

100 GLEASON STREET

DELRAY BEACH,
FLORIDA

RICHARD JONES



ARCHITECTURE

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DELRAY BEACH, FLORIDA 33444
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100 GLEASON STREET
DELRAY BEACH

JOHN DELEONIBUS
100 GLEASON STREET
DELRAY BEACH, FL 33483

FLORIDA LICENSURE

AA26001617 | IB26001056

COMMISSION # 17-058
DESIGNER: RJ
DRAWN BY: GsJ
PLAN REVIEW: RJ

SUBMITTALS:
CLASS V
SPECIAL SITE
PLAN
SUBMITTAL 10.25.19

REVISIONS:

COVER
SHEET

CVR

DRAWING INDEX

ARCHITECTURAL

CVR COVER SHEET
SP-1 SITE PLAN
A-1.1 GROUND FLOOR PLAN
A-1.2 SECOND FLOOR PLAN
A-1.3 THIRD FLOOR PLAN
A-1.4 ROOF TERRACE PLAN
A-2 UPPER ROOF PLAN
A-3.1 EAST AND NORTH ELEVATIONS
A-3.2 WEST AND SOUTH ELEVATIONS

CODE RESEARCH

PROPOSED PROJECT: 3 STORY DUPLEX WITH (2) CAR GARAGE AND ROOF TOP APPURTENANCE

GOVERNING CODE: FBC RESIDENTIAL 6th EDITION (2017), FFPC 6th EDITION (2017), NFPA 1 UFC FLORIDA 2015 EDITION, NFPA 101 LSC FLORIDA 2018 ED.

BUILDING HEIGHT: 35'-0" TO BASE BUILDING ELEVATION

TYPE OF CONSTRUCTION: TYPE VB SPRINKLERED FOR 3-STORY UNITS

BLDG. DESIGNED: ENCLOSED

WIND SPEED: 170 MPH ULTIMATE WIND SPEED

EXPOSURE: D

ZONING DISTRICT: RM-MEDIUM HIGH DENSITY

HAZARD CLASSIFICATION: ORDINARY HAZARD

REQ'D. SETBACKS: FRONT SETBACK = 25'-0"/30'-0" PROVIDED: FRONT SETBACK = 25'-0"/30'-0"
REAR SETBACK = 15'-0" REAR SETBACK = 15'-0 3/4"
SIDE INTERIOR SETBACK = 15'-0"/30'-0" SIDE INTERIOR = 15'-0 1/4"/30'-0"
SIDE STREET = 25'-0"/30'-0" SIDE STREET = 25'-0"/ 30'-0"

DESIGN PARAMETERS

OCCUPANCY (SINGLE FAMILY, DUPLEX, MULTI-FAMILY, COMMERCIAL, INDUSTRIAL - DESCRIBE) MULTI-FAMILY(DUPLEX)

EXPOSURE CONDITION D ☒ SEC. R301.2.1.4.3 5th EDITION (2014) FLORIDA RESIDENTIAL CODE

MEAN ROOF HEIGHT 35'-0" TO BASE BUILDING ELEVATION ☒ ASCE 7-10 CHAPTER 26

BUILDING HEIGHT ☒ ≤ 60 FT. (MAY USE LOW RISE PROVISIONS OF THE 5th EDITION (2014) FLORIDA RESIDENTIAL CODE) ☐ > 60 FT. (ASCE 7-10 CHAPTER 26)

BUILDING DESIGNED AS ☐ PARTIALLY ENCLOSED ☒ ENCLOSED ☐ OPEN ☐ TESTED (WIND TUNNEL)

IMPORTANCE FACTOR (DETERMINED BY BUILDING USE/OCCUPANCY, REFER TO 5th EDITION (2014) FLORIDA RESIDENTIAL CODE OR ASCE 7-10 CHAPTER 26) 1.0

BASIC WIND VELOCITY PRESSURES : 5th ADDITION (2014) FLORIDA RESIDENTIAL CODE
VERIFY APPROPRIATE POSITIVE/NEGATIVE PRESSURE COEFFICIENTS HAVE BEEN APPLIED TO MAIN WIND FORCE RESISTING SYSTEM, OR BUILDING ENVELOPE COMPONENTS AND CLADDING AS APPLICABLE: 40 PSF

5th EDITION (2014) FLORIDA RESIDENTIAL CODE- ULTIMATE WIND SPEED 170 (3 SECOND GUST) BASIC VELOCITY PRESSURE

ASCE 7-10 CH 26- WIND SPEED NA (3 SECOND GUST) BASIC VELOCITY PRESSURE NA PSF

NOTE: ACTUAL DESIGN PRESSURES FOR ALL EXTERIOR WINDOWS, DOORS, GARAGE DOORS, AND SIMILAR ENVELOPE ELEMENTS MUST BE INDICATED ON CONSTRUCTION PLANS.

ROOF DEAD LOAD (ACTUAL DEAD LOAD OF MATERIAL USED FOR DETERMINING UPLIFT REACTIONS) 5 PSF

SOIL BEARING CAPACITY 2500 PSF

REVIEWED FOR SHEAR WALL REQUIREMENTS ☒ YES ☐ NO (IF NO, INDICATE REASON)

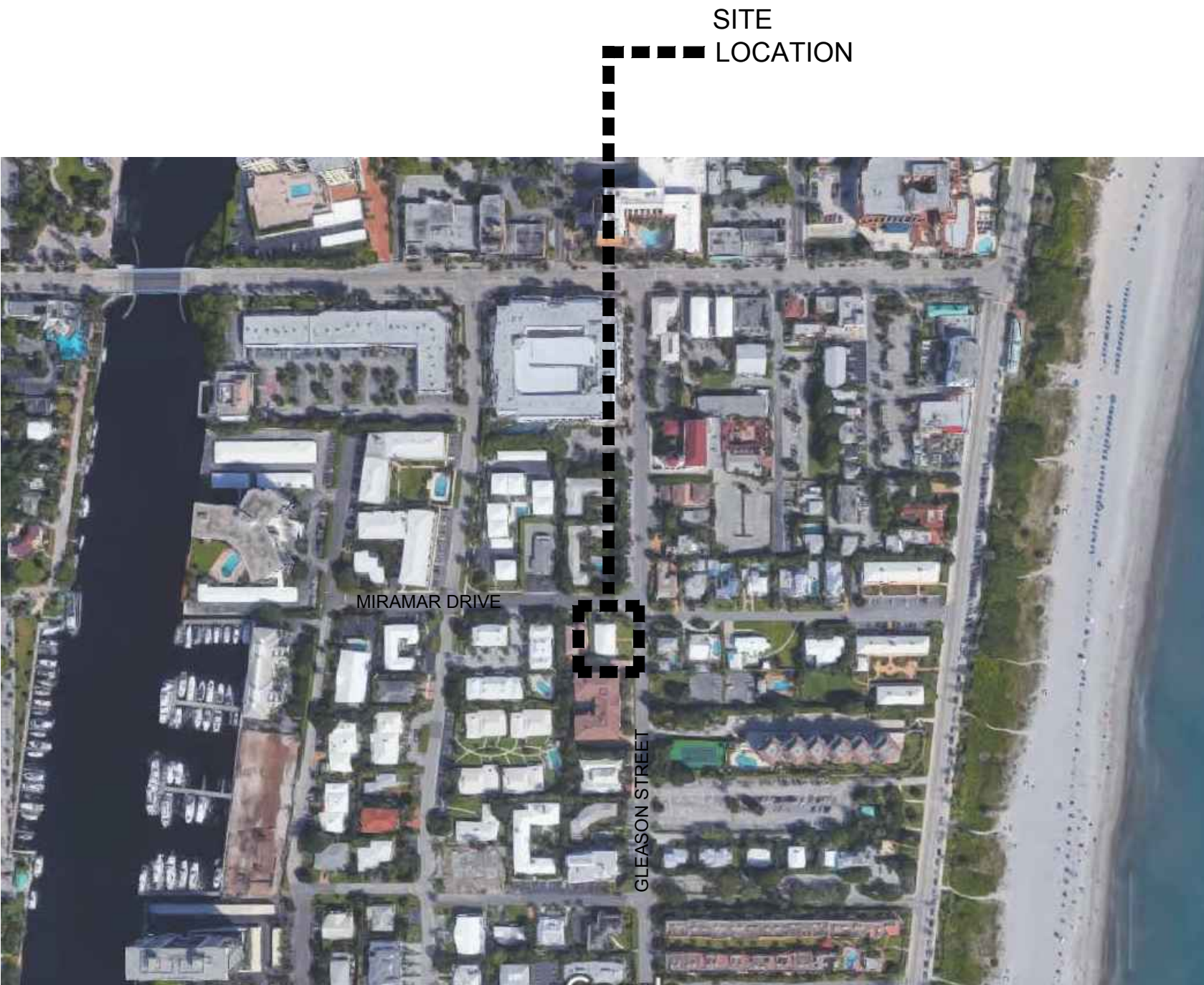
CIVIL ENGINEER

ENVIRODESIGN ASSOCIATES, INC.
298 NE 2ND AVENUE
DELRAY BEACH, FL 33444
TELEPHONE: 561-274-6500
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ARCHITECT

RICHARD JONES ARCHITECTURE
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LOCATION MAP



OWNER

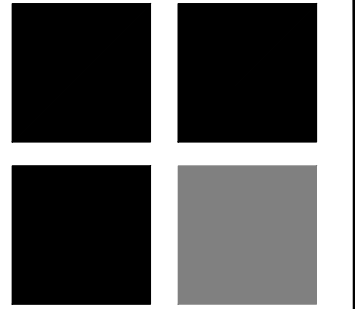
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DELRAY BEACH , FL 33483

STRUCTURAL

ENGINEERING PLUS
19528 SEDGEFIELD TERRACE
BOCA RATON, FL 33498
TELEPHONE: 561-756 4106

LANDSCAPE

DAVE BODKER LANDSCAPE
PLANNING
601 N CONGRESS AVE SUITE 105-A
DELRAY BEACH, FL 33445
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SUBMITTALS:	
CLASS V	10.25.19
SPECIAL SITE	
PLAN	
SUBMITTAL	

REVISIONS:

LEGAL DESCRIPTION

THE EAST 89.6 FEET OF LOT 13, BLOCK D, JOHN B. REID'S VILLAGE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 21, PAGE 95, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

BUILDING SETBACKS

	Required	Provided
Front Setback (North)	25'-0"	25'-0"
Rear Setback (South)	15'-0"	15'-0 3/4"
Side Interior Setback (West)	15'-0"	15'-0 1/4"
Side Street Setback (East)	25'-0"	25'-0"

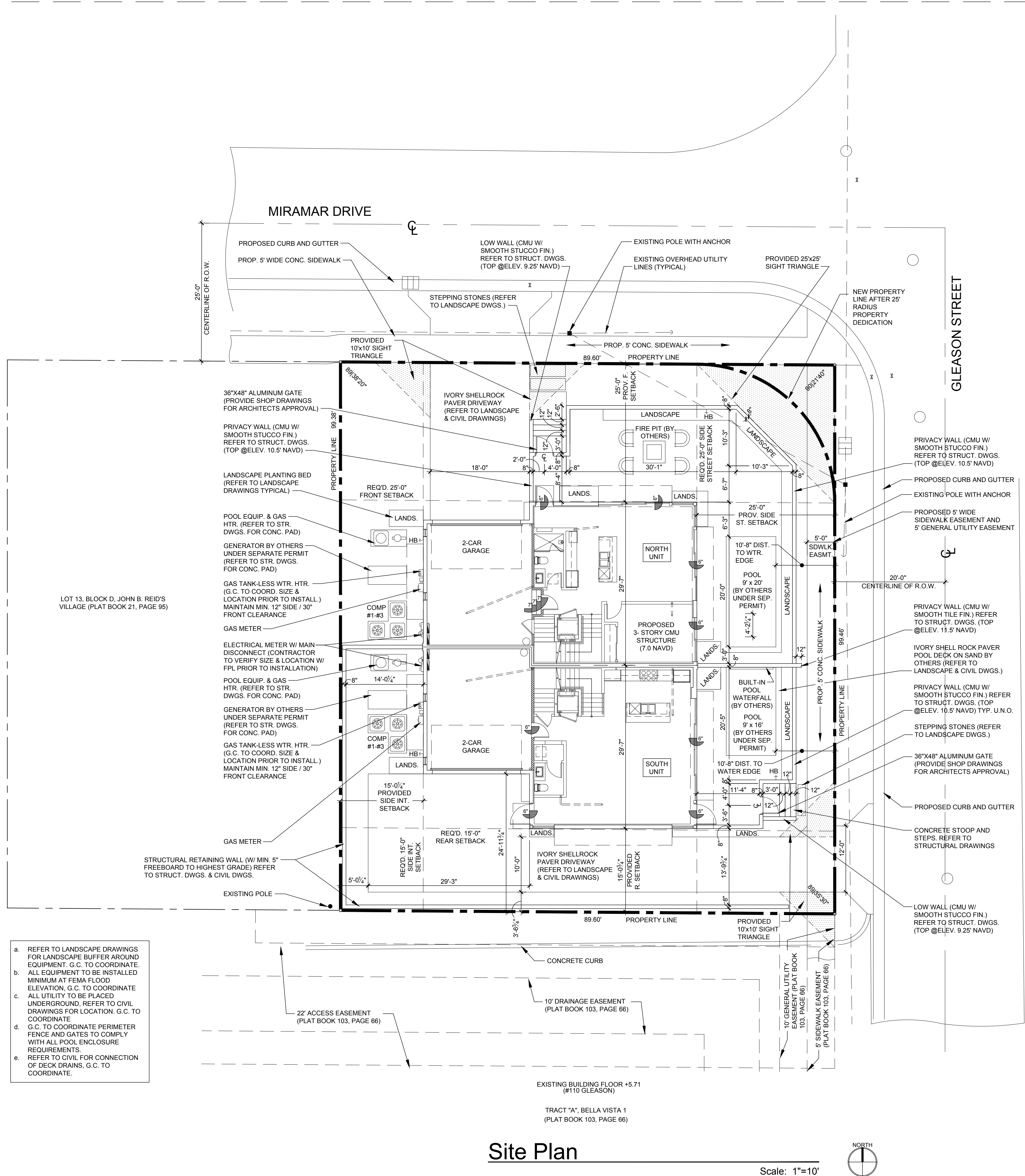
SITE DATA CHART

	PROVIDED	REQUIRED
Bldg Footprint =	2,680 SQ.FT.	
Impervious Area =		
Pervious Area =		
Total Site Area =	8,908 SQ.FT.	
Lot Coverage =	30%	40%
% Impervious =		
% Pervious =		
%Open Space =		25% Non-Vehicular

Lot Width =	89.60'	
Lot Depth =	99.46'	
Lot Frontage =	89.60'	
Building Height =	35'-0"	35'-0" (FROM C. OF R.)

SITE PLAN

SP-1



KEY NOTES

1. 48" REFRIGERATOR/FREEZER (REFER TO I.D. DRAWINGS).

2. DOUBLE BOWL SINK w/ DISPOSAL (REFER TO I.D. DRAWINGS).

3. 48" GAS RANGE w/ HOOD (REFER TO I.D. DRAWINGS).

4. UNDER COUNTER MICROWAVE DRAWER (REFER TO ID DRAWINGS).

5. DISHWASHER (REFER TO ID DRAWINGS).

6. ELECTRIC CAR CHARGING STATION W/ DEDICATED CIRCUIT (G.C. TO COORD. W/ OWNER)

7. KITCHEN ISLAND w/ KNEE SPACE - COUNTER +36" A.F.F. (REFER TO I.D. DWGS.)

8. HOSE BIB (ALSO REFER TO SHEET SP-1 SITE PLAN FOR ADDITIONAL LOCATIONS).

9. WASHING MACHINE (REFER TO I.D. DRAWINGS).

10. DRYER - VENT TO EXTERIOR (REFER TO I.D. DRAWINGS).

11. UNDER COUNTER REFRIGERATOR (REFER TO I.D. DRAWINGS).

12. FLAT HEADER +8'-0" ABOVE FINISH FLOOR.

13. LAUNDRY SINK (REFER TO I.D. DRAWINGS).

14. LAVATORY (REFER TO I.D. DRAWINGS).

15. WATER CLOSET (REFER TO I.D. DRAWINGS).

16. MASONRY PARAPET +42" ABOVE FINISH ROOF DECK.

17. AIR HANDLER UNIT #1 W/ DUAL CONDENSATE OVERFLOW EMERG. SHUT OFF SENSORS.

18. AIR HANDLER UNIT #2 W/ DUAL CONDENSATE OVERFLOW EMERG. SHUT OFF SENSORS.

19. AIR HANDLER UNIT #3 W/ DUAL CONDENSATE OVERFLOW EMERG. SHUT OFF SENSORS.

20. FLOOR DRAIN. VERIFY LOCATION IN FIELD. SLOPE FLR. TO DRAIN

21. CONCRETE STEPS (REFER TO STRUCTURAL DRAWINGS).

22. R-11 INSULATION AND TYPE 'X' GYPSUM BOARD AT GARAGE CEILING.

23. R-11 INSULATION AT GARAGE WALL

24. TEMP. GLS. SHWR. ENCLOS. (W/ TEMP. GLS. DOOR WHERE APPLICABLE) SEE I.D. DRAWINGS.

25. INTERIOR STAIR WITH RAILING SYSTEM - SEE ENLARGED STAIR DETAILS SHEET A-7.1 (REFER TO I.D. DRAWINGS) PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL.

26. PANTRY BUILT-IN (BY OTHERS - REFER TO I.D. DRAWINGS).

27. BUILT-IN (BY OTHERS) SEE CABINET SHOP DRAWINGS FOR DIMENSIONS.

28. ELECTRICAL PANEL IN G.W.B BUILT OUT (REFER TO ELEC. SHEETS E-1 THRU E-4).

29. DASHED LINE INDICATES BALCONY ABOVE.

30. CANTILEVERED CONCRETE EYEBROW BELOW - SLOPE MAXIMUM 1/8" PER FOOT.

31. STRUCTURAL COLUMN (REFER TO STRUCTURAL DRAWINGS).

32. GAS METER.

33. 6" PEDESTAL TUB (REFER TO I.D. DRAWINGS).

34. SHOWER (REFER TO I.D. DRAWINGS).

35. WET BAR SINK (REFER TO I.D. DRAWINGS).

36. POURED CONCRETE COLUMN.

37. 42" H. ALUM. RAILING SYSTEM W/ 3/4" SQ. HORIZ. TUBING W/ RECESSED MOUNTED POSTS SILVER POWDER COATED (PROVIDE SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).

38. 12" VENTILATED WIRE SHELVING AND HANGING ROD.

39. 2" GARAGE DOOR RAIN RECESS (TYPICAL).

40. NOMINAL STORM DRAIN ROUTE AT THIS FLOOR LEVEL.

41. FIRE SPRINKLER RISER LOCATION.

42. TANK-LESS GAS WATER HEATER (G.C. TO SIZE ACCORDINGLY).

43. NOMINAL STORM DRAIN ROUTE IN CEILING PLENUM FROM FLOOR ABOVE (DASHED LINE).

44. COUNTER +36" A.F.F. (REFER TO INTERIOR DESIGNER DRAWINGS).

45. TERRACE / BALCONY WATER PROOFING & FLASHING SYSTEM - WATERPROOF CLEAR SEALER OVER TILE WITH THIN SET "LATI-CRETE" EPOXY GROUT OVER TREMCO 350/351 SYSTEM (OR EQUAL) SLOPE 1/8" PER FOOT (INSTALL PER MANUFACTURER'S SPECIFICATIONS) UNDERSIDE OF DECK MINIMUM 3" ICYNENE PRO SEAL INSULATION (AVG. R-19 INSULATION ENTIRE ASSEMBLY) WHERE TERRACE / BALCONY ENCLOSES A/C SPACE BELOW.

46. 42" H. TEMP. SAFETY GLASS RAILING SYSTEM W/ ALUM. FRAME (TO REJECT 4" SPHERE) SILVER POWDER COATED (PROV. SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).

47. ELEC. METER W/ MAIN DISC. (G.C. TO VERIFY LOCATION W/ FFL PRIOR TO INSTALLATION).

48. 28" H. ALUM. RAILING SYSTEM W/ 3/4" SQ. HORIZ. TUBING W/ RECESSED MOUNTED POSTS ON 14" H. CONC. LOW WALL (PROVIDE SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).

49. 22"x36" ACCESS PANEL (FOR EMERGENCY ACCESS TO ELEVATOR MOTOR).

50. SMART VENT FLOOD VENT BLOCKS (VENT MUST BE INSTALLED 0" TO 12" A.F.F. ENTIRE VENT MUST BE BELOW BASE FLOOD ELEVATION / DESIGN FLOOD ELEVATION).

51. 2" STRUCTURAL BUMP OUT.

52. NOMINAL ROUTE OF HVAC SUPPLY FROM AHU #1 ABOVE AT SECOND FLOOR.

53. 2-HOUR DEMISING WALL.

54. NOMINAL ROUTE OF HVAC SUPPLY FROM AHU #3 ABOVE AT APPURTENANCE FLOOR.

55. 13" HIGH MASONRY PARAPET.

56. ROOF DECK WATER DRAIN.

57. MASONRY KNEE WALL +42" ABOVE FINISH DECK.

58. MASONRY PRIVACY WALL +6'-4" ABOVE FINISH DECK.

59. FLUSH PANEL METAL GARAGE DOOR W/ PAINTED FINISH (PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.

60. MASONRY PRIVACY WALL +7'-2" ABV. FIN. DECK W/ COLOR COORD. ALUM. DRIP EDGE CAP.

61. ALUM. GATE (SEE SITE PLAN & DTL.) PROV. SHOP DWGS. FOR ARCH'S. REVIEW & APPROVAL.

62. PRE-FAB GAS FIRE (BY OTHERS) G.C. TO COORD. W/ OWNER (REFER TO I.D. DRAWINGS).

63. OPTIONAL FREE STANDING SPA (BY OTHERS) G.C. TO COORDINATE W/ OWNER.

64. TRACTION ELEVATOR (BY OTHERS).

65. CENTRAL VACUUM SYSTEM (BY OTHERS) G.C. TO COORDINATE W/ OWNER.

66. 4" WIDE x 2" HIGH EMERGENCY OVERFLOW SCUPPER.

67. DASHED LINE INDICATES EYEBROW ABOVE.

68. TERRACE / AMENITY DECK WATER DRAIN.

69. GENERATOR (BY OTHERS UNDER SEPARATE PERMIT) G.C. TO COORDINATE SIZING REQ'S.

70. EPOXY PAINT FINISH ON GARAGE FLOOR (G.C. TO COORDINATE W/ OWNER / I.D. DWGS.).

71. T.V. NICHE 4" INSET FROM FACE OF MASONRY WALL (G.C. TO COORD. SIZING W/ ELEC. SUB).

72. 48" ELECTRIC / INDUCTION RANGE w/ HOOD (REFER TO I.D. DRAWINGS).

73. GAS BARBECUE.

74. RAYNOR GLASS OVER HEAD DOOR (PROVIDE NOA AND SHOP DWGS. FOR ARCH'S. REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.

75. APPLIED PORCELAIN TILE OVER WATER PROOFING ON MASONRY WALL (G.C. TO COORDINATE FINISH SELECTION WITH OWNER) TYP. @2ND FLR. BALCONY END BUMP-OUTS.

76. FASCIA BOARD CONCEALED DRAPERY POCKET (REFER TO I.D. DRAWINGS).

77. STRUCT. COL. CLAD IN CLEAR ANODIZED ALUM. TO MATCH WINDOW (SEE STRUCT. DWGS.).

78. SHOWER SEAT +22" A.F.F. (REFER TO INTERIOR DRAWINGS).

NOTES

1. ALL FINISHES AND PAINT COLORS SHALL BE SELECTED BY INTERIOR DESIGNER.

2. 5/8" THICK DENS-SHIELD SHALL BE INSTALLED IN LIEU OF GYPSUM BD. @ ALL WET AREAS.

3. MIRRORS SHALL BE INSTALLED OVER ALL VANITIES. HEIGHT & WIDTH SHALL BE DETERMINED BY INTERIOR DESIGNER.

4. ALL EXPOSED GYP. BD. WALLS AND CEILING SHALL RECEIVE 2 COATS OF FLAT LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.

5. ALL INTERIOR WOOD, DOORS, BASE OR TRIM SHALL RECEIVE 2 COATS OF SEMI-GLOSS LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.

6. FINISH FOR CLOSETS SHALL BE SAME AS FINISH OF ROOM CLOSET IS IN (U.O.N.).

7. ALL KITCHEN, LAUNDRY ROOM, FINISHED BATHROOMS & POWDER ROOMS SHALL HAVE IMPERVIOUS FLOORING & BASE.

NOTE: ALL WINDOWS NOTED AS EGRESS WINDOWS SHALL COMPLY WITH F.B.C. SILL HEIGHT SHALL NOT EXCEED 44" A.F.F. MIN. OPG. HT. SHALL BE 24" AND MIN OPG. WIDTH SHALL BE 20" MIN. CLEAR OPEN AREA SHALL BE 5.7 SQ. FT. (5.0 SQ.FT. @ 1ST FLOOR)

WALL HATCH SCHEDULE

DENOTES SOUND ATTENUATION INSULATION WITHIN WALL

DENOTES R-11 BATT INSULATION WITHIN WALL

NORTH UNIT BUILDING AREA CALCULATIONS

GROUND FLOOR A/C

886 SQ.FT.

SECOND FLOOR A/C

1,322 SQ.FT.

THIRD FLOOR A/C

694 SQ.FT.

APPURTENANCE A/C

145 SQ.FT.

TOTAL A/C

3,047 SQ.FT.

GARAGE

452 SQ.FT.

BALCONIES

560 SQ.FT.

TERRACE

472 SQ.FT.

TOTAL BUILDING FLOOR AREA

4,531 SQ.FT.

SOUTH UNIT BUILDING AREA CALCULATIONS

GROUND FLOOR A/C

889 SQ.FT.

SECOND FLOOR A/C

1,324 SQ.FT.

THIRD FLOOR A/C

680 SQ.FT.

APPURTENANCE A/C

175 SQ.FT.

TOTAL A/C

3,068 SQ.FT.

GARAGE

452 SQ.FT.

BALCONIES

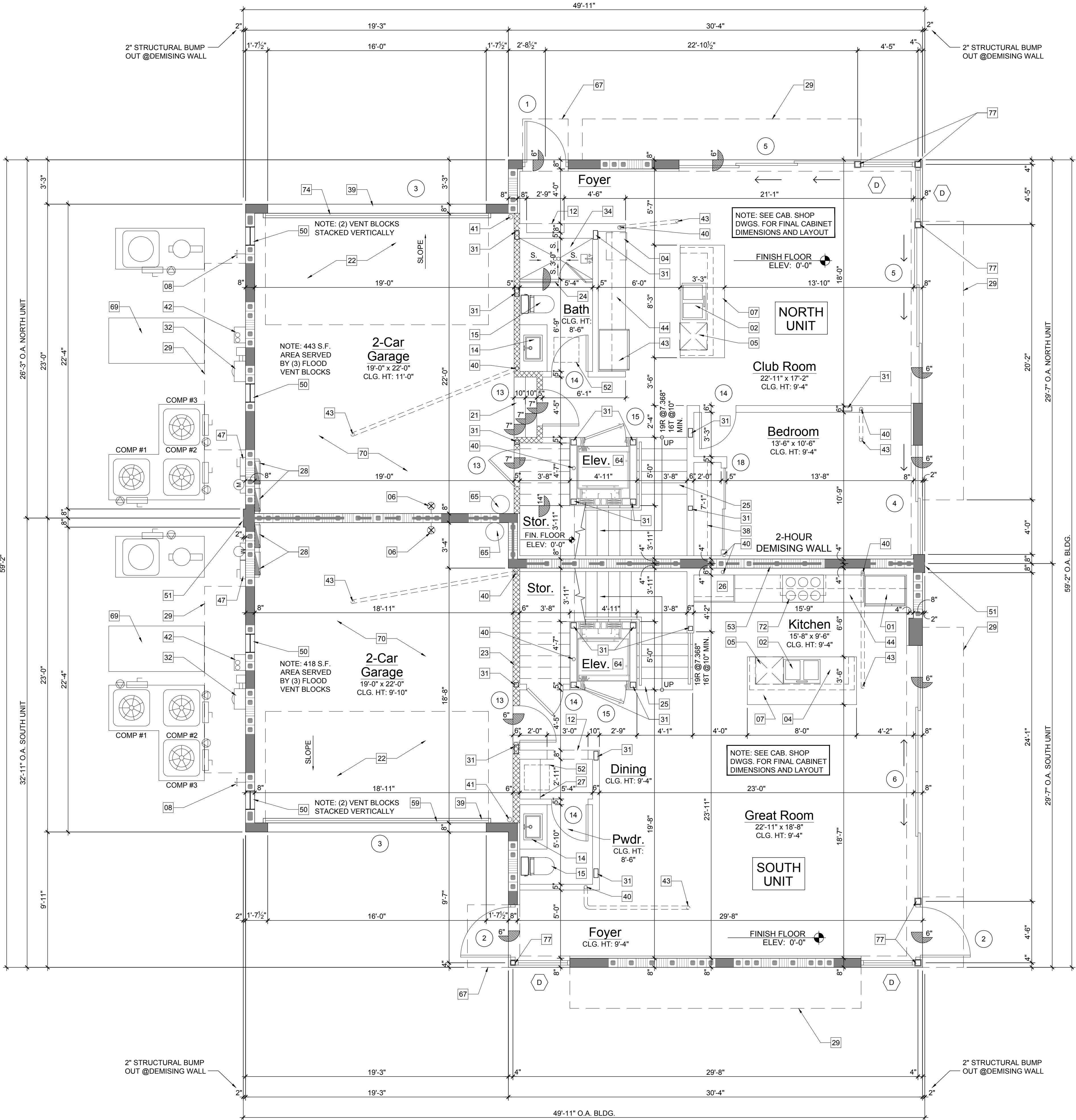
565 SQ.FT.

TERRACE

427 SQ.FT.

TOTAL BUILDING FLOOR AREA

4,512 SQ.FT.



Ground Floor Plan

Scale: 1/4"=1'-0"



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CLASS V

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REVISIONS:

GROUND FLOOR PLAN

A-1.1

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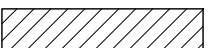

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- 4" WIDE x 2" HIGH EMERGENCY OVERFLOW SCUPPER.
- DASHED LINE INDICATES EYEBROW ABOVE.
- TERRACE / AMENITY DECK WATER DRAIN.
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- EPOXY PAINT FINISH ON GARAGE FLOOR (G.C. TO COORDINATE W/ OWNER / I.D. DWGS.).
- T.V. NICHE 4" INSET FROM FACE OF MASONRY WALL (G.C. TO COORD. SIZING W/ ELEC. SUB).
- 48" ELECTRIC / INDUCTION RANGE w/ HOOD (REFER TO I.D. DRAWINGS).
- GAS BARBECUE.
- RAYNOR GLASS OVER HEAD DOOR (PROVIDE NOA AND SHOP DWGS. FOR ARCHS. REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.
- APPLIED PORCELAIN TILE OVER WATER PROOFING ON MASONRY WALL (G.C. TO COORDINATE FINISH SELECTION WITH OWNER) TYP. @2ND FLR. BALCONY END BUMP-OUTS.
- FASCIA BOARD CONCEALED DRAPERY POCKET (REFER TO I.D. DRAWINGS).
- STRUCT. COL. CLAD IN CLEAR ANODIZED ALUM. TO MATCH WINDOW (SEE STRUCT. DWGS.).
- SHOWER SEAT +22" A.F.F. (REFER TO INTERIOR DRAWINGS).

NOTES

- ALL FINISHES AND PAINT COLORS SHALL BE SELECTED BY INTERIOR DESIGNER.
 - 5/8" THICK DENS-SHIELD SHALL BE INSTALLED IN LIEU OF GYPSUM BD. @ ALL WET AREAS.
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- NOTE: ALL WINDOWS NOTED AS EGRESS WINDOWS SHALL COMPLY WITH F.B.C. SILL HEIGHT SHALL NOT EXCEED 44" A.F.F. MIN. OPG. HT. SHALL BE 24" AND MIN OPG. WIDTH SHALL BE 20" MIN. CLEAR OPEN AREA SHALL BE 5.7 SQ. FT. (5.0 SQ.FT. @ 1ST FLOOR)

WALL HATCH SCHEDULE

	DENOTES SOUND ATTENUATION INSULATION WITHIN WALL
	DENOTES R-11 BATT INSULATION WITHIN WALL

NORTH UNIT BUILDING AREA CALCULATIONS

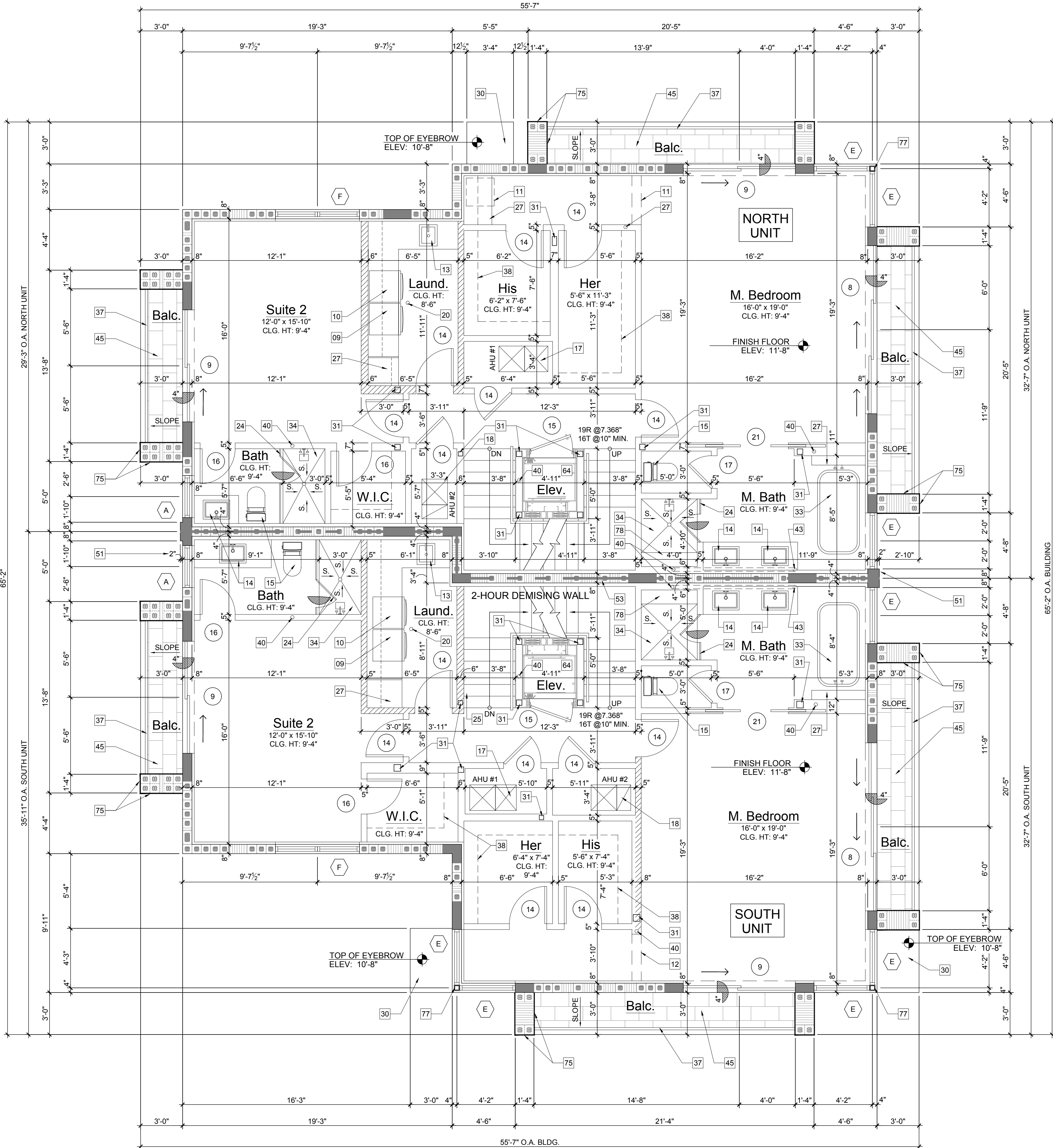
GROUND FLOOR A/C	886 SQ.FT.
SECOND FLOOR A/C	1,322 SQ.FT.
THIRD FLOOR A/C	694 SQ.FT.
APPURTENANCE A/C	145 SQ.FT.
TOTAL A/C	3,047 SQ.FT.

GARAGE	452 SQ.FT.
BALCONIES	560 SQ.FT.
TERRACE	472 SQ.FT.
TOTAL BUILDING FLOOR AREA	4,531 SQ.FT.

SOUTH UNIT BUILDING AREA CALCULATIONS

GROUND FLOOR A/C	889 SQ.FT.
SECOND FLOOR A/C	1,324 SQ.FT.
THIRD FLOOR A/C	680 SQ.FT.
APPURTENANCE A/C	175 SQ.FT.
TOTAL A/C	3,068 SQ.FT.

GARAGE	452 SQ.FT.
BALCONIES	565 SQ.FT.
TERRACE	427 SQ.FT.
TOTAL BUILDING FLOOR AREA	4,512 SQ.FT.



Second Floor Plan

Scale: 1/4"=1'-0"



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JOHN DELEONIBUS
100 GLEASON STREET
DELRAY BEACH, FL 33483

FLORIDA LICENSURE

AA26001617 | IB26001056

COMMISSION # 17-058
DESIGNER: RJ
DRAWN BY: GsJ
PLAN REVIEW: RJ

SUBMITTALS:
CLASS V
SPECIAL SITE
PLAN
SUBMITTAL

10.25.19

REVISIONS:

SECOND
FLOOR
PLAN

A-1.2

RICHARD JONES ARCHITECTURE

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Third Floor Plan

Scale: 1/4"=1'-0"

RICHARD JONES

ARCHITECTURE

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DELRAY BEACH, FL 33483

FLORIDA

LICENSEURE

AA26001617 | IB26001056

COMMISSION # 17-058

DESIGNER: RJ

DRAWN BY: Gsj

PLAN REVIEW: RJ

SUBMITTALS:

CLASS V

SPECIAL SITE

PLAN

SUBMITTAL

10.25.19

REVISIONS:

THIRD FLOOR PLAN

A-1.3

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WALL HATCH SCHEDULE

DENOTES SOUND ATTENUATION INSULATION WITHIN WALL.

DENOTES R-11 BATT INSULATION WITHIN WALL.

NORTH UNIT BUILDING AREA CALCULATIONS

GROUND FLOOR A/C	886 SQ.FT.
SECOND FLOOR A/C	1,322 SQ.FT.
THIRD FLOOR A/C	694 SQ.FT.
APPURTENANCE A/C	145 SQ.FT.
TOTAL A/C	3,047 SQ.FT.

SOUTH UNIT BUILDING AREA CALCULATIONS

GROUND FLOOR A/C	889 SQ.FT.
SECOND FLOOR A/C	1,324 SQ.FT.
THIRD FLOOR A/C	680 SQ.FT.
APPURTENANCE A/C	175 SQ.FT.
TOTAL A/C	3,068 SQ.FT.

GARAGE	452 SQ.FT.
BALCONIES	560 SQ.FT.
TERRACE	472 SQ.FT.
TOTAL BUILDING FLOOR AREA	4,531 SQ.FT.

The figure is a detailed architectural drawing of a roof terrace plan, divided into North and South units. The plan includes numerous annotations such as 'TOP OF KNEE WALL ELEV: 38'-6"', 'T.O. ROOF @ LOW POINT ELEV: 35'-0"', and 'TOP OF EYEBROW ELEV: 33'-0"'. It also shows structural elements like '2-HOUR DEMISING WALL', 'MECH. NORTH UNIT', and 'MECH. SOUTH UNIT'. Dimensions are provided for various sections, including overall unit dimensions (e.g., 32'-3" by 22'-11") and specific terrace areas (e.g., 10'-5" by 10'-5"). The plan also indicates the location of various features like 'Balc. Below', 'Terrace', and 'T.O. ROOF @ LOW POINT'. A north arrow is located in the bottom right corner.

Roof Terrace Plan

Scale: 1/4"=1'-0"

GARAGE	452 SQ.FT.
BALCONIES	565 SQ.FT.
TERRACE	427 SQ.FT.
TOTAL BUILDING FLOOR AREA	4,512 SQ.FT.

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DESIGNER: RJ

DRAWN BY: Gsj

PLAN REVIEW: RJ

SUBMITTALS:

CLASS V 10.25.19

SPECIAL SITE PLAN

SUBMITTAL

REVISIONS:

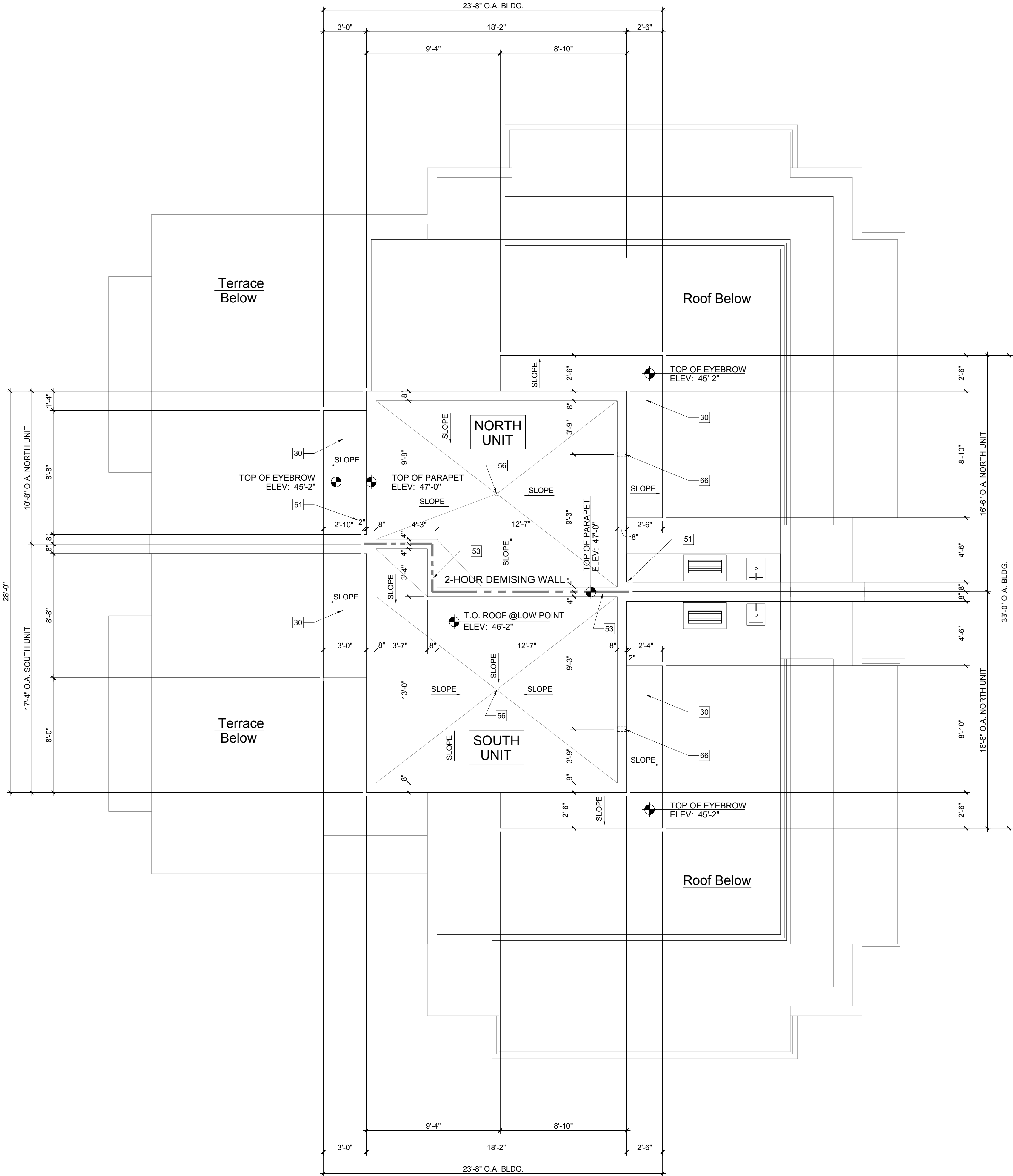
ROOF
TERRACE
PLAN

A-1.4

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KEY NOTES	
<div><div><div>1. 48" REFRIGERATOR/FREEZER (REFER TO I.D. DRAWINGS).</div><div>2. DOUBLE BOWL SINK w/ DISPOSAL (REFER TO I.D. DRAWINGS).</div><div>3. 48" GAS RANGE w/ HOOD (REFER TO I.D. DRAWINGS).</div><div>4. UNDER COUNTER MICROWAVE/DRAWER (REFER TO ID DRAWINGS).</div><div>5. DISHWASHER (REFER TO ID DRAWINGS).</div><div>6. ELECTRIC CAR CHARGING STATION W/ DEDICATED CIRCUIT (G.C. TO COORD. W/ OWNER)</div><div>7. KITCHEN ISLAND w/ KNEE SPACE - COUNTER +36" A.F.F. (REFER TO I.D. DWGS.)</div><div>8. HOSE BIB (ALSO REFER TO SHEET SP-1 SITE PLAN FOR ADDITIONAL LOCATIONS).</div><div>9. WASHING MACHINE (REFER TO I.D. DRAWINGS).</div><div>10. DRYER - VENT TO EXTERIOR (REFER TO I.D. DRAWINGS).</div><div>11. UNDER COUNTER REFRIGERATOR (REFER TO I.D. DRAWINGS).</div><div>12. FLAT HEADER +8'-0" ABOVE FINISH FLOOR.</div><div>13. LAUNDRY SINK (REFER TO I.D. DRAWINGS).</div><div>14. LAVATORY (REFER TO I.D. DRAWINGS).</div><div>15. WATER CLOSET (REFER TO I.D. DRAWINGS).</div><div>16. MASONRY PARAPET +42" ABOVE FINISH ROOF DECK.</div><div>17. AIR HANDLER UNIT #1 W/ DUAL CONDENSATE OVERFLOW EMERG. SHUT OFF SENSORS.</div><div>18. AIR HANDLER UNIT #2 W/ DUAL CONDENSATE OVERFLOW EMERG. SHUT OFF SENSORS.</div><div>19. AIR HANDLER UNIT #3 W/ DUAL CONDENSATE OVERFLOW EMERG. SHUT OFF SENSORS.</div><div>20. FLOOR DRAIN. VERIFY LOCATION IN FIELD. SLOPE FLR. TO DRAIN</div><div>21. CONCRETE STEPS (REFER TO STRUCTURAL DRAWINGS).</div><div>22. R-11 INSULATION AND TYPE 'X' GYPSUM BOARD AT GARAGE CEILING.</div><div>23. R-11 INSULATION AT GARAGE WALL.</div><div>24. TEMP. GLS. SHWR. ENCLOS. W/ TEMP. GLS. DOOR WHERE APPLICABLE) SEE I.D. DRAWINGS.</div><div>25. INTERIOR STAIR WITH RAILING SYSTEM - SEE ENLARGED STAIR DETAILS SHEET A-7.1 (REFER TO I.D. DRAWINGS) PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL.</div><div>26. PANTRY BUILT-IN (BY OTHERS - REFER TO I.D. DRAWINGS).</div><div>27. BUILT-IN (BY OTHERS) SEE CABINET SHOP DRAWINGS FOR DIMENSIONS.</div><div>28. ELECTRICAL PANEL IN G.W.B BUILT OUT (REFER TO ELEC. SHEETS E-1 THRU E-4).</div><div>29. DASHED LINE INDICATES BALCONY ABOVE.</div><div>30. CANTILEVERED CONCRETE EYEBROW BELOW - SLOPE MAXIMUM 1/8" PER FOOT.</div><div>31. STRUCTURAL COLUMN (REFER TO STRUCTURAL DRAWINGS).</div><div>32. GAS METER.</div><div>33. 6" PEDESTAL TUB (REFER TO I.D. DRAWINGS).</div><div>34. SHOWER (REFER TO I.D. DRAWINGS).</div><div>35. WET BAR SINK (REFER TO I.D. DRAWINGS).</div><div>36. POURED CONCRETE COLUMN.</div><div>37. 42" H. ALUM. RAILING SYSTEM W/ 3/4" SQ. HORIZ. TUBING W/ RECESSED MOUNTED POSTS SILVER POWDER COATED (PROVIDE SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).</div><div>38. 12" VENTILATED WIRE SHELVING AND HANGING ROD.</div><div>39. 2" GARAGE DOOR RAIN RECESS (TYPICAL).</div><div>40. NOMINAL STORM DRAIN ROUTE AT THIS FLOOR LEVEL.</div><div>41. FIRE SPRINKLER RISER LOCATION.</div><div>42. TANK-LESS GAS WATER HEATER (G.C. TO SIZE ACCORDINGLY).</div><div>43. NOMINAL STORM DRAIN ROUTE IN CEILING PLENUM FROM FLOOR ABOVE (DASHED LINE).</div><div>44. COUNTER +36" A.F.F. (REFER TO INTERIOR DESIGNER DRAWINGS).</div><div>45. TERRACE / BALCONY WATER PROOFING & FLASHING SYSTEM - WATERPROOF CLEAR SEALER OVER TILE WITH THIN SET "LATI-CRETE" EPOXY GROUT OVER TREMCO 350/351 SYSTEM (OR EQUAL) SLOPE MINIMUM 1/8" PER FOOT (INSTALL PER MANUFACTURER'S SPECIFICATIONS) UNDERSIDE OF DECK MINIMUM 3" ICYNENE PRO SEAL INSULATION (AVG. R-19 INSULATION ENTIRE ASSEMBLY) WHERE TERRACE / BALCONY ENCLOSES A/C SPACE BELOW.</div><div>46. 42" H. TEMP. SAFETY GLASS RAILING SYSTEM W/ ALUM. FRAME (TO REJECT 4" SPHERE) SILVER POWDER COATED (PROV. SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).</div><div>47. ELEC. METER W/ MAIN DISC. (G.C. TO VERIFY LOCATION W/ FFL PRIOR TO INSTALLATION).</div><div>48. 28" H. ALUM. RAILING SYSTEM W/ 3/4" SQ. HORIZ. TUBING W/ RECESSED MOUNTED POSTS ON 14" H. CONC. LOW WALL (PROVIDE SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).</div><div>49. 22"x36" ACCESS PANEL (FOR EMERGENCY ACCESS TO ELEVATOR MOTOR).</div><div>50. SMART VENT FLOOD VENT BLOCKS (VENT MUST BE INSTALLED 0" TO 12" A.F.F. ENTIRE VENT MUST BE BELOW BASE FLOOD ELEVATION / DESIGN FLOOD ELEVATION).</div><div>51. 2" STRUCTURAL BUMP OUT.</div><div>52. NOMINAL ROUTE OF HVAC SUPPLY FROM AHU #1 ABOVE AT SECOND FLOOR.</div><div>53. 2-HOUR DEMISING WALL.</div><div>54. NOMINAL ROUTE OF HVAC SUPPLY FROM AHU #3 ABOVE AT APPURTENANCE FLOOR.</div><div>55. 13" HIGH MASONRY PARAPET.</div><div>56. ROOF DECK WATER DRAIN.</div><div>57. MASONRY KNEE WALL +42" ABOVE FINISH DECK.</div><div>58. MASONRY PRIVACY WALL +6'-4" ABOVE FINISH DECK.</div><div>59. FLUSH PANEL METAL GARAGE DOOR W/ PAINTED FINISH (PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.</div><div>60. MASONRY PRIVACY WALL +7'-2" ABV. FIN. DECK W/ COLOR COORD. ALUM. DRIP EDGE CAP.</div><div>61. ALUM. GATE (SEE SITE PLAN & DTL.) PROV. SHOP DWGS. FOR ARCH'S. REVIEW & APPROVAL.</div><div>62. PRE-FAB GAS FIRE PIT (BY OTHERS) G.C. TO COORD. W/ OWNER (REFER TO I.D. DRAWINGS).</div><div>63. OPTIONAL FREE STANDING SPA (BY OTHERS) G.C. TO COORDINATE W/ OWNER.</div><div>64. TRACTION ELEVATOR (BY OTHERS).</div><div>65. CENTRAL VACUUM SYSTEM (BY OTHERS) G.C. TO COORDINATE W/ OWNER.</div><div>66. 4" WIDE x 2" HIGH EMERGENCY OVERFLOW SCUPPER.</div><div>67. DASHED LINE INDICATES EYEBROW ABOVE.</div><div>68. TERRACE / AMENITY DECK WATER DRAIN.</div><div>69. GENERATOR (BY OTHERS UNDER SEPARATE PERMIT) G.C. TO COORDINATE SIZING REQ'S.</div><div>70. EPOXY PAINT FINISH ON GARAGE FLOOR (G.C. TO COORDINATE W/ OWNER / I.D. DWGS.).</div><div>71. T.V. NICHE 4" INSET FROM FACE OF MASONRY WALL (G.C. TO COORD. SIZING W/ ELEC. SUB).</div><div>72. 48" ELECTRIC / INDUCTION RANGE w/ HOOD (REFER TO I.D. DRAWINGS).</div><div>73. GAS BARBECUE.</div><div>74. RAYNOR GLASS OVER HEAD DOOR (PROVIDE NOA AND SHOP DWGS. FOR ARCH'S. REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.</div><div>75. APPLIED PORCELAIN TILE OVER WATER PROOFING ON MASONRY WALL (G.C. TO COORDINATE FINISH SELECTION WITH OWNER) TYP. @2ND FLR. BALCONY END BUMP-OUTS.</div><div>76. FASCIA BOARD CONCEALED DRAPERY POCKET (REFER TO I.D. DRAWINGS).</div><div>77. STRUCT. COL. CLAD IN CLEAR ANODIZED ALUM. TO MATCH WINDOW (SEE STRUCT. DWGS.).</div><div>78. SHOWER SEAT +22" A.F.F. (REFER TO INTERIOR DRAWINGS).</div></div></div>	
NOTES	
<div><div><div>1. ALL FINISHES AND PAINT COLORS SHALL BE SELECTED BY INTERIOR DESIGNER.</div><div>2. 5/8" THICK DENS-SHIELD SHALL BE INSTALLED IN LIEU OF GYPSUM BD. @ ALL WET AREAS.</div><div>3. MIRRORS SHALL BE INSTALLED OVER ALL VANITIES. HEIGHT & WIDTH SHALL BE DETERMINED BY INTERIOR DESIGNER.</div><div>4. ALL EXPOSED GYP. BD. WALLS AND CEILING SHALL RECEIVE 2 COATS OF FLAT LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.</div><div>5. ALL INTERIOR WOOD, DOORS, BASE OR TRIM SHALL RECEIVE 2 COATS OF SEMI-GLOSS LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.</div><div>6. FINISH FOR CLOSETS SHALL BE SAME AS FINISH OF ROOM CLOSET IS IN (U.O.N.).</div><div>7. ALL KITCHEN, LAUNDRY ROOM, FINISHED BATHROOMS & POWDER ROOMS SHALL HAVE IMPERVIOUS FLOORING & BASE.</div></div><div>NOTE: ALL WINDOWS NOTED AS EGRESS WINDOWS SHALL COMPLY WITH F.B.C. SILL HEIGHT SHALL NOT EXCEED 44" A.F.F. MIN. OPG. HT. SHALL BE 24" AND MIN OPG. WIDTH SHALL BE 20". MIN. CLEAR OPEN AREA SHALL BE 5.7 SQ. FT. (5.0 SQ FT. @ 1ST FLOOR)</div></div>	
WALL HATCH SCHEDULE	
<div><div><div></div></div></div>	DENOTES SOUND ATTENUATION INSULATION WITHIN WALL
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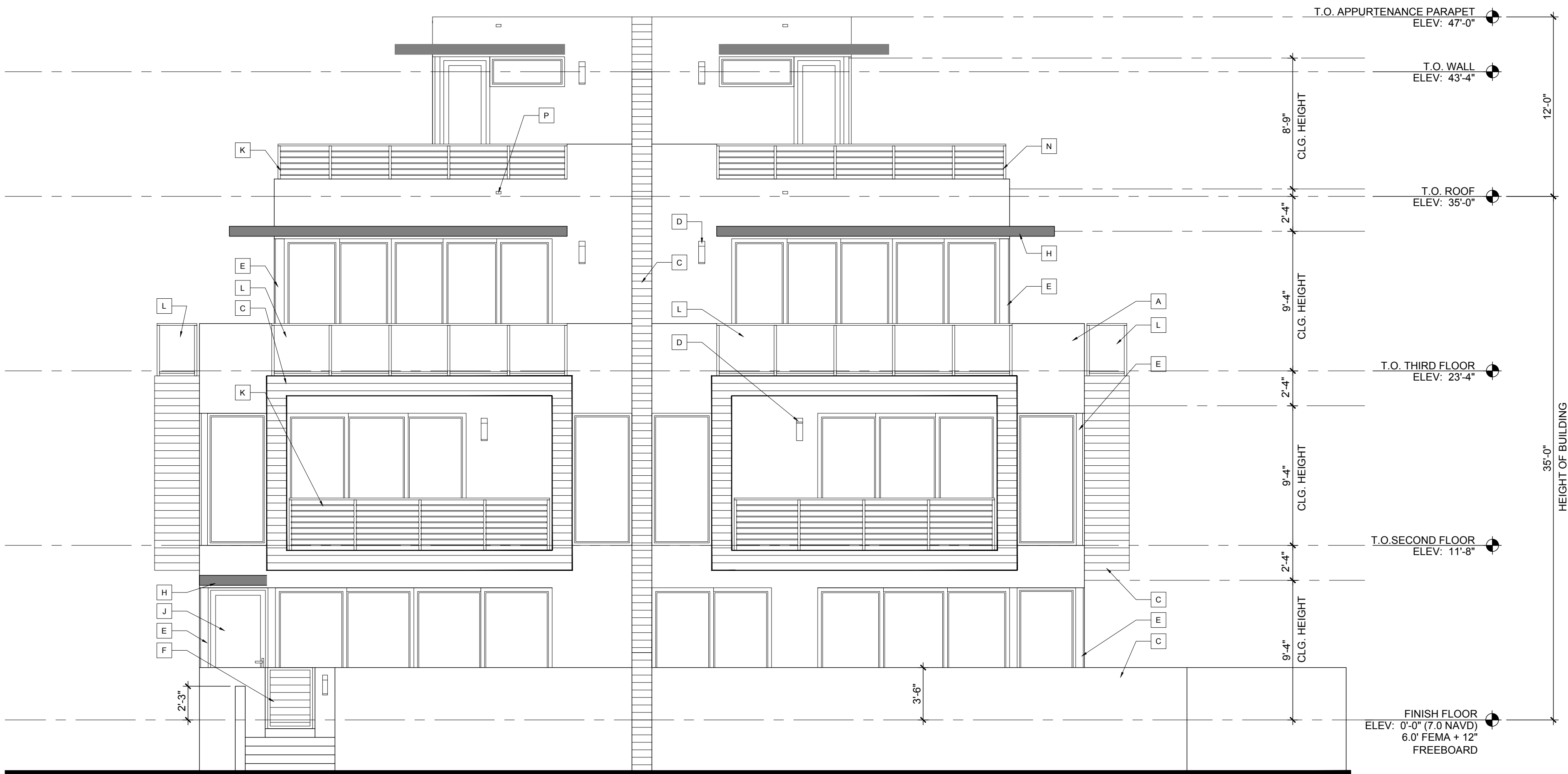


Upper Roof Plan

Scale: 1/4"=1'-0"

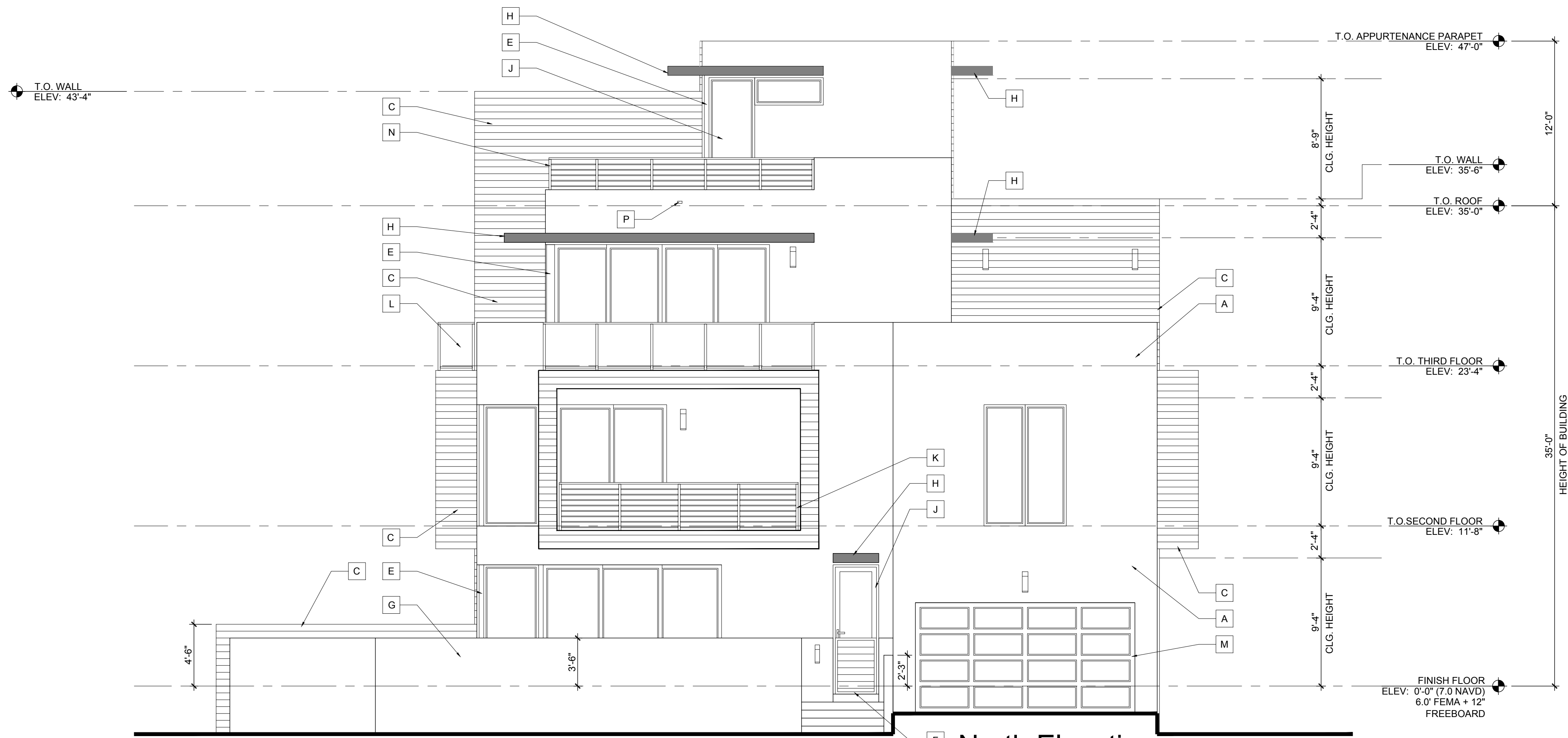


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AA26001617 IB26001056	
COMMISSION #	17-058
DESIGNER:	RJ
DRAWN BY:	Gsj
PLAN REVIEW:	RJ
SUBMITTALS: CLASS V SPECIAL SITE PLAN SUBMITTAL	10.25.19
REVISIONS:	
UPPER ROOF PLAN	
A-2	



East Elevation

Scale: 3/16"=1'-0"



North Elevation

Scale: 3/16"=1'-0"

ELEVATION NOTES

A	SMOOTH STUCCO FINISH
B	FLUSH PANEL METAL GARAGE DOOR W/ 3/4" SQ. HORIZONTAL TUBING W/ RECESSED MOUNTED POSTS (TO REJECT 4" DIA. SPHERE) PROV. SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL
C	APPLIED PORCELAIN TILE OVER WATER PROOFING ON MASONRY WALL (G.C. TO COORDINATE FINISH SELECTION WITH OWNER).
D	LIGHT FIXTURE (TO BE SELECTED BY OWNER)
E	STRUCTURAL STEEL COLUMN WRAPPED IN BREAK METAL TO MATCH WINDOW/DOOR FRAME
F	ALUMINUM GATES BY SOUTH FLORIDA ALUMINUM (OR EQUAL) REFER TO FLOOR PLAN & DETAILS
G	MASONRY GARDEN WALL W/ SMOOTH STUCCO FINISH (REFER TO STRUCTURAL DRAWINGS)
H	CONCRETE ROOF/EYEBROW (REFER TO STRUCTURAL DRAWINGS)
J	IMPACT RESISTANT WINDOW AND DOOR PROVIDE SHOP DRAWINGS FOR ARCHITECT'S APPROVAL
K	42" HIGH ALUMINUM RAILING SYSTEM W/ 3/4" SQ. HORIZONTAL TUBING W/ RECESSED MOUNTED POSTS (TO REJECT 4" DIA. SPHERE) PROV. SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL
L	42" HIGH TEMPERED SAFETY GLASS RAILING SYSTEM W/ ALUMINUM FRAME (TO REJECT 4" DIAMETER SPHERE) PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW AND APPROVAL
M	RAYNOR GLASS / METAL GARAGE DOOR W/ CLEAR ANODIZED FINISH - SEE DOOR SCHEDULE (PROVIDE NOA & SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL)
N	28" H. ALUM. RAILING SYSTEM W/ 3/4" SQ. HORIZ. TUBING W/ RECESSED MOUNTED POSTS ON 14" H. CONC. LOW WALL (PROVIDE SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).
P	EMERGENCY OVERFLOW SCUPPER (REFER TO DETAIL 2 SHEET A-7.3)

BUILDING COLORS

WALLS - SHERWIN WILLIAMS PURE WHITE 7005
EYEBROWS - SHERWIN WILLIAMS SKYLINE STEEL 1015
DOORS AND WINDOWS - CLEAR ANODIZED
RAILING - SILVER POWDER COATED



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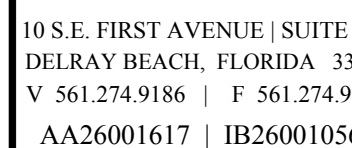
COMMISSION # 17-058
DESIGNER: RJ
DRAWN BY: Gsj
PLAN REVIEW: RJ

SUBMITTALS:
CLASS V
SPECIAL SITE
PLAN
SUBMITTAL
10.25.19

REVISIONS:

A-3.1

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COMMISSION #	17-0
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DESIGNER:

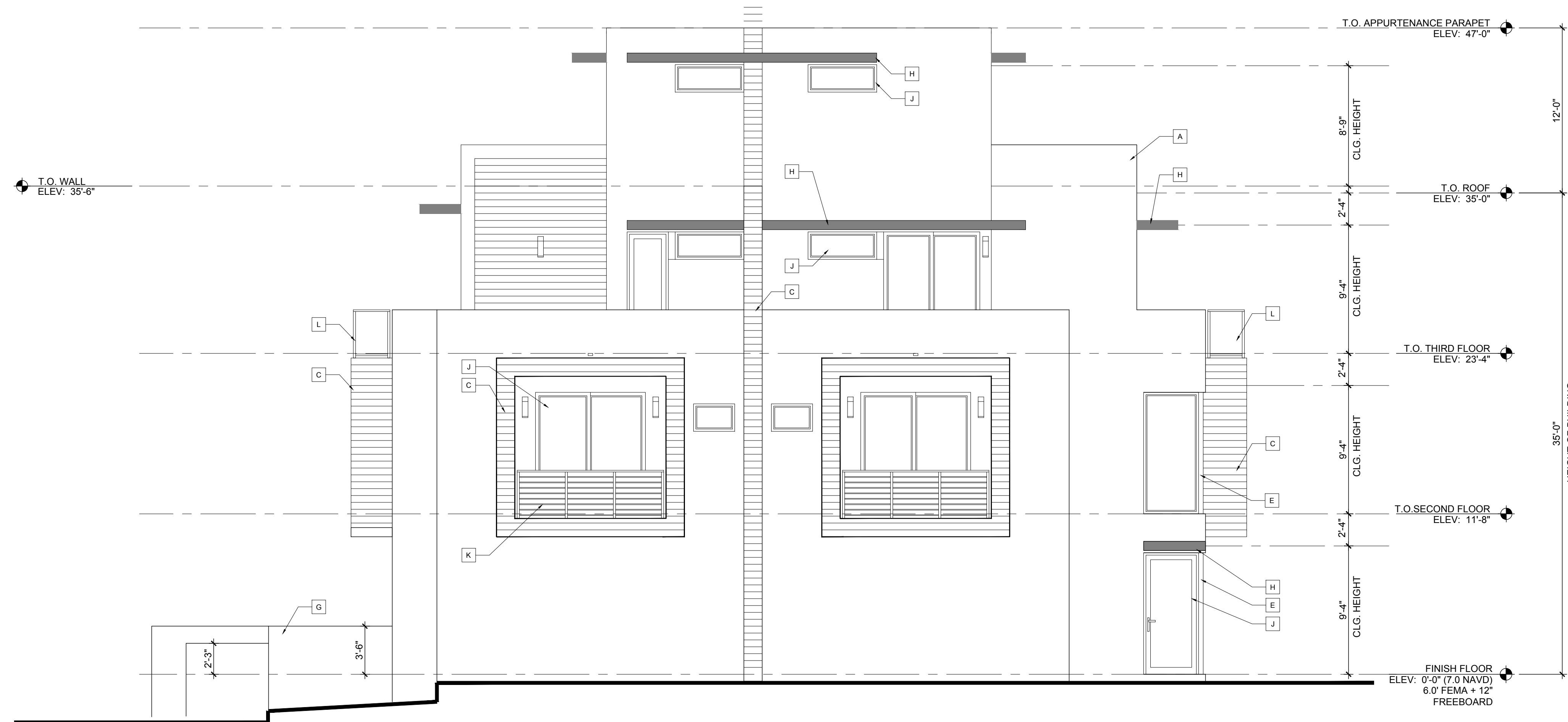
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SUBMITTALS:	
CLASS V	10.25
SPECIAL SITE	
PLAN	
SUBMITTAL	

WEST AND
SOUTH
ELEVATION

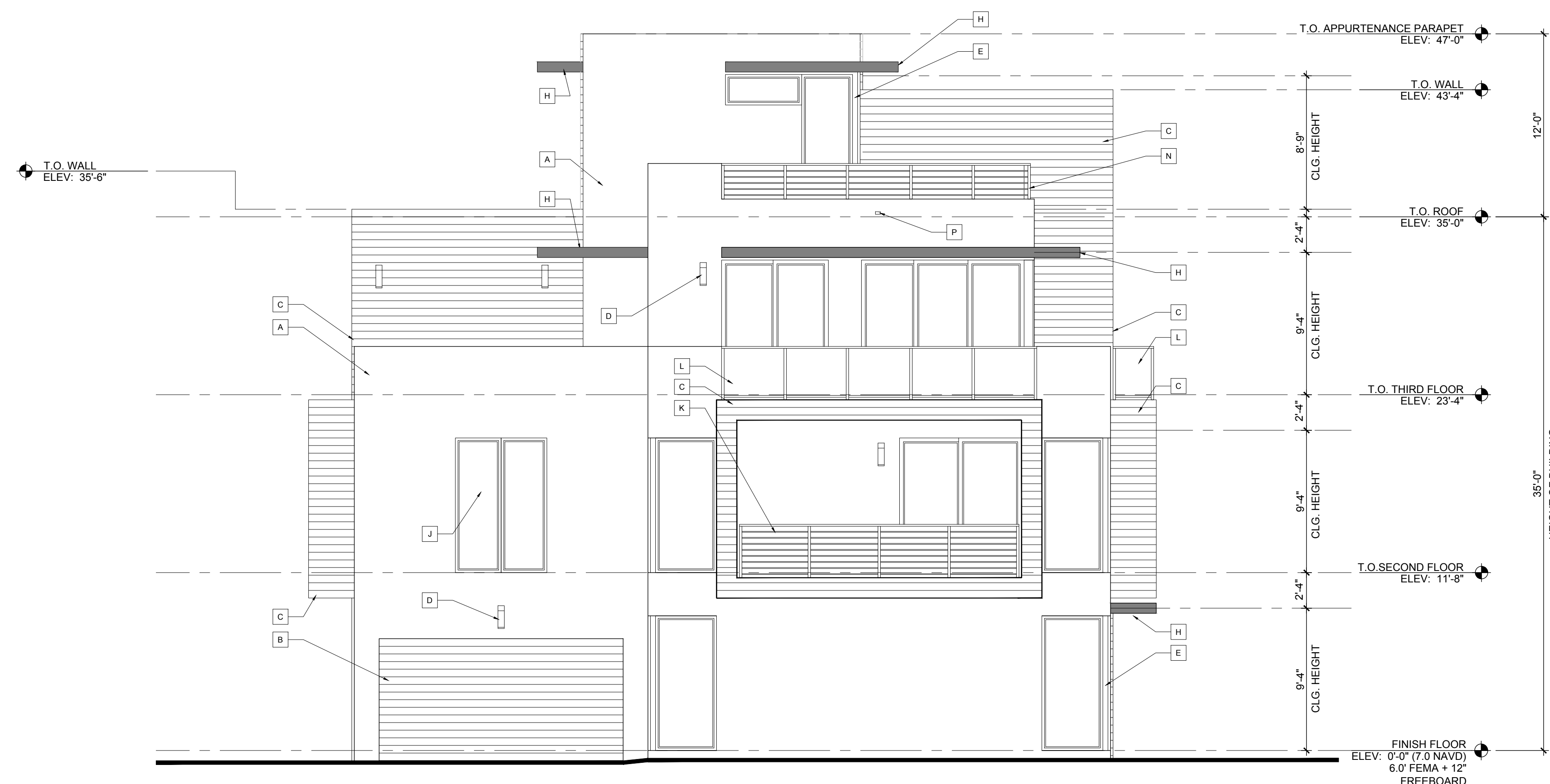
A-3.2

RICHARD JONES ARCHITECTURE



West Elevation

Scale: 3/16"=1'-0'



South Elevation

Scale: $\frac{3}{16}''=1'-0''$