



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Gasland (2016-128)

Project Location: 398 NE 5TH Avenue

Request: Class III Site Plan Modification

Board: Site Plan Review and Appearance Board

Meeting Date: November 13, 2019

Board Action:

Approval (6-0 vote; Andrea Sherman absent) of the Class III Site Plan Modification for the use conversion of the two automotive service bays to retail use to accommodate an interior expansion of the existing convenience store and associated site improvements.

Project Description:

The proposed Class III Site Plan Modification is for the use conversion of the two automotive service bays to retail use for the interior expansion of the existing convenience store and associated site improvements at an existing gasoline station. The subject property has a Future Land Use Map designation of CC (Commercial Core), and a zoning designation of CBD (Central Business District). The primary use is a gasoline station, which is listed as a Conditional Use in the CBD district per LDR Section 4.4.13 (D)(5). Although gasoline stations are not allowed on primary streets within the CBD, the established gasoline station is considered an existing nonconformity; the use under expansion is a retail/commercial use, which is allowed in the CBD. The proposed interior modifications and the façade changes to accommodate the use conversion will not disturb the existing building footprint. Site improvements include reconfiguring the parking tier, eliminating an existing, nonconforming vehicular access, and upgrades to the site landscaping and lighting. The proposed modifications do not significantly impact the existing site, as an increase in the existing floor area is not proposed and modifications to the primary use (gasoline station) are not proposed.

Board Comments:

The Board comments were supportive.

Public Comments:

Members of the public spoke for the project.

Associated Actions:

The required legal instruments associated with this action will be presented to the City Commission, as applicable, once received and revised.

Next Action:

The SPRAB action is final unless appealed by the City Commission.



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

DEVELOPMENT SERVICES DEPARTMENT

100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: November 13, 2019 | **File No.:** 2016-128-SPM-SPR-CL3 | **Application Type:** Class III Site Plan Modification for Gasland

General Data:

Applicant: Ritz Petroleum, LLC

Agent: Chad Herd

Address: 398 NE 5th Avenue

PCN: 12-43-46-16-05-097-0012

Property Size: 0.46

FLUM: Central Core (CC)

Zoning: Central Business District (CBD)

Adjacent Zoning:

- North: CBD
- East: CBD
- South: CBD
- East: CBD

Existing Land Use: Gasoline Station/ Full-Service Station

Proposed Land Use: Gasoline Station/ Convenience Mart



Item before the Board:

Consideration of a Class III Site Plan Modification for the use conversion of the two automotive service bays to retail use to accommodate an interior expansion of the existing convenience store and associated site improvements, pursuant to Land Development Regulations (LDR) Section 2.4.5 (G)(1)(c). The item includes the following:

- Site Plan Modifications
- Landscape Plan
- Architectural Elevations Changes

Optional Board Motions for Action Item:

1. Move to continue with direction.
2. Move approval of the Class III Site Plan Modification (2016-128) for site plan modifications, landscape plan, and architectural elevation changes, for **Gasland**, by finding that the request is consistent with the Comprehensive Plan and Land Development Regulations.
3. Move denial of the Class III Site Plan Modification (2016-128) for site plan modifications, landscape plan, and architectural elevation changes for **Gasland**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet the Land Development Regulations.

Notes:

1. A Perpetual Sidewalk Easement shall be accepted by the City Commission and recorded prior to building permit issuance.
2. A right-of-way dedication must be accepted by the City Commission and recorded prior to the issuance of a building permit for the 5 ft. dedication along NE 4th Street and for a 20'x20' corner clip triangle dedication along the southwest corner intersection of NE 4th Avenue and NE 5th Avenue.
3. A Landscape Maintenance Agreement must be accepted by the City Commission and recorded prior building permit issuance for the proposed installation and maintenance of vegetation within the City's right-of-way along NE 4th Street.
4. That the manufacturing details for the proposed light fixtures be provided in accordance with the requirements listed in LDR Section 4.6.8, prior to certification of the plans.

Project Planner:

Debora Slaski, Planner;
SlaskiD@mydelrybeach.com
561-243-7348

Review Dates:

SPRAB Board:
November 13, 2019

Attachments

1. Site Plans
2. Elevations
3. Landscape Plans



Background:

The subject property consists of the east 135' of lots 1 thru 3 (less the east 10' of Lot 1) of Block 97 of the Highland Park-Delray according to the plat thereof, as recorded in plat book 2, page 79. The 0.41 acres property is located in the CBD (Central Business District) within the Central Core sub-district and has a Future Land Use Map (FLUM) designation of Central Core (CC). The site was developed in 1961 as a gasoline service station. The existing site consists of 8 fueling gasoline stations and a 1,400 sq.ft. building containing a convenience store (592 sq. ft) and two automotive service bays (808 sq. ft.).

On August 15, 2011 the Planning & Zoning Board considered and approved the conditional use modification request to allow conversion of the two service bays to retail use for expansion of the existing convenience store. At its meeting of October 12, 2011, the Site Plan Review and Appearance Board (SPRAB) approved the associated Class III Site Plan Modification to allow the use conversion of the two automotive service bays to retail use for the interior expansion of the existing convenience store.

At its meeting of October 23, 2013, The SPRAB approved a two-year extension request for the Class III Site Plan modification, which expired on April 12, 2015. A permit was never submitted for the approved conversion and, consequently, the extended approval expired. The property is under code enforcement action (since November 2015) for converting the service bays into additional convenience store floor area without the submittal of a site plan application and the approval of a building permit.

Project Description:

The proposed Class III Site Plan Modification is for the use conversion of the two automotive service bays to retail use for the interior expansion of the existing convenience store and associated site improvements at an existing gasoline station. The subject property has a Future Land Use Map designation of CC (Commercial Core), and a zoning designation of CBD (Central Business District). The primary use is a gasoline station, which is listed as a Conditional Use in the CBD district per LDR Section 4.4.13 (D)(5). Although gasoline stations are not allowed on primary streets within the CBD, the established gasoline station is considered an existing nonconformity; the use under expansion is a retail/commercial use, which is allowed in the CBD. The proposed interior modifications and the façade changes to accommodate the use conversion will not disturb the existing building footprint. Site improvements include reconfiguring the parking tier, eliminating an existing, nonconforming vehicular access, and upgrades to the site landscaping and lighting. The proposed modifications do not significantly impact the existing site, as an increase in the existing floor area is not proposed and modifications to the primary use (gasoline station) are not proposed.

Site Plan Analysis:

Compliance with the Land Development Regulations:

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

Establishment of the Proposed Use/ Certificate of Occupancy:

Per LDR Section 2.4.6(C), a certificate of occupancy is required prior to the establishment of use on any site or occupancy of a structure. Prior to issuance of an occupancy permit, all conditions and requirements associated with this development approval shall be met.

Section 4.3.3, Special requirements for specific uses-Convenience Mart:

Pursuant to LDR Section 4.3.3(J), a gasoline station is any establishment at which the sale and delivery of fuel to a motor vehicle occurs.

The proposed land use will change from a gasoline service station to a gasoline convenience mart. Pursuant to LDR Section 4.3.3(J)(2), Convenience Mart (gasoline station with food sales), is defined as a gasoline station which also sells foods and convenience items and does not accommodate repair or installation services and where the sale of food and convenience items is secondary to the use as a gasoline station.

Pursuant LDR Section 4.3.3(J)(5), the following development standards depicted on the table below apply to sites upon which a Convenience Mart gasoline station is to be located.



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

Standard	Convenience Mart	Provided/Existing
Minimum Lot Area	15,000 Square Feet	17,921 sf
Minimum Frontage	150 Feet	125' along NE 5 th Ave – existing non-conformity
Driveways	There shall be no more than two (2) curb-cuts to any abutting street with a minimum distance of twenty-five feet (25') between curb-cuts. Curb-cuts shall not have a width exceeding thirty-five feet (35'), exclusive of transitions. Curb-cuts shall not be located closer than twenty-five feet (25') to the intersection of the ultimate right-of-way lines at a corner nor closer than fifteen feet (15') from any abutting property line or alley.	<i>Compliance with driveway requirements is further analyzed below under the Supplemental District Regulations section of this report.</i>

Pursuant LDR Section 4.3.3(J)(6), the following standards apply to gasoline stations:

- (a) **Gasoline dispensers, tanks, dispenser islands, and canopies shall not be located closer than 15 ft. from any property line. When property directly abuts residentially zoned property, gasoline dispensers, tanks, dispenser islands and canopies, signs, or vents shall not be located closer than 40 ft. from the property line abutting the residentially zoned property.**

The proposed tanks, canopies and dispenser islands exceed 15. ft from the nearest property line on all four sides. The closest distance of the existing canopy to the property line is along (front) SE 5th Avenue, which is 16 ft. from the property line. The subject parcel does not abut any residentially zoned property.

- (b) **All storage tanks shall be underground.**

The existing storage tanks are located underground.

- (c) **Lift and repair facilities shall be located within a structure.**

The existing repair facility is being converted to a convenient store; therefore, there will be no lift and repair facilities on site.

- (d) **Vending machines are to be located under roof and screened on three sides. Racks containing cans of lubricating oil may be displayed on service islands. Racks or pedestals used for the display of tires shall be located along any side (as opposed to front) of a structure.**

There will be no vending machines or tire sales outside. However, propane tanks stored in cages are proposed along the rear of the building (west side), adjacent to the parking lot. Per LDR Section 4.6.6(E)(2), Outside Storage, materials and equipment stored outside must be screened from view from public rights-of-ways in a manner approved by the Site Plan Review and Appearance Board. The tanks/cages will be screened from NE 4th Street by the proposed parking lot, bake racks, and the landscaping adjacent to the subject right-of-way.

LDR Section 4.4.13 (D) – Central Business District Design Guidelines:

The following table indicates that the proposal meets the requirement as they pertain to the Central Core sub-district of the CBD District. Pursuant to Figure 4.4 13-5 (Central Core Regulating Plan), NE 5th Avenue is classified as a Primary Street and NE 4th Street is classified as a Secondary Street. All development standards will apply as shown below:

	NE 5 th Avenue (Primary/Front)		NE 4 th Street (Secondary/Side)	
	Front Requirement	Provided	Side Requirement	Provided
Setbacks	10' min. / 15' max.	16'* Canopy	0'	65'-9"
Building Frontage Required on Primary Streets	75% min./ 100% max	0%*	0% min./ 100% max	0%

* This condition is considered nonconforming and will not be further impacted by the redevelopment of the site.

Minimum Streetscape Width:

Pursuant to **LDR Section 4.4.13(E)(2)(a)**, the combination of public sidewalk (typically located within the right-of-way) and hardscape (located in front setback areas, which includes side setback areas facing streets) shall provide a minimum streetscape area no less



than 15' in width, measured from the back of curb. The streetscape area provided, shown on the site plan and landscape plan, is as follows:

Streetscape Standards	Minimum Standard	Proposed	
		NE 5th Avenue	NE 4th Street
Curb Zone	4'0"	4'0"	4'0"
Pedestrian Zone	6'0"	6'0"	6'0"
Remaining Front Setback Area	5'	13.5 ft. to canopy	63'-2"
Total Streetscape Width	15'	23'-5"	73'-2"

*A portion (2.5 ft.) of the required pedestrian clear zone encroaches onto the property. A perpetual sidewalk easement shall be processed and accepted by the City Commission prior to issuance of a building permit.

Pursuant to **LDR 4.4.13(E)(2)(a)(2), Streetscape Standards Pedestrian Clear Zone**, a pedestrian clear zone at least six feet wide shall be provided on all streetscapes. Any portion of the pedestrian clear zone within the front setback area shall be improved as an extension of the public sidewalk and shall match the public sidewalk in design and material, providing a seamless physical transition. The property owner shall also be required to enter into a maintenance agreement, in a form acceptable to the City Attorney, requiring the property owner to be responsible for and maintain any improvements made or installed by the owner to meet the requirements of this section. Therefore, a Perpetual Sidewalk easement for the 2.5' feet located within the property on NE 5th Avenue and NE 4th Street is required. This required legal instrument must be accepted by the City Commission and recorded prior to the issuance of a building permit.

Parking:

Pursuant to LDR Sections 4.4.13(L) retail and commercial shall provide 1 space per 500 square feet of gross floor area. The convenience store has a total of 1,400 sq. ft. of gross floor area. Thus, a total of three parking spaces are required for the 1,400 sq. ft. of use area ($1,400/500 = 2.8$ rounded up to 3 spaces) and three parking spaces are proposed. Therefore, this standard is met.

Handicap Parking Spaces:

Per the Americans with Disability Act (ADA), parking lots with 1 to 25 spaces are required to provide a minimum of one accessible parking space. The proposal provides one space; thus, this requirement is met.

Bicycle Parking:

Per LDR section 4.4.13(l)(4)(3), bicycle parking requirements are applied to new development, expansion of an existing use, and changes of use. The requirement for the minimum number of bicycle parking spaces for retail and commercial uses is two spaces per 1,000 sq. ft. of gross floor area. The proposed convenience store is required to provide three bicycle parking spaces ($1,400/1,000 \times 2 = 2.8$ rounded to 3 parking spaces). The addition of four bicycle parking spaces is proposed to be located to the north of the convenience store customer entrance. Thus, this LDR requirement has been met.

LDR Article 4.6 – Supplemental District Regulations:

Refuse Disposal:

Pursuant to LDR Section 4.6.6(C)(1), dumpsters, recycling containers and similar service areas must be enclosed on three sides with vision obscuring gates on the fourth side, unless such areas are not visible from any adjacent public right-of-way. The existing dumpster is located at the rear of the property, on the southwest side. The existing dumpster is enclosed on three sides, screened with landscaping on two sides, and a vision obstructing gate on the fourth side is provided. Therefore, the existing refuse disposal complies with this requirement.

Lighting:

On-site lighting must be provided and be consistent with the minimum and maximum foot candle illumination level requirements. The chart below demonstrates compliance with the minimum acceptable standards for lighting pursuant to LDR Section 4.6.8(B)(3)(c):

Photometric Plan	Requirements		Proposed	
	Min. (fc)	Max. (fc)	Min. (fc)	Max. (fc)
Canopy, Drive-thru and Overhangs	3	30	13.0	24.2
Commercial and Industrial Parking Lot	1	12	1.3	9.1
Building Entrances	1	10	1.75	3.1



The maximum height for freestanding light poles is 25' and the proposed light poles measure 20' high from finish grade. Therefore, the proposal complies with these requirements. However, listed as a requirement in the notes section of this report, the manufacturing details for the proposed light fixtures shall be provided in accordance with the requirements listed in LDR Section 4.6.8, prior to certification of the plans. The proposed perimeter fixtures shall be sharp cutoff luminaires, shall confine the light to the site only.

Dead-end-Parking Bay:

Pursuant to LDR Section 4.6.9(D)(4)(c), dead-end parking bays are discouraged, but when site conditions dictate that there be dead-end parking bays, they shall be designed so that there is a 24 ft. wide by 6 ft. deep maneuvering area at the end of the bay. The maneuvering area shall not encroach upon the required landscape areas. The applicant is proposing a dead-end parking bay to accommodate the required parking spaces for the proposed use conversion and the landscape requirements. The proposed maneuvering area located at the end of the bay measures 24 ft. wide by 6 ft. deep; thus, this requirement is met.

LDR Article 5 – Subdivision Regulations:**Right-of-Way Dedications:**

The property is located on the southwest corner of NE 4th St. and NE 5th Ave. The following chart pertains to the subject street network classification and their existing, required and provided right-of-way (ROW) width and the corner clip right-of-way dedication requirement (for properties located in the CBD) per LDR Section 5.3.1(D)(2) and (3) and the Comprehensive Plan Table T-1:

	Street Classification	Jurisdiction	Existing ROW	Required ROW	Required Dedication
NE 4 th Street	Collector	City	50'	80'	Reduction granted from 15ft to 5ft.
NE 5 th Avenue	Minor Arterial	State	60'	60'	Requirement met
SW Intersection	N/A	N/A	0'	20'x20' corner clip	20'x20' corner clip

Since insufficient right-of-way exists on NE 4th Street, additional right-of-way must be dedicated or a right-of-way reduction request must be approved. On July 21, 2011 the City Engineer determined that a five-foot right-of-way dedication is required and a 10' right-of-way reduction is supported, per LDR Section 5.3.2(D)(5). This will allow a minimum of 60' of right-of-way to be maintained along NE 4th St.

In addition, a 20' corner clip right-of-way dedication is required at all intersections in the CBD, pursuant to LDR Section 5.3.1(D)(3). On July 21, 2011 the City Engineer determined that a 20' right-of-way corner clip is required to accommodate the existing sign, landscaping, and lighting located within the 20' x 20' corner clip triangle. The corner clip must be measured from the existing right-of-way lines. Such dedications can be processed through a Right-of-Way Deed. The required deeds must be accepted by the City Commission and recorded with the Palm Beach County Clerk's Office prior to the issuance of a building permit. Upon recordation of all documents, the proposal will comply with the subject dedication requirements.

LDR Article 6 – Infrastructure and Public Property:**Drive Aisle Widths:**

Pursuant to LDR Section 6.1.4(C)(2)(a), points of ingress and egress to gasoline stations are allowed up to a maximum of 36'. Along NE 5th Avenue, the northern driveway is proposed to be eliminated, and the southern driveway width is proposed to be decreased from approximately 48' wide to 26' wide (two-way ingress and egress access) to meet current regulations. The existing point of ingress and egress along NE 4th Street is 30' wide and is not proposed to be modified. Thus, the proposal meets this requirement.

Drive Aisle Distance from Major Intersections:

Pursuant to LDR Section 6.1.4(C)(3)(b)(1), no driveway shall be located within 25' of the street intersection. The elimination of the existing northern driveway along NE 5th Avenue will eliminate an existing non-conformity to this requirement. Upon improvements, the distance from SE 4th St. and SE 5th Ave. intersection to the proposed drive aisles will exceed the minimum requirement of 25'. Thus, this condition is met.

**Landscape Analysis:**

Pursuant to LDR section 4.6.16(C)(1)(a), prior to the issuance of a building permit for a structure or a paving permit, compliance with the requirements of Section 4.6.16 shall be assured through the review and approval of a landscape plan submitted pursuant to Section 2.4.3 (C). A landscape plan has been submitted and evaluated by the City Senior Landscape Planner. The following description summarizes the landscape plan:

Species Summary and Location:

A variety of trees, plants and groundcover materials are employed to enhance the existing gasoline station. The varieties of species to be utilized include: Pigeon Plum trees and Green Island Ficus ground covers are proposed to be installed along the east (NE 5th Avenue) and north (NE 4th Street) perimeter of the property. Japanese Blueberry Standard trees, Green Cocoplum shrubs are proposed on the south side of the property. The existing Black Olive, Sabal Palms on the west side of the property (rear) will remain and additional landscaping is proposed to enhance the existing buffer. A variety of shrubs and ground covers will be installed around the monument sign (proposed to be relocated) located on the corner of NE 5th Avenue and NE 4th Street. The execution and recordation of a Landscape Maintenance Agreement is required for the installation and maintenance of the proposed vegetation within the City of Delray Beach right-of-way (NE 4th Street). This agreement must be accepted by the City Commission and recorded prior to the issuance of a building permit.

Architectural Elevations Analysis:

Pursuant to LDR Section 4.6.18(E), Criteria for Board Action, the following criteria shall be considered by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

- 1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.*
- 2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.*
- 3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.*

Minor architectural elevation changes to the existing masonry modern building will include the installation of new doors on the south and west elevations to accommodate side and rear access for loading and unloading. Modifications to the east elevation, which faces NE 5th Avenue, include the removal of the overhead garage doors and replacement with stucco finish to match existing façade color (white with a gray accent on the lower portion of the wall). New storefront windows will be installed to match the existing windows. Blue rectangular shed style awnings will be installed above all the openings located on the east and north elevations. The awnings will be cantilevered and project 3 ft. from the building, while maintaining a clearance height of 9 ft. Along the north façade, two shed style awnings above the existing openings will be introduced. There will be no change to the existing color scheme. Based upon the above, the proposal will contribute to the image of the City and is in harmony with the existing development and neighborhood.

Required Findings:

Pursuant to LDR Section 2.4.5(G)(1)(c) Class III Site Plan Modification, a modification to a site plan which represents either a change in intensity of use, or which affects the spatial relationship among improvements on the land, requires partial review of Performance Standards found in LDR Sections 3.1.1, and 3.2.3, as well as required findings of LDR Section 2.4.5(G) (5).

LDR Section 2.4.5(G)(5):

Pursuant to LDR Section 2.4.5(G)(5), a finding that the proposed changes do not significantly affect the originally approved plan must be made concurrent with approval of a Class III modification.

The existing 1,400 sq.ft. building contains an existing 592 sq. ft. convenience store and two automotive service bays (808 sq. ft.). The request is for the conversion of the two existing automotive service bays (legally nonconforming use) into a retail use to serve as an interior expansion of the existing convenience store within the established gasoline station. The proposed interior modification will not disturb the existing building footprint. Along with the use conversion, site improvements such as reconfiguring the parking tier, eliminating an existing, nonconforming vehicular access, and upgrades to the landscaping and lighting are proposed. The existing



overhead doors that face NE 5th Avenue are proposed to be removed and replaced with a new glazing storefront with blue standard awnings above each opening. Pursuant to LDR Section 2.4.5(G)(5), this modification does not significantly impact the existing site, as an increase in the existing floor area is not proposed, modifications to the primary use of a gasoline station are not proposed, and the proposed site modifications will eliminate existing site and use nonconformities without disturbing the functionality of the existing gasoline station.

Pursuant to LDR Section 3.1.1 (Required Findings), prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following areas:

Section 3.1.1 (B) - FUTURE LAND USE MAP: The use or structures must be allowed in the zoning district and the zoning district must be consistent with the land use designation).

The subject property has a Future Land Use Map designation of CC (Commercial Core), and a zoning designation of CBD (Central Business District). The CBD zoning is consistent with the Commercial Core FLUM designation. The primary use is that of a gasoline station, which is listed as a Conditional Use in the CBD district per LDR Section 4.4.13 (D)(5). Although gasoline stations are not allowed on primary streets within the CBD, the established gasoline station is considered an existing nonconformity. In addition, the use under expansion is that of retail/commercial use, which is allowed in the CBD.

LDR Section 3.1.1(B) - Concurrency: Refer to Appendix A, as it relates to water, sewer, streets and traffic, parks and recreation, and solid waste.

Section 3.1.1 (C) - Consistency (Standards for Site Plan Actions): A review of the objectives and policies of the adopted Comprehensive Plan was conducted, and the following applicable objective was found."

LDR Section 3.1.1(D) - Compliance with the Land Development Regulations: Refer to the Analysis sections of this report, regarding compliance with the LDRs.

Comprehensive Plan Policies: A review of the objectives and policies of the adopted Comprehensive Plan was conducted, and the following objective is noted:

Future Land Use Element Objective A-1 - Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs. The following zoning designations and uses are abutting the subject property:

	Zoning Designation:	Use:
<i>North:</i>	CBD	Commercial Building
<i>South:</i>	CBD	Recreational Establishment
<i>East:</i>	CBD	Business Office
<i>West:</i>	CBD	Auto Broker

The proposed use conversion will not disturb the existing building footprint and the proposed use (retail) is allowed in the CBD. There are no special physical or environmental characteristics of the land that would be negatively impacted by the proposed interior modification and site improvements, and the proposed/existing land use is compatible and with adjacent land uses. The subject property is bordered to the north, south, east, and west by CBD zoned properties. The existing land uses are office, retail, service facilities, auto broker and a recreational establishment (mini golf) as indicated in the chart above. Compatibility with the adjacent uses is not a concern as they are all of similar intensity.



Review by Others:

Downtown Development Authority:

At the meeting of September 12, 2011, the DDA (Downtown Development Authority) recommended approval of the proposal.

Community Redevelopment Agency:

At its meeting of June 23, 2011, the CRA (Community Redevelopment Agency) recommended approval of the proposal.

Courtesy Notices:

Pursuant to 2.4.2 (C)(3), courtesy notices have been provided to the following homeowner's associations, which have requested notice of developments in their areas:

- Pineapple Grove
- Del-Ida Park

Letters of objection and/or support, if any, will be presented at the Board meeting.

Utility Providers:

- Pursuant to 2.4.2 (C)(2)(a), utility providers were notified of the site plan submission and we have not received any objectionable comments to date.

**Appendix “A” – Concurrency Findings**

Pursuant to LDR Section 3.1.1(B), Concurrency, as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan, must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer:

As mentioned, the proposed request is for a use conversion of two service bays to expand the existing convenience store and applicable site improvements. Since the request does not involve the construction of additional buildings, the existing water and sewer on site which service the buildings adequately supply the development. Pursuant to the City’s Comprehensive Plan, treatment capacity is available at the City’s Water Treatment Plan and the South County Waste Water Treatment Plan for the City at build-out. Upon staff’s review of the plans, positive findings can be made with respect to this level of service standard.

- Water service is existing on site via an existing 12” water main.
- Sewer service is existing on site via an existing 12” sanitary sewer.

Streets and Traffic: A traffic study submitted indicates that the proposed use conversion will generate less than 20 gross peak hours trip. A positive finding of concurrency has been received from the Palm Beach County Traffic Division.

Parks and Recreation Facilities: Park dedication requirements do not apply for non-residential uses. Thus, the proposed development will not have any impact with respect to this standard.

Solid Waste: The proposed use conversion of 808 sf. of automotive service to convenience store will have an increase of 0.37 tons of solid waste per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to handle all development proposals till the year 2048.

Previous Use:

Service/ Maintenance Shop: $808 \text{ sq. ft.} \times 9.3 \text{ lbs.} = 7,514.4 \text{ lbs.} / 2,000 = 3.75 \text{ tons per year}$

Proposed Use:

Retail/ Convenience Store: $808 \text{ sq. ft.} \times 10.2 = 8,241.6 \text{ lbs.} / 2,000 = 4.12 \text{ tons per year}$

Drainage: Drainage will be accommodated on site. There are no problems anticipated to bring the site into compliance with South Florida Water Management District (SFWMD) requirements in efforts to obtain a surface water permit. Drainage will be accommodated on site. No problems for adjacent properties are anticipated with respect to drainage as it relates to this standard.

**APPENDIX "B" - STANDARDS FOR SITE PLAN ACTIONS Sec. 3.2.3 (A) through (J)**

- A. Building design, landscaping and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent
- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent
- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent
- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.
- ☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent
- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.
- ☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent
- F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent
- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.
- ☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent
- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent



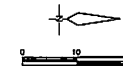
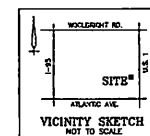
- I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.

☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent

- J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.

☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent

Boundary Survey



SURVEYOR'S NOTES

WARNINGS FOR UNDERGROUND WATER & SEWER WERE NOT FOUND.
BENCHMARK OF ORIGIN: U.S. COAST & GEODETIC SURVEY DISK 72 233 AS PUBLISHED. ELEVATION = 17.369 NOV 1929.
LEGAL DESCRIPTION PROVIDED BY CLIENT.
SURVEYOR HAS NOT ABSTRACTED THIS SURVEY FOR EASEMENTS AND RIGHTS OF WAY OF RECORD.
SURVEY IS NOT VALID WITHOUT A RAISED SEAL.
BEARINGS, IF SHOWN, ARE BASED ON THE RECORD PLAT.
ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD, USNG FEET.
ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNED PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNED PARTY OR PARTIES.

LEGAL DESCRIPTION

THE EAST 133 FEET OF LOTS 1, 2 & 3, OF BLOCK 87, OF HIGHWAY PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 78, OR THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LESS THE EAST 10.0 FEET OF SAID LOTS 1, 2 & 3, AND ALSO LESS A PORTION OF LOT 1, DESCRIBED AS FOLLOWS:
FROM A POINT ON THE NORTH LINE OF SAID LOT 1, LOCATED 10 FEET WESTERLY FROM THE NORTHEAST CORNER OF SAID LOT 1, RUN WESTERLY ALONG SAID NORTH LINE FOR 14.84 FEET TO THE POINT OF BEGINNING, THENCE SOUTHWESTERLY ALONG A CURVE, CHORD BEING 15 FEET FOR A DISTANCE OF 23.40 FEET, THROUGH A CENTRAL ANGLE OF 89°23' TO A POINT ON A LINE PARALLEL TO AND 10 FEET WEST OF THE EAST LINE OF SAID LOT 1, THENCE RUN NORTH ALONG SAID PARALLEL LINE FOR 14.84 FEET TO THE POINT OF BEGINNING.
AND ALSO LESS A PORTION OF LOT 1, DESCRIBED AS FOLLOWS:
FROM A POINT ON THE NORTH LINE OF SAID LOT 1, LOCATED 10 FEET WESTERLY FROM THE NORTHEAST CORNER OF SAID LOT 1, RUN WESTERLY ALONG SAID NORTH LINE FOR 14.84 FEET TO THE POINT OF BEGINNING, THENCE SOUTHWESTERLY ALONG A CURVE, CHORD BEING 15 FEET FOR A DISTANCE OF 23.40 FEET, THROUGH A CENTRAL ANGLE OF 89°23' TO A POINT ON A LINE PARALLEL TO AND 10 FEET WEST OF THE EAST LINE OF SAID LOT 1, THENCE RUN NORTH ALONG SAID PARALLEL LINE FOR 14.84 FEET TO THE POINT OF BEGINNING.

LEGEND

- ① - STORM DRAIN
- ② - CONCRETE UTILITY POLE
- ③ - WOOD UTILITY POLE
- ④ - LAMP POST
- ⑤ - SANITARY SEWER MAN HOLE
- ⑥ - DRAINAGE MANHOLE
- ⑦ - MONITORING WELL
- ⑧ - FIRE HYDRANT
- ⑨ - GATE VALVE
- ⑩ - FOUND 1/2" IRON ROD (NO ID) UNLESS NOTED OTHERWISE
- ⑪ - SPOT ELEVATION

AREA

AREA OF PROPOSED RIGHT OF WAY TAKING 744 SQUARE FEET.
AREA OF PROPERTY AS SHOWN 17,921 SQUARE FEET.

SUBJECT TO RESERVATIONS, RESTRICTIONS, EASEMENTS AND RIGHTS OF WAY OF RECORD.

PREPARED FOR
DAVID CHANDLER
8447 LAKE WORTH ROAD
LAKE WORTH, FL 33463

FLOOD ZONE
FLOOD ZONE "V"
PANEL NO. 125102 0002 D
DATED JAN. 5, 1989

PROPERTY ADDRESS
328 NE 8TH AVENUE
DELRAY BEACH, FL 33483

03/30/18 ACED AREAS
1/20/17 - ADD OFFSITE UTILITIES
3/4/16 - UPDATE SURVEY

CERTIFICATION

I HEREBY CERTIFY THAT I MADE THIS SURVEY AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
Bob Buggeo
BY: *Bob Buggeo*
BOB A. BUGGEO, FLORIDA LAND SURVEYOR #3302
233 E. GATEWAY BLVD., BOYNTON BEACH, FLORIDA
DATE OF FIELD SURVEY: 1/21/18

PREPARED BY:
Bob Buggeo, Inc.
the "SURVEYOR"
P.O. BOX 3887
BOYNTON BEACH, FLORIDA 33439
SURVEY & MAPPING BUSINESS #7890
361-702-7877

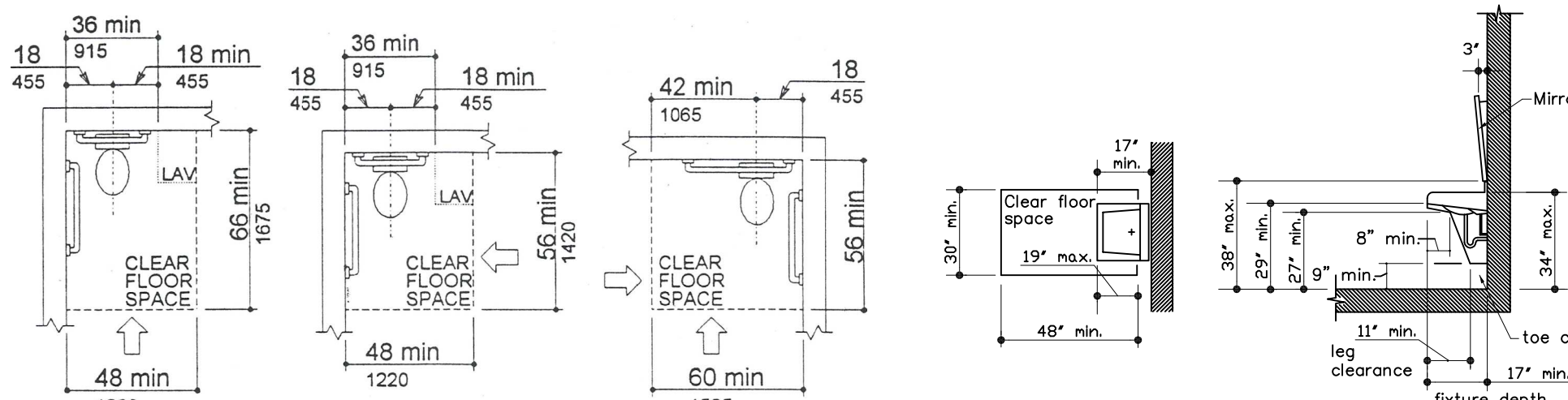


Fig 28
Clear Floor Space at Water Closets (not in stall)

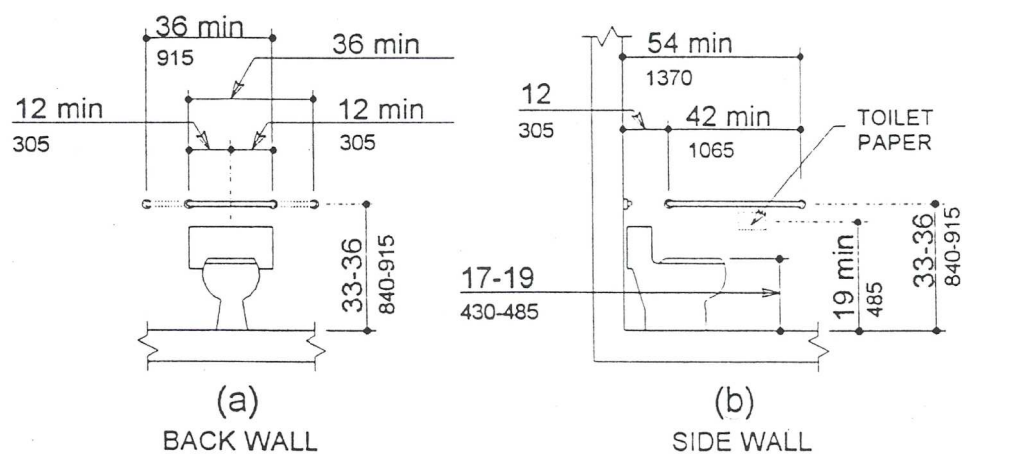
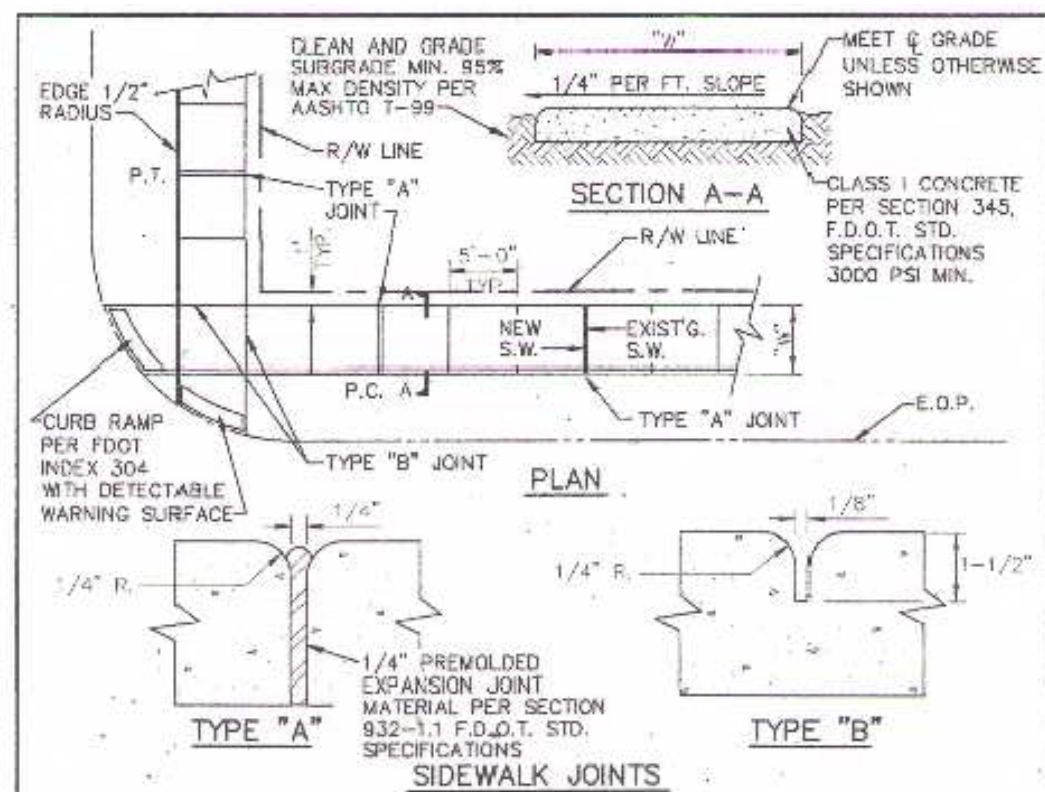


Fig 29
Grab Bars at Water Closets

2010 ADA STANDARDS HDCP DETAILS & ELEVATIONS

NOT TO SCALE



NOTE: 1. ALL SIDEWALKS SHALL BE CONSTRUCTED THRU DRIVEWAYS.
2. ALL SIDEWALKS SHALL INCLUDE ADA COMPLIANT RAMPS @ INTERSECTIONS.
3. ALL SIDEWALKS SHALL INCLUDE CROSS SLOPE AND RUNNING SLOPE IN ACCORDANCE WITH ADA REQUIREMENTS.
4. CURB RAMP DETECTABLE WARNING SURFACE SHALL EXTEND THE FULL WIDTH OF THE RAMP AND 24" DEEP.

TABLE OF SIDEWALK THICKNESS - "T"		TABLE OF SIDEWALK JOINTS	
RESIDENTIAL AREAS	4"	TYPE	LOCATION
WITHIN 10' OF CROSS-STREETS, 6" OF DRIVEWAYS & OTHER AREAS	6"	"A"	P.C. AND P.T. OF CURVES, JUNCTION OF EXISTING & NEW SIDEWALKS & EVERY 30'
TABLE OF SIDEWALK WIDTHS - "W"		"B"	5'-0" CENTER TO CENTER ON SIDEWALKS SCORED DURING PLACEMENT OR SAWCUT WITHIN 24 HOURS OF PLACEMENT.
SINGLE-FAMILY AREAS	5'	"A"	WHERE SIDEWALK ADJUTS CONCRETE, CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES.
MULTI-FAMILY AREAS	5'		

CITY OF DELRAY BEACH
ENVIRONMENTAL SERVICES DEPARTMENT
600 S.W. 14TH AVENUE, SUITE 200, DELRAY BEACH, FL 33444

SIDEWALK CONSTRUCTION RT 5.1

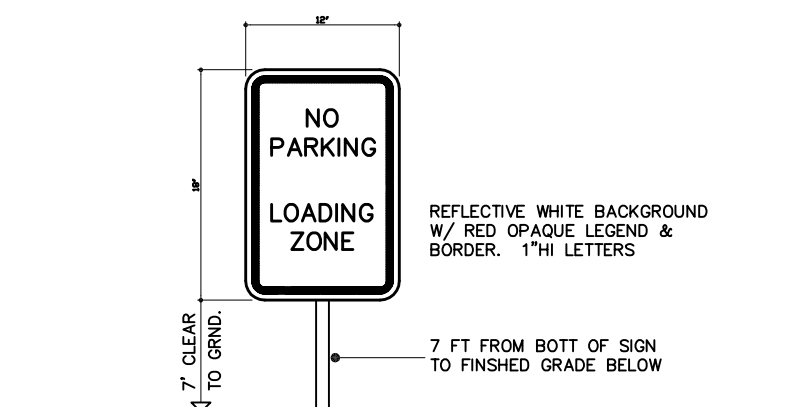


Fig 31
LOADING ZONE SIGN
SCALE: 2" = 1'-0"

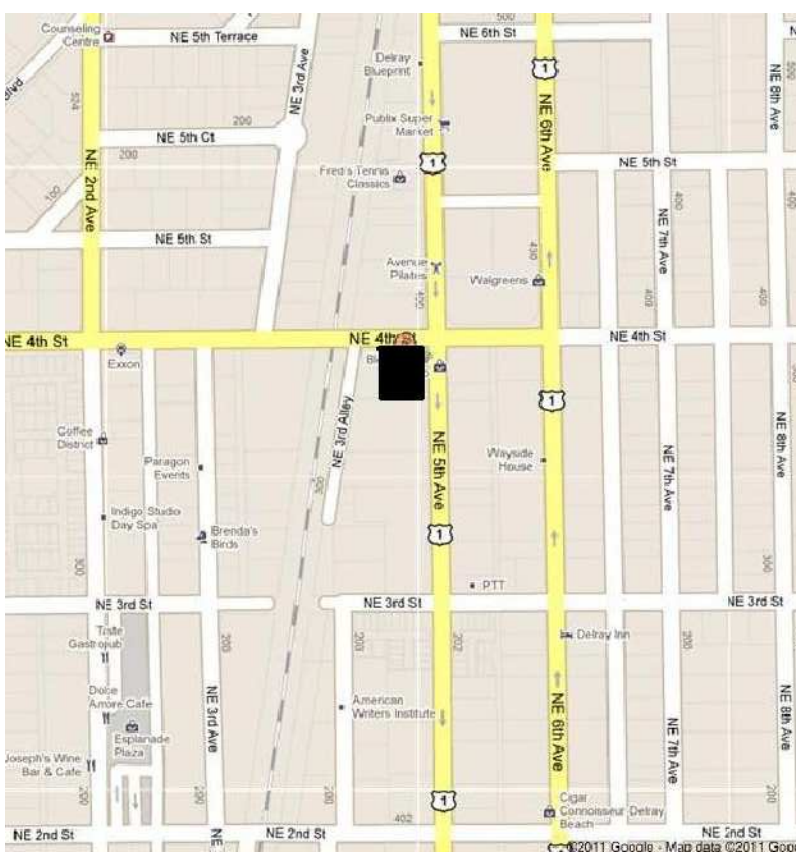


Fig 32
LOCATION MAP
N. T. S.

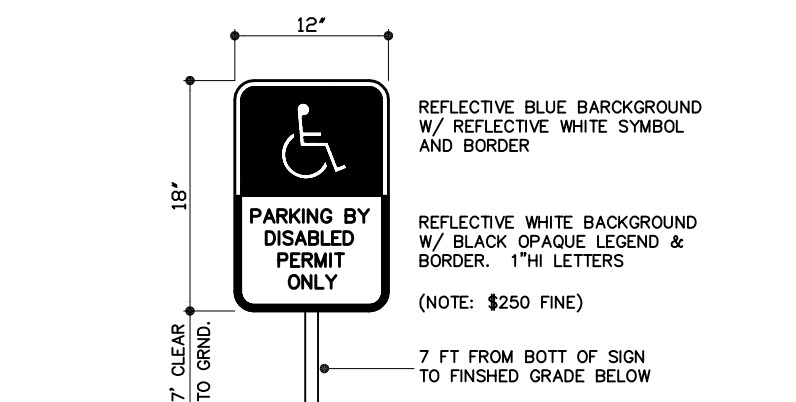


Fig 33
HANDICAP PARKING SIGN
SCALE: 2" = 1'-0"

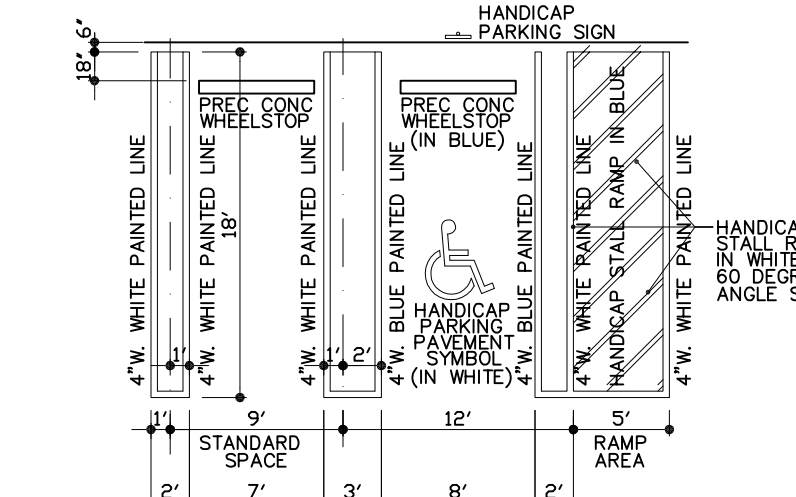


Fig 34
HNDCP PARKING TYP PARKING
PARKING STALL PLANS
SCALE: 1/4" = 1'-0"

FIRE CODE INFORMATION:

FLORIDA FIRE PREVENTION CODE 2010 EDITION
NFPA 1, FIRE CODE, 2009 FLORIDA EDITION
NFPA 101, LIFE SAFETY CODE, 2009 FLORIDA EDITION

UNDER CANOPY LIGHTS NOTE:

BOTH EXISTING AND PROPOSED CANOPY LIGHTS NEED TO BE FLUSHED TO THE CEILING OF THE ROOF OR SHIELDED TO PREVENT ANY GLARE

FIRE NOTES:

POST SYMBOLS ON BUILDING FOR LIGHT FRAME TRUSS TYPE CONSTRUCTION SHOW ADDRESS NUMBERS, NOT LESS THAN 6" INCHES IN HEIGHT ON A CONTRASTING BACKGROUND.

SALES RESTRICTION NOTE:

NO SALE OF TIRES WILL BE ALLOWED ON THE PREMISES

OCCUPANT LOAD CALC

OCCUPANT MERCATILE = 1/60SF
1400 SF / 60 = 24 PERSONS

LEGEND:

- STORM DRAIN
- CONC. UTIL. POLE
- CLEAN OUT
- AIR RELEASE VALVE
- MONITORING WELL
- DRAINAGE MANHOLE
- SANITARY SEWER MANHOLE
- FOUND 1/2" IRON ROD (NO ID) UNLESS NOTED OTHERWISE
- SPOT ELEVATION
- 48" X 48" PLANTER

AREA CALC:

EXIST OFFICE: 68 S.F.
EXIST. RESTRMS: 78 S.F.
EXIST CASHIER: 32 S.F.
EXIST CONVENIENCE: 414 S.F.
NEW CONVENIENCE: 808 S.F.
TOTAL: 1400 S.F.

ZONING DATA

	(MIN./MAX.) STANDARD	REQUIRED	PROPOSED
BUILDING HEIGHT	1 STORY / 18' MAX.		15'4"
LOT WIDTH	20' MIN.	20' MIN.	144.93'
LOT AREA	2000' S.F. MIN.	2000' S.F. MIN.	17,921 S.F.*
BLDG SETBACKS			
FRONT (EAST)	10' MIN. / 15' MAX.	15' MIN.	71'
REAR (WEST)	10' MIN.	10' MIN.	20.33'
SIDE INT. (SOUTH)	0' MIN.	0' MIN.	28.0'
SIDE ST. (NORTH)	0' MIN.	0' MIN.	65.75'
OPEN SPACE	LESS THAN 20,000 S.F.	0%	25.8%

* INDICATE AS PRE-EXISTING NONCONFORMITY TO REMAIN

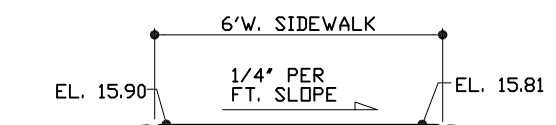


Fig 35
CROSS SECTION
N. T. S.

LEGAL DESCRIPTION:

THE EAST 135 FT. OF LOTS 1, 2 & 3 OF BLOCK 97 OF HIGHLAND PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 73, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; LESS THE EAST 10.0 FT. OF THE SAID LOTS 1, 2 & 3, AND ALSO LESS A PORTION OF LOT 1, DESCRIBED AS FOLLOWS: FROM A POINT ON THE NORTH LINE OF SAID LOT 1, RUN 10.0 FT. WESTERLY ALONG SAID NORTH LINE TO THE SAID LOT 1, RUN WESTERLY ALONG SAID NORTH LINE FOR 14.84 FT. THENCE RUN SOUTHEASTERLY ALONG A CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 15 FT. FOR A DISTANCE OF 23.40 FT. THROUGH A CENTRAL ANGLE OF 89.23° TO A POINT ON A LINE PARALLEL TO AND 10 FT. WEST OF THE EAST LINE OF SAID LOT 1, THENCE RUN NORTH ALONG SAID PARALLEL LINE FOR 14.84 FT. TO THE POINT OF BEGINNING, AND ALSO LESS A PORTION OF LOT 1, DESCRIBED AS FOLLOWS: FROM A POINT OF THE NORTH LINE OF THE SAID LOT 1, LOCATED 10 FT. WESTERLY FROM THE NORTHEAST CORNER OF THE SAID LOT 1, RUN WESTERLY ALONG THE NORTHEAST CORNER OF LOT 1, RUN WESTERLY ALONG THE SAID NORTH LINE FOR 14.84 FT. TO THE POINT OF BEGINNING, THENCE CONTINUE ALONG SAID NORTH LINE FOR A DISTANCE OF 10.17 FT. THENCE SOUTHERLY ALONG THE WEST LINE OF THE EAST 135 FT. OF THE SAID LOT 1, A DISTANCE OF 5.0 FT. THENCE EASTERLY ALONG A LINE PARALLEL TO AND 5.0 FT. SOUTH OF THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 105.22 FT. THENCE TURNING AN ANGLE FROM WEST TO SOUTHEAST OF 135.018°30", GO FOR A DISTANCE 28.13 FT. THENCE NORTHERLY ALONG A LINE PARALLEL TO AND 10 FT. WEST OF THE EAST LINE OF SAID LOT 1, A DISTANCE OF 9.95 FT. THENCE RUN NORTHEASTERLY ALONG A CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 15 FT. FOR A DISTANCE OF 23.4 FT. THROUGH A CENTRAL ANGLE OF 83.023° TO THE POINT OF BEGINNING.

BUILDING CODE INFORMATION:

ARCHITECT: JAMES E. GILGENBACH (FL 074757)
WIND DESIGN STANDARD: ASCE 7-16
BUILDING CODE: FLORIDA BUILDING CODE 2017, 6th ED
ELECTRICAL CODE: N.E.C. 2017, 9th ED
FLORIDA FIRE PREVENTION CODE, 6th EDITION
DESIGN WIND SPEED: 140 MPH
DESIGN WIND VELOCITY PRESSURE: 41.1 PSF
IMPORTANCE FACTOR: 1.0
BUILDING OCCUPANCY CATEGORY: I-1
BUILDING WIND EXPOSURE CLASS: 2
INTERNAL PRESSURE COEFFICIENT: +/- 0.18
TOP OF ROOF HEIGHT: 12.5 FT
TYPE OF CONSTRUCTION: CONC. BLK
BUILDING DESIGNED: 2018
CLASSIFICATION OF WORK: LEVEL 2 ALTERATION
TOTAL # OF STORIES: 1 STORY

PROJECT SITE INFORMATION:

SITE ZONING: "CB" (CONDITIONAL USE)
CONSTRUCTION TYPE: "VI" UNPROTECTED
OCCUPANCY: BUSINESS
R.O.W. DEDICATION AREA: 744 S.F.
TOTAL SITE AREA: 17,921 S.F.
BUILDING COVERAGE: 1400 S.F.
EXISTING C-STORY AREA: 992 S.F.
NEW C-STORY EXPANSION: 808 S.F.
PAVED (HARDSCAPE) AREA: 11,902 S.F.
GREEN (LANDSCAPE) AREA: 4,619 S.F.
BUILDING HEIGHT: 16'-0" TOP OF PARAPET/CANOPY

GAS STATION RENOVATION SCOPE OF WORK:

RENOVATION WORK ON THE EXISTING GAS STATION WILL INCLUDE REPLACING THE EXISTING OVERHEAD GARAGE DRs WITH STOREFRONT FIXED GLASS WINDOWS. THE EXISTING SERVICE BAYS TO BE RENOVATED AND USED TO EXPAND THE EXISTING CONVENIENCE STORE.
EXISTING SITE WAS RECENTLY REPAVED AND RENOVATED SO NO NEW PAVING PROPOSED. NEW PARKING LAYOUT WILL BE MATTER OF RESTRIPPING THE EXISTING PAVEMENT. THE PROPOSED SITE & LANDSCAPING PLAN TO INCLUDE THE PROPOSED NEW PAVING, RESURFACING AND RESTRIPPING OF THE PARKING LOT & INSTALLATION OF NEW LANDSCAPING.

PROPERTY ADDRESS:

398 NORTHEAST 5TH AVENUE,
DELRAY BEACH, FLORIDA 33483

PROJECT INFO:

EMPLOYEES: 3 EMPLOYEES
HOURS OF OPERATION: 6AM-12AM MON-SUN

PARKING CALCULATIONS:

TABLE 4.4.13(L)
REQUIRED PARKING: 1 SPACE PER 500 S.F.
1,400 S.F. / 500 = 3 SPACES REQUIRED
REQUIRED PARKING = 3 SPACES REQUIRED
PROVIDED PARKING = 3 SPACES PROVIDED
(HANDICAP PARKING = 1 SPACE INCLUDED)
(COMPACT PARKING = 1 SPACE INCLUDED)

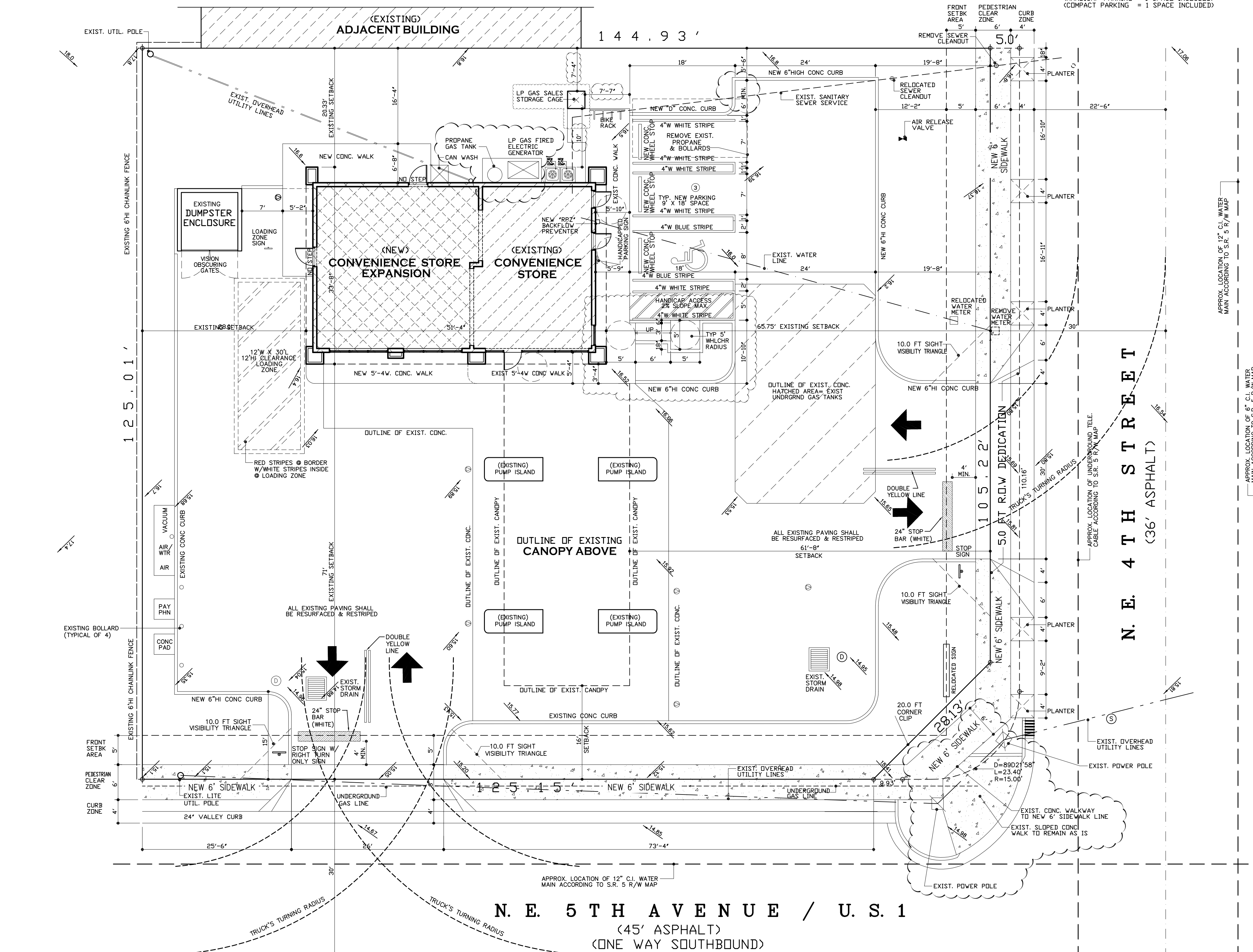


Fig 36
N. E. 5TH AVENUE / U. S. 1
(45' ASPHALT)
(ONE WAY SOUTHBOUND)

SITE PLAN

SCALE: 1" = 10'-0"

TURNING RADIUS GAS DELIVERY TRUCK'S

SCALE: 1" = 10'-0"

JAMES E. GILGENBACH & ARCHITECTURE
9009 ONE PUTT PLACE
(561) 809 - 8491
PORT ST LUCE
FLORIDA 34986

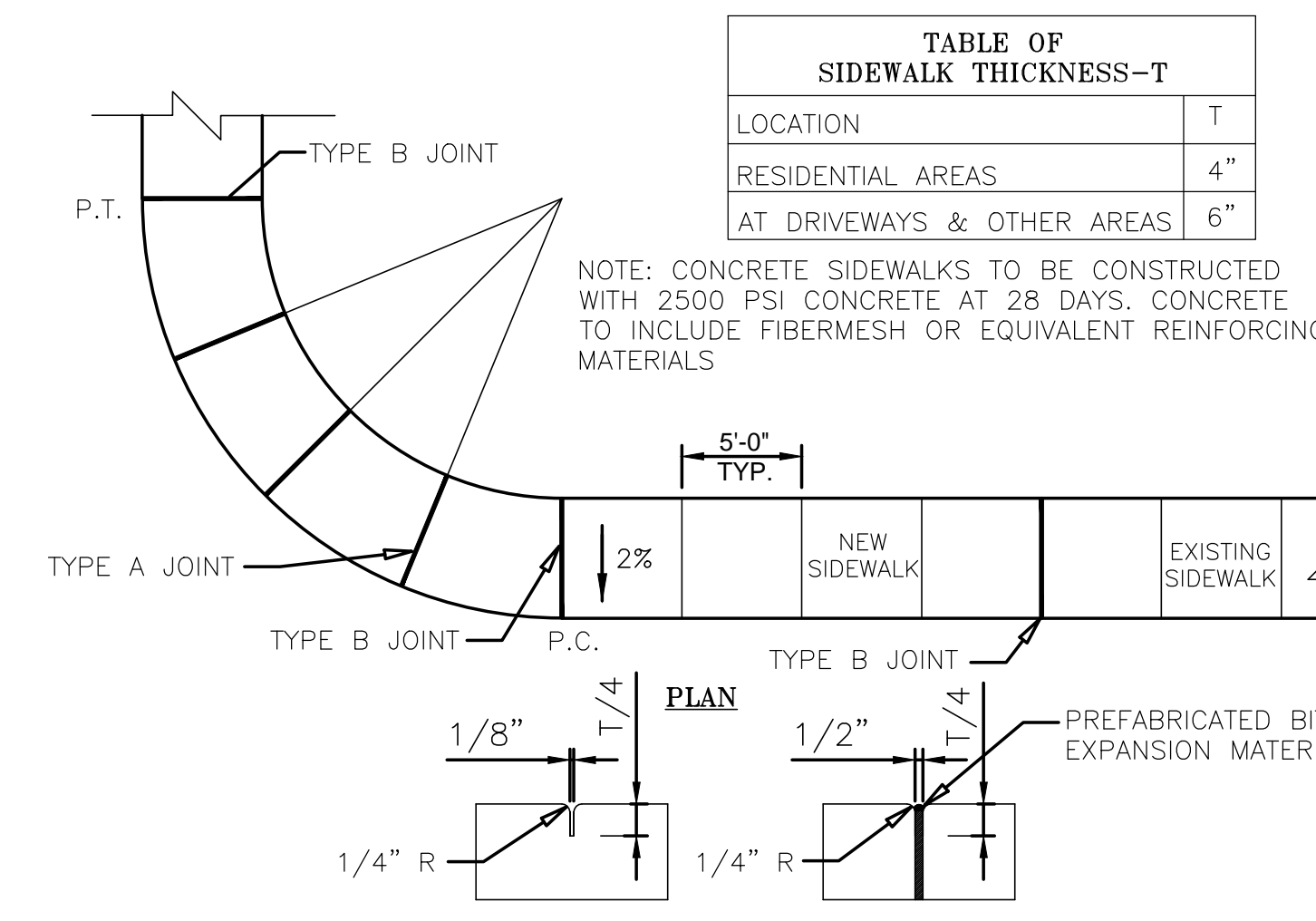
ARCHITECT
AR-7457

REVISIONS:
REV. 1, FEB. 3, 2017
AS PER BLDG DEPT
REV. 2, MAR. 6, 2018
AS PER P&Z DEPT
REV. 3, APR. 6, 2018
AS PER P&Z DEPT
REV. 4, JULY 1, 2018
AS PER P&Z DEPT
REV. 5, DEC. 11, 2018
AS PER P&Z DEPT
REV. 6, MAR. 22, 2018
AS PER P&Z DEPT
REV. 7, APR. 2, 2019
AS PER P&Z DEPT
REV. 8, AUG. 02, 2019
AS PER P&Z DEPT

1. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER ALL SCALED DIMENSIONS.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS & ADVISE ARCHITECT OF ANY DISCREPANCIES.
3. NO MATERIALS OR SYSTEMS ARE TO BE FABRICATED UNTIL SAID DISCREPANCIES HAVE BEEN RESOLVED BY ARCHITECT.
4. ALL DIMENSIONS HAVE BEEN VERIFIED BY THE CONTRACTOR.
5. SHIP DRAWINGS HAVE BEEN REVIEWED & ACCEPTED BY THE ARCHITECT.

**CONVENIENCE STORE RENOVATION FOR THE
GASLAND SERVICE STATION**
398 NORTHEAST 5TH AVENUE, DELRAY BEACH, FLORIDA
HIGHLAND PARK - DELRAY BEACH, FLORIDA

DATE: 29 FEB '18
PROJECT NO: 10 - 340
SHEET: 4
A1



NOTES:

CLEAR AND GRUB EXISTING GRADE; PLACE AND COMPACT SUBGRADE, BASE AND ASPHALT PER DETAILS AND SPECIFICATIONS.

CONSTRUCT (OVERLAY) NEW SIDEWALK PER DETAIL ; PROVIDE PERIMETER EDGE PER "D" CURB DETAIL EXCEPT MATCH DEPTH AND FORM OF EXISTING ADJACENT SIDEWALK AREA. PROVIDE TYPE "D" ISOLATION JOINT BETWEEN NEW AND EXISTING CONCRETE

PROPOSED DEVELOPED SITE AREAS:

Total Site Area	= 17,921 sf	= 0.411 acres	100.0%
Impervious Area (Roof)	= 1,400 sf	= 0.032 acres	7.8%
Impervious Area (Pavement/Walks)	= 11,902 sf	= 0.273 acres	66.4%
Pervious Area	= 4,619 sf	= 0.106 acres	25.8%

Refer to Drawing #C-1, "Paving & Striping Plan" by J-W Engineering, Inc. for site layout.

EXISTING DEVELOPED SITE AREAS:

Total Site Area	= 17,921 sf	= 0.411 acres	100.0%
Impervious Area (Roof)	= 1,400 sf	= 0.032 acres	7.8%
Impervious Area (Pavement/Walks)	= 12,497 sf	= 0.287 acres	69.8%
Pervious Area	= 4,024 sf	= 0.092 acres	22.4%

Refer to the Boundary Survey prepared by Bob Buggee, Inc., licensed surveyor, for site layout.

NOTE: THE SITE PERVIOUS AREA WILL INCREASE BY 595 SF WITH THE DEVELOPMENT OF THE PROPOSED PROJECT.

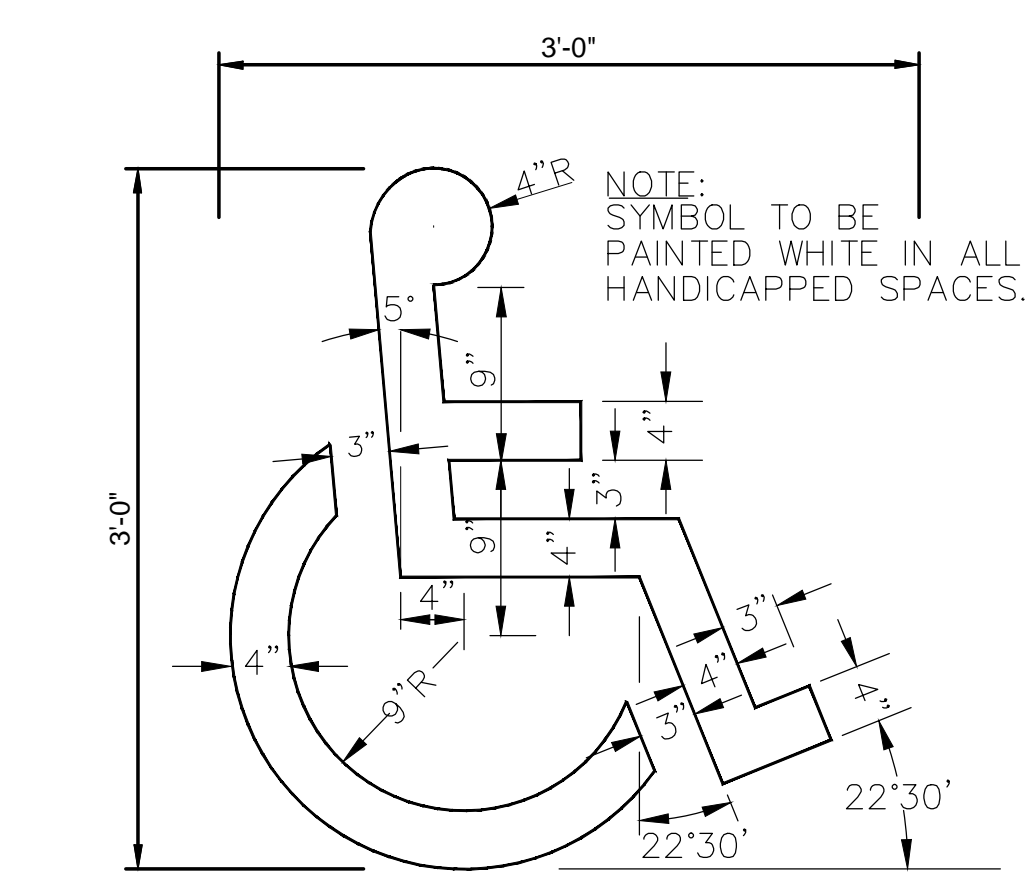


LEGEND:

	- STORM DRAIN
	- CLEAN OUT
	- AIR RELEASE VALVE
	- MONITORING WELL
	- DRAINAGE MANHOLE
	- SANITARY SEWER MANHOLE
	- FOUND 1/2" IRON ROD (NO ID) UNLESS NOTED OTHERWISE
	- SPOT ELEVATION
	- 48" x 48" PLANTER (CANOPY TREE 14HI, 6CLR, TRUNK & MIN. 8" SPREAD)
	- PROPOSED ELEVATION

CONCRETE SIDEWALK

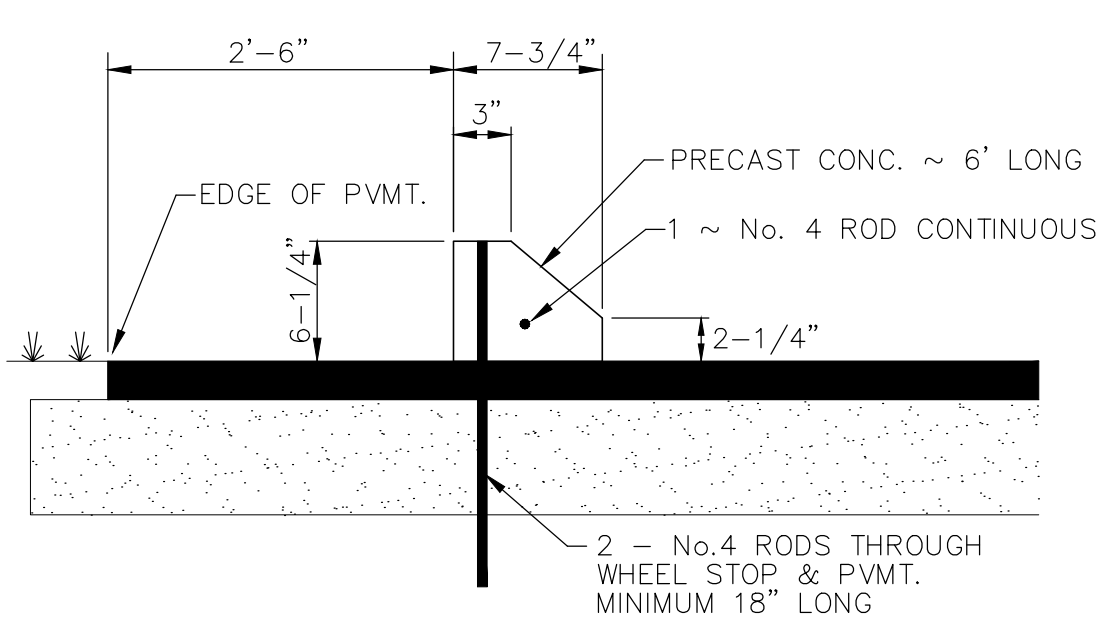
N.T.S.



PAINTED HANDICAP SYMBOL

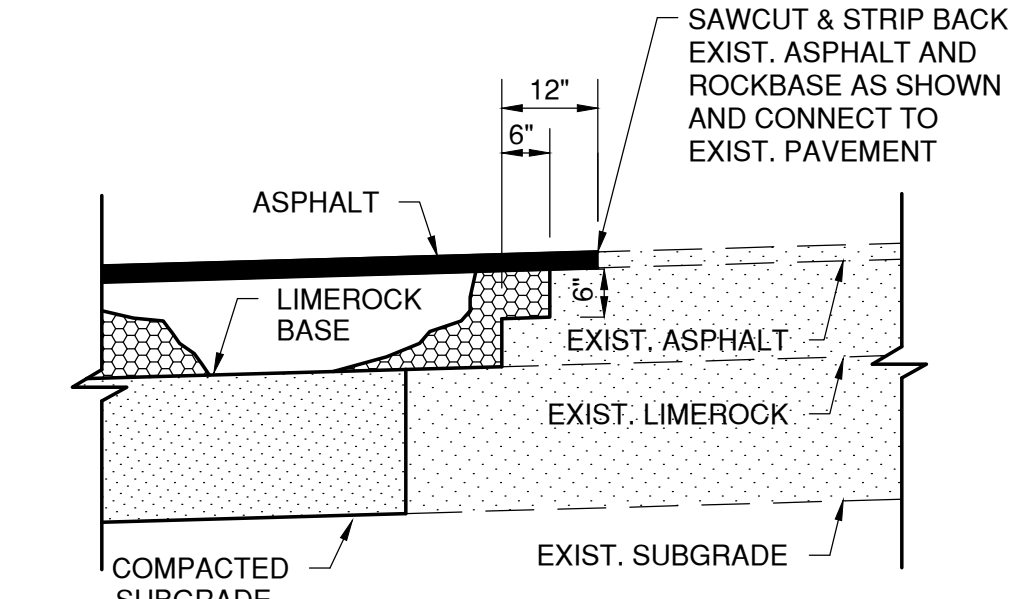
PER FDOT INDEX 17346 LATEST EDITION

N.T.S.



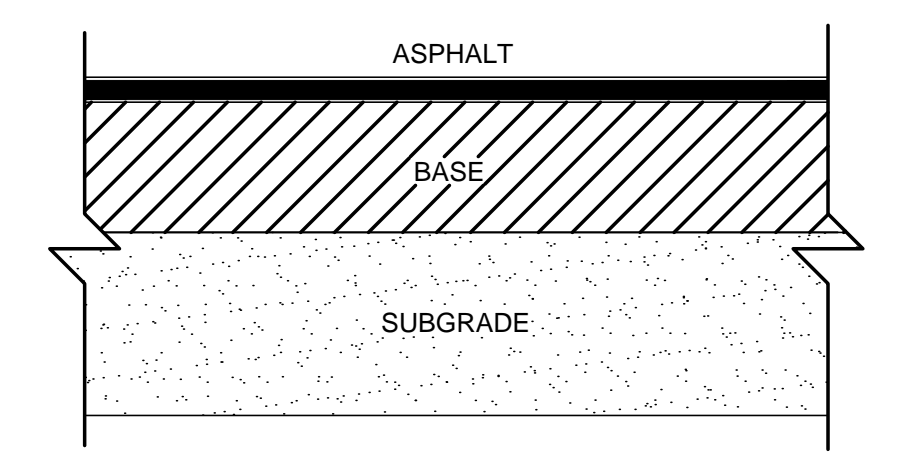
CONCRETE WHEEL STOP

N.T.S.



CONNECTION TO EXISTING PAVEMENT DETAIL

1/2" = 1'-0"



PAVEMENT SPECIFICATIONS

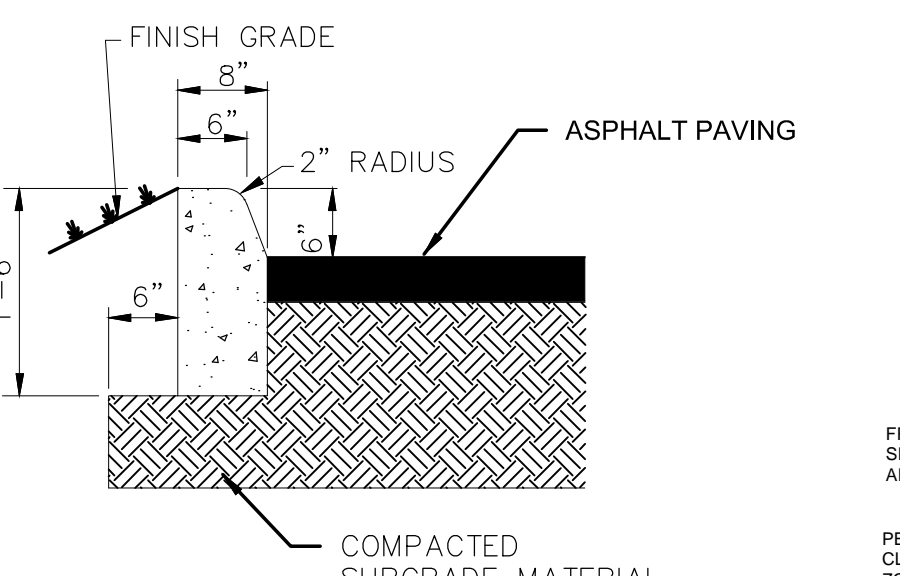
ASPHALT: 1-1/2" ASPHALTIC CONCRETE SURFACE COURSE TYPE S-III IN TWO 3/4" LIFTS.

BASE: 8" F.D.O.T. APPROVED LIMEROCK (COMPACTED IN TWO LIFTS TO 98% AASHTO T-180)

SUBGRADE: 12" GRANULAR MATERIAL COMPACTED TO 98% AASHTO T-180

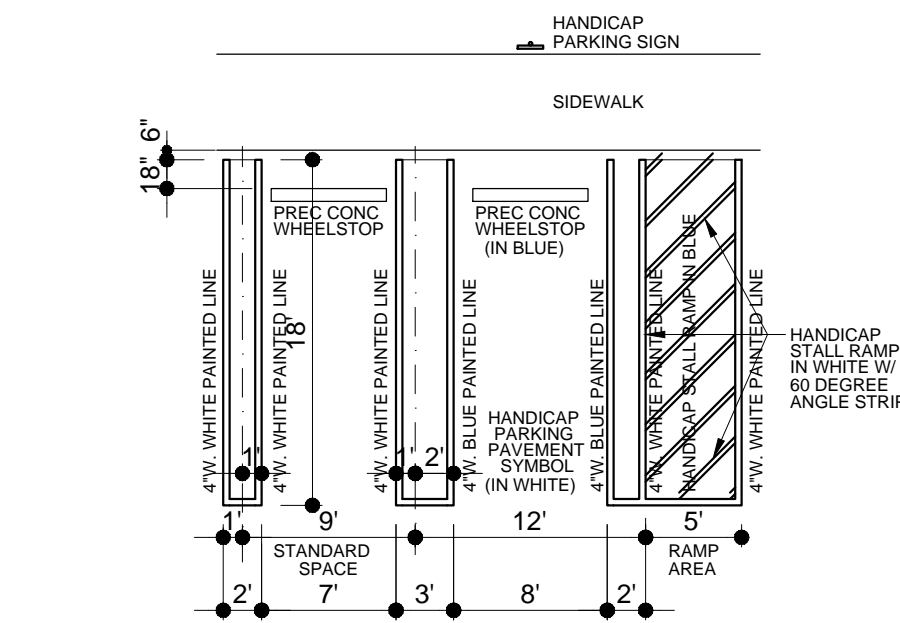
PAVEMENT SECTION

N.T.S.



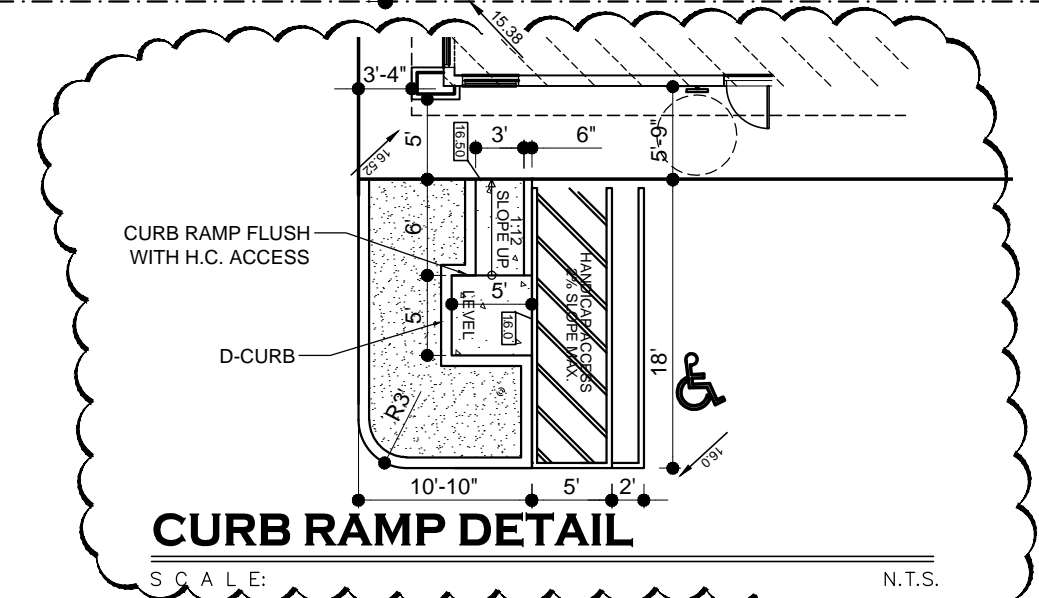
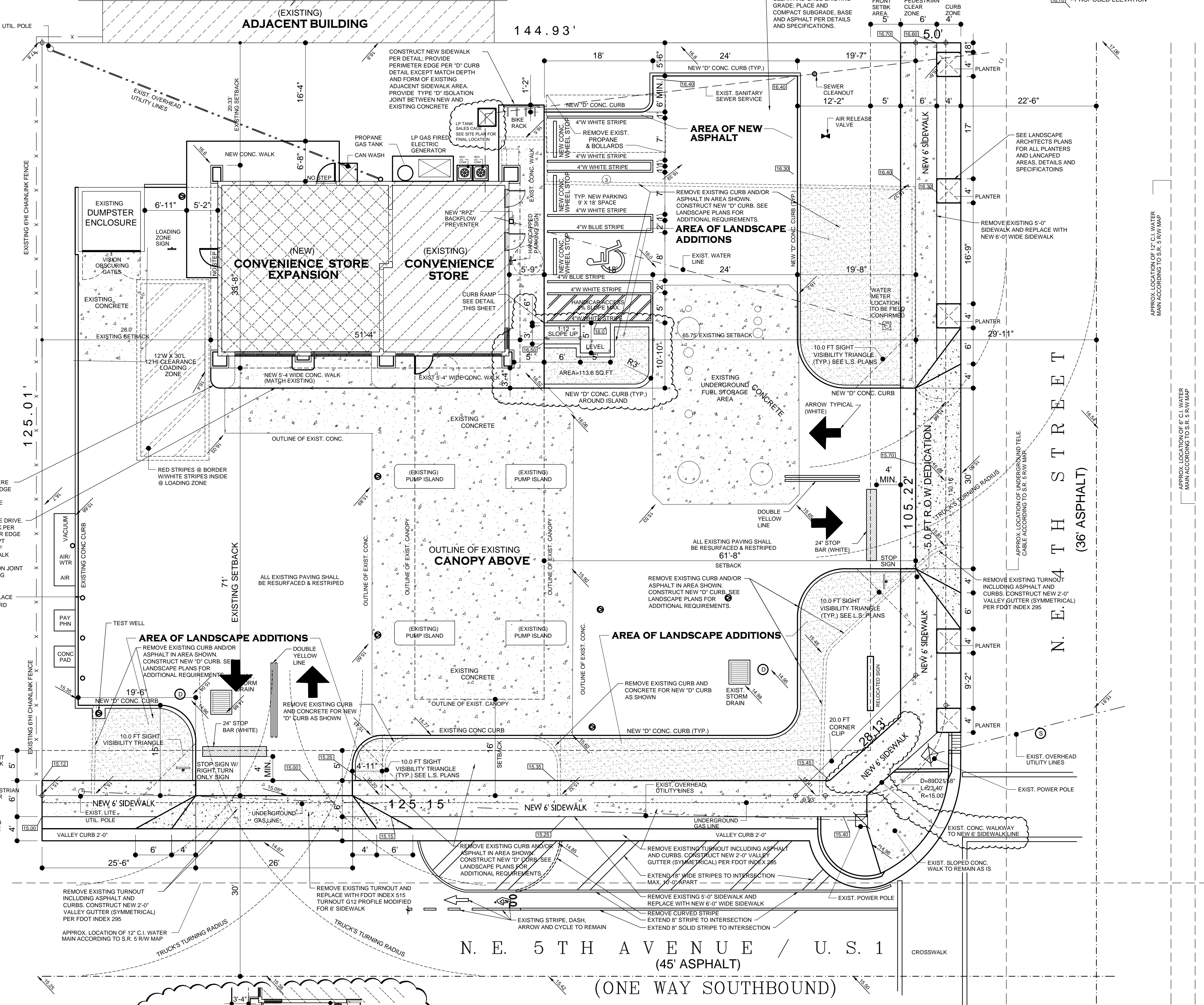
TYPE "D" CURB DETAIL

N.T.S.



HANDICAP PARKING TYP PARKING PARKING STALL PLANS

SCALE: 1:10



CURB RAMP DETAIL

N.T.S.

PAVING & RESTRIPING PLAN

SCALE: 1:10

SCALE: 1:10'

REV.	DESCRIPTION	APRV	DATE
2	BLDG. DEPT. COMMENTS	JWW	7/23/19
1	BLDG. DEPT. COMMENTS	JWW	3/22/19

STATUS: REVIEW

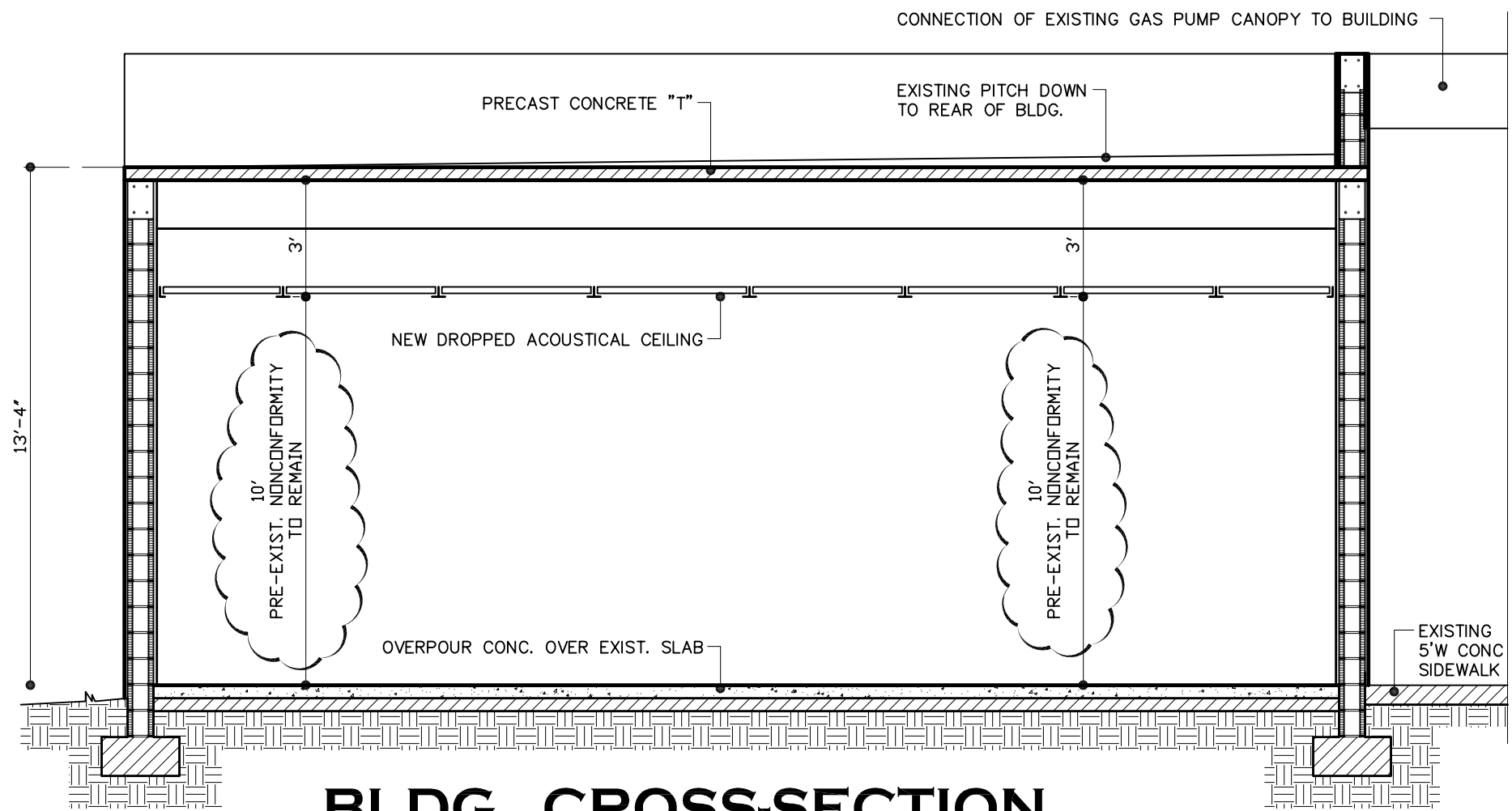
J-W Engineering, Inc.
Civil and Structural Engineering
C.O.A. #9937
20 Balfour Road West
Palm Beach Gardens, FL 33418
Tel: (561) 630-3550
JWWessonPE@aol.com

RITZ PETROLEUM LLC & JAVED FAMILY LLP & SHAFIQUE AZRA
8934 WENDY LN W
ROYAL PALM BEACH FL 33411

GASLAND SERVICE STATION
PROJECT TITLE
398 NORTHEAST 5TH AVE.
DELRAY BEACH, FL
PAVING & STRIPING (CONCEPTUAL)

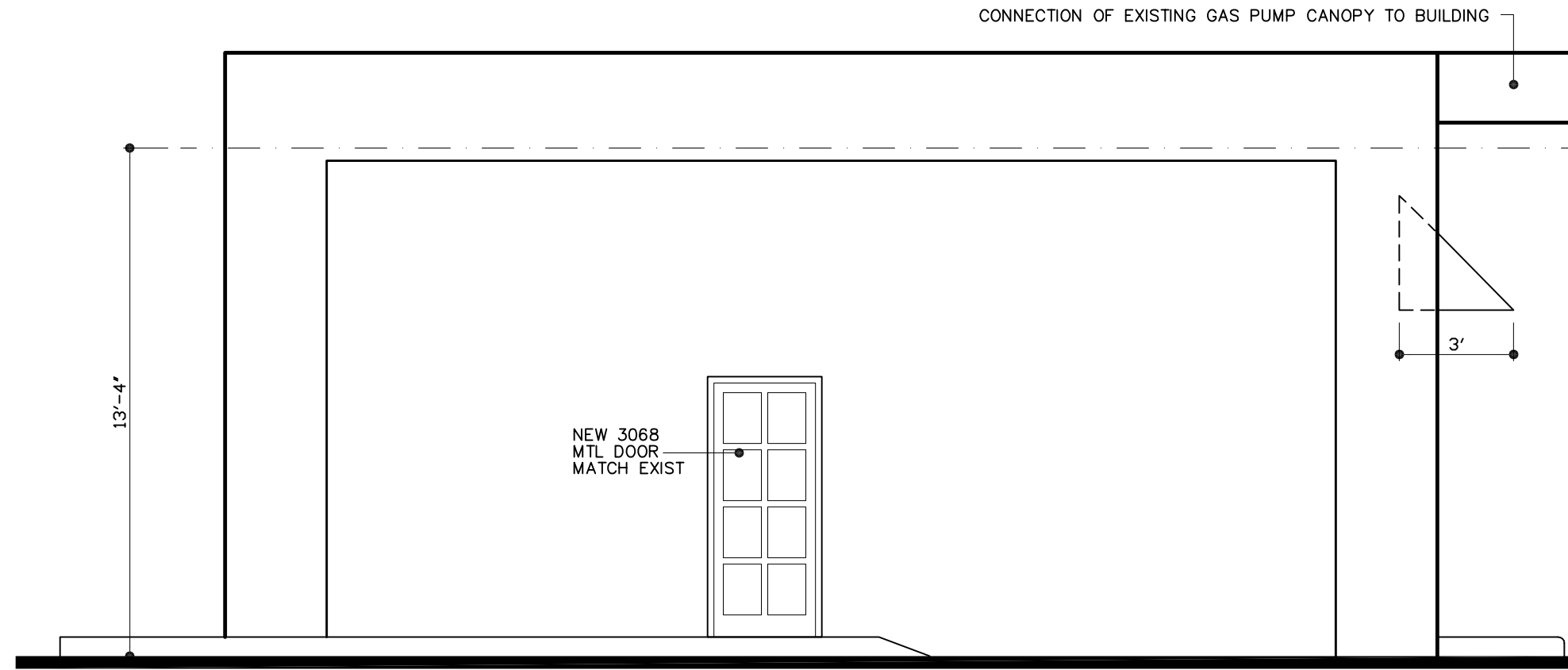
DRAWN BY: J.W.W.
CHECKED BY: J.W.W.
SCALE: AS NOTED
DATE: 12/11/18
JOB NUMBER: 1807-2
SHEET NUMBER: 1 OF 2

James W. Wesson, P.E.
Florida Lic. No. 46487



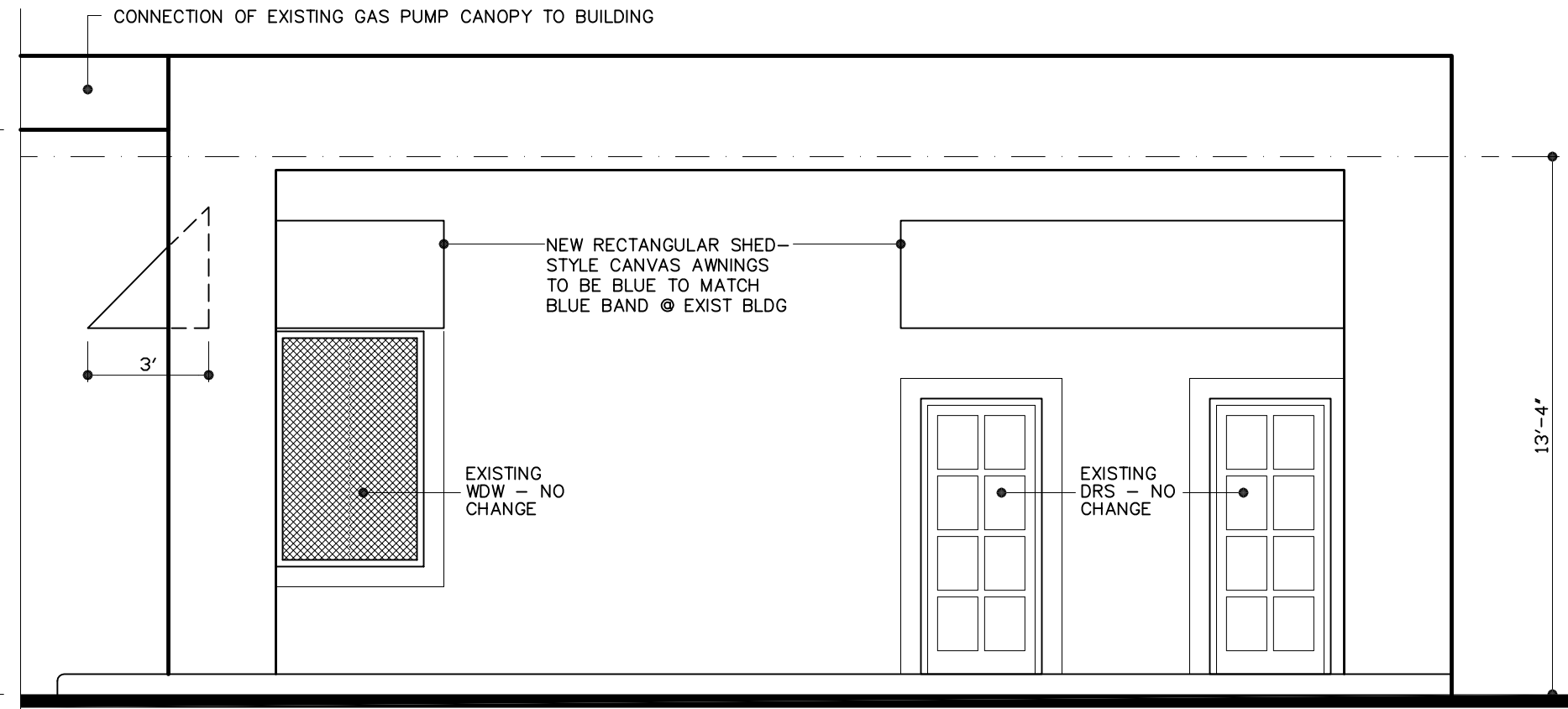
BLDG. CROSS-SECTION

SCALE: 1/4" = 1'-0"



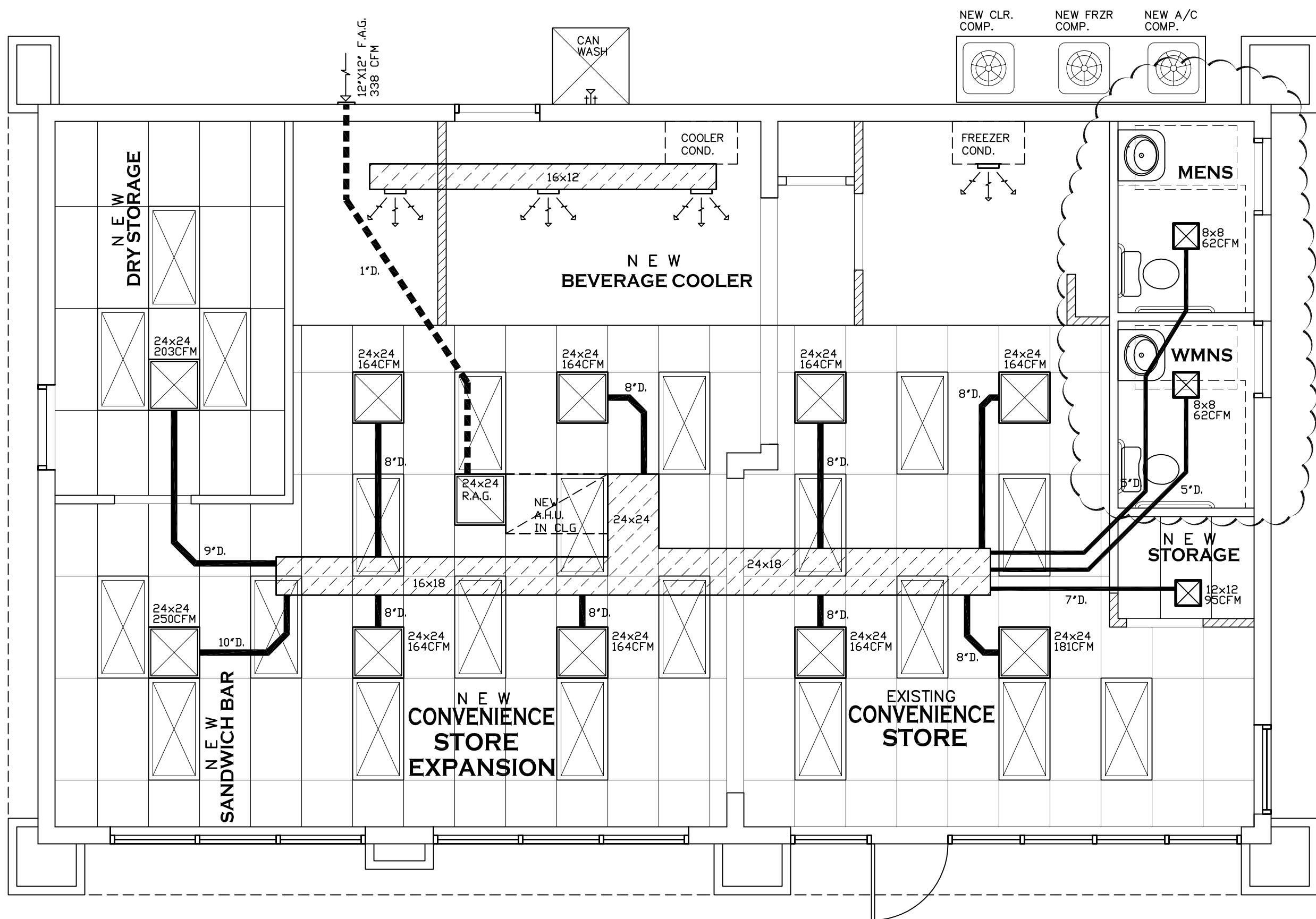
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



H.V.A.C. FLOOR PLAN

SCALE: 1/4" = 1'-0"

AIR CONDITIONING NOTES:

1. THE EXISTING AIR CONDITIONING SYSTEM CONSIST OF SEVERAL AIR HANDLER UNITS FOR THIS TENANT AREA. EXISTING 2X2 SUPPLY DIFFUSERS ARE TO BE RELOCATED IF REQUIRED AND CONNECTED TO EXISTING DUCTWORK ABOVE THE SUSPENDED ACOUSTICAL CEILING TO ACCOMMODATE NEW ADJUSTMENTS IN THE FLOOR PLAN LAYOUT. EXISTING RETURN AIR GRILLES TO BE RELOCATED IF REQUIRED BY NEW FLOOR PLAN LAYOUT. ALL DRAWINGS ARE DIAGRAMMATIC. DO NOT SCALE DRAWINGS FOR THE EXACT LOCATION OF EQUIPMENT, PIPING, DUCTWORK, ETC.
2. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH APPLICABLE NATIONAL, STATE AND LOCAL CODES, RULES AND ORDINANCES.
3. CONTRACTOR SHALL VISIT THE JOB SITE AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS. CONTRACTOR TO VERIFY CONDITION AND PERFORMANCE OF ALL EXISTING A/C EQUIPMENT AND MAKE NECESSARY REPAIRS.
4. THESE DRAWINGS ARE NOT INTENDED TO SHOW EVERY MINOR DETAIL, BUT THE CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS REQUIRED FOR A COMPLETE WORKING INSTALLATION.
5. ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR THE PROTECTION AGAINST PUBLIC LIABILITY OR PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
6. CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TEST. SUBSTITUTIONS REQUESTED BY THE CONTRACTOR SHALL BE PAID FOR BY THE CONTRACTOR.
7. INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE LATEST "ASHRAE" GUIDE.
8. ALL DUCTWORK SHALL CONFORM TO "SMACNA" STANDARDS. ALL DUCTWORK SIZES ARE NET CLEAR INSIDE DIMENSIONS. MAIN FEEDER DUCTING TO BE GALV. SHEET METAL AND SUB-FEEDER SUPPLY DUCTS OF 1" FIBERBOARD TYPE & ROUND DUCTS 1" LINED FIBERGLASS.
9. ALL MATERIALS SHALL BE NEW AND BEAR "UNDERWRITERS" LABEL, IF APPLICABLE.
10. ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN A FIRST CLASS WORKMANSHIP MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE & ACCEPTANCE BY THE ENGINEER/ARCHITECT MUST BE A CONDITION OF THE CONTRACT.
11. SUBMIT SHOP DRAWINGS OF NEW EQUIPMENT PRIOR TO INSTALLATION.
12. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCES WITH THE PROGRESS OF CONSTRUCTION.
13. AIR DISTRIBUTION ACCESSORIES SHALL BE "CARNES" OR APPROVED EQUAL.
14. ALL SUPPLY A/C DUCT ELBOWS MUST BE FURNISHED WITH APPROVED TURNING VANES.
15. BRANCH TAKEOFFS MUST BE PROVIDED WITH APPROVED, ADJUSTABLE, ACCESSIBLE AIR SPLITTER DAMPERS OR AIR EXTRACTORS.
16. RELOCATE EXISTING TEMPERATURE CONTROLS UNDER THIS CONTRACT TO ACCOMMODATE NEW FLOOR PLAN ADJUSTMENTS. MOUNT THERMOSTATS 5'0" ABOVE FINISHED FLOOR, UNLESS NOTED OTHERWISE.
17. CONTRACTOR SHALL ADJUST, TEST AND BALANCE ALL SYSTEMS.
18. ALL DUCT OR PIPE PENETRATIONS OF FIRE RATED ASSEMBLIES SHALL HAVE FIRE DAMPERS AND BE SEALED BY "UL" APPROVED METHOD CONFORMING TO "ASTM" STD. E-841.

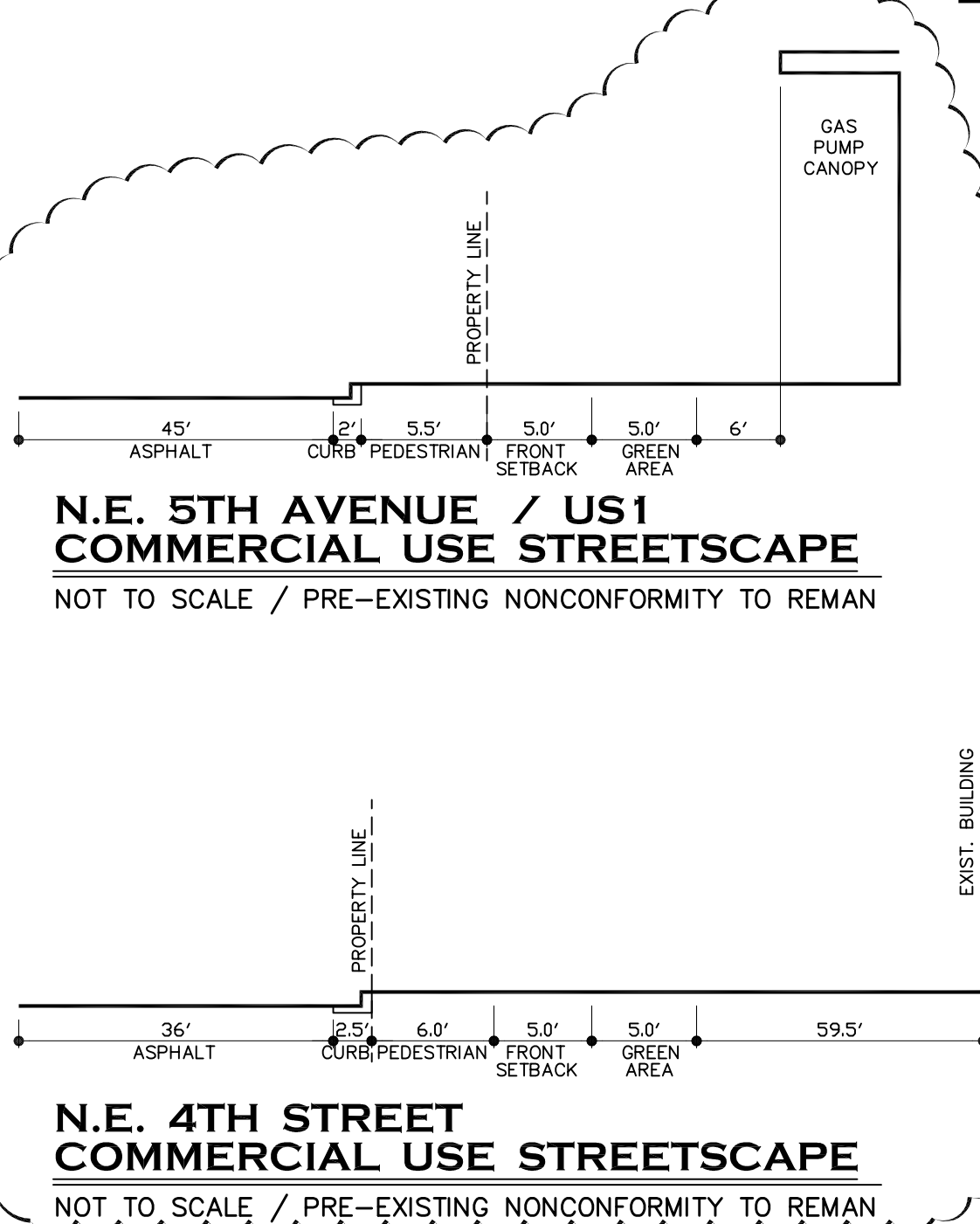
A/C EQUIPMENT:

UNIT #1	
"RHEEM"	
UNIT:	14AJM60
SEER:	14.0 SEER
COOLING:	59,100 BTUH
SENSIBLE:	44,300 BTU
ILATENT:	14,800 BTUH
HEAT:	10.0 KW.
DUCT:	R-6 FIBERGLASS
LIQUID:	3/8"
SUCTION:	1 1/8"

* WIND RESISTANCE CALC FOR A/C COMP: (-46#,42#)

FRESH AIR CALCULATIONS

FBC-M / TABLE 403.3 REQ'D OUTDOOR AIR SALES: 15 OCCUPANTS PER 1000 SQ FT
940 SQ FT / 1000 X 15 = 15 PERSONS
15 PERSONS X 15 CFM = 225 CFM (PEOPLE)
940 SQ FT X 0.12 = 113 CFM (AREA OUTDOOR)
225 CFM + 113 CFM = 338 CFM TOTAL



N.E. 4TH STREET COMMERCIAL USE STREETSCAPE

NOT TO SCALE / PRE-EXISTING NONCONFORMITY TO REMAN

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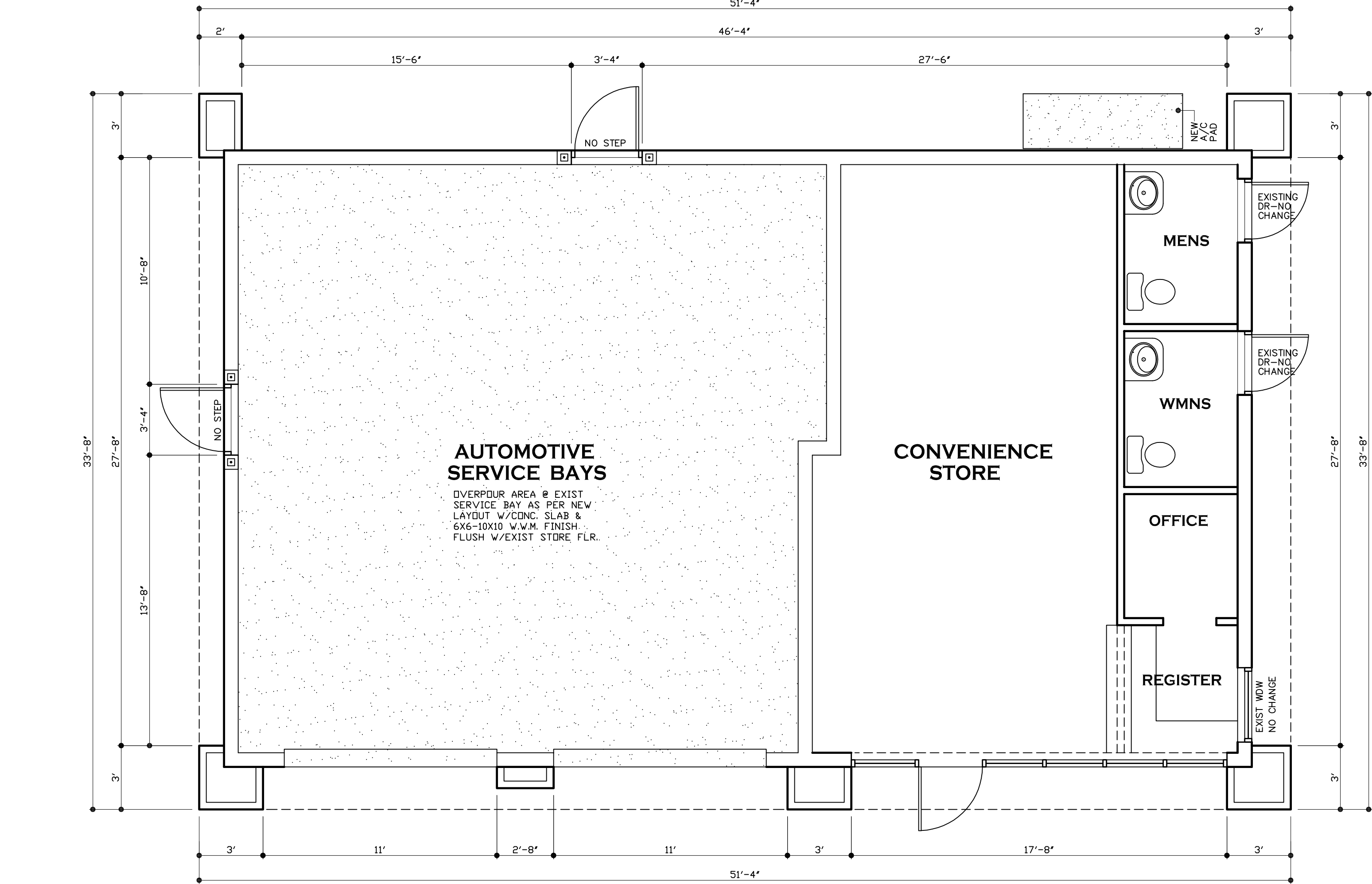
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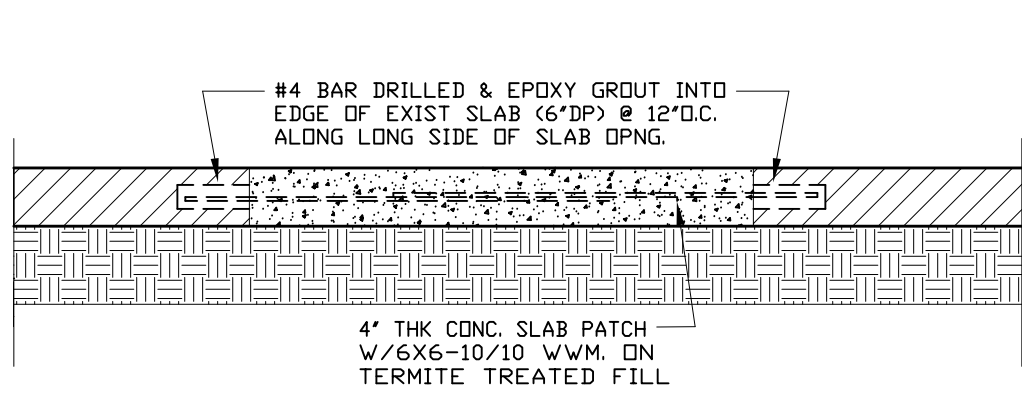
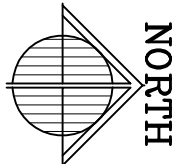
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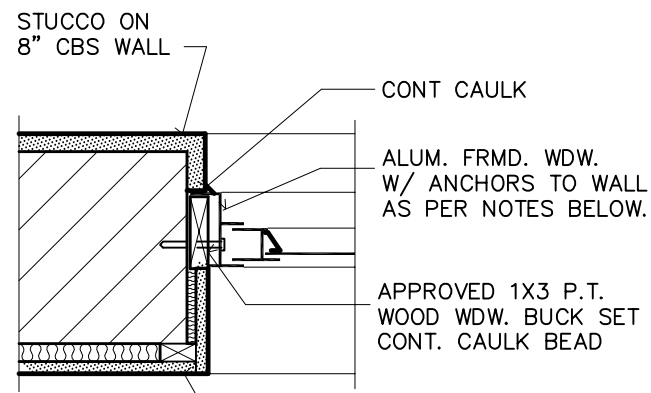
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



FLOOR SLAB PATCH DETAIL

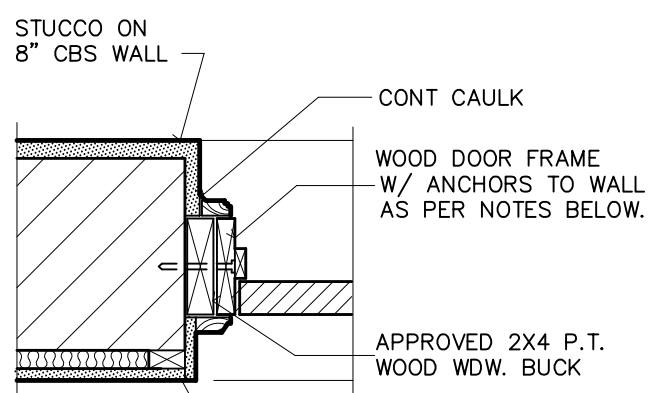
SCALE 1 1/2" = 1'-0"



CONC BLK ANCHORAGE DTL WDW DETAIL

SCALE: 1 1/2" = 1'-0"

AT MASONRY WALL: 3/16" TAPCON ANCHOR THRU WOOD BUCK WITH MIN. 3/4" PENETRATION INTO CONCRETE.
AT WOOD FRMD. WALL: #10 SMS SCREWS WITH MIN. 3/4" PENETRATION OF THE WOOD FRAMING MEMBER.



CONC BLK ANCHORAGE DTL DOOR DETAIL

SCALE: 1 1/2" = 1'-0"

ALL ANCHORAGE TO BE WITHIN 6" FROM EACH CORNER AND AS MAXIMUM OR 16" BETWEEN CENTERS. SHIMS TO BE USED TO FILL THE VOIDS AT ALL ANCHORAGE POINTS.

EXISTING AREA CALCS:

EXIST OFFICE: 68 S.F.
EXIST. RESTRMS: 78 S.F.
EXIST CASHIER: 32 S.F.
EXIST CONVENIENCE: 414 S.F.
SERVICE BAYS: 808 S.F.

TOTAL: 1400 S.F.

NEW AREA CALCS:

NEW OFFICE: 53 S.F.
EXIST. RESTRMS: 78 S.F.
NEW CASHIER: 84 S.F.
EXIST CONVENIENCE: 271 S.F.
NEW BEVERAGE CLR: 280 S.F.
NEW SANDWICH BAR: 120 S.F.
NEW DRY STORAGE: 157 S.F.

TOTAL: 1400 S.F.

DEMOLITION NOTES:

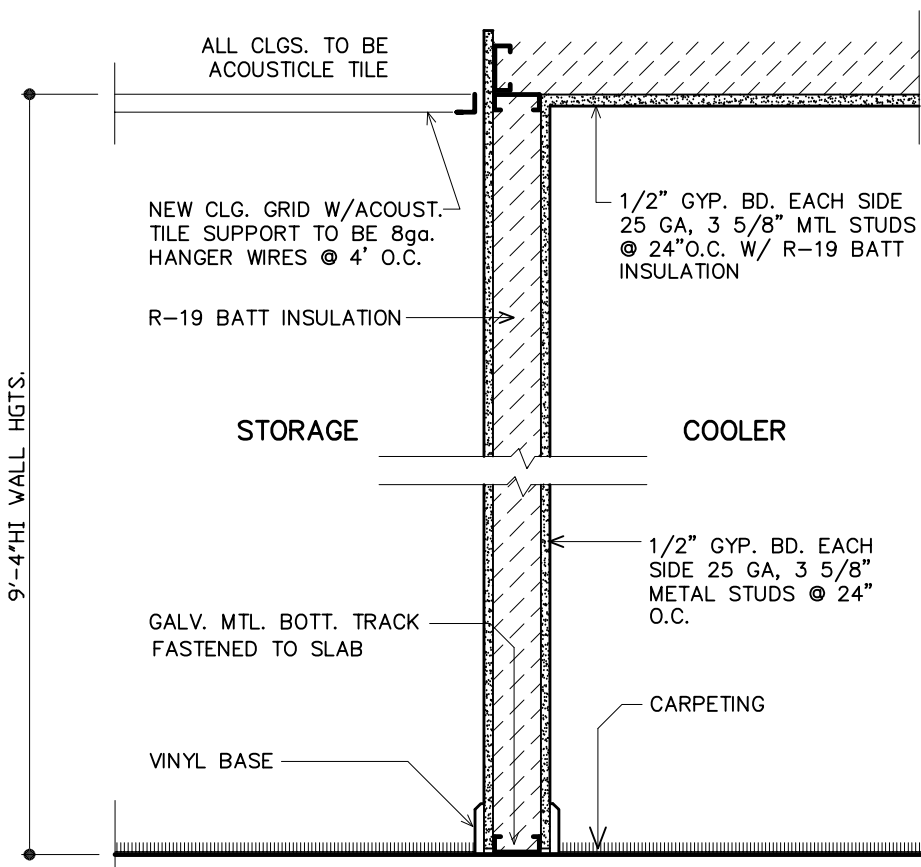
1. PROTECT ALL EXISTING BUILDING AREAS WHICH ARE NOT TO BE AFFECTED BY THE CONSTRUCTION. PROTECT ALL EXISTING STRUCTURAL ELEMENTS OF THE BUILDING FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION.
2. CLEAN UP ALL TRASH AND DEMOLISHED MATERIALS DAILY.
3. REMOVE ALL EXIST. WALLS, FLOORING FINISHES, CEILINGS, MECHANICAL AND ELECTRICAL COMPONENTS NOT TO BE REUSED IN THE AREA AS INDICATED ON THE DEMOLITION PLAN.
4. REMOVE, STORE, & PROTECT FROM DAMAGE ALL CONSTRUCTION MATERIALS, EQUIPMENT AND FIXTURES TO BE REUSED DURING CONSTRUCTION.

CODE SUMMARY INFO:

EXISTING ONE STORY TYPE III BUILDING
OCCUPANCY: "B" BUSINESS
ALTERATION LEVEL: LEVEL 2 (RECONFIG SPACE)
CONSTRUCTION TYPE: TYPE III
EXITS REQUIRED: 1 REMOTE EXITS
EXITS PROVIDED: 2 REMOTE EXITS
TRAVEL DISTANCE REQUIRED: 200 FT
TRAVEL DISTANCE PROVIDED: 75 FT

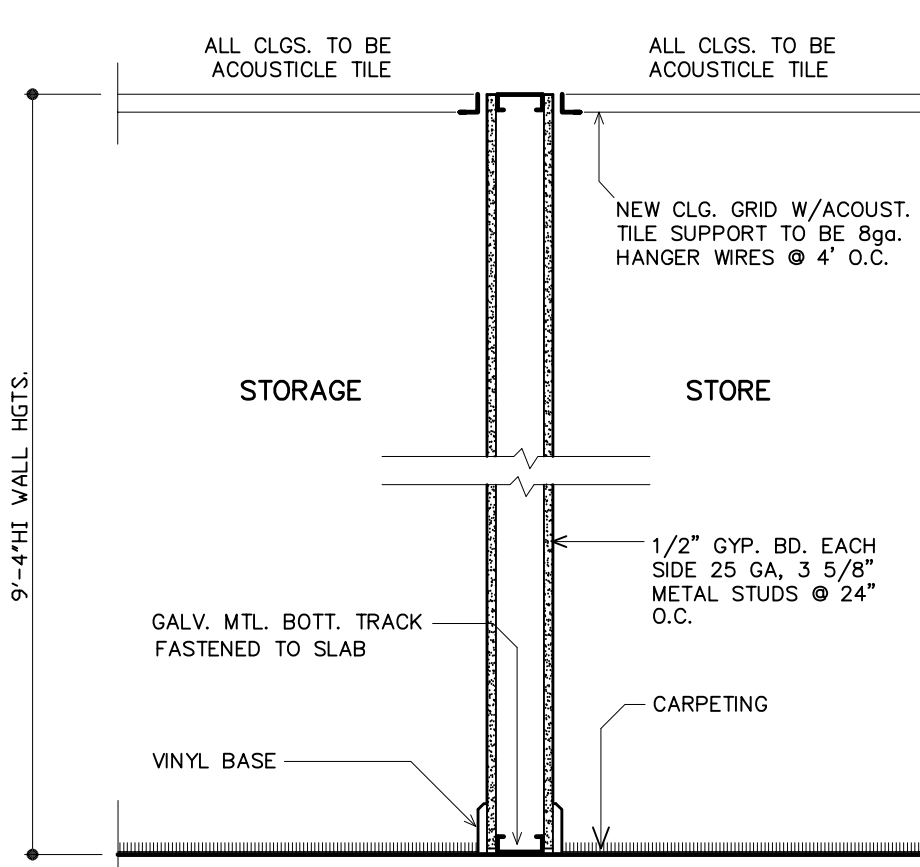
WIND DESIGN INFORMATION:

ARCHITECT: JAMES E. GILGENBACH (FL AR7457)
WIND DESIGN STANDARD: ASCE 7-10
BUILDING CODE: FL BLDG CODE 2010
DESIGN WIND SPEED: 170 MPH
DESIGN WIND VELOCITY PRESSURE: 41.1 PSF
IMPORTANCE FACTOR: 1.0
BUILDING OCCUPANCY CATEGORY: "B"
BUILDING WIND EXPOSURE CLASS: "B"
INTERNAL PRESSURE COEFFICIENT: +/- .18
TYPE OF CONSTRUCTION: CONC BLK
BUILDING DESIGNED: CONC BLDG
IMPACT PROTECTION: IMPACT
OCCUPANCY CLASSIFICATION: "R3"
TYPE OF CONSTRUCTION: "III"



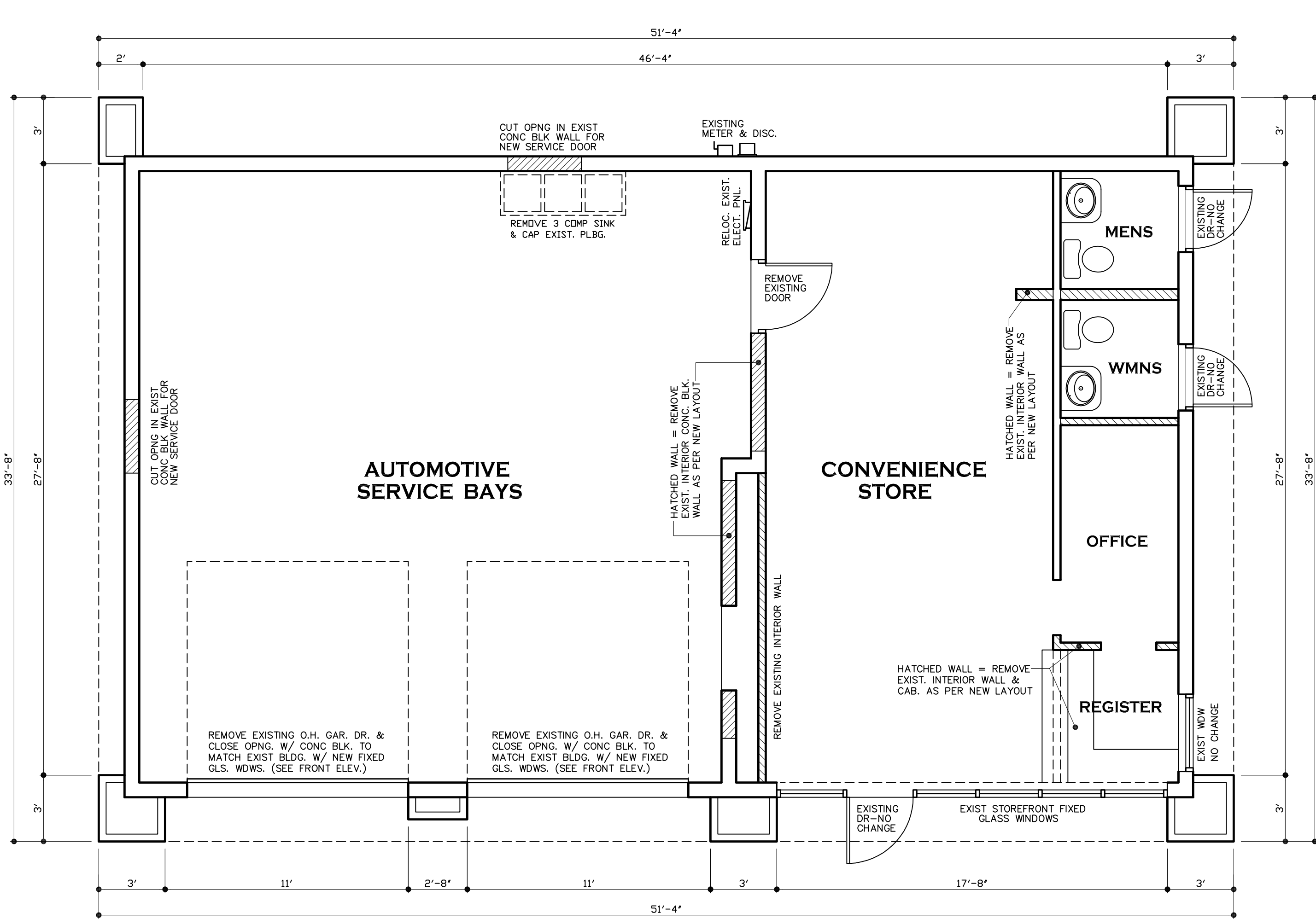
9'-4" HEIGHT TYP. INTERIOR WALL

SCALE: 3/4" = 1'-0"



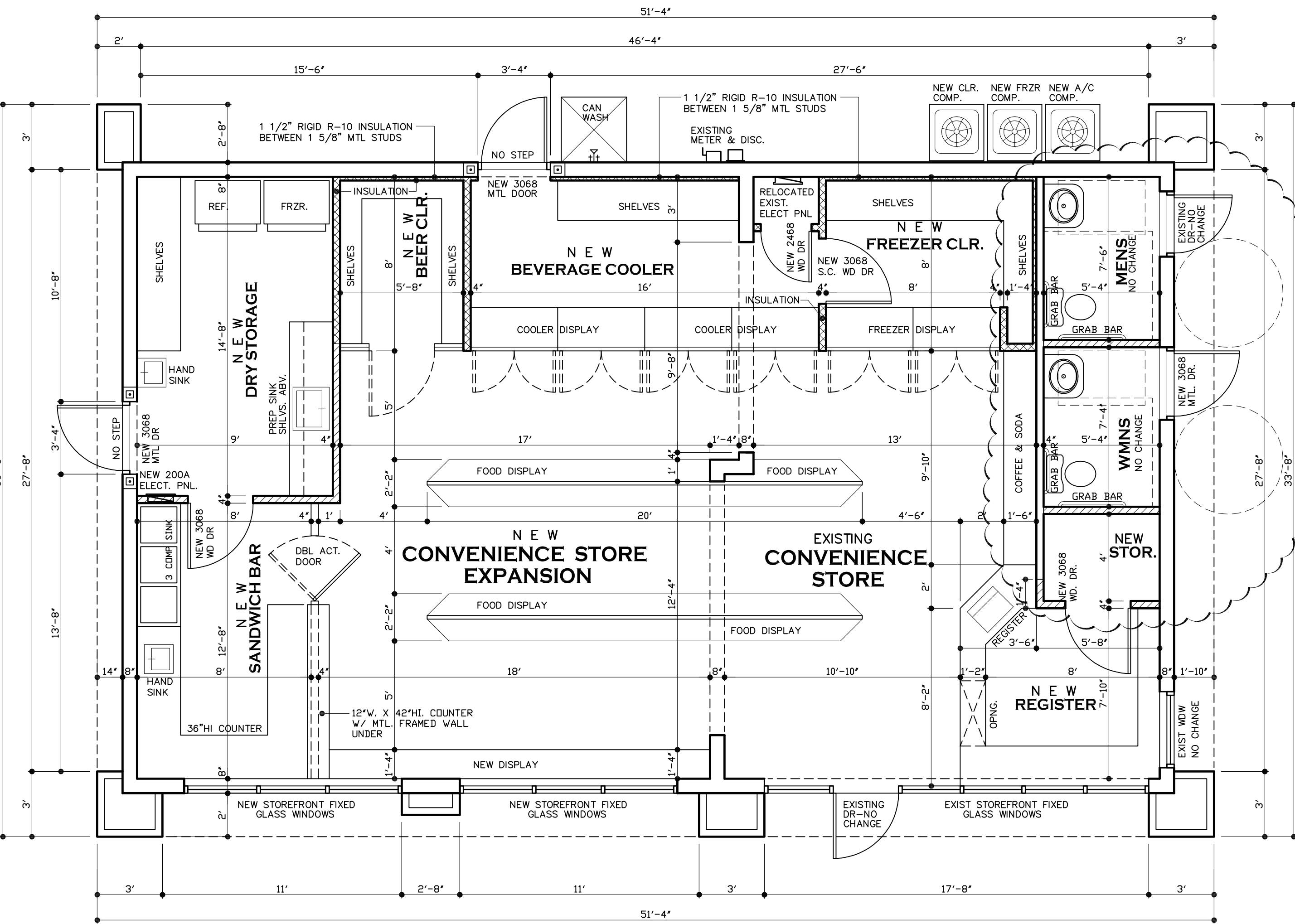
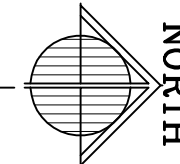
9'-4" HEIGHT TYP. INTERIOR WALL

SCALE: 3/4" = 1'-0"



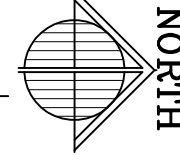
EXISTING / DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



ARCHITECTURAL FLOOR PLAN

SCALE: 1/4" = 1'-0"



JAMES E. GILGENBACH
ARCHITECTURE & PLANNING
SUITE 107
1239 E NEWPORT CENTER DR
NEWPORT CENTER DR
DEERFIELD BEACH
FLORIDA 33442
(954) 426 - 1652

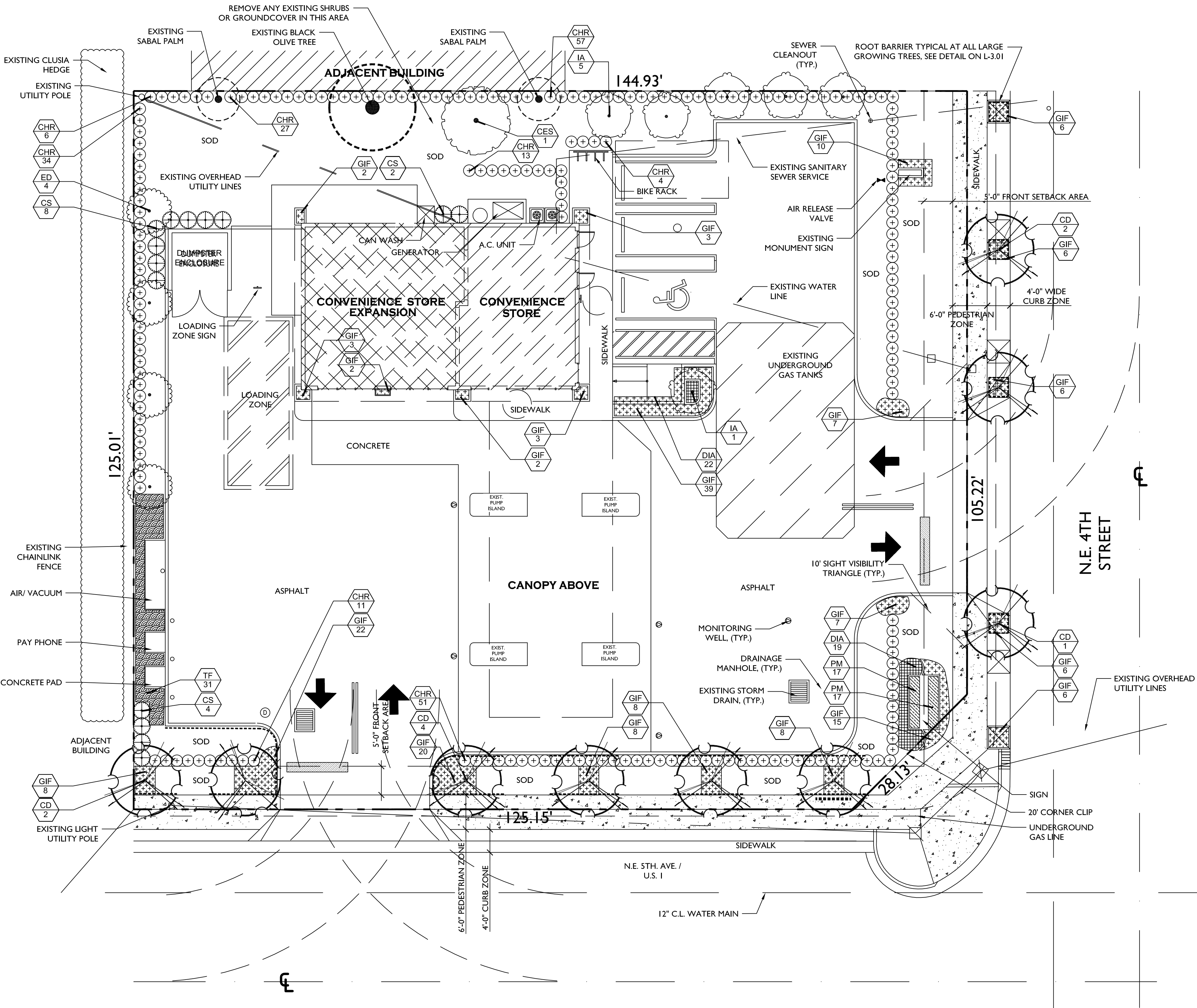
ARCHITECT
AR-7457

REVISIONS:
REV. 1/4/2016
AS PER BLDG DEPT

1. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER ALL SCALED DIMENSIONS.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS & ADVISE ARCHITECT OF ANY DISCREPANCIES.
3. NO MATERIALS OR SYSTEMS ARE TO BE FABRICATED UNTIL SAID DISCREPANCIES HAVE BEEN RESOLVED BY ARCHITECT.
4. ALL DIMENSIONS HAVE BEEN REVIEWED BY THE CONTRACTOR. 3 SHEET DRAWINGS HAVE BEEN REVIEWED & ACCEPTED BY THE ARCHITECT.

CONVENIENCE STORE RENOVATION FOR THE
GASLAND SERVICE STATION
388 NORTHEAST 5TH AVENUE, DELRAY BEACH, FLORIDA
HIGHLAND PARK - DELRAY BEACH COUNTY, FLORIDA

DATE: 29 FEB '16
PROJECT NO: 10 - 540
SHEET: A2
of 4



PLANT SCHEDULE

NATIVE	TREES	QTY	COMMON NAME	BOTANICAL NAME	REMARKS
YES	CD	9	Pigeon Plum	Coccoloba diversifolia	16" HT. X MIN. 7" SPRD., MIN. 6" SINGLE STRAIGHT TRUNK W/ 8" C.T.
YES	CES	1	Silver Buttonwood	Conocarpus erectus sericeus	16" HT. X MIN. 7" SPRD., MIN. 6" SINGLE STRAIGHT TRUNK W/ 8" C.T.
NO	ED	4	Japanese Blueberry Standard	Elaeocarpus decipiens	16" HT. X MIN. 7" SPRD., MIN. 6" SINGLE STRAIGHT TRUNK W/ 8" C.T.
YES	IA	6	East Palatka Holly	Ilex x attenuata 'East Palatka'	16" HT. X MIN. 7" SPRD., MIN. 6" SINGLE STRAIGHT TRUNK W/ 8" C.T.
YES	SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	REMARKS
YES	CHR	203	Green Cocoplum	Chrysobalanus icaco	24" HT. X 24" SPRD., FULL HEDGE
YES	CS	14	Small-Leaf Clusia	Clusia flava	60" HT. X 36"-48" SPRD., FULL HEDGE
NO	SHRUB AREAS	QTY	COMMON NAME	BOTANICAL NAME	REMARKS
NO	PM	34	Podocarpus	Podocarpus macrophyllus 'Maki'	36" HT. X 12" SPRD. @ 12" O.C., FULL, CONTINUOUS HEDGE
NO	GROUND COVERS	QTY	COMMON NAME	BOTANICAL NAME	REMARKS
NO	DIA	41	Blueberry Flax Lily	Dianella tasmanica 'Blueberry'	18" HT. X 18" SPRD. @ 18" O.C.
NO	GIF	197	Green Island Ficus	Ficus microcarpa "Green Island"	16" HT. X 16" SPRD. @ 18" O.C.
YES	TF	31	Dwarf Fakahatchee Grass	Tripsacum floridanum	18" HT. X 18" SPRD. @ 24" O.C.

L.D.R. LANDSCAPE REQUIREMENTS CHART

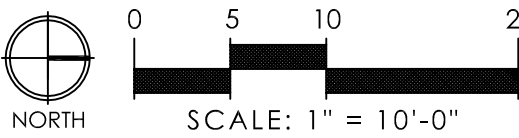
ITEM	DESCRIPTION	CALCULATION	VALUE
A	TOTAL LOT AREA	N/A	17,921 S.F.
B	STRUCTURES, PARKING, WALKWAYS, DRIVES, ETC.	N/A	14,938 S.F.
C	TOTAL PERVIOUS LOT AREA	C=(A-B)	2,983 S.F.
D	AREA OF SHRUBS AND GROUND COVERS REQUIRED	D=(C x .30)	895 S.F.
E	AREA OF SHRUBS AND GROUND COVERS PROVIDED	N/A	1,700 S.F.
F	NATIVE VEGETATION REQUIRED	F=(D x .25)	224 S.F.
G	NATIVE VEGETATION PROVIDED	N/A	1,094 S.F.
H	TOTAL PAVED VEHICULAR USE AREA	N/A	13,538 S.F.
I	TOTAL INTERIOR LANDSCAPE AREA REQUIRED	I=(H x .10)	1,354 S.F.
J	TOTAL INTERIOR LANDSCAPE AREA PROVIDED	N/A	3,689 S.F.
K	TOTAL INTERIOR SHADE TREES REQUIRED	K=(I /125 S.F.)	11 TREES
L	TOTAL INTERIOR SHADE TREES PROVIDED	N/A	11 TREES
M	TOTAL LINEAR FEET SURROUNDING PARKING OR VEHICULAR USE AREAS	N/A	258 L.F.
N	TOTAL NUMBER OF PERIMETER TREES REQUIRED	N=(M/30)	9 TREES
O	TOTAL NUMBER OF PERIMETER TREES PROVIDED	N/A	9 TREES
P	TOTAL NUMBER OF EXISTING TREES TO BE SAVED OF SITE	N/A	3 TREES 2 SABAL PALMS 1 BLACK OLIVE
Q	TOTAL NUMBER OF NATIVE TREES REQUIRED	Q=[(K+N) x .50]	10 TREES
R	TOTAL NUMBER OF NATIVE TREES PROVIDED	N/A	16 TREES
S	TOTAL NUMBER OF TREES ON PLAN PROVIDED	N/A	23 TREES 3 EXISTING 20 PROPOSED

LANDSCAPE / DISPOSITION PLAN

NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES, ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON PRACTICES AND LOCAL CODES. MAUREEN SMITH IS NOT A CIVIL ENGINEER OR CERTIFIED ARBORIST. SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. MAUREEN SMITH LANDSCAPE ARCHITECT "WILL BE HELD HARMLESS" FROM ANY AND ALL SITE CONSTRUCTION INCLUDING TREES AND THEIR WORK THAT TAKES PLACE ON THIS PROJECT. BY USING THIS DRAWING MAUREEN SMITH IS RELEASED OF ANY RESPONSIBILITY ON SITE.

THE CONTRACT DOCUMENT IS PROVIDED "AS IS" WITHOUT ANY GUARANTEE, REPRESENTATION, CONDITION OR WARRANTY OF ANY KIND. EITHER EXPRESSED OR IMPLIED OR STATUTORY. MAUREEN SMITH LANDSCAPE ARCHITECT ASSUMES NO LIABILITY WITH RESPECT TO ANY RELIANCE BEING PLACED ON CONTRACT DOCUMENTS BY RELYING ON THE CONTRACT DOCUMENTS IN ANY WAY. THE CONTRACTOR ASSUMES THE ENTIRE RISK AS TO THE TRUTH, ACCURACY, CURRENCY, OR THE COMPLETENESS OF THE INFORMATION CONTAINED IN THE CONTRACT DOCUMENTS.

THE CONSTRUCTION OF SIDEWALK CUT OUTS FOR TREE PLANTING ARE THE REQUIREMENT OF THE CITY OF BOYNTON BEACH AND NOT THE LANDSCAPE ARCHITECTS. THE LANDSCAPE ARCHITECT WILL NOT BE HELD RESPONSIBLE FOR LIGHTING, IRRIGATION AND MOVERIES & PROTECTION OF TREE ROOTS IN THE SIDEWALK CUTOUTS. MAUREEN SMITH IS NOT RESPONSIBLE FOR EXPOSED TREE ROOTS, CRACKING SIDEWALKS, CURBS, PAVING OR TREE HAZARDS.



MAUREEN SMITH,
LANDSCAPE ARCHITECT
968 DOGWOOD DRIVE
DELRAY BEACH, FLORIDA 33483
OFFICE: 561.279.4114
CELL: 561.271.8933
Florida registration #6667056
www.maureensmithla.com

GASLAND CONVENIENCE STORE
398 N.E. 5TH AVENUE
DELRAY BEACH, FLORIDA

Revisions:
2017-12-01 INITIAL SUBMITTAL
1. 2018-04-10 RESUBMITTAL

Seal:

Lic. # LA6667056
Member: A.S.L.A.

DRAWING: LANDSCAPE PLAN,
PLANT SCHEDULE & L.D.R.
LANDSCAPE REQUIREMENTS CHART

PROJECT NAME: GASLAND
CONVENIENCE STORE

Date: 3/19/2019
Drawn by: M.R.S.
Sheet No.: LP-1.01

Landscape Planting - Part I. General

I. Description of Work

- A. Provide all exterior planting as shown on the drawings or inferable therefrom and/or as specified in accordance with the requirements of the Contract Documents. Landscape plans provided indicate the proposed location of living plant material only. Structural elements and hardscape features indicated on the landscape plans are for information purposes only. Landscape plans are not to be utilized for staking and layout or location of any structural site features including but not limited to, buildings, signage, pathways, easements, utilities or roadways.
- B. These specifications include standards necessary for and incidental to the execution and completion of planting as indicated on the prepared drawings and specified herein.
- C. All applicable federal, state and local permits shall be attained prior to the removal, relocation, or installation of plant materials indicated within the plan documents.
- D. Protection of existing trees, shrubs, and other specified vegetation, site features and improvements, structures, and utilities specified herein and/or on submitted drawings. Removal or destruction of existing plantings is prohibited unless specifically authorized by the owner, and with permit as required by associated federal, state and local government agencies.

II. Applicable Standards

- A. American National Standards for Tree Care Operations, ANSI A300. American National Standards Institute, 11 West 42nd Street, New York, N.Y. 10036.
- B. American Standard for Nursery Stock, ANSI Z60.1, American Nursery and Landscape Association, 1250 Eye Street, NW, Suite 500, Washington, D.C. 20005.
- C. Hortus Third, The Staff of the L.H. Bailey Hortorum, 1978, Macmillan Publishing Co., New York.
- D. Florida Department of Agriculture "Grades and Standards for Nursery Plants", most recent addition.
- E. National Arborist Association-Pruning Standards for Shade Trees
- F. All standards shall include the latest additions and amendments as of the date of advertisement for bids

III. Qualifications

- A. Landscape planting and related work shall be performed by a firm with a minimum of five years experience specializing in this type of work. All contractors and their sub-contractors who will be performing any landscape work included in this section of the specification shall be approved by the landscape architect.
- B. Landscape Contractor shall be licensed and shall carry any necessary insurance and shall protect the Landscape Architect and Owner against all liabilities, claims or demands for injuries or damage to any person or property growing out of the performance of the work under this contract. All workers shall be covered by Workman's Compensation Insurance.
- C. Requirements of Regulatory Agencies
- D. Certificates of inspection shall accompany the invoice for each shipment of plants as may be required by law for transportation. File certificates with the landscape architect prior to acceptance of the material. Inspection by federal or state authorities at place of growth does not preclude rejection of the plants at the site.

V. Submittals

- A. Manufacturer's Data: Submit copies of the manufacturer's and/or source data for all materials specified, including soils, soil amendments and fertilizer materials. Comply with regulations applicable to landscape materials.
- B. Samples: Submit samples of all topsoil, soil mixes, mulches, and organic materials. Samples shall weigh 1 kg (2 lb) and be packaged in plastic bags. Samples shall be typical of the lot of material to be delivered to the site and provide an accurate indication of color, texture, and organic makeup of the material.
- C. Nursery Sources: Submit a list of all nurseries that will supply plants, along with a list of the plants they will provide and the location of the nursery.
- D. Soil Test: Submit soil test analysis report for each sample of topsoil and planting mix from a soil testing laboratory approved by the landscape architect.
1. Provide a particle size analysis, including the following gradient of mineral content:
- | USDA Designation | Size in mm |
|------------------|--------------------|
| Gravel | +2 mm |
| Very Course Sand | 1-2 mm |
| Coarse Sand | 0.5-1 mm |
| Medium Sand | 0.25-0.5 mm |
| Fine Sand | 0.1-0.25 mm |
| Very fine sand | 0.05-0.1 mm |
| Silt | 0.002-0.05 mm |
| Clay | smaller than 0.002 |
2. Provide a chemical analysis, including the following:
- a. pH and buffer pH
- b. Percentage of organic content by oven-dried weight.
- c. Nutrient levels by parts per million, including phosphorus, potassium magnesium, manganese, iron, zinc, and calcium. Nutrient test shall include the testing laboratory recommendations for supplemental additions to the soil based on the requirements of horticultural plants.
- d. Soluble salt by electrical conductivity of a 1:2, soil: water, sample measured in millimho per cm.
- e. Cation exchange capacity (CEC).
- E. Material Testing: Submit the manufacturers particle size analysis, and the pH analysis and provide a description and source location for the content material of all organic materials.
- F. Maintenance Instructions: Prior to the end of maintenance period, Landscape Contractor shall furnish three copies of written maintenance instructions to the Landscape Architect for transmittal to the Owner for maintenance and care of installed plants through their full growing season.

VI. Utility Verification

- A. The contractor shall contact the local utility companies for verification of the location of all underground utility lines in the area of the work. The contractor shall be responsible for all damage resulting from neglect or failure to comply with this requirement.
- Part 2. Materials**

I. Plants

- A. Plants shall be true to species and variety specified and nursery-grown in accordance with good horticultural practices under climatic conditions similar to those in the locality of the project for at least two years. They shall have been freshly dug.
1. All plant names and descriptions shall be as defined in Hortus Third.
2. All plants shall be grown and harvested in accordance with the American Standard for Nursery Stock and Florida Department of Agriculture Grades and Standards for Nursery Plants.
3. Unless approved by the landscape architect, plants shall have been grown at a latitude not more than 325 km (200 miles) north or south of the latitude of the project unless the provenance of the plant can be documented to be compatible with the latitude and cold hardness zone of the planting location.
- B. Unless specifically noted, all plants shall be exceptionally heavy, symmetrical, and so trained or favored in development and appearance as to be unquestionably and outstandingly superior in form, compactness, and symmetry. They shall be sound, healthy, vigorous, well branched, and densely foliated when in leaf; free of disease and insects, eggs, or larvae; and shall have healthy, well-developed root systems. They shall be free from physical damage or other conditions that would prevent vigorous growth.
1. Trees with multiple leaders, unless specified, will be rejected. Trees with a damaged or crooked leader, bark abrasions, sunscald, disfiguring knots, insect damage, or cuts of limbs over 20 mm (3/4 in.) in diameter that are not completely closed will be rejected.
- C. Plants shall conform to the measurements specified, except that plants larger than those specified may be used if approved by the landscape architect. Use of larger plants shall not increase the contract price. If larger plants are approved, the root ball shall be increased in proportion to the size of the plant.
1. Caliper measurements shall be taken on the trunk 150 mm (6 in.) above the natural ground line for trees up to and including 100 mm (4 in.) in caliper, and 300 mm (12 in.) above the natural ground line for trees over 100 mm (4 in.) in caliper. Height and spread dimensions specified refer to the main body of the plant and not from branch tip to branch tip. Plants shall be measured when branches are in their normal position. If a range of sizes is given, no plant shall be less than the minimum size, and no less than 50 percent of the plants shall be as large as the maximum size specified. Measurements specified are minimum sizes acceptable after pruning, where pruning is required. Plants that meet measurements but do not possess a standard relationship between height and spread, according to the Florida Department of Agriculture Grades and Standards for Nursery Plants, shall be rejected.
- D. Substitutions of plant materials will not be permitted unless authorized in writing by the landscape architect. If proof is submitted in writing that a plant specified is not obtainable, consideration will be given to the nearest available size or similar variety, with a corresponding adjustment of the contract price.
- E. The plant schedule provided at the end of this section, or on the drawing, is for the contractor's information only, and no guarantee is expressed or implied that quantities therein are correct or that the list is complete. The contractor shall ensure that all plant materials shown on the drawings are included in his or her bid.
- F. All plants shall be labeled by plant name. Labels shall be attached securely to all plants, bundles, and containers of plant materials when delivered. Plant labels shall be durable and legible, with information given in weather-resistant ink or embossed process lettering.

G. Selection and Tagging

1. Plants shall be subject to inspection for conformity to specification requirements and approval by the landscape architect at their place of growth and upon delivery. Such approval shall not impair the right of inspection and rejection during progress of the work.
2. A written request for the inspection of plant material at their place of growth shall be submitted to the landscape architect at least ten calendar days prior to digging. This request shall state the place of growth and the quantity of plants to be inspected. The landscape architect may refuse inspection at this time if, in his or her judgment, sufficient quantities of plants are not available for inspection or landscape architect deems inspection is not required.
3. All field grown deciduous trees shall be marked to indicate the trees north orientation in the nursery. Place a 1-in. diameter spot of white paint onto the north side of the tree trunk within the bottom 12 inches of the trunk.

H. Anti-Desiccants

1. Anti-desiccants, if specified, are to be applied to plants in full leaf immediately before digging or as required by the landscape architect. Anti-desiccants are to be sprayed so that all leaves and branches are covered with a continuous protective film.

I. Balled and Burlapped (B&B) Plant Materials

1. Trees designated B&B shall be properly dug with firm, natural balls of soil retaining as many fibrous roots as possible, in sizes and shapes as specified in the Florida Department of Agriculture Grades and Standards for Nursery Plants. Balls shall be firmly wrapped with synthetic, natural, or treated burlap, and/or wire. All synthetic fabric should be removed from the rootball prior to planting. True biodegradable burlap can be left around the root ball. The root collar shall be apparent at surface of ball. Trees with loose, broken, processed, or manufactured root balls will not be accepted, except with special written approval before planting.

J. Container Plants

1. Plants grown in containers shall be of appropriate size for the container as specified in the most recent edition of the Florida Department of Agriculture Grades and Standards for Nursery Plants and be free of circling roots on the exterior and interior of the root ball.
2. Container plants shall have been grown in the container long enough to have established roots throughout the growing medium.

K. Bareroot and Collected Plants

1. Plants designated as bareroot or collected plants shall conform to the American Standard for Nursery Stock.
2. Bareroot material shall not be dug or installed after bud break or before dormancy.
3. Collected plant material that has not been taken from active nursery operations shall be dug with a root ball spread at least 1/3 greater than nursery grown plants. When specified or approved, shall be in good health, free from disease, insect or weed infestation and shall not be planted before inspection and acceptance at the site. Testing may be required at the discretion of the Landscape Architect and/or the Owner and shall be provided at no additional cost.
- L. Specimen Material: Plant material specified as specimens are to be approved by the Landscape Architect before being brought to the site. Unless otherwise noted on the drawings, these plants shall be Florida Fancy.
- M. Palms
1. Coconut Palms shall be grown from a certified seed.
2. All palm species except Sabal palmetto shall have roots adequately wrapped before transporting.
3. Sabal palms shall have a hurricane cut. Sabal palms shall be installed on site at the earliest opportunity in the construction process. All Sabal palms shall be from Palm Beach County or other sandy soils. All Sabal palms shall be Florida Fancy.
4. For booted trunk palms, trunks shall have clean intact boots firmly attached to the palm trunk. For slick trunk palms, trunk shall be clear and free from defect and scars.
5. The Contractor shall treat all palms as required to prevent infestation by the palmetto weevil.

N. Sod

1. Sod shall be graded #1 or better. Sod shall be loam or muck grown with a firm, full texture and good root development. Sod shall be thick, healthy and free from defects and debris including but not limited to dead thatch, insects, fungus, diseases and contamination by weeds, other grass varieties or objectionable plant material.
2. Sod shall be sufficiently thick to insure a dense stand of live grass. Sod shall be live, fresh, and uninjured at the time of planting. Plant sod within 48 hours after harvesting.
3. Sod area shall be all areas not otherwise identified and shall include the area beyond the property line to the edge of pavement and/or edge of water.
- O. Immediately after harvesting plants, protect from drying and damage until shipped and delivered to the planting site. Rootballs shall be checked regularly and watered sufficiently to maintain root viability.
- P. Transportation and Storage of Plant Material
1. Branches shall be tied with rope or twine only, and in such a manner that no damage will occur to the bark or branches.
2. During transportation of plant material, the contractor shall exercise care to prevent injury and drying out of the trees. Should the roots be dried out, large branches broken, balls of earth broken or loosened, or areas of bark torn, the landscape architect may reject the injured tree(s) and order them replaced at an additional cost to the owner. All loads of plants shall be covered at all times with tarpaulin or canvas. Loads that are not protected will be rejected.
3. All bareroot stock sent from the storage facility shall be adequately covered with wet soil, sawdust, woodchips, moss, peat, straw, hay, or other acceptable moisture-holding medium, and shall be covered with a tarpaulin or canvas. Loads that are not protected in the above manner may be rejected.
4. Plants must be protected at all times from sun or drying winds. Those that cannot be planted immediately on delivery shall be kept in the shade, well protected with soil, wet mulch, or other acceptable material, and kept well watered. Plants shall not remain unplanted any longer than three days after delivery. Plants shall not be bound with wire or rope at any time so as to damage the bark or break branches. Plants shall be lifted and handled with suitable support of the soil ball to avoid damaging it.

Q. Mechanized Tree Spade Requirements

- Trees may be moved and planted with an approved mechanical tree spade. The tree spade shall move trees limited to the maximum size allowed for a similar B&B root-ball diameter according to the American Standard for Nursery Stock or the manufacturer's maximum size recommendation for the tree spade being used, whichever is smaller. The machine shall be approved by the landscape architect prior to use. Trees shall be planted at the designated locations in the manner shown in the plans and in accordance with applicable sections of the specifications.

II. Materials for Planting

- A. Mulch: Except as otherwise specified, mulch shall be shredded Melaleuca mulch - grade "A". All Melaleuca mulch shall be made entirely from the wood and bark of the Melaleuca quinquinervia tree. It shall not contain more than 10% bark (by volume). Shreds and chips shall not be larger than 3/4" diameter and 1 1/2" in length. Mulch shall be free of weeds, seeds, and any other organic or inorganic material other than Melaleuca wood and bark. It shall not contain stones or other foreign material that will prevent its eventual decay. This shall be applied to all planted areas where indicated so that, after installation, the mulch thickness will not be less than 3". Submit sample for approval.
- B. Peat: Shall be horticultural peat composed of not less than 60% decomposed organic matter by weight, on an oven dried basis. Peat shall be delivered to the site in a workable condition free from lumps.
- C. Gravel Mulch: Use only where specifically indicated on the plans of the size and type shown. Unless otherwise specified it shall be water-worn, hard durable gravel, washed free of loam, sand, clay and other foreign substances. It shall be a minimum of 3" deep and shall be contained with edging or other approved gravel stop as indicated on the plans. It shall be a maximum of 1 1/2", a minimum of 3/4" and of a readily-available natural gravel color range. Provide geotextile filter fabric below aggregate rock. Submit sample for approval.
- D. Root Barrier: Where specified, root barriers shall be installed on all tree and palm material in accordance with the root barrier detail provided within the plan drawings. Root barriers shall comply with all requirements of the municipality within which they are located as well as with any utility holder requirements of any affected utilities. In the event that conflicting requirements exist between the root barrier detail provided within the plan documents and the municipality/utility holder requirements, the more stringent of the requirements shall be applicable.
- E. Planter Edging: Use only where specifically indicated on plans. Edging shall be the color black.
- F. Anti-desiccant: shall be an emulsion specifically manufactured for agricultural use, which provides a protective film over plant surfaces. Anti-desiccants shall be delivered in containers of the manufacturer and shall be mixed according to the manufacturer's directions. Submit manufacturer literature for approval.

III. Materials for Soil Amendment

- A. Pine Bark: Horticultural-grade milled pine bark, with 80 percent of the material by volume sized between 0.1 and 15.0 mm.
1. Pine bark shall be aged sufficiently to break down all woody material. Pine bark shall be screened.
2. pH shall range between 4 and 7.0.
3. Submit manufacturer literature for approval.
- B. Organic Matter: Leaf matter and yard waste composted sufficiently to break down all woody fibers, seeds, and leaf structures, and free of toxic and nonorganic material. Organic matter shall be commercially prepared compost. Submit 0.5 kg (1 lb) sample and suppliers literature for approval.
- C. Course Sand: Course concrete sand, ASTM C-33 Fine Aggregate, with a Fines Modulus Index of 2.75 or greater.
1. Sands shall be clean, sharp, natural sands free of limestone, shale and slate particles.
2. Provide the following particle size distribution:
- | Sieve | Percentage Passing |
|-------------------|--------------------|
| 3/8 in (9.5 mm) | 100 |
| No. 4 (4.75 mm) | 95-100 |
| No. 8 (2.36 mm) | 80-100 |
| No. 16 (1.18 mm) | 50-85 |
| No. 30 (0.60 mm) | 25-60 |
| No. 50 (0.30 mm) | 10-30 |
| No. 100 (0.15 mm) | 2-10 |
- D. Lime: shall be ground, palletized, or pulverized lime manufactured to meet agricultural standards and contain a maximum of 60 percent oxide (i.e. calcium oxide plus magnesium oxide). Submit manufacturer literature for approval.
- E. Sulfur: shall be flowers of sulfur, pelletized or granular sulfur, or iron sulfate. Submit manufacturer literature for approval.
- F. Fertilizer: Agricultural fertilizer of a formula indicated by the soil test. Fertilizers shall be organic, slow-release compositions whenever applicable. Submit manufacturer literature for approval.

IV. Planting Mix

- A. Planting Mix
1. Planting Mix for Trees, Shrubs, Groundcovers and vines: Check with landscape architect for appropriate mixture.
2. Planting Mix for Palms: Mixture of course sand and peat mixed to the following proportion:
- | Component | Percent by Volume |
|-------------|-------------------|
| Coarse Sand | 75% |
| Peat | 25% |
- B. Planting mix shall be thoroughly mixed, screened, and shredded.
- C. Prior to beginning the mixing process, submit a 1-kg (2-lb) sample of the proposed mix with soil test results that indicate the mix ratio and the results achieved.
- D. During the mixing process but prior to installing the mix, submit a 1-kg (2-lb) sample mix for each 200 cubic meters (250 cubic yards) of planting mix, taken randomly from the finished soil mix, with soil test results for approval. In the event that the test results do not meet the required particle size distribution, remix and resubmit a revised planting mix.
- E. Make all amendments of lime/sulfur and fertilizer indicated by the soil test results at the time of mixing.
- F. All mixing shall take place in the contractors yard, using commercial mixing equipment sufficient to thoroughly mix all components uniformly
- G. Protect the planting mix from erosion prior to installation.

Part 3. Execution

I. Excavation of Planted Areas

- A. Locations for plants and/or outlines of areas to be planted are to be staked out at the site. Locate and mark all subsurface utility lines. Approval of the stakeout by the landscape architect is required before excavation begins.
- B. Tree, shrub, and groundcover beds are to be excavated to the depth and widths indicated on the landscape plan detail drawings. If the planting area under any tree is initially dug too deep, the soil added to bring it up to the correct level should be thoroughly tamped.
1. The sides of the excavation of all planting areas shall be sloped at a 45 degrees. The bottom of all beds shall slope parallel to the proposed grades or toward any subsurface drain lines within the planting bed. The bottom of the planting bed directly under any tree shall be horizontal such that the tree sits plumb.
2. Maintain all required angles of repose of the adjacent materials as shown on the drawings. Do not excavate compacted subgrades of adjacent pavement or structures.
3. Subgrade soils shall be separated from the topsoil, removed from the area, and not used as backfill in any planted or lawn area. Excavations shall not be left uncovered or unprotected overnight.
- C. For trees and shrubs planted in individual holes in areas of good soil that is to remain in place and/or to receive amendment in the top 150 mm (6 in.) layer, excavate the hole to the depth of the root ball and to widths shown on the drawing. Slope the sides of the excavation at a 45 degree angle up and away from the bottom of the excavation.
1. In areas of slowly draining soils, the root ball may be set up to 75 mm (3 in.) or 1/8 of the depth of the root ball above the adjacent soil level.
2. Save the existing soil to be used as backfill around the tree.
3. On steep slopes, the depth of the excavation shall be measured at the center of the hole and the excavation dug as shown on the drawings.
- D. Detrimental soil conditions: The landscape architect is to be notified, in writing, of soil conditions encountered, including poor drainage, that the contractor considers detrimental to the growth of plant material. When detrimental conditions are uncovered, planting shall be discontinued until instructions to resolve the conditions are received from the landscape architect.
- E. Obstructions: If rock, underground construction work, utilities, tree roots, or other obstructions are encountered in the excavation of planting areas, alternate locations for any planting shall be determined by the landscape architect.

II. Installation of Planting Mix

- A. Prior to the installation of the planting mix, install subsurface drains, irrigation main lines, lateral lines, and irrigation risers shown on the drawings.
- B. The landscape architect shall review the preparation of subgrades prior to the installation of planting mix.
- C. Do not proceed with the installation of planting mix until all utility work in the area has been installed.
- D. Protect adjacent walls, walks, and utilities from damage or staining by the soil. Use 12-mm (1/2 in.) plywood and/or plastic sheeting as directed to cover existing concrete, metal, masonry work, and other items as directed during the progress of the work.
1. Clean up any soil or dirt spilled on any paved surface at the end of each working day.
2. Any damage to the paving or architectural work caused by the soils installation contractor shall be repaired by the general contractor at the soils installation contractors expense.
- E. Till the subsoil into the bottom layer of topsoil or planting mix.
1. Loosen the soil of the subgrade to a depth of 50 to 75 mm (2 to 3 in.) with a rototiller or other suitable device.
2. Spread a layer of the specified topsoil or planting mix 50 mm (2 in.) deep over the subgrade. Thoroughly till the planting mix and the subgrade together.
3. Immediately install the remaining topsoil or planting mix in accordance with the following specifications. Protect the tilled area from traffic. DO NOT allow the tilled subgrade to become compacted.
4. In the event that the tilled area becomes compacted, till the area again prior to installing the planting mix.
- F. Install the remaining topsoil or planting mix in 200- to 250-mm (8- to 10-in.) lifts to the depths and shown on the drawing details. The depths and grades shown on the drawings are the final grades after soil settlement and shrinkage of the organic material. The contractor shall install the soil at a higher level to anticipate this reduction of soil volume, depending on predicted settling properties for each type of soil.
1. Phase the installation of the soil such that equipment does not have to travel over already-installed topsoil or planting mixes.
2. Compact each lift sufficiently to reduce settling but not enough to prevent the movement of water and feeder roots through the soil. The soil in each lift should feel firm to the foot in all areas and make only slight heel prints. Overcompaction shall be determined by the following field percolation test.
- a. Dig a hole 250 mm (10 in.) in diameter and 250 mm (10 in.) deep.
- b. Fill the hole with water and let it drain completely. Immediately refill the hole with water, and measure the rate of fall in the water level.
- c. In the event that the water drains at a rate less than 25 mm (1 in.) per hour, till the soil to a depth required to break the overcompaction.
- d. The landscape architect shall determine the need for, and the number and location of percolation tests based on observed field conditions of the soil.
3. Maintain moisture conditions within the soils during installation to allow for satisfactory compaction. Suspend installation operations if the soil becomes wet. Do not place soils on wet subgrade.
4. Provide adequate equipment to achieve consistent and uniform compaction of the soils. Use the smallest equipment that can reasonably perform the task of spreading and compaction.
5. Add lime, sulfur, fertilizer, and other amendments during soil installation. Spread the amendments over the top layer of soil and till into the top 100 mm (4 in.) of soil.
- Soil amendments may be added at the same time that organic matter, when required, is added to the top layer of soil.
6. Protect soil from overcompaction after placement. An area that becomes overcompacted shall be tilled to a depth of 125 mm (6 in.). Uneven or settled areas shall be filled and regraded.

III. Fine Grading

- A. It shall be the responsibility of the Contractor to finish grade (min. 6" below adjacent F.F.E.). Finish grades in planting areas shall be one inch lower than adjacent paving and are to include 3" of mulching. New earthwork shall blend smoothly into the existing earthwork, and grades shall pitch evenly between spot grades. All planted areas must pitch to drain at a minimum of 1/4" per foot. Any discrepancies not allowing this to occur shall be reported to the Landscape Architect prior to continuing work.
- B. Fill all dips and remove any bumps in the overall plane of the slope:
1. The tolerance for dips and bumps in lawn areas shall be a 12-mm (1/2 in.) deviation from the plane in 3,000 mm (10 ft).
2. The tolerance for dips and bumps in shrub planting areas shall be a 25-mm (1 in.) deviation from the plane in 3,000 mm (10 ft).
3. All fine grading shall be inspected and approved by the landscape architect prior to planting, mulching, sodding, or seeding.
- C. Backfill shall not be placed within 10' of any existing tree nor will it be allowed to encroach upon any utility, drainage, or maintenance easement. Berming shall not impede or obstruct any necessary swales needed to drain other areas for the property.

IV. Planting Operations

- A. Plants shall be set on flat-tamped or unexcavated pads at the same relationship to finished grade as they were to the ground from which they were dug, unless otherwise noted on the drawings. Plants must be set plumb and braced in position until topsoil or planting mix has been placed and tamped around the base of the root ball. Improper compaction of the soil around the root ball may result in the tree settling or leaning. Plants shall be set so that they will be at the same depth and so that the root ball does not shift or move laterally one year later.
1. Determine the elevation of the root flare and ensure that it is planted at grade. This may require that the tree be set higher than the grade in the nursery.
2. If the root flare is less than 50 mm (2 in.) below the soil level of the root ball, plant the tree the appropriate level above the grade to set the flare even with the grade. If the flare is more than 50 mm (2 in.) at the center of the root ball the tree shall be rejected.
- B. Lift plants only from the bottom of the root balls or with belts or lifting harnesses of sufficient width not to damage the root balls. Do not lift trees by their trunk or use the trunk as a lever in positioning or moving the tree in the planting area.
- C. Remove plastic, paper, or fiber pots from containerized plant material. Pull roots out of the root mat. Loosen the potting medium and shake away from the root mat. Immediately after removing the container, install the plant such that the roots do not dry out. Pack planting mix around the exposed roots while planting.
- D. The roots of bare-root trees shall be pruned at the time of planting to remove damaged or undesirable roots (those likely to become a detriment to future growth of the root system). Bare-root trees shall have the roots spread to approximate the natural position of the roots and shall be centered in the planting pit. The planting-soil backfill shall be worked firmly into and around the roots, with care taken to fill in completely with no air pockets.
- E. Cut ropes or strings from the top of shrub root balls and trees smaller than 3 in. caliper after plant has been set. Remove burlap or cloth wrapping and any wire baskets from around top half of balls. Do not turn under and bury portions of burlap at top of ball.
1. Do not immediately remove the ropes and burlap from trees larger than 3 in. caliper. Return to each tree three months after planting and cut all ropes around the trunks and tops of the root balls of these trees.
2. Completely remove any waterproof or water-repellant strings or wrappings from the root ball and trunk before backfilling.
- F. Set balled and burlapped trees in the hole with the north marker facing north unless otherwise approved by the landscape architect.
- G. Place native soil, topsoil, or planting mix into the area around the tree, tamping lightly to reduce settlement.
1. For plants planted in individual holes in existing soil, add any required soil amendments to the soils, as the material is being backfilled around the plant. Ensure that the amendments are thoroughly mixed into the backfill.
2. For plants planted in large beds of prepared soil, add soil amendments during the soil installation process.
3. Ensure that the backfill immediately around the base of the root ball is tamped with foot pressure sufficient to prevent the root ball from shifting or leaning.
- H. Solid sod shall be laid with closely abutting joints with a tamped or rolled, even surface. Stagger strips to offset joints in adjacent courses. Bring the sod edge in a neat, clean manner to the edge of all paving and shrub areas. Sod along slopes shall be pegged to hold sod in place along slopes or banks a wood peg acceptable to the Landscape Architect shall be used at no additional cost to the Owner. If, in the opinion of the Landscape Architect, top-dressing is necessary after rolling, clean sand will be evenly applied over the entire surface and thoroughly washed in without additional charge.
- I. Thoroughly water all plants immediately after planting. Apply water by hose directly to the root ball and the adjacent soil.
- J. Remove all tags, labels, strings, etc. from all plants.
- K. Remove any excess soil, debris, and planting material from the job site at the end of each workday.
- L. Form watering saucers 100 mm (4 in.) high immediately outside the area of the root ball of each tree as indicated on the drawings.

V. Relocation of Existing Material:

- A. Landscape Contractor shall root prune trees which are to be relocated in accordance with approved horticultural practices and the following procedures.
1. Select a healthy tree
2. Selectively trim the canopy removing dead limbs, cross branching over crowned areas, and lower undesirable limbs. Fertilize and water trees before pruning.
3. Root prune 50% of the root system approximately 18"-2" deep (depending upon species and size). This is done by hand with sharp hand tools or a root pruning saw. The diameter of the root ball to be pruned is 8-12 inches per every one inch of diameter at breast height of the tree.
4. Back fill the existing soil with peat moss to stimulate new root growth of the pruned roots.
5. Water in thoroughly and treat with a mycorrhizae and a low nitrogen fertilizer (so not to burn the pruned roots). Brace trees if deemed necessary.
6. The root pruned tree should be watered every day (especially during warm months of the season), the equivalent of 5 gallons for every DBH of tree per day.
7. Root pruned trees should be left to stand for a minimum of 6 weeks for trees less than 8" DBH and as long as 3 months for larger specimens prior to transplanting.
8. For best results and survivorship, new root growth should be evident on root pruned trees prior to transplanting.
9. Upon transplanting, water should be applied every day as outlined in step 6 for at least one year.

VI. Staking and Guying

- A. The Contractor shall stake all trees and palms in accordance with the tree and palm staking details provided within the plan drawings. Alternate methods of guying or staking may be employed with the prior approval of the Landscape Architect.
- B. The Contractor shall be responsible for the replacement or adjustment of all trees, palms or shrubs that fall or lean during the guarantee period. The Contractor shall be responsible for any damage caused by the falling or leaning of trees.
- C. Stakes and guys shall be installed immediately upon approval or planting, and shall be removed in accordance with the staking details provide within the plan drawings. Any tree that is not stable at the end of the warranty period shall be rejected.

VII. Pruning

- A. Plants shall not be heavily pruned at the time of planting. Pruning is required at planting time to correct defects in the tree structure, including removal of injured branches, watersprouts, suckers, and interfering branches. Healthy lower branches and interior small twigs should not be removed except as necessary to clear walks and roads. In no case should more than one-quarter of the branching structure be removed. Retain the normal or natural shape of the plant.
- B. All pruning shall be completed using clean, sharp tools. All cuts shall be clean and smooth, with the bark intact with no rough edges or tears.
- C. Pruning of large trees shall be done from a hydraulic man-lift such that it is not necessary to climb the tree.

VIII. Mulching

- A. All trees, palms, shrubs, and other plantings will be mulched with mulch previously approved by the landscape architect. The mulch shall be a minimum 3" thick layer over all tree, shrub and ground cover planting areas, unless otherwise specified. All mulch layers shall be of the specified thickness at the time of the final acceptance of the work. Mulch must not be placed within 3 inches of the trunks of trees, palms or shrubs.
- B. Place mulch at least 3" in depth in a circle around all trees located in lawn areas. The diameter of the circle shall be 18" in diameter larger than the ball of the plant provided. Mulch must not be placed within 3 inches of the trunks of trees, palms or shrubs.

IX. Maintenance of Trees, Shrubs, and Vines

- A. Maintenance shall begin immediately after each plant is planted and continue until its acceptance has been confirmed by the landscape architect.
- B. Maintenance shall consist of pruning, watering, cultivating, weeding, mulching, fertilizing, tightening and repairing guys and stakes, resetting plants to proper grades or upright position, restoring of the planting saucer, and furnishing and applying such sprays or other materials as necessary to keep plantings free of insects and diseases and in vigorous condition.
- C. Planting areas and plants shall be protected at all times against trespassing and damage of all kinds for the duration of the maintenance period. If a plant becomes damaged or injured, it shall be treated or replaced as directed by the landscape architect at no additional cost.
- D. Watering: Contractor shall irrigate as required to maintain vigorous and healthy tree growth. Overwatering or flooding shall not be allowed. The contractor shall monitor, adjust, and use existing irrigation facilities, if available, and furnish any additional material, equipment, or water to ensure adequate irrigation. Root balls of all trees and large shrubs shall be spot watered using handheld hoses during the first four months after planting, as required to ensure adequate water within the root ball.
- E. During periods of restricted water usage, all governmental regulations (permanent and temporary) shall be followed. The contractor may have to transport water from ponds or other sources, at no additional expense to the owner when irrigation systems are unavailable.
- F. Remove soil ridges from around watering basins prior to end of maintenance period, as directed by Landscape Architect

X. Acceptance

- A. The landscape architect shall inspect all work for acceptance upon written request of the contractor. The request shall be received at least ten calendar days before the anticipated date of inspection.
- B. Acceptance of plant material shall be for general conformance to specified size, character, and quality and shall not relieve the contractor of responsibility for full conformance to the contract documents, including correct species.
- C. Upon completion and re-inspection of all repairs or renewals necessary in the judgment of the landscape architect, the landscape architect shall certify in writing that the work has been accepted.

XI. Acceptance in Part

- A. Work may be accepted in parts when the landscape architect and contractor deem that practice to be in their mutual interest. Approval must be given in writing by the landscape architect to the contractor verifying that the work is to be completed in parts. Acceptance of work in part shall not waive any other provision of this contract.

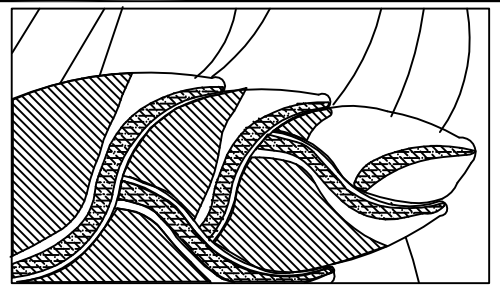
XII. Guarantee Period and Replacements

- A. The guarantee period for trees and shrubs shall begin at the date of acceptance.
- B. The contractor shall guarantee all plant material to be in healthy and flourishing condition for a period of one year from the date of acceptance.
- C. When work is accepted in parts, the guarantee periods extend from each of the partial acceptances to the terminal date of the guarantee of the last acceptance. Thus, all guarantee periods terminate at one time.
- D. The contractor shall replace, without cost, as soon as weather conditions permit, and within a specified planting period, all plants determined by the landscape architect to be dead or in an unacceptable condition during and at the end of the guarantee period. To be considered acceptable, plants shall be free of dead or dying branches and branch tips and shall bear foliage of normal density, size, and color. Replacements shall closely match adjacent specimens of the same species. Replacements shall be subject to all requirements stated in this specification.
- E. The guarantee of all replacement plants shall extend for an additional period of one year from the date of their acceptance after replacement. In the event that a replacement plant is not acceptable during or at the end of said extended guarantee period, the landscape architect may elect subsequent replacement or credit for that item.
- F. At the end of the guarantee, the contractor shall reset grades that have settled below the proposed grades on the drawings.
- G. The contractor shall make periodic inspections, at no extra cost, during the guarantee period to determine what changes, if any, should be made in the maintenance program. If changes are recommended, they shall be submitted in writing to the landscape architect. Claims by the contractor that the owners maintenance practices or lack of maintenance resulted in dead or dying plants will not be considered if such claims have not been documented by the contractor during the guarantee period.

XIII. Final Inspection and Final Acceptance

- A. At the end of the guarantee period and upon written request of the contractor, the landscape architect will inspect all guaranteed work for final acceptance. The request shall be received at least ten calendar days before the anticipated date for final inspection. Upon completion and re-inspection of all repairs or renewals necessary in the judgment of the landscape architect at that time, the landscape architect shall certify, in writing, that the project has received final acceptance.

**MAUREEN SMITH,
LANDSCAPE ARCHITECT**
968 DOGWOOD DRIVE
DELRAY BEACH, FLORIDA 33483
OFFICE: 561.279-4114
CELL: 561.271.8933
Florida registration #6667056
www.maureensmithla.com



GASLAND CONVENIENCE STORE
398 N.E. 5TH AVENUE
DELRAY BEACH, FLORIDA

Revisions:	2017-12-01 INITIAL SUBMITTAL
1.	2018-04-10 RESUBMITTAL

Seal:

Lic. # LA6667056
Member: A.S.L.A.

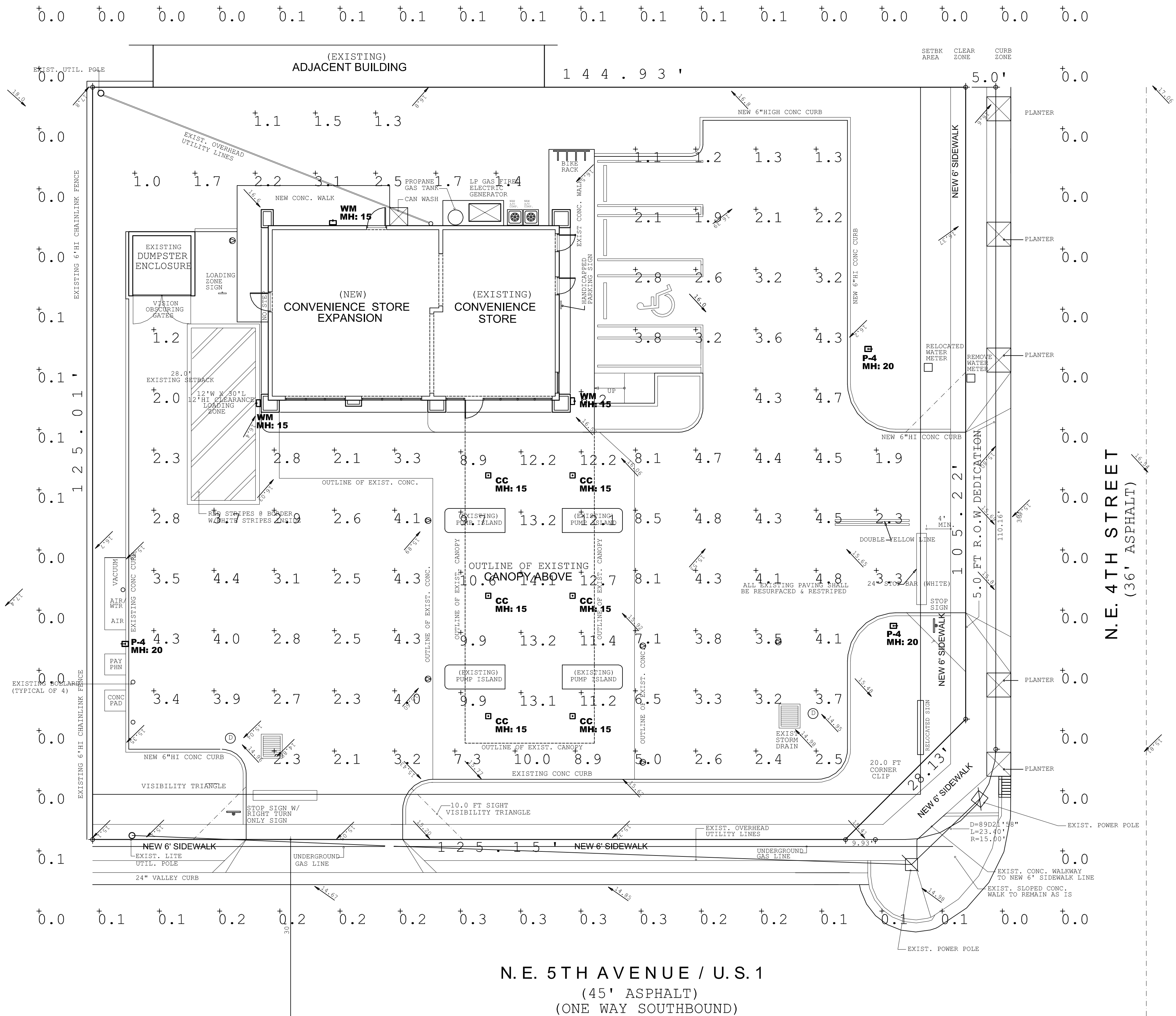
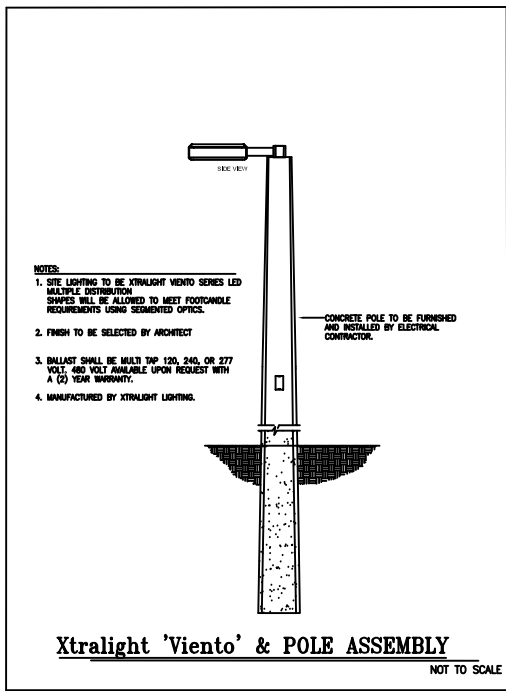
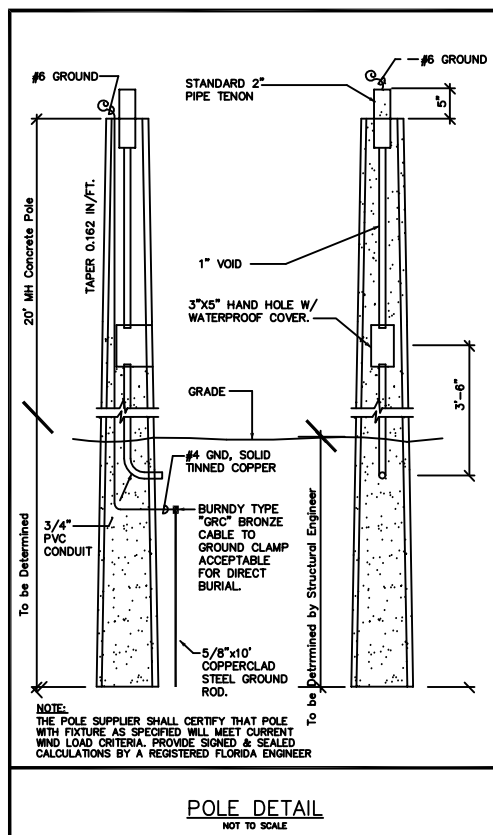
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Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
Canopy	Illuminance	Fc	11.29	14.1	6.2	1.82	2.27	
Parking	Illuminance	Fc	3.70	10.0	1.1	3.36	9.09	
Property	Illuminance	Fc	0.07	0.3	0.0	N.A.	N.A.	
Service Area	Illuminance	Fc	1.75	3.1	1.0	1.75	3.10	



Luminaire Schedule								
Symbol	Label	Qty	LLF	Description	Lum. Watts	Lum. Lumens	Tag	
[Symbol]	CC	6	0.900	SSCM-6000L-50K-UNV-PCP-WH	63.7	6483		
[Symbol]	WM	3	0.900	Xtralight # VNTW-3500L-50K-DIM-3M-BZ	27.9	3452	Wall Mtd @ 15' MH	
[Symbol]	P-4	3	0.900	VNTLEDS011004SNDIM510HSSXXBZHO	111.3	10821	Rear House Shield - 20' MH Pole	



PHOTOMETRIC
SITE PLAN

S C A L E : 1" = 10'-0"



PROPERTY ADDRESS:
398 NORTHEAST 5TH AVENUE,
DELRAY BEACH, FLORIDA 33483

CONVENIENCE STORE RENOVATION FOR THE
GASLAND SERVICE STATION

398 NORTHEAST 5TH AVENUE, DELRAY BEACH, FLORIDA
HIGHLAND PARK - DELRAY BEACH COUNTY, FLORIDA

DATE: 04 APR '19
PROJECT NO: 10 - H40
SHEET: PH
of 1

REVISIONS:
REV: 04 APR 2019
AS PER P&2 DEPT.

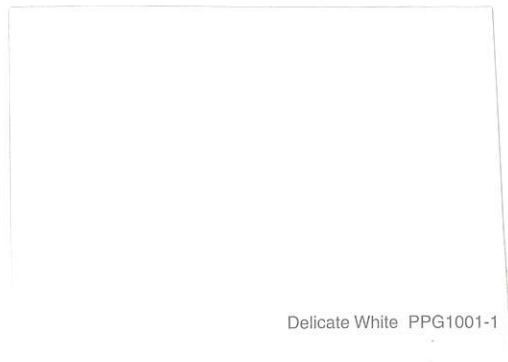
ARCHITECT
AR-7457

JAMES E. GILGENBACH
ARCHITECTURE & PLANNING
9009 ONE PUTT PLACE
(561) 809 - 8491
PORT ST LUCE
FLORIDA 34986

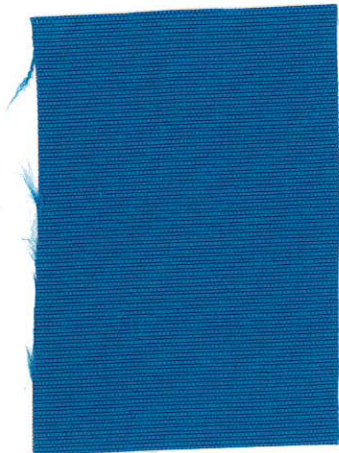


PITTSBURGH PAINTS

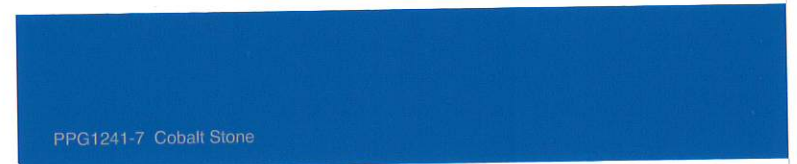
BODY



AWNING



CANOPY



BASE

