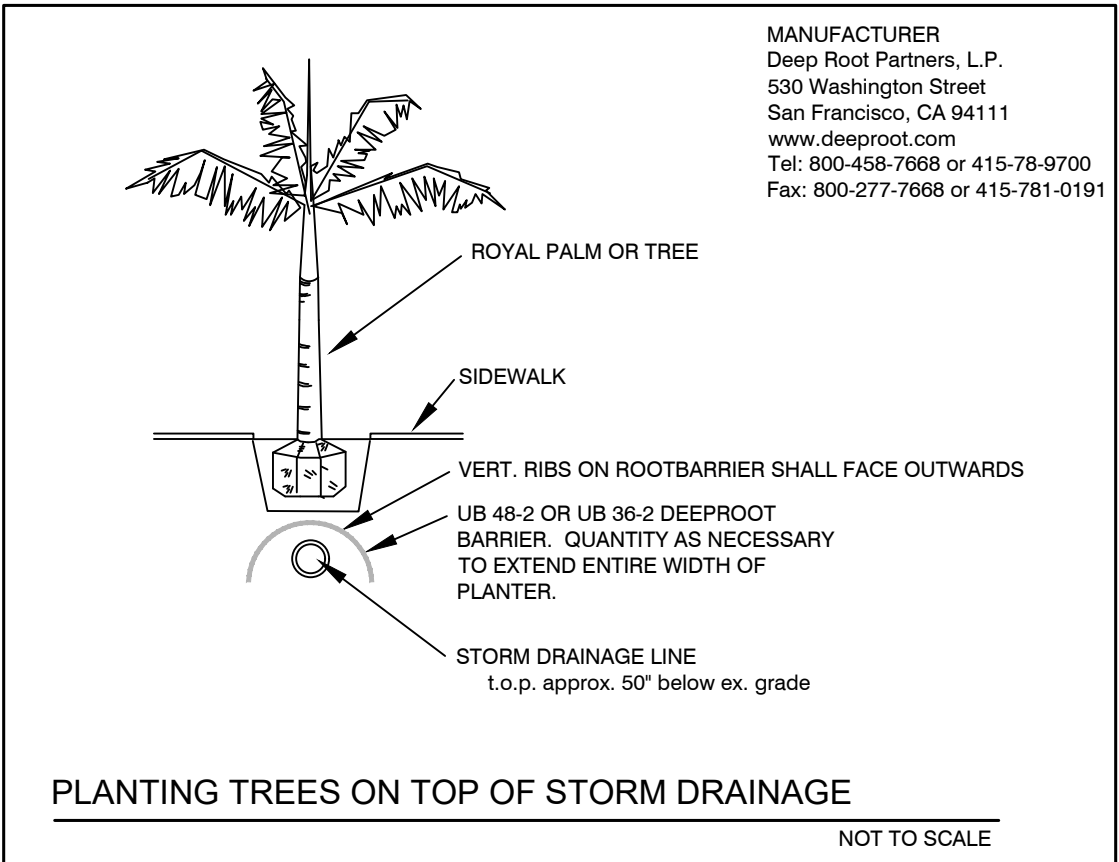
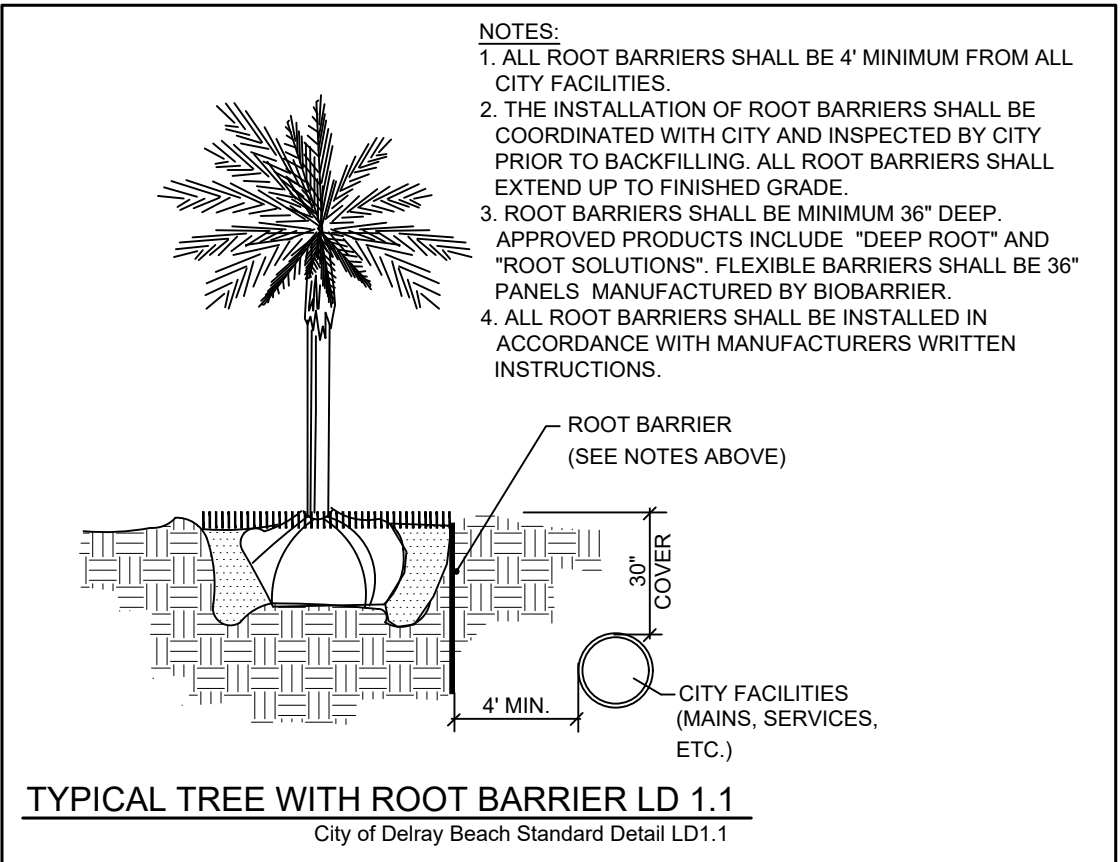
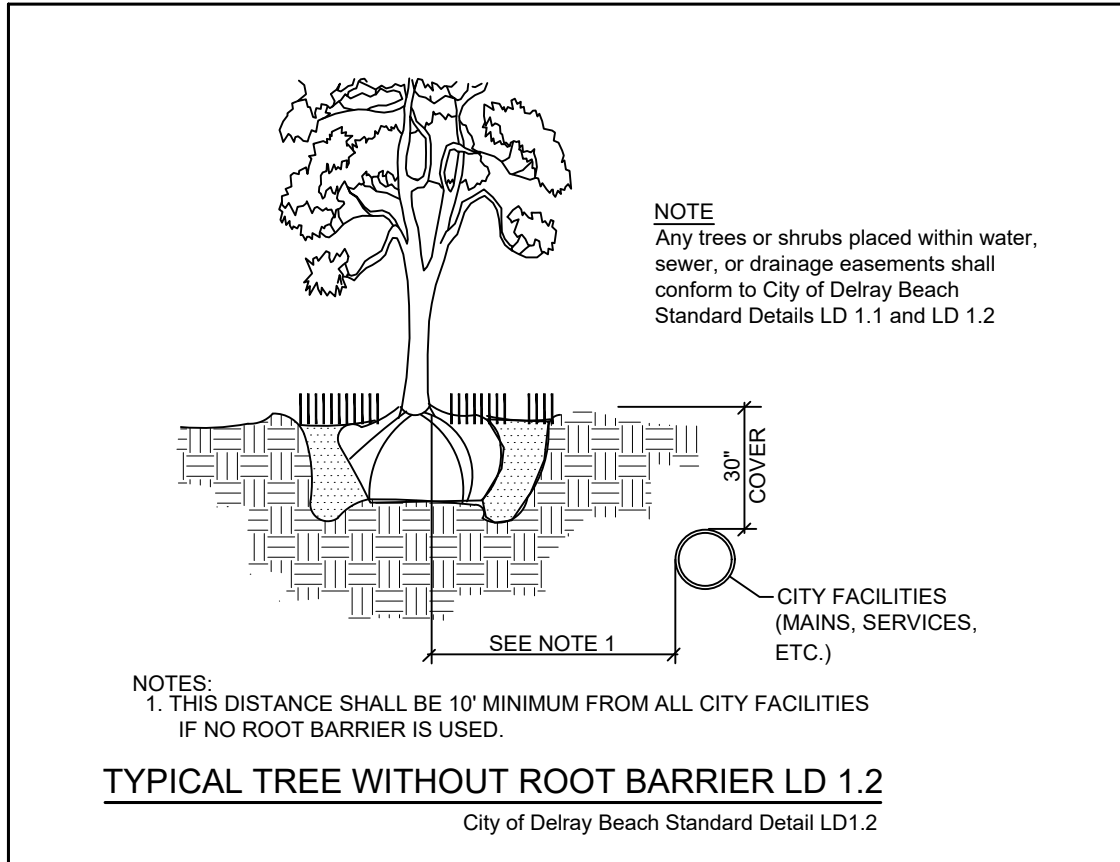
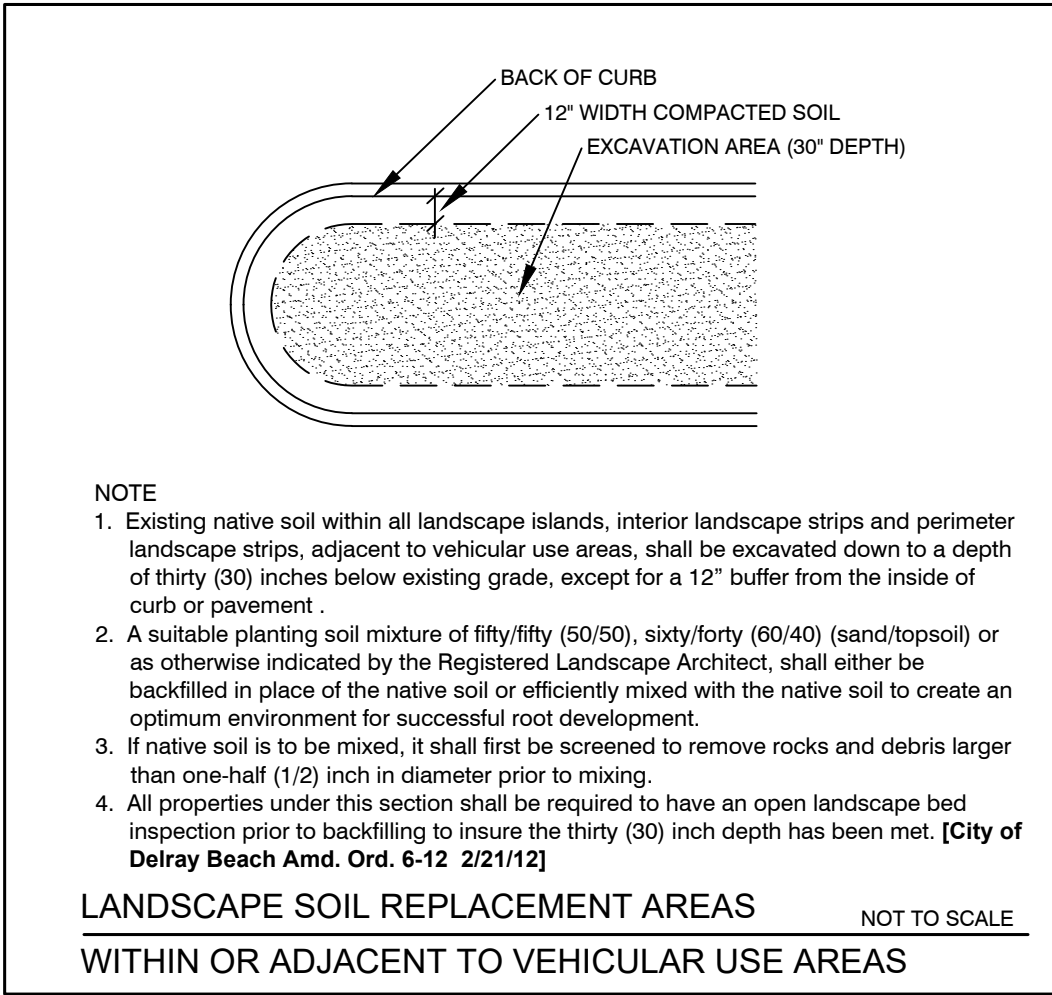
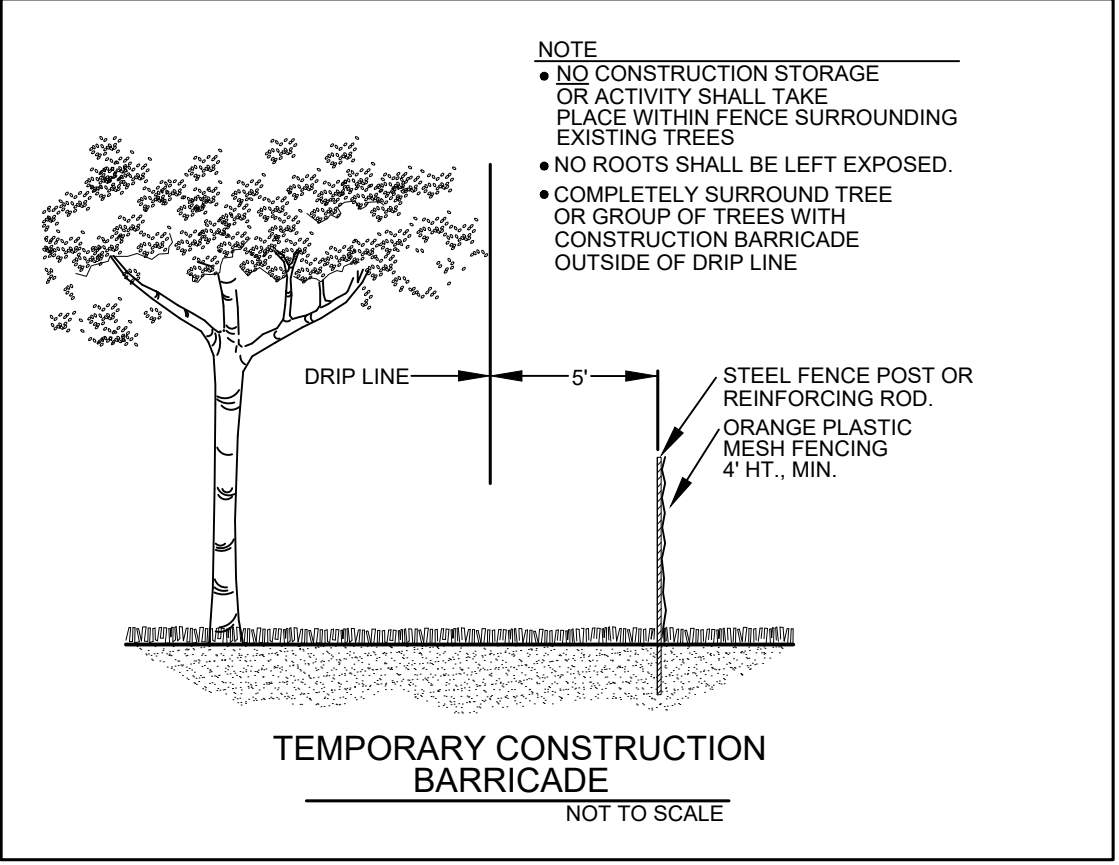
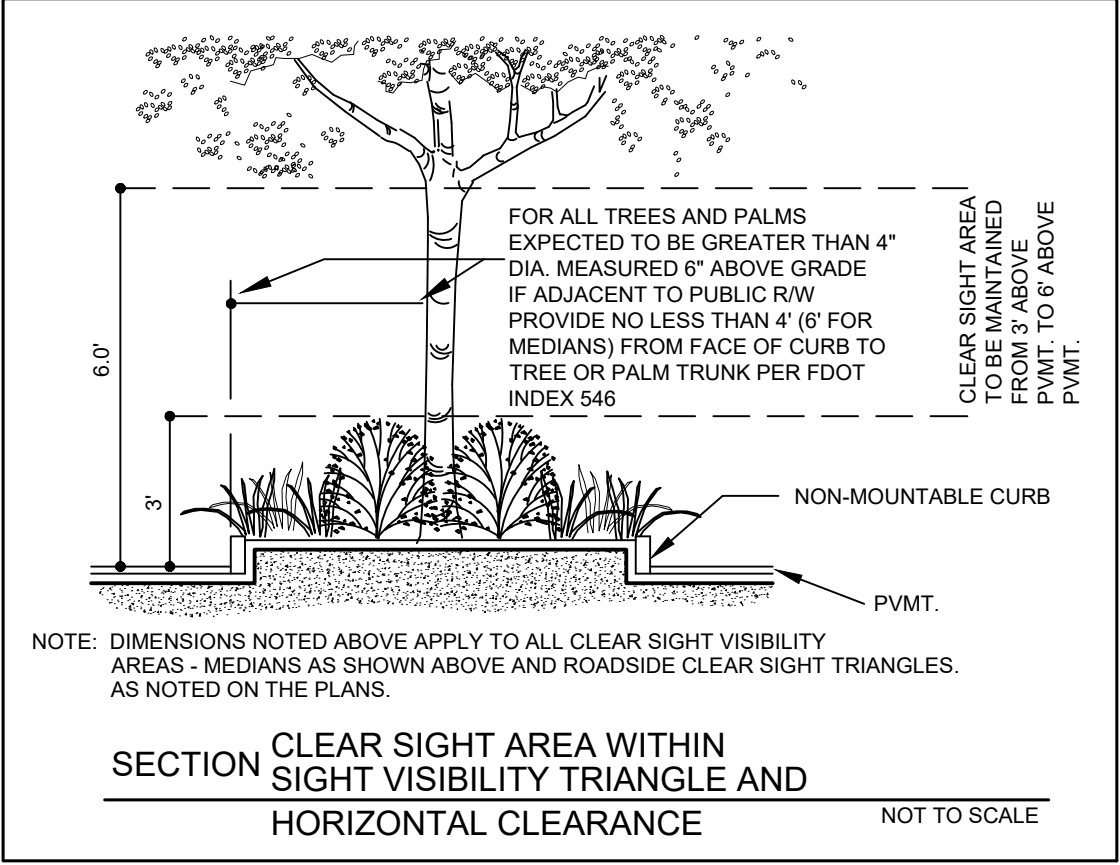
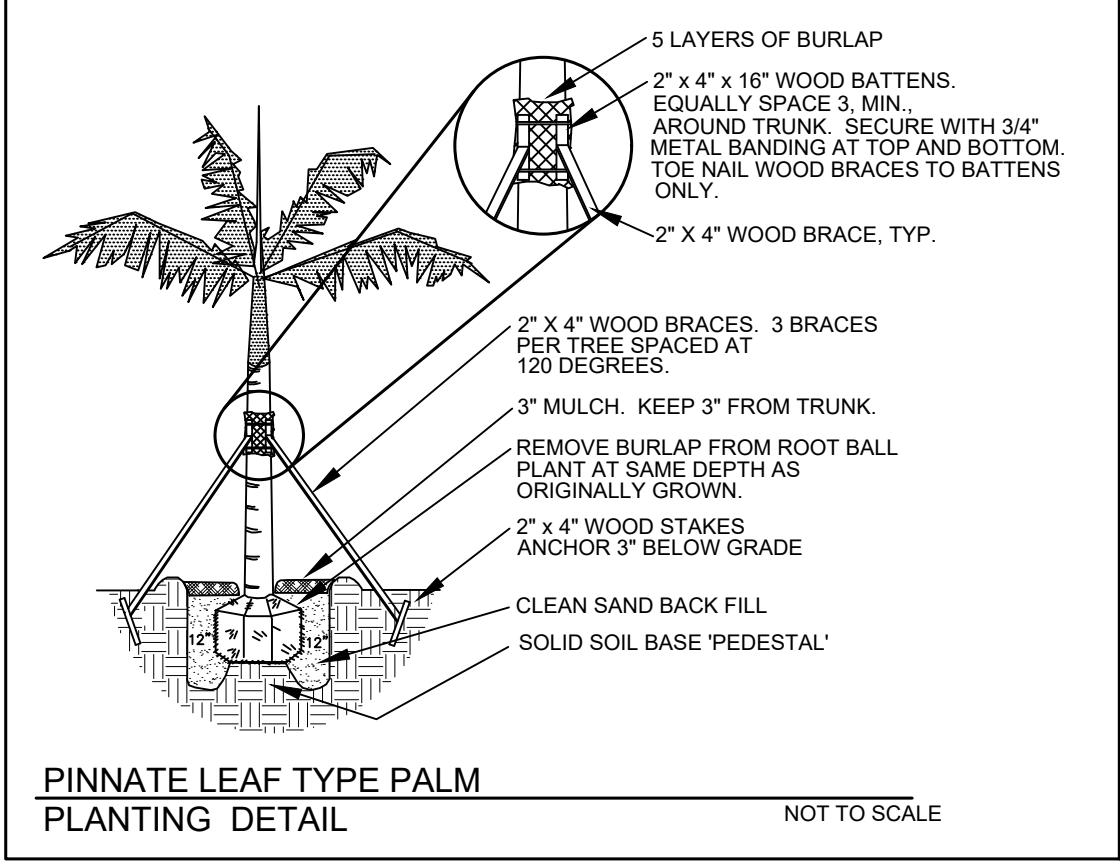
See LP-8 for Standard Planting Details & Notes



ALWAYS CALL TWO FULL BUSINESS DAYS BEFORE YOU DIG
sunshine 811.com



Know what's **below**.
Call before you dig.



1. All landscape and specifications shall meet or exceed the minimum requirements as provided by the City of Delray Beach Land Development Code.
2. All planting material shall meet or exceed Florida Grade #1 as specified in Grades and Standards for Nursery Plants, current edition.
3. All sizes shown for plant material on the plan are to be considered as minimums. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan will also be required for acceptance.
4. Landscape shall be placed to edge of abutting ROW, canals, lakes or other lands.
5. All mechanical equipment, air conditioning, irrigation pump stations and equipment, fpl transformers, pool pumps, etc. must be screened on three (3) sides by landscape shrubs. Note: the quantity of screening shrubs may be in addition to the required number of shrubs as provided in the code calculation table. All screening shrubs shall be planted for proper operation of equipment being screened and/or per the requirements of the utility as necessary.
6. Guying/staking practices shall not permit nails, screws, wires, etc. to penetrate outer surfaces of trees, palms or other planted material. Trees, palms and plant material will be rejected due to this practice.
7. Burlap material, wire cages, plastic/canvas straps, etc. must be cut and removed for the top one-half (1/2) depth of the root ball. Trees and shrubs grown in grow bags or grow bag type material must have such material removed entirely prior to planting the tree or shrub.
8. All plant material shall be free of pests, insects, disease, weeds, etc.
9. All plant material shall be planted at the proper depths, as originally grown and/or so the top of the root ball is flush or slightly above finished grade immediately after planting. All trees should provide trunk taper when properly planted at the correct planting depth.
10. All plant material shall be watered in at time of planting to eliminate air pockets in the root zone area.
11. Upon completion of work, the site shall be cleared of all debris, superfluous materials, and equipment caused by this permit.
12. All landscape areas shall be provided with an underground fully automatic irrigation system using pop-up sprinklers. System shall provide 100% coverage with a 75% overlap (minimum) using rust-free water, except any preserved areas remaining in natural state. A rain sensor device or switch shall be installed that will override the irrigation system when adequate rainfall has occurred. Water shall not be directed and/or provided onto impervious surfaces and/or be designed or installed to throw water over an impervious surface such as a sidewalk, etc. Hours of operation for all irrigation systems shall be limited to 5:00 p.m. to 8:00 a.m. only or as may be further restricted by South Florida Water Management District or other jurisdictional agency.
13. All plant material and work shall be guaranteed for one-year from date of final job acceptance. During the one year guarantee, any plant material that dies or is in an unhealthy condition shall be replaced with the same plant type at least equal to the size and quality originally specified. The replacement material shall also be guaranteed for one year from the date of its installation. The guarantee will be null and void if plant material is damaged or killed by lightning, hurricane force winds, hail or freeze.
14. The landscape contractor is responsible for verifying there are not conflicts with above or below ground utilities prior to commencing landscape installation. Notify owner if conflicts exist.
15. Any trees to remain shall be pruned in such a way to promote proper horticultural and natural tree growth.
16. All trees and palms placed closer than 10' from underground utilities shall receive root barrier. See detail this sheet.
17. Ground covers shall be spaced as noted or to insure ground cover within 6 months of planting.
18. Place sod on smooth sod bed. Remove any rocks and other debris prior to sodding. Sod shall be placed so there are no gaps or voids between pieces. On slopes place sod at 90° to slope direction. Stake sod or otherwise ensure its establishment on slopes.
19. Mulch shall be eucalyptus or melaleuca mulch. All trees in sod areas are to have a 30" ring covered with a 3" layer of mulch. Cover all shrub beds with a 3" layer of mulch. Mulch shall not touch tree, palm or shrub trunks or stems.
20. All plant material shall be fertilized with a tablet form balanced fertilizer containing minor elements. Follow manufacturer's recommendations for rates. sod areas shall be fertilized with a granular form balanced fertilizer with minor elements following manufacturer's recommendations for rates.
21. Planting soil shall be a mix of 1/3 native soil, 1/3 clean sand & 1/3 peat as shown on the planting plan. If native soil is unacceptable, contact landscape architect.
22. Reinforced concrete curbing at least 6" in height shall be provided around all landscape islands and as a separator between all landscape areas that are adjacent to vehicular use areas unless such curbing will interfere with the drainage the drainage.
23. The landscape irrigation system shall utilize reclaimed water, when available and where allowed by Florida Statutes, from one master meter located at the property line. Coordinate location and service with the City of Delray Beach Public Utilities Department.

[illegible]

**Covelli
Design
Associates Inc.**

2295 NW Corporate Blvd., Suite 213
Boca Raton, Florida 33431
561-910-0330

LC 260002937
covellidesign.com

Urban Planning ♦ Landscape Architecture

Infrastructure
Landscape Details & Notes
1690-2350 South Congress Avenue
Delray Beach Florida

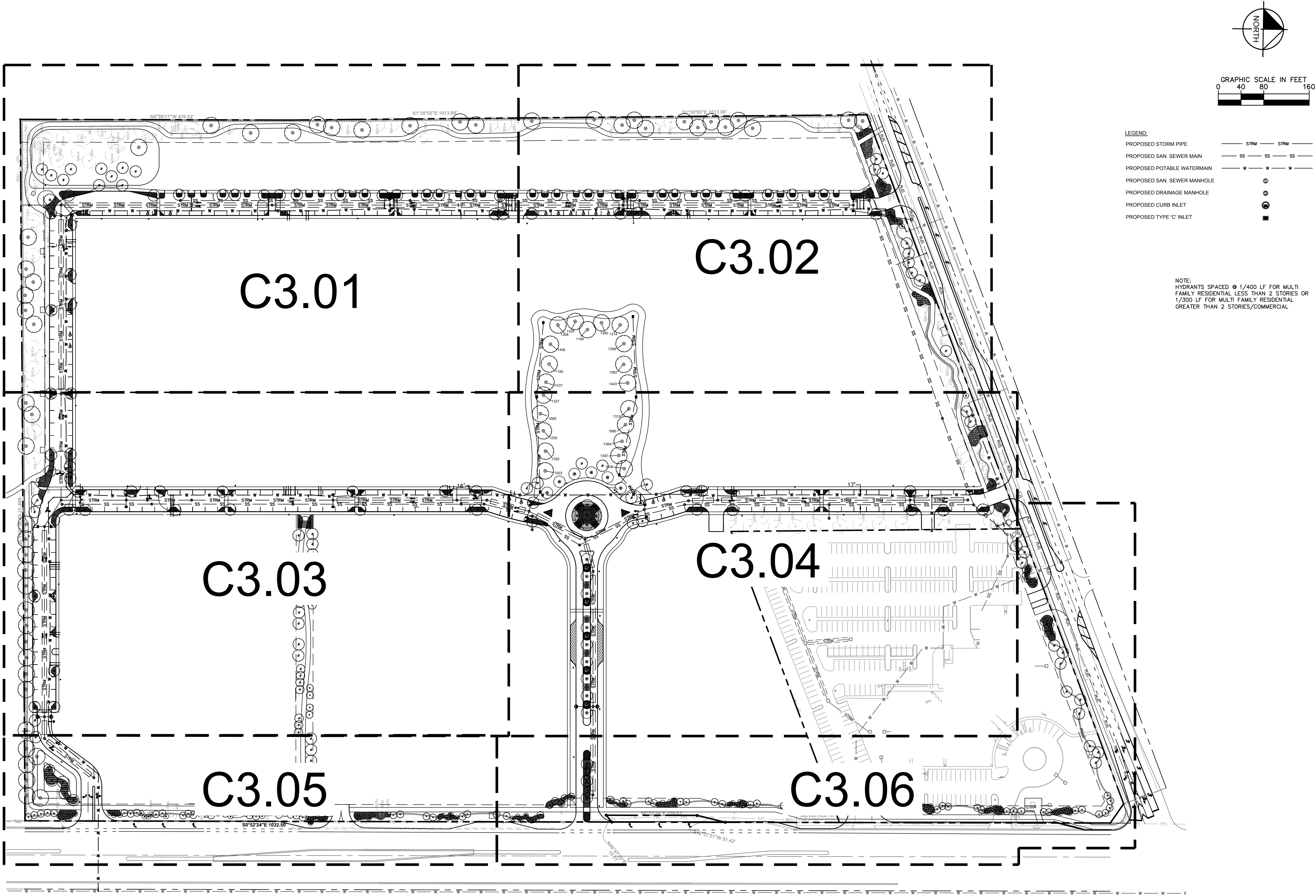
Date	05-06-2019
Scale	As Noted
PN#	1231

PREPARED BY

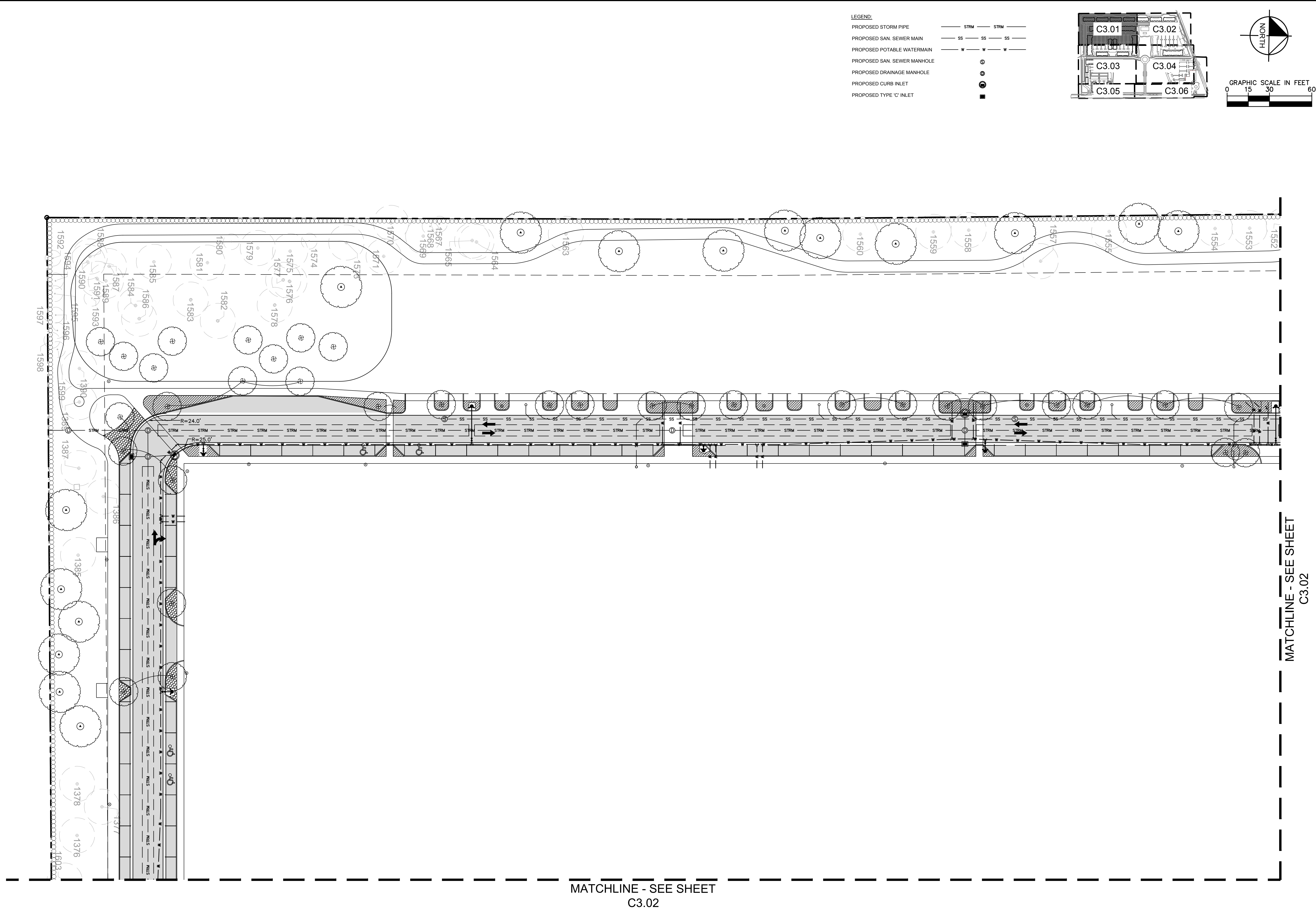
Steven E. Tate, RLA
Landscape Architect #967
State of Florida
For The Firm

DATE _____

Drawing No.
LP-8
OF 8



SHEET NUMBER C3.00	1690 - 2350 S. CONGRESS AVENUE PREPARED FOR 13TH FLOOR INVESTMENTS FLORIDA	MASTER COMPOSITE PLAN	KHA PROJECT 140248002	LICENSED PROFESSIONAL	Kimley»Horn © 2019 KIMLEY-HORN AND ASSOCIATES, INC. 1615 S CONGRESS AVE., SUITE 201, DELRAY BEACH, FL 33445 PHONE: 561-330-2345 FAX: 561-863-8175 WWW.KIMLEY-HORN.COM CA 00000696
			DATE APRIL 2019	MICHAEL D. SPRUCE, P.E.	
			SCALE AS SHOWN	FLORIDA LICENSE NUMBER 52776	
			DESIGNED BY JVP		
			DRAWN BY BUG		
			CHECKED BY MDS	DATE: _____	
					REVISIONS
					BY
					DATE



1690 - 2350 S. CONGRESS AVENUE PREPARED FOR 13TH FLOOR INVESTMENTS DELRAY BEACH FLORIDA	SHEET NUMBER C3.01
--	------------------------------

COMPOSITE PLAN

KHA PROJECT 140248002	DATE APRIL 2019		MICHAEL D. SPRUCE, P.E.		LICENSED PROFESSIONAL
	SCALE	AS SHOWN			
	DESIGNED BY	JVP			FLORIDA LICENSE NUMBER
	DRAWN BY	B/JG			52776
	CHECKED BY	MDS			DATE: -----

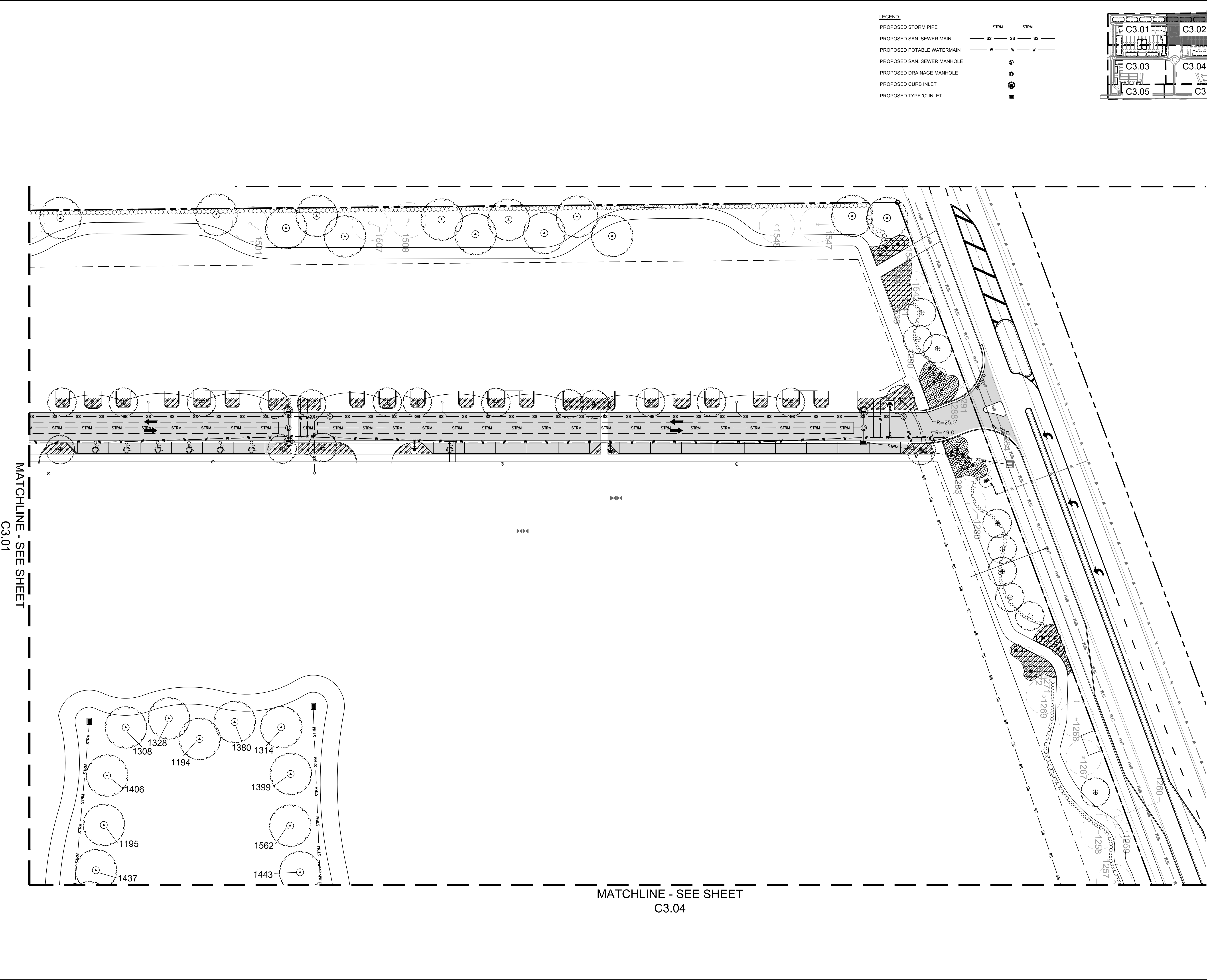
Kimley»»Horn

© 2019 KIMLEY-HORN AND ASSOCIATES, INC.
1615 S CONGRESS AVE, SUITE 201, DELRAY BEACH, FL 33445
PHONE: 561-330-2345 FAX: 561-863-8175
WWW.KIMLEY-HORN.COM CA 00000696

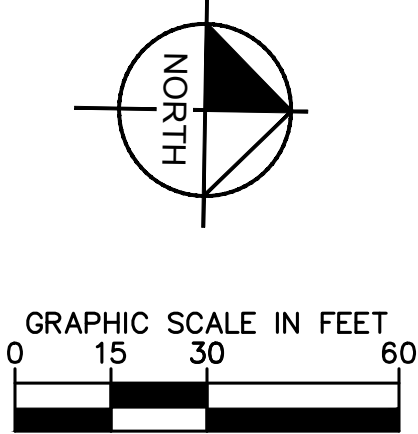
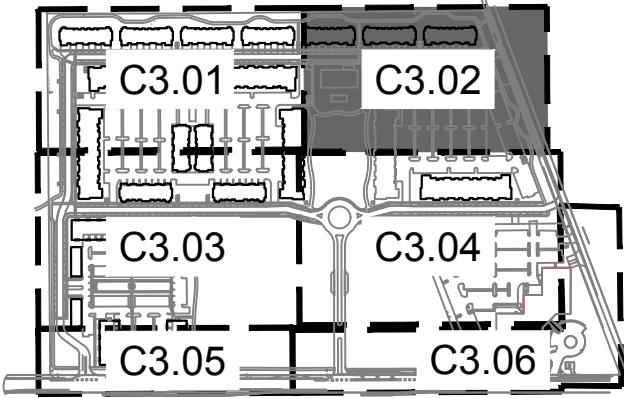
[illegible]

Plotted By: Grove, Brian Sheet Set: 1690 - 2350 S. Congress Avenue Layout: C3.02 COMPOSITE PLAN July 31, 2019 05:47:28pm K:\BCD_Civil\140248002 - CentrePointe\CADD\PlanSheets - Covelli Master\C3.00 COMPOSITE PLAN.dwg

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



- LEGEND:
- PROPOSED STORM PIPE
 - PROPOSED SAN. SEWER MAIN
 - PROPOSED POTABLE WATERMAIN
 - PROPOSED SAN. SEWER MANHOLE
 - PROPOSED DRAINAGE MANHOLE
 - PROPOSED CURB INLET
 - PROPOSED TYPE 'C' INLET



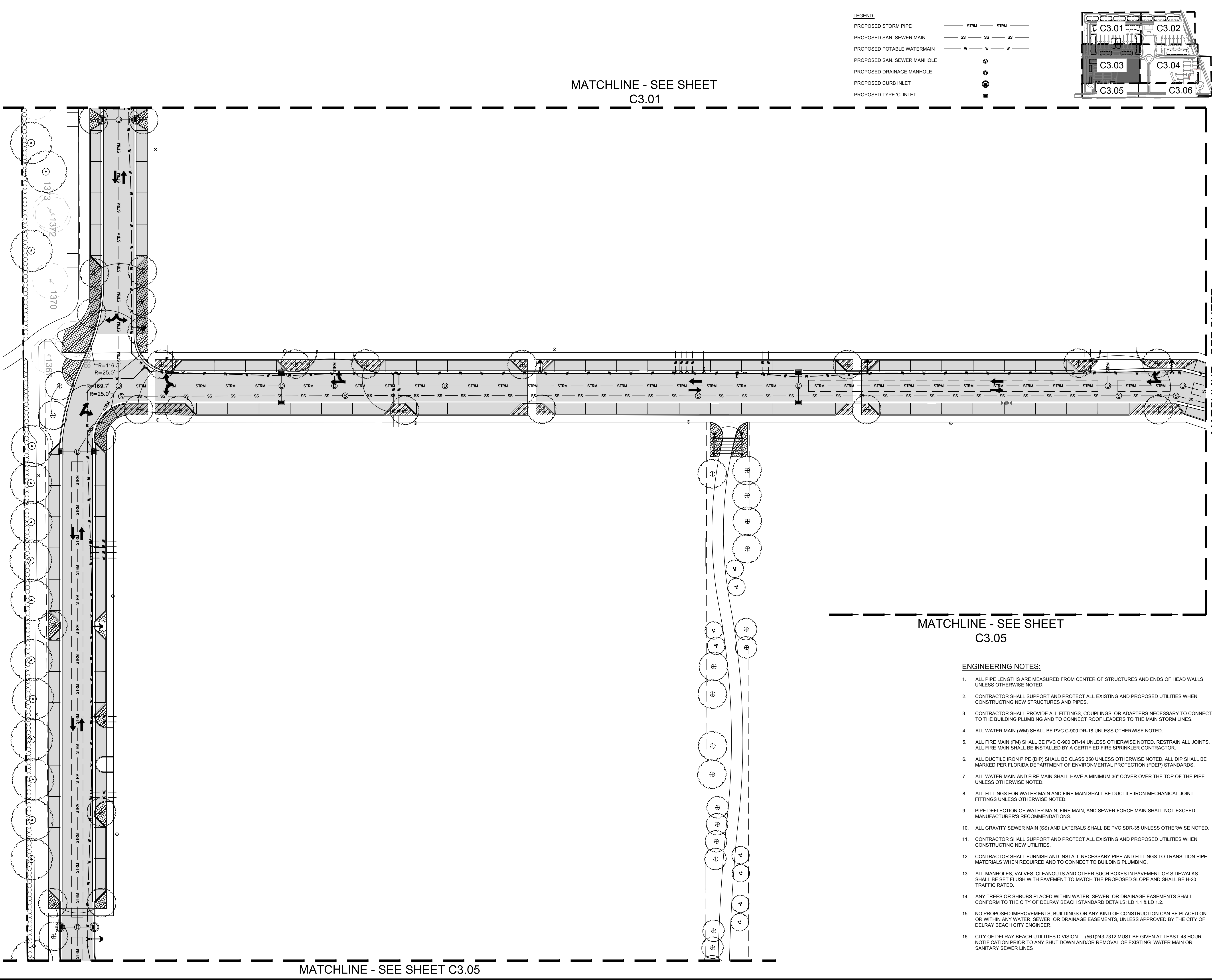
MATCHLINE - SEE SHEET

MATCHLINE - SEE SHEET
C3.04

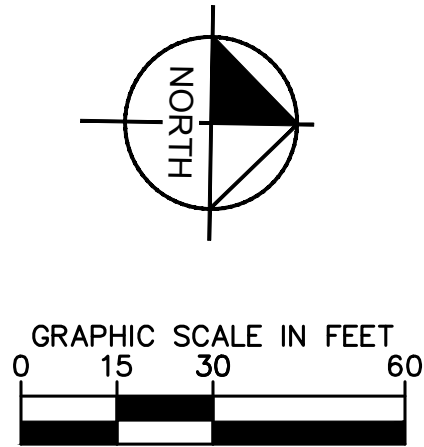
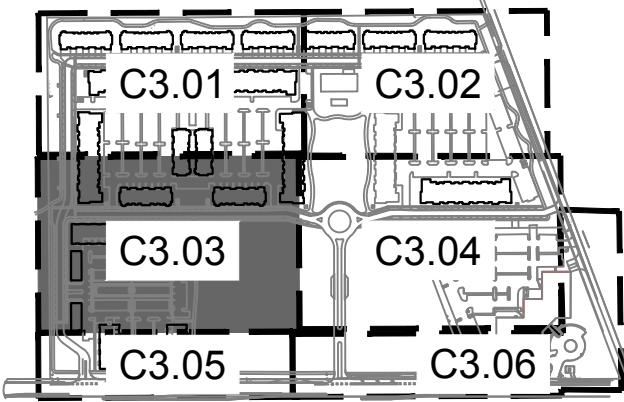
1690 - 2350 S. CONGRESS AVENUE PREPARED FOR 13TH FLOOR INVESTMENTS DELRAY BEACH FLORIDA		COMPOSITE PLAN		KHA PROJECT 140248002 DATE APRIL 2019 SCALE AS SHOWN DESIGNED BY JVP DRAWN BY B/J CHECKED BY MDS		LICENSED PROFESSIONAL MICHAEL D. SPRUCE, P.E. FLORIDA LICENSE NUMBER 52776 DATE: _____		Kimley»Horn © 2019 KIMLEY-HORN AND ASSOCIATES, INC. 1615 S CONGRESS AVE., SUITE 201, DELRAY BEACH, FL 33445 PHONE: 561-330-2345 FAX: 561-863-8175 WWW.KIMLEY-HORN.COM CA 00000696		REVISIONS No. DATE BY	
--	--	----------------	--	---	--	--	--	---	--	--------------------------	--

Plotted By: Grove, Brian Sheet Set: 1690 - 2350 S. Congress Avenue Layout: C3.03 COMPOSITE PLAN July 31, 2019 05:47:31pm K:\BCD-Civil\140248002 - CentrePointe\CADD\PlanSheets - Covell Master\C3.03 COMPOSITE PLAN.dwg

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



- LEGEND:
- PROPOSED STORM PIPE
 - PROPOSED SAN. SEWER MAIN
 - PROPOSED POTABLE WATERMAIN
 - PROPOSED SAN. SEWER MANHOLE
 - PROPOSED DRAINAGE MANHOLE
 - PROPOSED CURB INLET
 - PROPOSED TYPE 'C' INLET



MATCHLINE - SEE SHEET
C3.05

ENGINEERING NOTES:

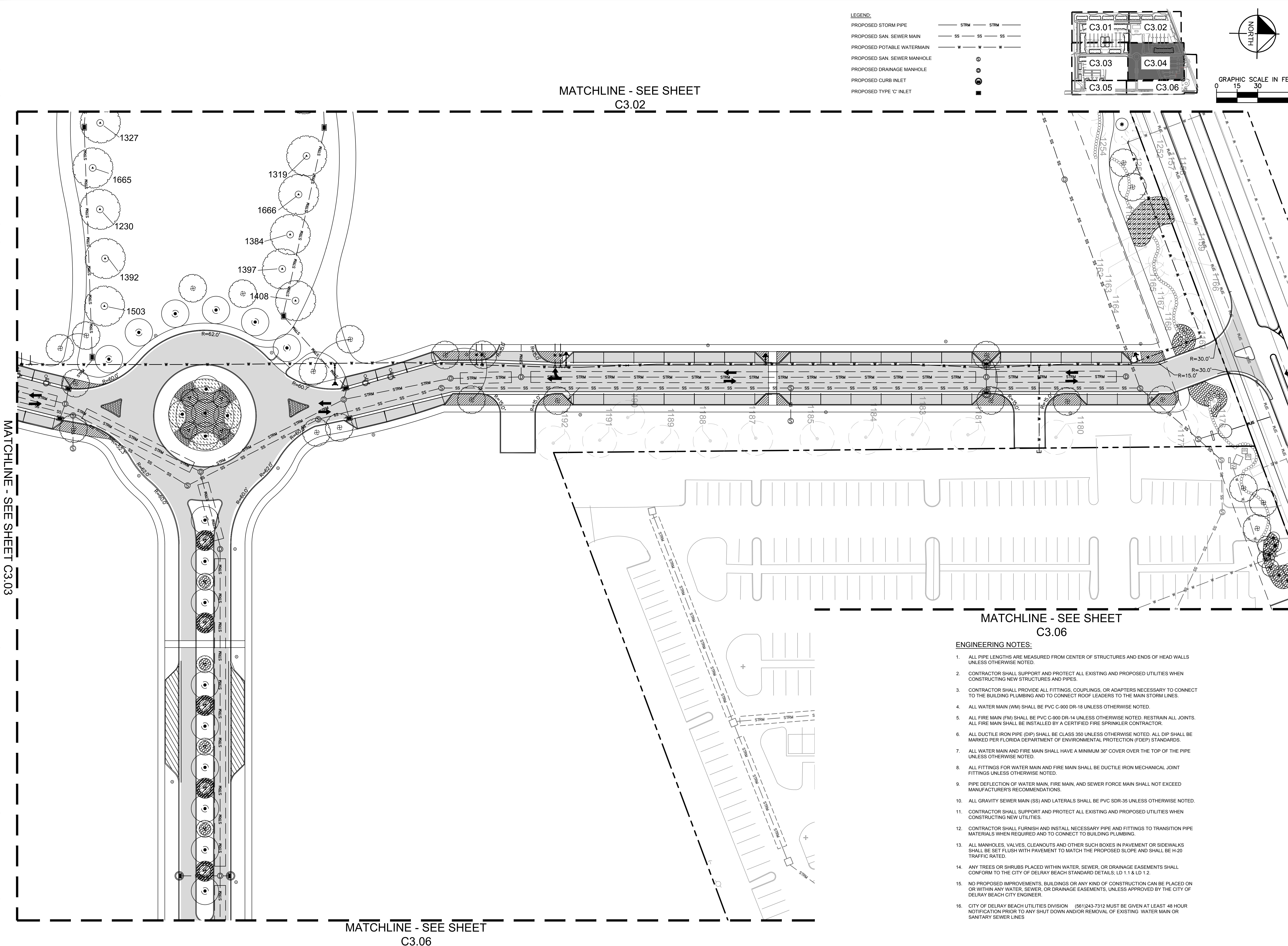
- ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURES AND ENDS OF HEAD WALLS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL SUPPORT AND PROTECT ALL EXISTING AND PROPOSED UTILITIES WHEN CONSTRUCTING NEW STRUCTURES AND PIPES.
- CONTRACTOR SHALL PROVIDE ALL FITTINGS, COUPLINGS, OR ADAPTERS NECESSARY TO CONNECT TO THE BUILDING PLUMBING AND TO CONNECT ROOF LEADERS TO THE MAIN STORM LINES.
- ALL WATER MAIN (WM) SHALL BE PVC C-900 DR-18 UNLESS OTHERWISE NOTED.
- ALL FIRE MAIN (FM) SHALL BE PVC C-900 DR-14 UNLESS OTHERWISE NOTED. RESTRAIN ALL JOINTS. ALL FIRE MAIN SHALL BE INSTALLED BY A CERTIFIED FIRE SPRINKLER CONTRACTOR.
- ALL DUCTILE IRON PIPE (DIP) SHALL BE CLASS 350 UNLESS OTHERWISE NOTED. ALL DIP SHALL BE MARKED PER FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) STANDARDS.
- ALL WATER MAIN AND FIRE MAIN SHALL HAVE A MINIMUM 36" COVER OVER THE TOP OF THE PIPE UNLESS OTHERWISE NOTED.
- ALL FITTINGS FOR WATER MAIN AND FIRE MAIN SHALL BE DUCTILE IRON MECHANICAL JOINT FITTINGS UNLESS OTHERWISE NOTED.
- PIPE DEFLECTION OF WATER MAIN, FIRE MAIN, AND SEWER FORCE MAIN SHALL NOT EXCEED MANUFACTURER'S RECOMMENDATIONS.
- ALL GRAVITY SEWER MAIN (SS) AND LATERALS SHALL BE PVC SDR-35 UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL SUPPORT AND PROTECT ALL EXISTING AND PROPOSED UTILITIES WHEN CONSTRUCTING NEW UTILITIES.
- CONTRACTOR SHALL FURNISH AND INSTALL NECESSARY PIPE AND FITTINGS TO TRANSITION PIPE MATERIALS WHEN REQUIRED AND TO CONNECT TO BUILDING PLUMBING.
- ALL MANHOLES, VALVES, CLEANOUTS AND OTHER SUCH BOXES IN PAVEMENT OR SIDEWALKS SHALL BE SET FLUSH WITH PAVEMENT TO MATCH THE PROPOSED SLOPE AND SHALL BE H-20 TRAFFIC RATED.
- ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS, LD 1.1 & LD 1.2.
- NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY KIND OF CONSTRUCTION CAN BE PLACED ON OR WITHIN ANY WATER, SEWER, OR DRAINAGE EASEMENTS, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.
- CITY OF DELRAY BEACH UTILITIES DIVISION - (561)243-7312 MUST BE GIVEN AT LEAST 48 HOUR NOTIFICATION PRIOR TO ANY SHUT DOWN AND/OR REMOVAL OF EXISTING WATER MAIN OR SANITARY SEWER LINES

MATCHLINE - SEE SHEET
C3.04

MATCHLINE - SEE SHEET C3.05

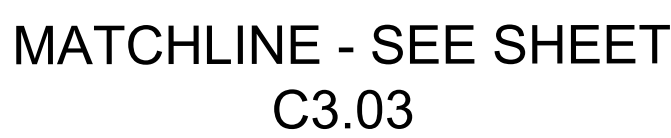
1690 - 2350 S. CONGRESS AVENUE PREPARED FOR 13TH FLOOR INVESTMENTS FLORIDA DELRAY BEACH		COMPOSITE PLAN		KHA PROJECT 140248002 DATE APRIL 2019 SCALE AS SHOWN DESIGNED BY JVP DRAWN BY B/J CHECKED BY MDS		LICENSED PROFESSIONAL MICHAEL D. SPRUCE, P.E. FLORIDA LICENSE NUMBER 52776 DATE: _____		Kimley»Horn © 2019 KIMLEY-HORN AND ASSOCIATES, INC. 1615 S CONGRESS AVE, SUITE 201, DELRAY BEACH, FL 33445 PHONE: 561-330-2345 FAX: 561-863-8175 WWW.KIMLEY-HORN.COM CA 00000696		No. _____ REVISIONS DATE BY	
---	--	----------------	--	---	--	--	--	--	--	--------------------------------------	--

Plotted By: Grove, Brian Sheet Set: 1690 — 2350 S. Congress Avenue Layout: C3.04 COMPOSITE PLAN July 31, 2019 05:47:36pm K:\BCD_Civil\140248002 — CentrePointe\CADD\PlanSheets — Covell Master\C3.00 COMPOSITE PLAN.dwg This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



- ENGINEERING NOTES:**
- ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURES AND ENDS OF HEAD WALLS UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL SUPPORT AND PROTECT ALL EXISTING AND PROPOSED UTILITIES WHEN CONSTRUCTING NEW STRUCTURES AND PIPES.
 - CONTRACTOR SHALL PROVIDE ALL FITTINGS, COUPLINGS, OR ADAPTERS NECESSARY TO CONNECT TO THE BUILDING PLUMBING AND TO CONNECT ROOF LEADERS TO THE MAIN STORM LINES.
 - ALL WATER MAIN (WM) SHALL BE PVC C-900 DR-18 UNLESS OTHERWISE NOTED.
 - ALL FIRE MAIN (FM) SHALL BE PVC C-900 DR-14 UNLESS OTHERWISE NOTED. RESTRAIN ALL JOINTS. ALL FIRE MAIN SHALL BE INSTALLED BY A CERTIFIED FIRE SPRINKLER CONTRACTOR.
 - ALL DUCTILE IRON PIPE (DIP) SHALL BE CLASS 350 UNLESS OTHERWISE NOTED. ALL DIP SHALL BE MARKED PER FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) STANDARDS.
 - ALL WATER MAIN AND FIRE MAIN SHALL HAVE A MINIMUM 36" COVER OVER THE TOP OF THE PIPE UNLESS OTHERWISE NOTED.
 - ALL FITTINGS FOR WATER MAIN AND FIRE MAIN SHALL BE DUCTILE IRON MECHANICAL JOINT FITTINGS UNLESS OTHERWISE NOTED.
 - PIPE DEFLECTION OF WATER MAIN, FIRE MAIN, AND SEWER FORCE MAIN SHALL NOT EXCEED MANUFACTURER'S RECOMMENDATIONS.
 - ALL GRAVITY SEWER MAIN (SS) AND LATERALS SHALL BE PVC SDR-35 UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL SUPPORT AND PROTECT ALL EXISTING AND PROPOSED UTILITIES WHEN CONSTRUCTING NEW UTILITIES.
 - CONTRACTOR SHALL FURNISH AND INSTALL NECESSARY PIPE AND FITTINGS TO TRANSITION PIPE MATERIALS WHEN REQUIRED AND TO CONNECT TO BUILDING PLUMBING.
 - ALL MANHOLES, VALVES, CLEANOUTS AND OTHER SUCH BOXES IN PAVEMENT OR SIDEWALKS SHALL BE SET FLUSH WITH PAVEMENT TO MATCH THE PROPOSED SLOPE AND SHALL BE H-20 TRAFFIC RATED.
 - ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS, LD 1.1 & LD 1.2.
 - NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY KIND OF CONSTRUCTION CAN BE PLACED ON OR WITHIN ANY WATER, SEWER, OR DRAINAGE EASEMENTS, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.
 - CITY OF DELRAY BEACH UTILITIES DIVISION (561)243-7312 MUST BE GIVEN AT LEAST 48 HOUR NOTIFICATION PRIOR TO ANY SHUT DOWN AND/OR REMOVAL OF EXISTING WATER MAIN OR SANITARY SEWER LINES

1690 - 2350 S. CONGRESS AVENUE PREPARED FOR 13TH FLOOR INVESTMENTS FLORIDA		COMPOSITE PLAN		KHA PROJECT 140248002 DATE APRIL 2019 SCALE AS SHOWN DESIGNED BY JVP DRAWN BY B/J CHECKED BY MDS		LICENSED PROFESSIONAL MICHAEL D. SPRUCE, P.E. FLORIDA LICENSE NUMBER 52776 DATE: _____		Kimley»Horn © 2019 KIMLEY-HORN AND ASSOCIATES, INC. 1615 S CONGRESS AVE, SUITE 201, DELRAY BEACH, FL 33445 PHONE: 561-330-2345 FAX: 561-863-8175 WWW.KIMLEY-HORN.COM CA 00000696		REVISIONS No. _____ DATE _____ BY _____	
SHEET NUMBER C3.04											



MATCHLINE - SEE SHEET C3.06

PROPOSED STORM PIPE
PROPOSED SAN. SEWER
PROPOSED POTABLE WA
PROPOSED SAN. SEWER
PROPOSED DRAINAGE M
PROPOSED CURB INLET
PROPOSED TYPE 'C' INLE

STRM STRM

SS SS SS

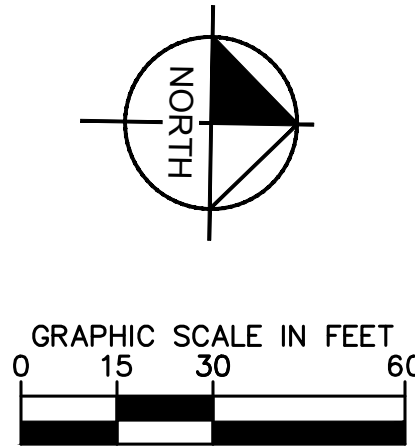
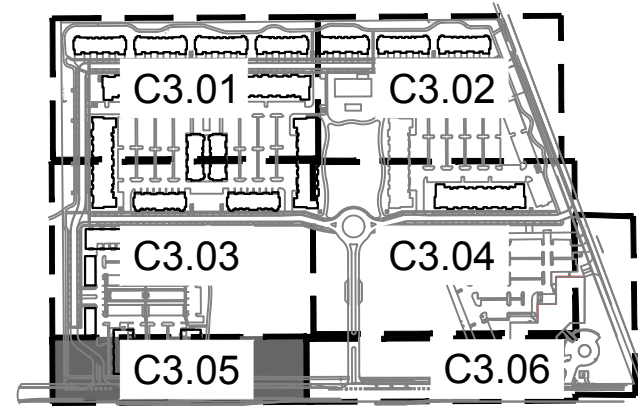
W W W

⑤

④

③

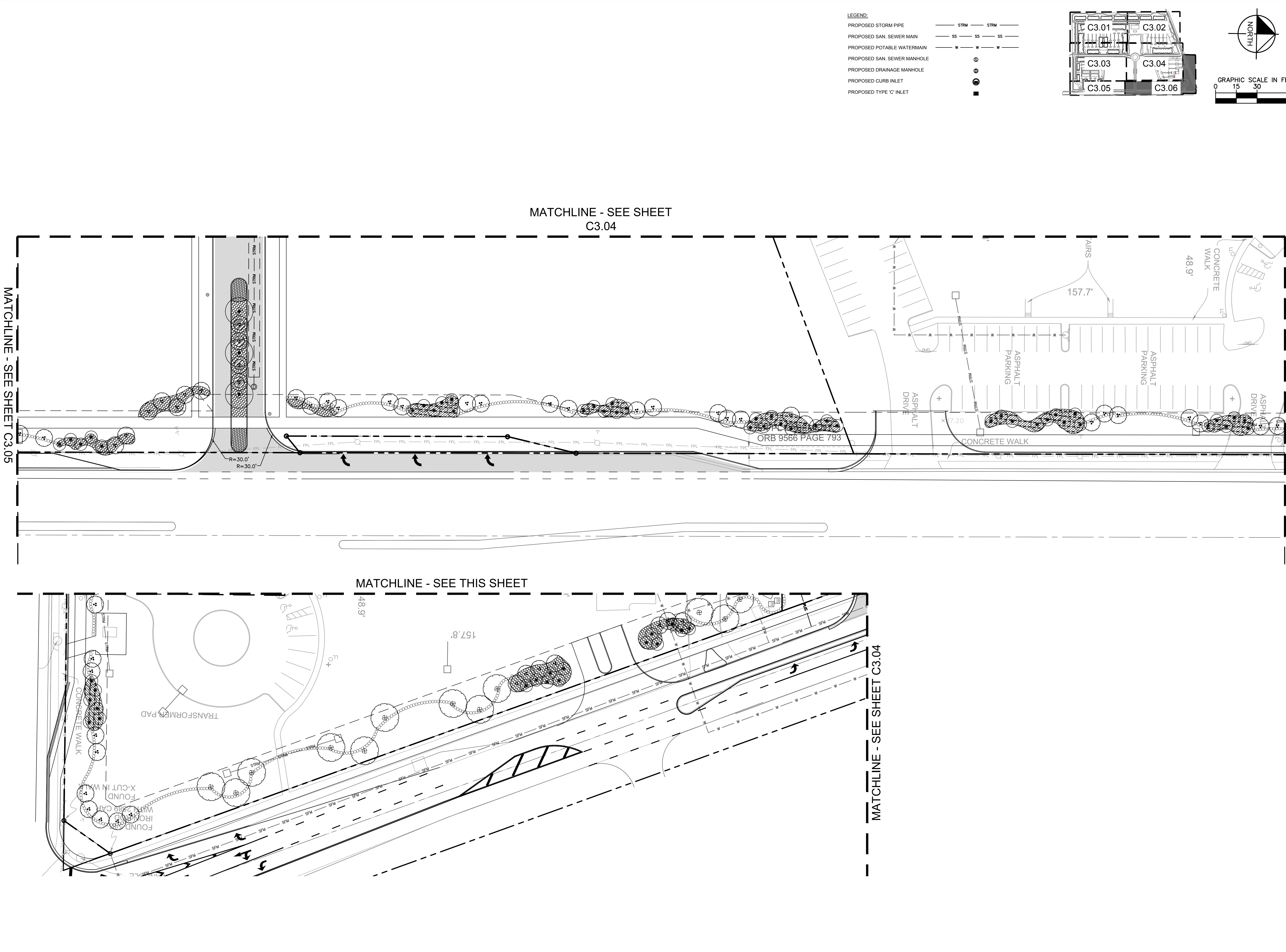
②



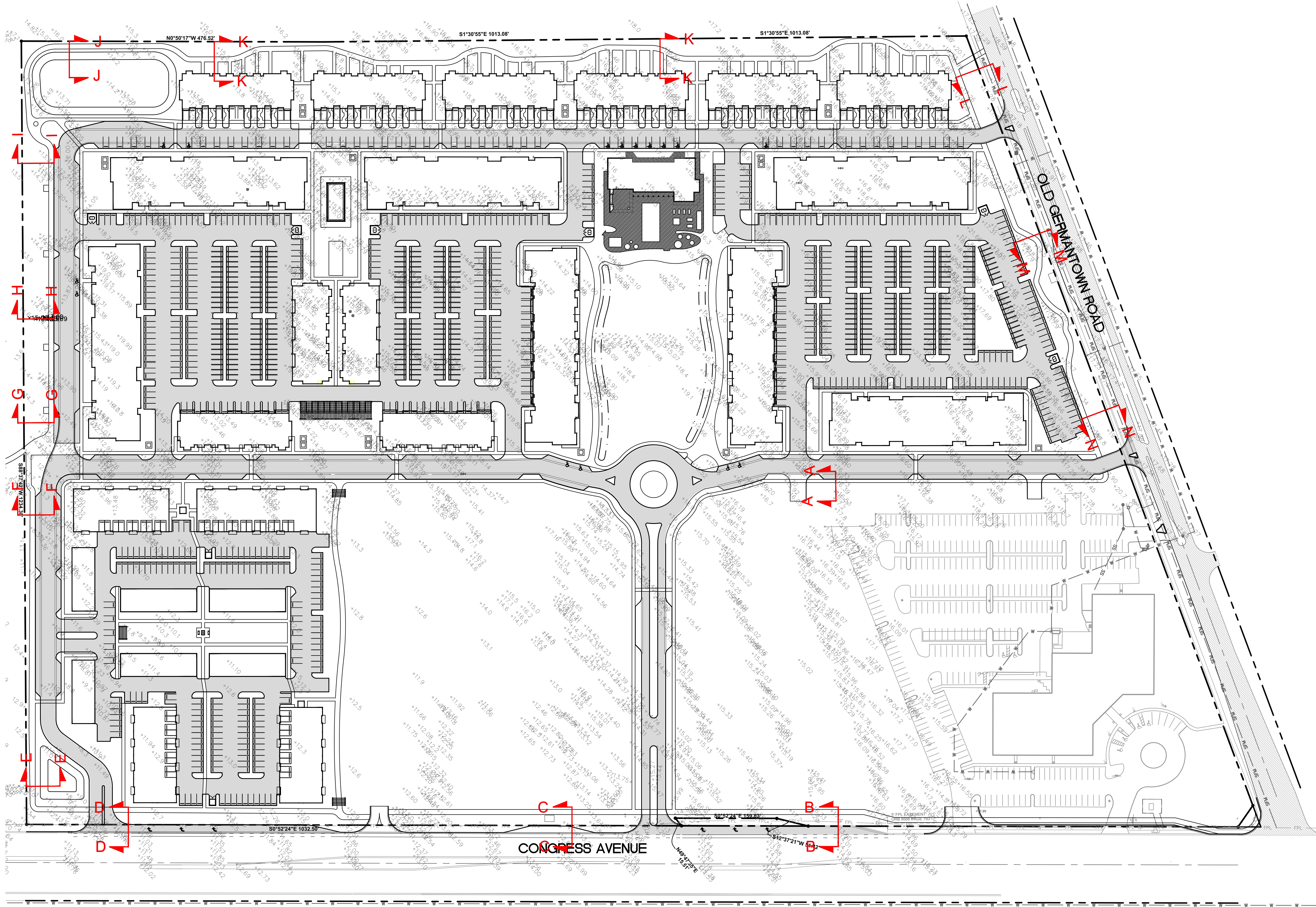
SHEET NUMBER C3.05	1690 - 2350 S. CONGRESS AVENUE PREPARED FOR 13TH FLOOR INVESTMENTS DELRAY BEACH FLORIDA	COMPOSITE PLAN	KHA PROJECT 140248002 DATE APRIL 2019 SCALE AS SHOWN DESIGNED BY JVP DRAWN BY BJC CHECKED BY MDS	LICENSED PROFESSIONAL <u>MICHAEL D. SPRUCE, P.E.</u> FLORIDA LICENSE NUMBER 52776 DATE:	Kimley»Horn © 2019 KIMLEY-HORN AND ASSOCIATES, INC. 1615 S CONGRESS AVE., SUITE 201, DELRAY BEACH, FL 33445 PHONE: 561-330-2345 FAX: 561-863-8175 WWW.KIMLEY-HORN.COM CA 00000696	No.	REVISIONS	DATE	BY
------------------------------	--	-----------------------	---	---	--	-----	-----------	------	----

Plotted By: Grove, Brian Sheet Set: 1690 - 2350 S. Congress Avenue Layout: C3.06 Composite Plan July 31, 2019 05:47:46pm K:\BCD_Civil\140248002 - CentrePointe\CADD\PlanSheets - Covelli Master\C3.00 Composite Plan.dwg © 2019 KIMLEY-HORN AND ASSOCIATES, INC. 1615 S CONGRESS AVE, SUITE 201, DELRAY BEACH, FL 33445 PHONE: 561-330-2345 FAX: 561-863-8175 WWW.KIMLEY-HORN.COM CA 0000696

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

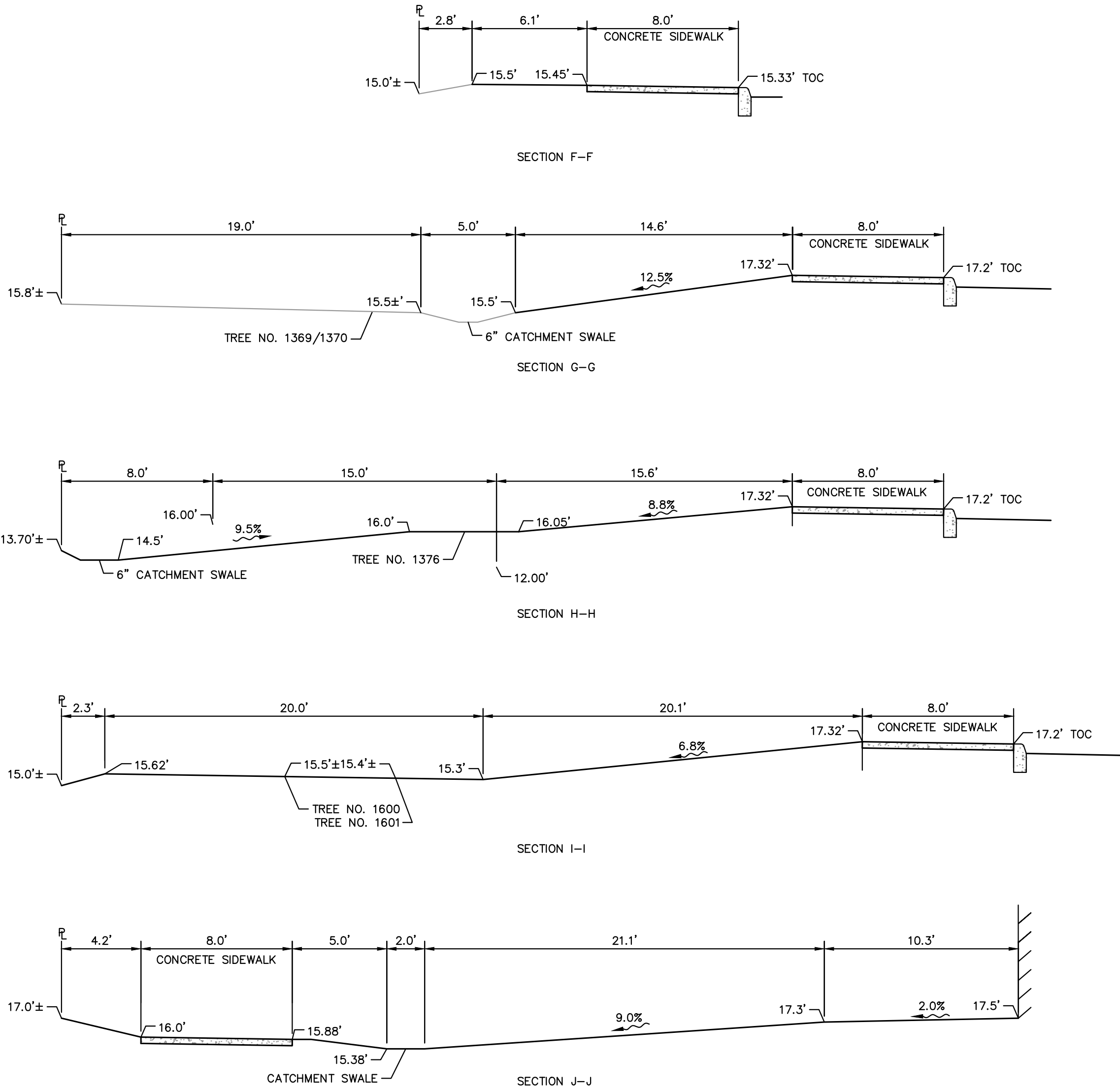
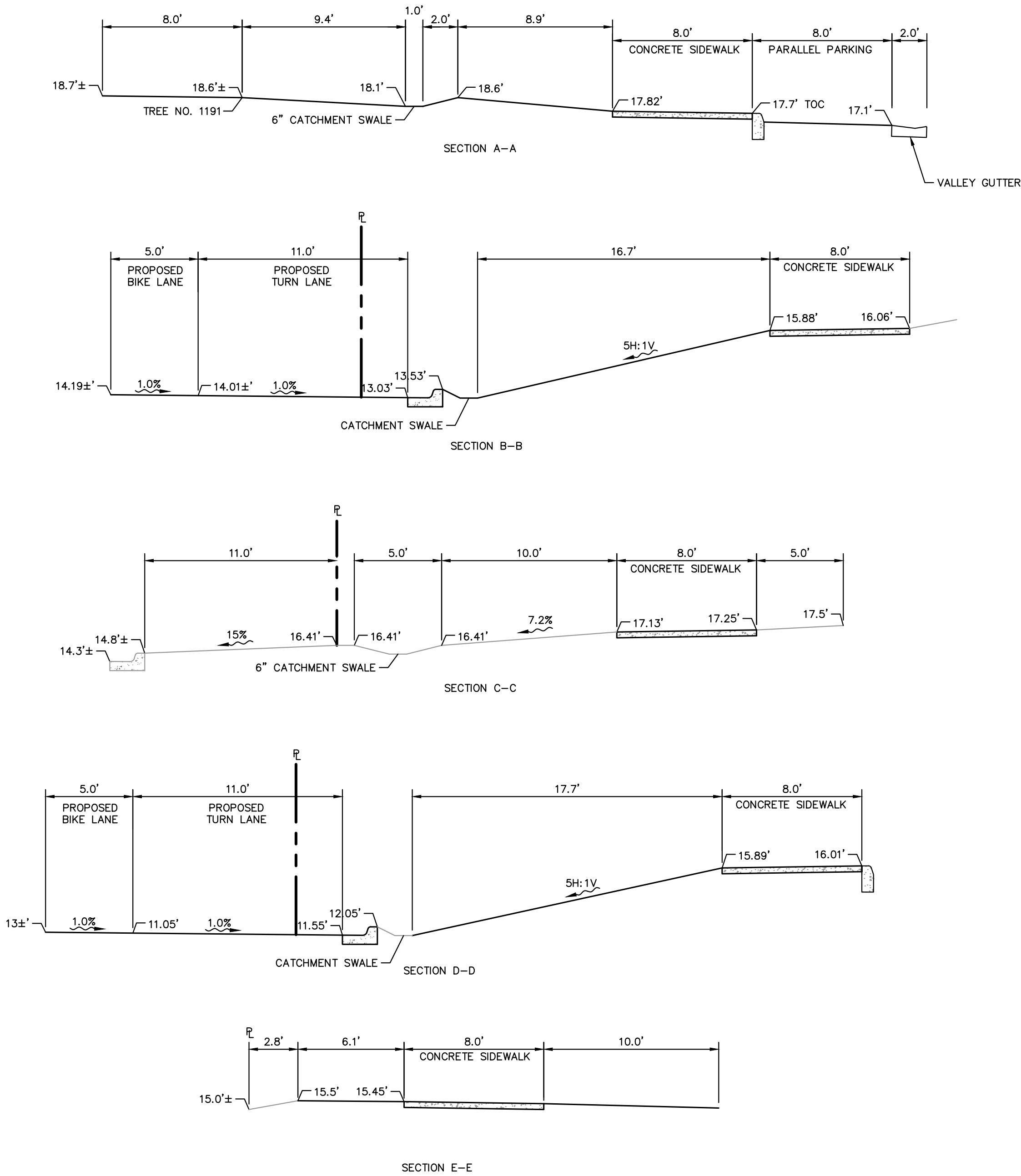


1690 - 2350 S. CONGRESS AVENUE PREPARED FOR 13TH FLOOR INVESTMENTS DELRAY BEACH, FLORIDA		COMPOSITE PLAN		KHA PROJECT 140248002 DATE APRIL 2019 SCALE AS SHOWN DESIGNED BY JVP DRAWN BY B/J CHECKED BY MDS		LICENSED PROFESSIONAL MICHAEL D. SPRUCE, P.E. FLORIDA LICENSE NUMBER 52776 DATE: _____		Kimley»Horn © 2019 KIMLEY-HORN AND ASSOCIATES, INC. 1615 S CONGRESS AVE, SUITE 201, DELRAY BEACH, FL 33445 PHONE: 561-330-2345 FAX: 561-863-8175 WWW.KIMLEY-HORN.COM CA 0000696		No. _____ REVISIONS DATE BY	
SHEET NUMBER C3.06											



SHEET NUMBER C4.00	1690 - 2350 S. CONGRESS AVENUE PREPARED FOR 13TH FLOOR INVESTMENTS FLORIDA	PERIMETER SECTIONS	KHA PROJECT 140248002 DATE MARCH 2019 SCALE AS SHOWN DESIGNED BY JRF DRAWN BY JRF CHECKED BY MDS	LICENCED PROFESSIONAL MICHAEL D. SPRUCE, P.E. FLORIDA LICENSE NUMBER 52776 DATE: -----	© 2019 KIMLEY-HORN AND ASSOCIATES, INC. Kimley»Horn © 2019 KIMLEY-HORN AND ASSOCIATES, INC. 1615 S. CONGRESS AVE., SUITE 201, DELRAY BEACH, FL 33445 PHONE: 561-330-2345 · FAX: 561-863-8175 WWW.KIMLEY-HORN.COM · CA 00000366	REVISIONS	BY
						No.	DATE

Plotted By: Grove, Brian Sheet Set: 1690 - 2350 S. Congress Avenue Layout: C8.02 PERIMETER SECTIONS April 11, 2019 09:50:50am K:\ncd_civil\140248002 - centrepointe\CADD\plansheets\C8.03 PERIMETER SECTIONS.dwg This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



1690 - 2350 S.
CONGRESS AVENUE
PREPARED FOR
13TH FLOOR INVESTMENTS
FLORIDA
DELRAY BEACH

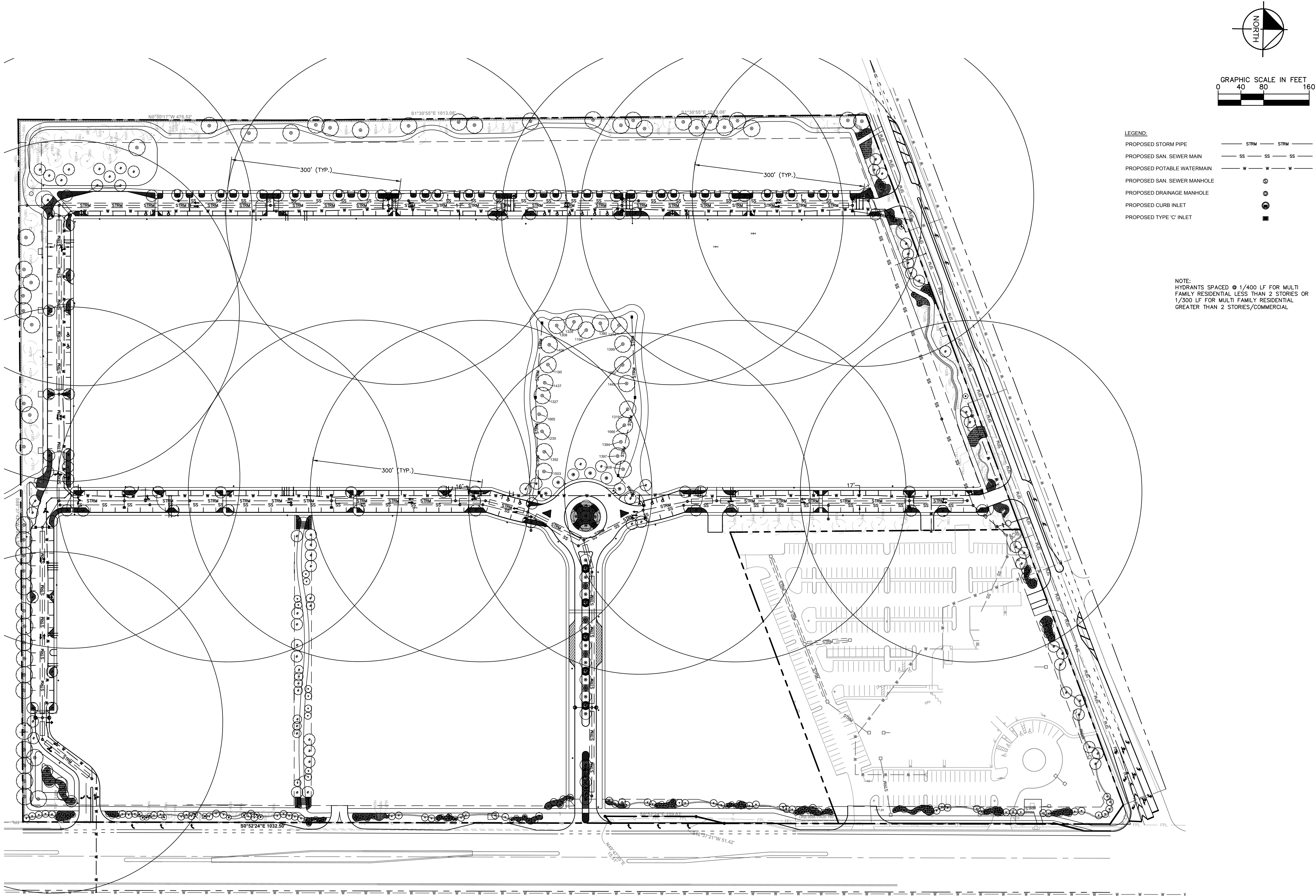
SHEET NUMBER
C4.01

PERIMETER
SECTIONS

KHA PROJECT
140248002
DATE
MARCH 2019
SCALE AS SHOWN
DESIGNED BY JRF
DRAWN BY JRF
CHECKED BY MDS
LICENSED PROFESSIONAL
MICHAEL D. SPRUCE, P.E.
FLORIDA LICENSE NUMBER
52776
DATE: ----

Kimley»Horn
© 2019 KIMLEY-HORN AND ASSOCIATES, INC.
1615 S. CONGRESS AVE., SUITE 201,
DELRAY BEACH, FL 33445
PHONE: 561-330-2345 · FAX: 561-863-8175
WWW.KIMLEY-HORN.COM · CA 00000696

REVISIONS	DATE	BY
No.		



SHEET NUMBER C5.00	1690 - 2350 S. CONGRESS AVENUE PREPARED FOR 13TH FLOOR INVESTMENTS DELRAY BEACH FLORIDA	MASTER HYDRANT SPACING PLAN	KHA PROJECT 140248002 DATE APRIL 2019 SCALE AS SHOWN DESIGNED BY JVP DRAWN BY BUG CHECKED BY MDS	LICENSED PROFESSIONAL MICHAEL D. SPRUCE, P.E. FLORIDA LICENSE NUMBER 52776 DATE: _____	Kimley»Horn © 2019 KIMLEY-HORN AND ASSOCIATES, INC. 1615 S CONGRESS AVE, SUITE 201, DELRAY BEACH, FL 33445 PHONE: 561-330-2345 FAX: 561-863-8175 WWW.KIMLEY-HORN.COM CA 00000696	No.	REVISIONS	BY	DATE