



## *Development Services Department*

### **BOARD ACTION REPORT – APPEALABLE ITEM**

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**Project Name:** 131 NW 1st Avenue  
**Project Location:** 131 NW 1st Avenue, Old School Square Historic District  
**Request:** Certificate of Appropriateness (2019-150)  
**Board:** Historic Preservation Board  
**Meeting Date:** November 6, 2019

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#### **Board Action:**

Approved of the Class III Site Plan Modification, Certificate of Appropriateness (2019-150), Landscape Plan, and Elevation requests associated with the renovation of the existing 1,375 sq. ft. mixed-use structure and construction of a new 1,433 sq. ft. addition on property located at **131 NW 1st Avenue, Old School Square Historic District**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations, subject to the following conditions:

1. That the original three windows be retained and the 4<sup>th</sup> additional window be offset;
2. That the proposed additions include a type of textured stucco that is slightly different from the original; and,
3. That the proposed windows be clear glass with no reflectivity or tint.

#### **Site Plan Technical Items:**

1. That the shared use parking calculation table be removed from the site plan;
2. That the rear setback for all structures be identified on the site plan;
3. That the percentage of existing and proposed open space and lot coverage be identified on the site plan;
4. That the existing square foot calculations for residential and office uses be identified on the site plan.
5. That the utility pole within the north/south alley on the east side of the property be moved closer to the property line to allow for the required amount of maneuver space for vehicles; and,
6. That site lighting calculations be provided on the Photometric Plan for the parking area on the east side of the property adjacent to the north/south alley.

#### **Project Description:**

The subject 0.22-acre property is located on the east side of NW 1<sup>st</sup> Avenue between NE 1<sup>st</sup> Street and NE 2<sup>nd</sup> Street. The property is located within the Locally and Nationally Registered Old School Square Historic District (OSSHD) and consists of the South 3 Feet of Lot 2, & Lot 3, Block 59, Town of Delray. The property contains a 1-story Mediterranean Revival style mixed-use structure, built in 1925 and is classified as contributing to the OSSHD. The 1,375 sq. ft. structure was built as a single-family residence. Also, an accessory structure built in 1941 exists on the east side (rear) of the property. The structure was built as detached garage with an apartment and is of the same architectural style as the principal structure.

In 1997, the Historic Preservation Board approved a Class V Site Plan for the subject property. The approval provided for the conversion of the single-family residence into a mixed-use building containing residential and office uses.

On July 25, 2001, a COA was administratively approved for the replacement of the front entrance door with a solid panel on the bottom and impact resistant glass in the upper half of the door. Then at its meeting of May 2, 2007, the Historic Preservation Board (HPB) approved a COA for the replacement of the original wood framed, casement and sash windows with aluminum framed single-hung windows with a six-over-six muntin configuration. A set of French doors on the north elevation were also replaced.

On October 15, 2019 the City Commission approved a waiver to increase the maximum width of a building fronting a street from the maximum allowable of 60' to 63'8". The request is in association with the subject Class III site plan modification and COA.

The item before the board is the subject Class III Site Plan modification and COA request for the renovation of the existing 1-story, 1,375 sq. ft., mixed-use building, construction of a 1,433 sq. ft. addition including a garage, reconfiguration of the existing parking spaces, construction of a new pool and associated deck & landscaping. The structure is proposed to contain 2,808 total square feet including the garage. The 412 sq. ft. guest cottage will undergo renovation but will not be enlarged.

**Board Comments:**

The Board comments were supportive.

**Public Comments:**

No public comments were made.

**Associated Actions:** All required actions were taken.

**Next Action:** HPB action is final unless appealed by the City Commission.



# DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING  
100 NW 1<sup>ST</sup> AVENUE, DELRAY BEACH, FLORIDA 33444  
(561) 243-7040

## HISTORIC PRESERVATION BOARD STAFF REPORT

131 NW 1<sup>st</sup> Avenue

Meeting	File No.	Application Type
November 6, 2019	2019-150	Certificate of Appropriateness & Class III Site Plan, Landscape Plan & Elevations

### REQUEST

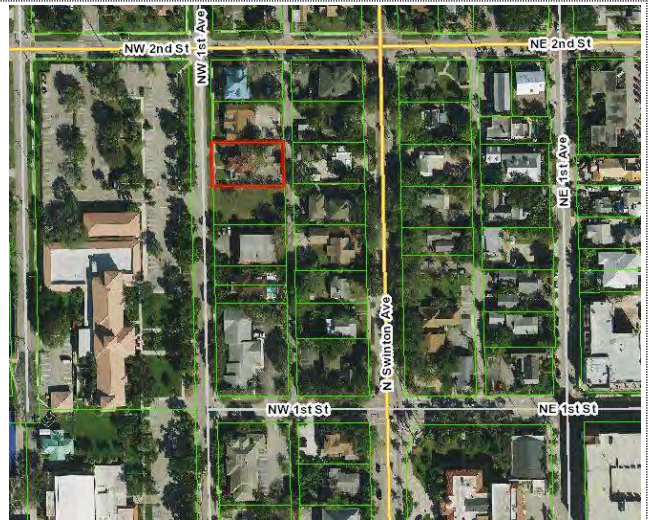
The item before the Board is consideration of a Certificate of Appropriateness, Class III Site Plan Modification, Landscape Plan, and Elevation requests associated with a renovation and addition to the existing contributing, mixed-use structure on property located at **131 NW 1st Avenue, Old School Square Historic District**.

### GENERAL DATA

**Agent:** Randall Stofft Architects  
**Owner:** Joseph and Donna Marion  
**Location:** 131 NW 1<sup>st</sup> Avenue  
**PCN:** 12-43-46-16-01-059-0021  
**Property Size:** 0.22 Acres  
**Zoning:** OSSHAD (Old School Square Historic Arts District)  
**FLUM:** OMU (Other Mixed Use)  
**Historic District:** Old School Square Historic District  
**Adjacent Zoning:**

- OSSHAD (North)
- Community Facilities (CF) (West)
- OSSHAD (South)
- OSSHAD (East)

**Existing Land Use:** Mixed Use (Office and Residence)  
**Proposed Land Use:** Mixed Use (Office and Residence)



### BACKGROUND AND PROJECT DESCRIPTION

The subject 0.22-acre property is located on the east side of NW 1<sup>st</sup> Avenue between NE 1<sup>st</sup> Street and NE 2<sup>nd</sup> Street. The property is located within the Locally and Nationally Registered Old School Square Historic District (OSSHD) and consists of the South 3 Feet of Lot 2, & Lot 3, Block 59, Town of Delray. The property contains a 1-story Mediterranean Revival style mixed-use structure, built in 1925 and is classified as contributing to the OSSHD. The 1,375 sq. ft. structure was built as a single-family residence. Also, an accessory structure built in 1941 exists on the east side (rear) of the property. The structure was built as detached garage with an apartment and is of the same architectural style as the principal structure.

In 1997, the Historic Preservation Board approved a Class V Site Plan for the subject property. The approval provided for the conversion of the single-family residence into a mixed-use building containing residential and office uses.

On July 25, 2001, a COA was administratively approved for the replacement of the front entrance door with a solid panel on the bottom and impact resistant glass in the upper half of the door. Then at its meeting of May 2, 2007, the Historic Preservation Board (HPB) approved a COA for the replacement of the original wood framed, casement and sash windows with aluminum framed single-hung windows with a six-over-six muntin configuration. A set of French doors on the north elevation were also replaced.

Project Planner:  
Katherina Paliwoda, Planner  
Michelle Hoyland, Principal Planner  
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Review Dates:  
HPB: November 6, 2019

Attachments:  
1. Architectural Plans  
2. Applicant Justifications  
3. Photographs



On October 15, 2019 the City Commission approved a waiver to increase the maximum width of a building fronting a street from the maximum allowable of 60' to 63'8". The request is in association with the subject Class III site plan modification and COA.

The item before the board is the subject Class III Site Plan modification and COA request for the renovation of the existing 1-story, 1,375 sq. ft., mixed-use building, construction of a 1,433 sq. ft. addition including a garage, reconfiguration of the existing parking spaces, construction of a new pool and associated deck & landscaping. The structure is proposed to contain 2,808 total square feet including the garage. The 412 sq. ft. guest cottage will undergo renovation but will not be enlarged.

#### SITE PLAN REVIEW AND ANALYSIS

**Pursuant to LDR Section 2.4.5(G)(5) Modification to site and development plans - Findings. Formal findings are not required for a Class I or II modification. A finding that the proposed changes do not significantly affect the originally approved plan must be made concurrent with approval of a Class III modification. Class IV modification is subject to the same findings required of a new submittal.**

**Pursuant to LDR Section 3.1.1(D), Compliance with LDRs, whenever an item is identified elsewhere in these Land Development Regulations (LDRs), it shall specifically be addressed by the body taking final action on a land development application/request.**

The applicable LDRs have been identified and reviewed throughout this report and shall be specifically addressed by the body taking final action on the site and development proposal.

#### Article 4.4 Base Zoning District Regulations

**Pursuant to LDR Section 4.3.4(K), Development Standards, properties located within the OSSHAD zoning district shall be developed according to the requirements noted in the chart below:**

DEVELOPMENT STANDARDS	REQUIRED	EXISTING	PROPOSED
<b>Principal Structure</b>			
Required Setbacks: Front (West)	25'	25'3"	25'-26'
Side Interior (North)	7'6"	20'	7'6"
Side Interior (South)	7'6"	14'3"	7'6"
Rear (East)	10'	57'	36'4"
Building Height:	35' Max.	19'	no change
<b>Guest Cottage</b>			
Required Setbacks: Front (West)	25'	91'7"	no change
Side Interior (North)	7'6"	6'1"†	no change
Side Interior (South)	7'6"	53'	no change
Rear (East)	10'	17'2"	no change
Building Height:	19' (no taller than principal structure)	11'4"	no change
Minimum Lot Size:	8,000 sq. ft.	10,462 sq. ft.	9,905 sq. ft.*
Minimum Lot Width & Frontage:	80'	79.50'†	No Change
Minimum Lot Depth:	100'	124.60'	No Change
Maximum Lot Coverage:	40% Max.	19%	32.5%
Open Space	25% Min.	54%	27.8%
Floor Area Ratio (Per the Comprehensive Plan - Future Land Use Element)	1.0 Max.	.15 (1,572 sq. ft. office)	0.13 (1,305 office)

†Existing non-conformity

\*Lot area reduces due to required 2' alleyway dedication on east side of property





**Pursuant to LDR Section 4.4.24(B)(3) - Principal Uses and Structures:** Within the OSSHAD zoning district, Business, Professional, Medical and Government offices are listed as a Permitted Use.

**Pursuant to LDR Section 4.4.24(C)(2) - Accessory uses and structures:** On a parcel that has as its principal use a non-residential use, there may be no more than two residential units, either within a separate structure or within a structure housing a non-residential use.

**Pursuant to LDR Section 4.4.24(F)(4) - Maximum Building Width:** the maximum width of a building fronting a street shall be limited to 60 feet and shall have a minimum separation of 15 feet between buildings fronting a street in a development site that contains more than one structure.

The applicant requested a waiver from the maximum building width, to allow the maximum width of the building fronting a street (NW 1<sup>st</sup> Avenue) to be exceeded by 3'8" as the proposed building width is 63' 8" where 60' is permitted. The approving body for waivers to this code section is the City Commission. The waiver was reviewed and approved by the City Commission at their meeting of October 15, 2019.

**Pursuant to LDR Section 4.4.24(G)(3), all parking, except for single-family homes and duplexes, shall be located in the side or rear yard or adjacent to a rear alley. No such parking shall be located in the area between any street and the closest building or structure.**

The intent of this regulation is met as the required parking is located in the rear of the building adjacent to the alley and within the proposed garage.

**Pursuant to LDR Section 4.4.24(G)(4)(d) – Parking Requirements:** Business and professional offices shall provide one space per 300 square feet of total new or existing net floor area being converted to office use. This requirement may be reduced to one parking space per 400 square feet of net floor area or by at least one space, where there is a mix of residential and office use in the same structure.

The proposal requires 5 parking spaces and 5 parking spaces are provided – 3 parallel spaces with access off of the alley in the rear and 2 spaces in the garage (via parking lift). It is noted that there is an FPL utility pole within the north/south alley on the east side of the property adjacent to the maneuvering area of the south parallel parking space. This utility pole poses an access issue and the utility pole must be moved closer to the property line to allow for required amount of maneuver space for vehicles. This item is added as a site plan technical item.

**LDR Section 4.4.24(H)(1) – Special District Regulations:** The gross floor area of residential units within a structure containing permitted non-residential use(s) shall not exceed 50 percent of the gross floor area of the structure within which they are located.

The proposal is for a mixed-use building as it incorporates a business office and a single-family residential unit within one structure. In the OSSHAD zoning district a maximum of 2 residential units are permitted on a parcel that has its principal use a non-residential use. Further, the Special District Regulations limits the gross floor area of those 2 units to no more than 50 percent of the gross floor area of the mixed-use structure within which they are located. The proposal includes one residential unit containing 1,337 sq. ft. and a 1,385 sq. ft. office space, meeting the intent of the regulation. It is noted that the site plan includes a shared use parking calculation table, and such parking calculations are not applicable to this project. Removal of this table is added as a site plan technical item.

#### **Article 4.6 Supplemental District Regulations**

**Pursuant to LDR Section 4.6.8 – Lighting:** All developments/redevelopments are encouraged to utilize energy efficiency lighting. The maximum height for luminaires on buildings and structures is 25' or eave overhang, whichever is lower, and 25' for a parking lot. All perimeter exterior lighting shall be full cutoff luminaires to minimize spillover on adjacent properties. In order to decrease urban glow, no luminaires shall be directed upwards.



Pursuant to LDR Section 4.6.8(A)(3) – **Illumination Standards**: The applicable illumination standards are as follows:

	FOOT CANDLES		
	Maximum Permitted	Minimum Permitted	Provided
Commercial Parking Lot	12	1.0	1.0 – 4.1

Pursuant to LDR Section 4.6.8 – **Requirements for outdoor parking and commercial sites**: Light control and spillage. For perimeter exterior lighting, only full cutoff luminaires will be approved. The applicant is encouraged to minimize light spillage from building and site and to reduce urban-glow for the development/redevelopment proposed. Maximum allowable illumination at the property line of any adjoining parcel or public right-of-way is 0.25 horizontal and vertical foot-candles measured at six feet above grade level.

A Photometric Plan has been submitted, which complies with the regulation. The proposal includes pole mounted fixtures in the front and rear of the building. The style fixtures are residential in nature and are appropriate for the surrounding historic area. It is noted that the site lighting calculations are missing within the parallel parking area on the east side of the property. A site plan technical item has been added to include site lighting calculations within this parking area.

### HISTORIC PLAN ANALYSIS

Pursuant to LDR Section 2.4.6(H)(5), Certificate of Appropriateness – Findings. Prior to approval, a finding must be made that any Certificate of Appropriateness which is to be approved is consistent with Historic Preservation purposes pursuant to Objective A-4 of the Land Use Element of the Comprehensive Plan and specifically with provisions of Section 4.5.1, the Delray Beach Historic Preservation Design Guidelines, and the Secretary of the Interior’s Standards for Rehabilitation.

#### LDR SECTION 4.5.1 - HISTORIC PRESERVATION: DESIGNATED DISTRICTS, SITES, AND BUILDINGS

Pursuant to LDR Section 4.5.1(E), **Development Standards**, all new development or exterior improvements on individually designated historic properties and/or properties located within historic districts shall, comply with the goals, objectives, and policies of the Comprehensive Plan, the Delray Beach Historic Preservation Design Guidelines, the Secretary of the Interior’s Standards for Rehabilitation, and the Development Standards of this Section

#### Pursuant to LDR Section 4.5.1(E)(2)(c)(4) – **Major Development**.

The subject application is considered “Major Development” as it involves alteration of more than 25 percent of a contributing structure.

Pursuant to LDR Section 4.5.1(E)(3)(a)(2) – **Garages and carports**, Garages and carports are encouraged to be oriented so that they may be accessed from the side or rear and out of view from a public right-of-way.

While the proposal does include a street facing garage, the garage is set back more than 18’ from the front façade and 38’ from the front setback. Historically, the existing accessory structure located within the northeast corner of the site once housed a 1-car garage and would have been visible from the adjacent right-of-way. Further, the garage is proposed as a 2-car garage but has an appearance of a 1-car garage, this design is possible through the use of a vehicle lift system. This design is to help alleviate the impact of the garage on the front façade so as to not detract from the front façade of the structure.

Pursuant to LDR Section 4.5.1(E)(4) – **Alterations**: in considering proposals for alterations to the exterior of historic buildings and structures and in applying development and preservation standards, the documented, original design of the building may be considered, among other factors.

The existing structure, and its remaining original form, has been considered with respect to the proposed addition and site improvements.



Pursuant to LDR Section 4.5.1(E)(5) - Standards and Guidelines: a historic site, building, structure, improvement, or appurtenance within a historic district shall only be altered, restored, preserved, repaired, relocated, demolished, or otherwise changed in accordance with the Secretary of the Interior's Standards for Rehabilitation, and the Delray Beach Historic Preservation Design Guidelines, as amended from time to time.

**Standard 1**

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

**Standard 2**

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

**Standard 3**

Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

**Standard 4**

Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

**Standard 5**

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

**Standard 6**

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

**Standard 7**

Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

**Standard 8**

Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

**Standard 9**

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

**Standard 10**

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



Standards 2, 3, 5, 9, & 10 are applicable to the proposed renovation and addition to the structure. The proposed 1-story addition to the south side of the structure and the new garage addition to the north side of the structure have been designed to be compatible and in direct relationship with the low-scale of the existing structure. The additions have been situated to the sides and rear of the structure. The garage addition has been setback from the front façade to preserve the original scale of the front façade. The design will preserve distinctive features that characterize the historic property. The addition has been designed to protect the historic integrity of the property and its environment. The new additions have been designed to the side and rear of the structure and in such a manner that should they be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The new addition to the south side of the structure includes a revised window pattern on the front façade (west side) by separating the 3 original windows and by introducing a 4<sup>th</sup> window. There is concern with the modification of the window pattern on the front façade as this change represents an alteration that changes the defining characteristics of the building and creates a false sense of historical context affecting the historical integrity of the structure, site, and environment. A condition of approval is added to retain the original window pattern of the front façade.

It is also noted that the front façade has a flat roof component that was once a jalousie porch, which had been enclosed over the years. The proposal includes a new addition on the south side of this portion of the building with a new pitched roof component over the existing flat deck roof. The pitched roof is designed to be incorporated into design of the main roof yet is designed to appear as a separate massing. This design provides for differentiation of this portion of the structure, while also allowing for the originality of the new design.

**Pursuant to LDR Section 4.5.1(E)(8) - Visual Compatibility Standards: new construction and all improvements to both contributing and noncontributing buildings, structures and appurtenances thereto within a designated historic district or on an individually designated property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.1(E)(2) shall be determined by utilizing criteria contained in (a)-(m) below. Visual compatibility for all development on individually designated properties outside the district shall be determined by comparison to other structures within the site.**

**The following criteria apply:**

- 1. Height:** The height of proposed buildings or modifications shall be visually compatible in comparison or relation to the height of existing structures and buildings in a historic district for all major and minor development. For major development, visual compatibility with respect to the height of residential structures, as defined by 4.5.1(E)(2)(a), shall also be determined through application of the Building Height Plane.
- 2. Front Facade Proportion:** The front facade of each building or structure shall be visually compatible with and be in direct relationship to the width of the building and to the height of the front elevation of other existing structures and buildings within the subject historic district.
- 3. Proportion of Openings (Windows and Doors):** The openings of any building within a historic district shall be visually compatible with the openings exemplified by prevailing historic architectural styles of similar buildings within the district. The relationship of the width of windows and doors to the height of windows and doors among buildings shall be visually compatible within the subject historic district.
- 4. Rhythm of Solids to Voids:** The relationship of solids to voids of a building or structure shall be visually compatible with existing historic buildings or structures within the subject historic district for all development, with particular attention paid to the front facades.
- 5. Rhythm of Buildings on Streets:** The relationship of buildings to open space between them



and adjoining buildings shall be visually compatible with the relationship between existing historic buildings or structures within the subject historic district.

6. **Rhythm of Entrance and/or Porch Projections:** The relationship of entrances and porch projections to the sidewalks of a building shall be visually compatible with existing architectural styles of entrances and porch projections on existing historic buildings and structures within the subject historic district for all development.
  7. **Relationship of Materials, Texture, and Color:** The relationship of materials, texture, and color of the facade of a building and/or hardscaping shall be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district.
  8. **Roof Shapes:** The roof shape, including type and slope, of a building or structure shall be visually compatible with the roof shape of existing historic buildings or structures within the subject historic district. The roof shape shall be consistent with the architectural style of the building.
  9. **Walls of Continuity:** Walls, fences, evergreen landscape masses, or building facades, shall form cohesive walls of enclosure along a street to ensure visual compatibility with historic buildings or structures within the subject historic district and the structure to which it is visually related.
  10. **Scale of a Building:** The size of a building and the building mass in relation to open spaces, windows, door openings, balconies, porches, and lot size shall be visually compatible with the building size and mass of historic buildings and structures within a historic district for all development. To determine whether the scale of a building is appropriate, the following shall apply for major development only:
    - a. For buildings wider than sixty percent (60%) of the lot width, a portion of the front façade must be setback a minimum of seven (7) additional feet from the front setback line:
    - b. For buildings deeper than fifty percent (50%) of the lot depth, a portion of each side façade, which is greater than one story high, must be setback a minimum of five (5) additional feet from the side setback line:
  11. **Directional Expression of Front Elevation:** A building shall be visually compatible with the buildings, structures, and sites within a historic district for all development with regard to its directional character, whether vertical or horizontal.
  12. **Architectural Style:** All major and minor development shall consist of only one (1) architectural style per structure or property and not introduce elements definitive of another style.
- (m) **Additions to individually designated properties and contributing structures in all historic districts:** Visual compatibility shall be accomplished as follows:
1. Additions shall be located to the rear or least public side of a building and be as inconspicuous as possible.
  2. Additions or accessory structures shall not be located in front of the established front wall plane of a historic building.
  3. Characteristic features of the original building shall not be destroyed or obscured.
  4. Additions shall be designed and constructed so that the basic form and character of the historic building will remain intact if the addition is ever removed.
  5. Additions shall not introduce a new architectural style, mimic too closely the style of the existing building nor replicate the original design but shall be coherent in design with the existing building.
  6. Additions shall be secondary and subordinate to the main mass of the historic building and shall not overwhelm the original building.

The proposed additions are situated to the side and rear of the structure facilitating visual compatibility of the historic property and maintaining the Front Façade Proportion. The original structure's façade depicts a texture stucco that is very common on Spanish Revival styles of architecture. The proposed additions to the north and south should also include a type of textured stucco but should be a slightly different pattern to





differentiate it from the original. This item is attached as a condition of approval. Terra Cotta barrel tiles are to be utilized where the new roof is proposed, adding authenticity to the structure.

With respect to the Proportion of Openings (Windows and Doors) the addition to the south side of the structure proposes modification of the existing window pattern on the front façade by splitting the existing 3 window opening and adding a 4<sup>th</sup> window. This change negatively affects the original Proportion of Openings by introducing a conjectural feature not original to the historic structure. The replication of the original architectural design through the revised window pattern makes it difficult to decipher the originality of the window pattern by the trained eye. The front façade of a contributing structure is a vital part of the look and feel to the continuity of a historic district; therefore, it is crucial to maintain its authenticity. A condition of approval is added to retain the existing window pattern on the front façade of the main structure.

It is also noted that the front façade has an existing flat roof component that was once a jalousie porch, which had been enclosed over the years. The proposal includes a new addition on the south side of this portion of the building with a new pitched roof component over the existing flat deck roof. The pitched roof is designed to be incorporated into design of the main roof, yet will also appear as a separate massing. This design provides for differentiation of this portion of the structure while also allowing for the design to be deciphered by the trained eye.

The guest cottage to the rear of the structure was built in the 1940s, according to the site's building card, which makes it a contributing structure to the site. The proposed relocation of windows and doors to the guest cottage is an alteration to the façade that would the historic integrity of the structure.

The proposed additions to the existing 1-story structure will allow for an addition and modernization of the residence with durable materials that are compatible with the property and its environment. The overall proposal maintains the existing Mediterranean Revival style architectural details appropriate for the Old School Square Historic District. If the proposed additions to the north and south sides of the original structure were to be removed at a later date, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposal does not note the type of window glass proposed. Clear glass is original to the structure and should be utilized. It is noted that the use of Low E windows, which typically have a green, slightly iridescent/reflective tint to them does not meet the intent of the Secretary of the Interior's Standards for the Treatment of Historic Properties, which states:

*"It is not recommended to change the appearance of windows that contribute to the historic character of the building by replacing materials, finishes, or colors which noticeably change the sash, depth of the reveal, and muntin configurations; the reflectivity and color of the glazing; or the appearance of the frame."*

Therefore, a condition of approval is added that the proposed windows be clear glass with no reflectivity or tint.

Overall and provided the conditions of approval are met, the relationship and Rhythm of Solids to Voids of the proposed is visually compatible with other structures in OSSHD and particular attention has been paid to retaining the character of the front façade. The Rhythm of Entrance and Porch Projections to the adjacent sidewalk on NW 1<sup>st</sup> Avenue is being retained. The Relationship of Materials, Texture and Color of the building are being retained in that stucco siding exists and is proposed for the addition, similar materials including aluminum framed windows and a terra cotta barrel tile roof are proposed; and, the proposed earth tone color scheme is appropriate for the Mediterranean Revival style which are generally associated with warm colors (Delray Beach Historic Preservation Design Guidelines, page 38).

**Pursuant to LDR Section 2.4.5(l)(5), Architectural (appearance) elevations - Findings. At the time of action on architectural elevations the approving Board shall make findings with respect to the**



objectives and standards as contained in the architectural regulations, Section 4.6.18. An overall determination of consistency with respect to the above is required in order for an architectural plan to be approved.

#### **Architectural Elevations Analysis**

Pursuant to LDR Section 4.6.18(E), Criteria for Board Action, the following criteria shall be considered by the Historic Preservation Board (HPB) in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The development proposal is also subject to the requirement for Visual Compatibility pursuant to LDR Section 4.5.1(E)(7) which provides for a specific analysis of the historic exterior of the proposal. The existing structure is of the Mediterranean Revival architectural style with a stucco siding, pitched barrel tile roof, minimal roof overhangs and simple casement style windows within arched openings on the front facade. A small front porch covers the front walkway and front door which will facilitate a new handicapped ramp. Provided the conditions of approval are addressed, the proposed architectural elevations present design elements that will contribute to the general area, will maintain the architectural harmony, compatibility, and quality of the neighborhood. It will not cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.

#### **LANDSCAPE PLAN ANALYSIS**

Pursuant to LDR Section 2.4.5(H)(5) Landscaping Plan - Findings. At the time of action on a landscape plan, the approving body shall make finding with respect to the proposed plan's relationship to the following:

- (a) Objectives of landscaping regulations Section 4.6.16;
- (b) Site and landscape design standards pursuant to Section 4.6.16;

An overall determination of consistency with respect to the above items is required in order for a landscaping plan to be approved.

Pursuant to LDR 4.6.16(H)(3)(g): The amount of interior landscaping within off-street parking areas shall amount to no less than ten percent of the total area used for parking and accessways.

Pursuant to LDR 4.6.16(E)(5): Trees. Shall be a species having an average mature spread of crown greater than 20 feet and having trunks which can be maintained in a clean condition with over six feet of clear mature wood. Trees having an average mature spread of crown less than 20 feet may be substituted by grouping the same so as to create the equivalent of a 20 foot spread of crown. Tree species shall be a minimum of 16 feet in overall height at the time of planting, with a minimum of six feet of single straight trunk with eight feet of clear trunk, and a seven-foot spread of canopy. Tree species required for single family homes and duplexes shall be a minimum of 12 feet in overall height at the time of planting, with a minimum of four feet of single straight trunk with six feet of clear trunk, and a six-foot spread of canopy.

There are existing mature Live Oak and Gumbo Limbo trees on the property along with existing ground cover and foundation plantings. The proposal incorporates new Silver Buttonwood, Green Buttonwood, and Alexander Palm trees on the site along with additional foundation plantings. The landscape plan meets the intent of the regulation.



## FINDINGS

Pursuant to LDR Section 3.1.1 (Required Findings), prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body, which has the authority to approve or deny the development application. These findings relate to the following areas:

### **LDR Section 3.1.1(A) - Future Land Use Map:**

The subject property has a zoning designation of Old School Square Historic Arts District (OSSHAD) and a Other Mixed Use (OMU) Future Land Use Map designation. Business and Professional Offices are allowed pursuant to LDR Section 4.4.24(B)(3) and the residential units are permitted as an accessory use to the office. The purpose and intent of the OSSHAD includes promoting a mixed-use district and mixed-use structures are allowed as a permitted uses.

**LDR Section 3.1.1(B) – Concurrency:** Facilities which are provided by, or through, the City shall be provided to new development concurrent with issuance of a Certificate of Occupancy. These facilities shall be provided pursuant to levels of service established within the Comprehensive Plan. Refer to Appendix “A”, as it relates to water and sewer, streets and traffic, drainage, and solid waste.

**LDR Section 3.1.1(C) – Consistency:** Compliance with performance standards set forth in Chapter 3 and required findings in Section 2.4.5(F)(5) for the request shall be the basis upon which a finding of overall consistency is to be made. Other objectives and policies found in the adopted Comprehensive Plan may be used in making a finding of overall consistency. Refer to Appendix “B”, as it relates to Standards for Site Plan Actions (LDR Section 3.2.3).

### **LDR Section 3.1.1(D) - Compliance with the Land Development Regulations**

Refer to the Site Plan and Historic Plan Analysis sections of this report as they relate to Compliance with the Land Development Regulations.

**Comprehensive Plan Policies:** A review of the objectives and policies of the adopted Comprehensive Plan was conducted, and the following applicable objectives or policies are noted:

**Future Land Use Objective A-1** Property shall be developed or redeveloped, in a manner so that the future use, intensity and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services; are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.

The development proposal involves incorporating a mixed-use of residential and office on the subject property through building additions. A parking area to the rear of the property is proposed and a pool is proposed on the east side of the structure. There are no concerns with respect to soil, topographic or other physical considerations. With respect to the adjacent land uses, the property is in an area surrounded by a mix of uses. The property is zoned for both residential and office, as well as retail, restaurant, and other commercial uses.

Pursuant to the Future Land Use Element, Objective A-4, the redevelopment of land and buildings shall provide for the preservation of historic resources. The objective shall be met through continued adherence to the City’s Historic Preservation Ordinance and, where applicable, to architectural design guidelines through the following policies:

**Future Land Use Policy A-4.1** Prior to approval or recommending approval of any land use or development application for property located within a historic district or designated as a historic site, the Historic Preservation Board must make a finding that the requested action is consistent with the provisions of Section 4.5.1 of the Land Development Regulations relating to historic sites and districts and the “Delray Beach Design Guidelines”.

The structure is contributing to the Old School Square Historic District and the purpose for OSSHAD is to



*“provide for mixed uses of residential, office, and commercial activities, with an emphasis on the arts that will encourage the restoration or preservation of historic structures and, yet, maintain and enhance the historic and pedestrian scale of the area”.* The mixed-use structure (residential unit and professional office) is appropriate and may assist in the maintenance and protection of the historic district.

**Review by Others:**

The project is within the CRA boundary, the HPBs action will be reported to the CRA.

**Courtesy Notice:**

This development proposal is not in a geographic area requiring courtesy notices.

**OPTIONAL BOARD MOTIONS FOR ACTION ITEMS**

1. Move to continue with direction.
2. Move approval of the Class III Site Plan Modification, Certificate of Appropriateness (2019-150), Landscape Plan, and Elevation requests associated with the renovation of the existing 1,375 sq. ft. mixed-use structure and construction of a new 1,433 sq. ft. addition on property located at **131 NW 1st Avenue, Old School Square Historic District**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
3. Move approval of the Class III Site Plan Modification, Certificate of Appropriateness (2019-150), Landscape Plan, and Elevation requests associated with the renovation of the existing 1,375 sq. ft. mixed-use structure and construction of a new 1,433 sq. ft. addition on property located at **131 NW 1st Avenue, Old School Square Historic District**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations, subject to the following conditions:
  1. That the original window pattern of the front façade be retained;
  2. That the proposed additions include a type of textured stucco that is slightly different from the original; and,
  3. That the proposed windows be clear glass with no reflectivity or tint.

Site Plan Technical Items:

1. That the shared use parking calculation table be removed from the site plan;
  2. That the rear setback for all structures be identified on the site plan;
  3. That the percentage of existing and proposed open space and lot coverage be identified on the site plan;
  4. That the existing square foot calculations for residential and office uses be identified on the site plan.
  5. That the utility pole within the north/south alley on the east side of the property be moved closer to the property line to allow for the required amount of maneuver space for vehicles; and,
  6. That site lighting calculations be provided on the Photometric Plan for the parking area on the east side of the property adjacent to the north/south alley.
4. Move denial of the Class III Site Plan Modification, Certificate of Appropriateness (2019-150), Landscape Plan, and Elevation requests associated with the renovation of the existing 1,375 sq. ft. mixed-use structure and construction of a new 1,433 sq. ft. addition on property located at **131 NW 1st Avenue, Old School Square Historic District**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in the Land Development Regulations.



**APPENDIX “A”-CONCURRENCY FINDINGS:**

Pursuant to **LDR Section 3.1.1(B)** Concurrency as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

**Water and Sewer:**

- Water service exists.
- Sewer service exists.

Pursuant to the Comprehensive Plan, treatment capacity is available at the City’s Water Treatment Plant and the South Central County Waste Water Treatment Plant for the City at build-out.

**Streets and Traffic:** The proposed development will not have an increase upon traffic concurrency.

**Parks and Recreation Facilities:** The proposal does not include an increase to the existing number of units on the property; therefore, the proposal will not have a significant impact with level of service standards for parks and recreation facilities.

**Solid Waste:** Solid waste generated each year by this development will be approximately 5.72 tons per year. The residential unit generates 1.99 tons per year and the 610 sq. ft. office generates 3.73 tons per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2046.

**Drainage:** Drainage will be accommodated on site.





**APPENDIX "B" - STANDARDS FOR SITE PLAN ACTIONS Sec. 3.2.3 (A) through (J)**

- A. Building design, landscaping and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.
- ☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent
- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.
- ☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent
- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.
- ☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent
- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.
- ☒ Not applicable  
☐ Meets intent of standard  
☐ Does not meet intent
- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.
- ☒ Not applicable  
☐ Meets intent of standard  
☐ Does not meet intent
- F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.
- ☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent
- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.
- ☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent



H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.

- ☐ Not applicable
- ☒ Meets intent of standard
- ☐ Does not meet intent

I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.

- ☐ Not applicable
- ☒ Meets intent of standard
- ☐ Does not meet intent

J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.

- ☒ Not applicable
- ☐ Meets intent of standard
- ☐ Does not meet intent







PARKING INFORMATION				
	REQUIRED	UNIT	CALCULATION	ROUNDED TO NEAREST SPACE
SINGLE FAMILY DETACHED RESIDENCE	2/DWELLING UNIT	1 D.U.	2 SPACES	2 SPACES (in garage on car lift)
BUSINESS AND PROFESSIONAL OFFICE	1/400 S.F. NET AREA	1,030 S.F.	2.57 SPACES	3 SPACES
MULTIPLE USE CALCULATION PER Sec. 4.6.9 (C)(1)(f) & (C)(8) - (FOR 1 DWELLING UNIT)				
	WEEKDAY		WEEKEND	
USE	12am - 6am	9am - 4pm	6pm - 12am	9am - 4pm 6pm - 12am
RESIDENTIAL (2 REQ'D)	(100%) - 2.0	(60%) - 1.2	(90%) - 1.8	(80%) - 1.6 (90%) - 1.8
OFFICE (3 REQ'D)	(5%) - 0.15	(100%) - 3.0	(10%) - 0.3	(10%) - 0.3 (5%) - 0.15
TOTAL	2.15	4.2	2.1	1.9 1.95
TOTAL SPACES REQUIRED	4	TOTAL SPACES PROVIDED		6 (NOT TANDEM) 7 (TOTAL)

ZONING (OLD SCHOOL SQUARE HISTORIC ARTS DISTRICT)			
	REQUIRED	EXISTING	PROPOSED
LOT SIZE	N/A	10,462 S.F.	9,905.7 S.F.
BUILDING SQUARE FOOTAGE (A/C)	N/A	1,787 S.F.	2,865 S.F.
BUILDING SQUARE FOOTAGE (TOTAL)	N/A	1,974 S.F.	3,749 S.F.
OPEN SPACE (non-vehicular)	25% = 2,615.5 SF OF EXISTING 25% = 2,476.3 SF OF PROPOSED	45% = 5,677 S.F.	27.9% = 2,763 SF.
FRONT SETBACK	25 FEET MIN.	25'-3"	26'-0" ADDITION (25'-0" existing house)
SIDE SETBACK	7 FEET 6 INCH MIN.	VARIES (6'-1" MIN)	7'-6" ADDITION
REAR SETBACK	10 FEET MIN.	VARIES (19'-3" MIN)	36'-4" ADDITION
STRUCTURE HEIGHT (HOUSE)	35 FEET MAX.	19'-0" GRADE TO MID-POINT	19'-0" GRADE TO MID-POINT
STRUCTURE HEIGHT (GUEST HOUSE)	35 FEET MAX.	11'-4"	11'-4"
COMMERCIAL (OFFICE)	N/A	N/A	1,385 S.F.
RESIDENTIAL	N/A	N/A	1,337 S.F.
			TOTAL AREA: 2,722 S.F.

EXISTING A/C S.F. CALCULATION	
AREA CALCULATION	
EXISTING-MAIN HOUSE	1375 SF
EXISTING-GUEST COTTAGE	412 SF
TOTAL AREA	1787 SF
AREA CALCULATION	
COV. ENTRY EXISTING	27 SF
EXISTING-STORAGE	91 SF
OPEN PORCH EXISTING	69 SF
TOTAL AREA	187 SF
TOTAL EXISTING AREA	1,974 SF

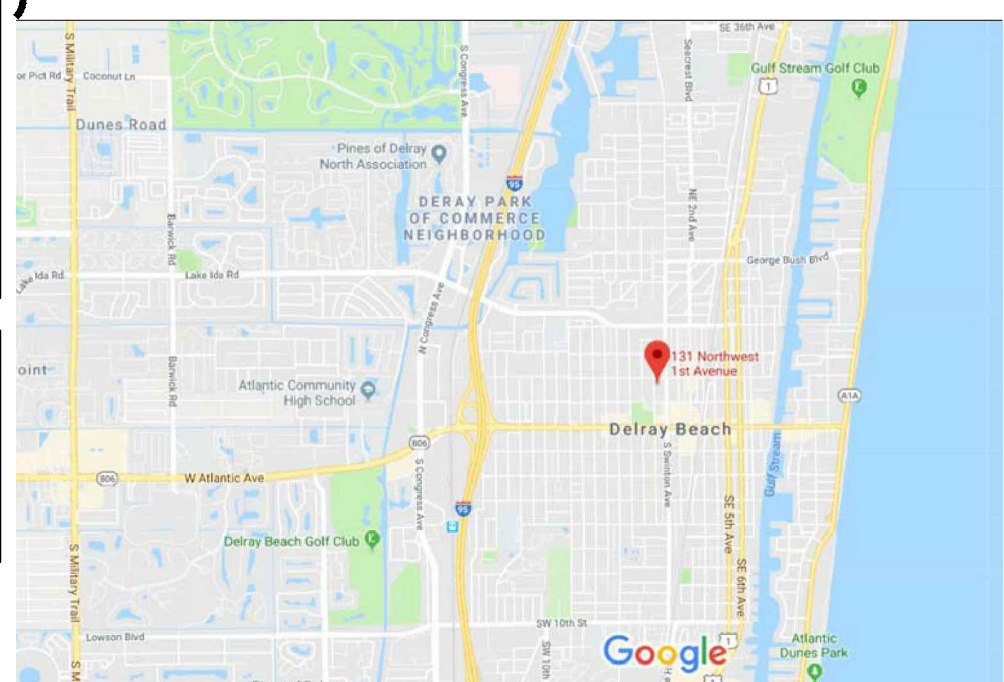
NEW + EXISTING A/C S.F. CALCULATION	
AREA CALCULATION	
EXISTING-MAIN HOUSE	1375 SF
EXISTING-GUEST COTTAGE	412 SF
A/C-ADDITION-MASTER	91 SF
A/C-ADDITION-UTILITY	91 SF
TOTAL AREA AC	2865 SF
AREA CALCULATION	
COMMERCIAL - GARAGE	355 SF
COV. ENTRY EXISTING	27 SF
OPEN PORCH EXISTING	69 SF
TRELLIS @ MASTER	195 SF
TRELLIS @ OUTDOOR BAR	238 SF
TOTAL AREA NON AC	884 SF
TOTAL AREA W/ ADDITION	3749 SF

EXISTING OPEN SPACE CALCULATIONS	
EXST. LOT AREA	10462 SF
EXST. IMPERVIOUS	4785 SF
EXST. OPEN SPACE	5677 SF

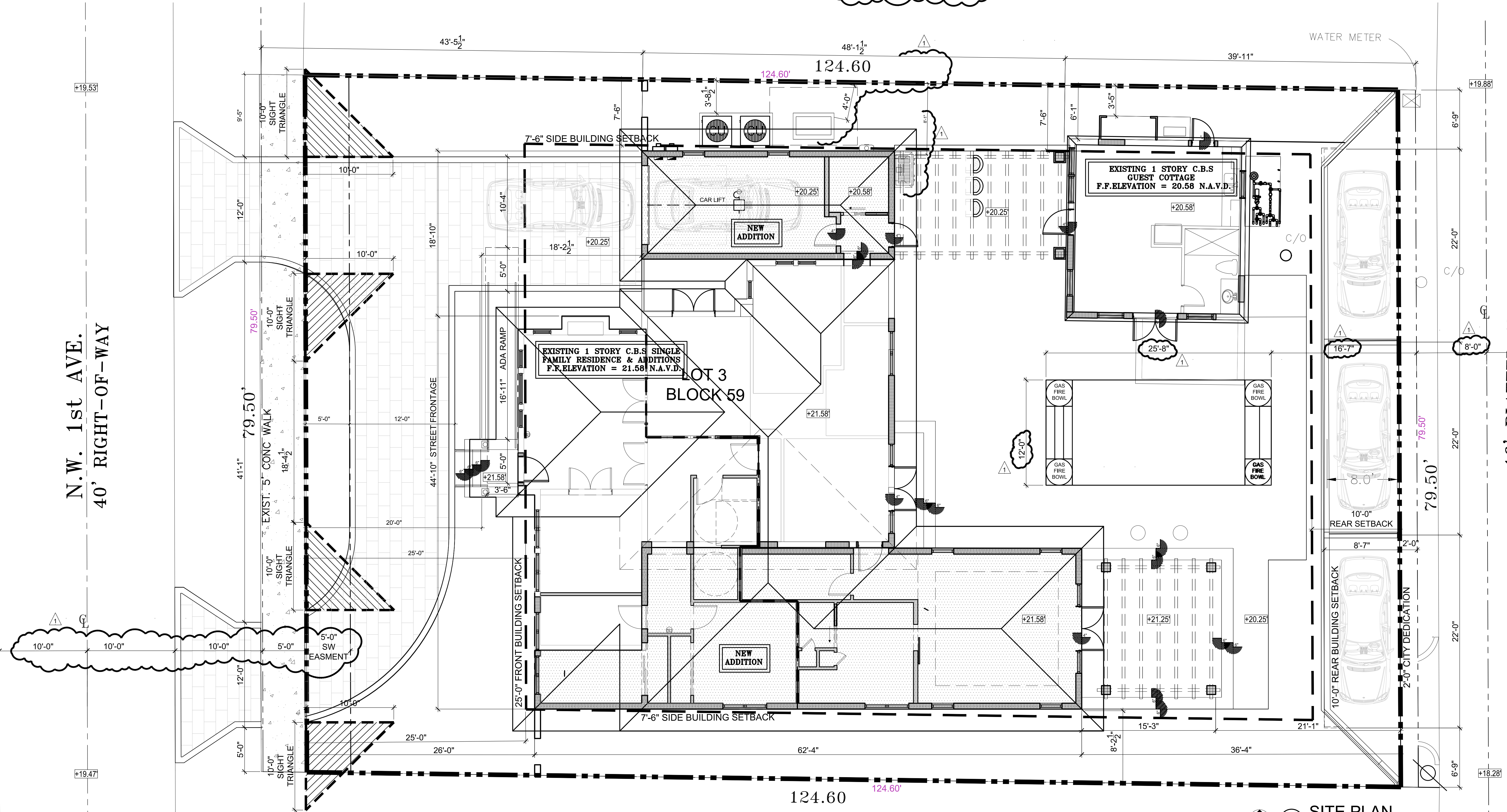
NEW OPEN SPACE CALCULATIONS	
LOT AREA	9905 SF
IMPERVIOUS	7142 SF
OPEN SPACE	2763 SF

COMMERCIAL / RESIDENTIAL AREA CALCULATION	
COMMERCIAL	1030 SF
COMMERCIAL - GARAGE	355 SF
RESIDENTIAL	1337 SF
TOTAL AREA	2722 SF

Florida Fire Prevention code 6th Edition - Florida Specific NFPA 1 Fire code, 2015 Edition and Florida Specific NFPA 101 Life Safety Code, 2015 Edition.



1 VICINITY MAP  
N.T.S.



1 SITE PLAN  
3/16"=1'-0"

(TAC REVIEW) 06-24-19

REVISIONS	BY	DATE
TAC COMMENTS	FMP	08.20.19

MARION RESIDENCE  
131 NW 1ST AVENUE  
DELRAY BEACH, FLORIDA

RANDALL STOFFT  
ARCHITECTS  
distinctive. inspirational. architecture.

Job No. 1805063

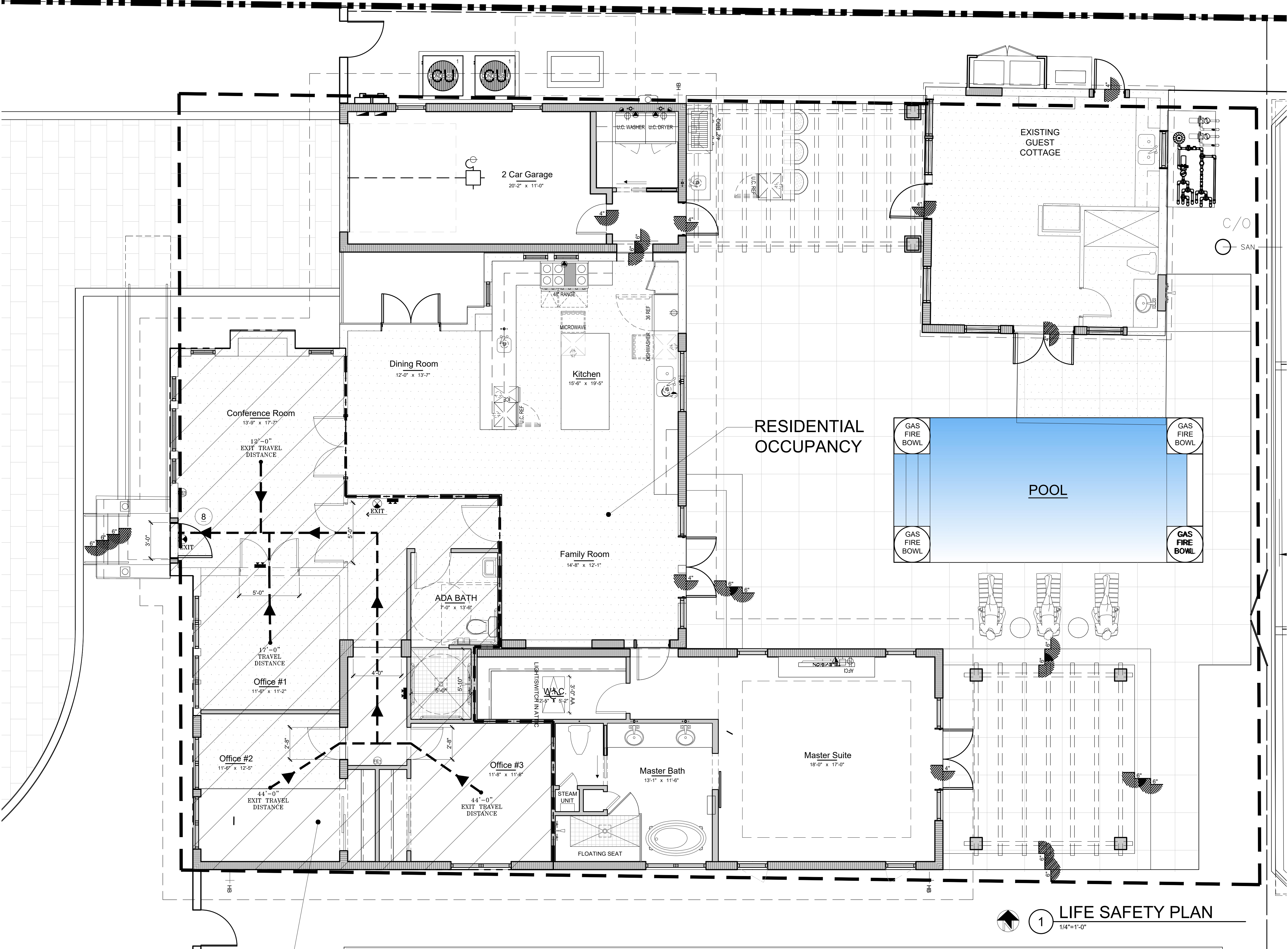
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A101









"B" OCCUPANCY

EXIT REQUIREMENTS											
PER FBC 2017 TABLE 1006.2.1											
SPACE	OCCUPANT LOAD (SEE CALCS)	SPRINKLERED	MIN. # OF EXITS REQUIRED	# OF EXITS PROVIDED	MIN.SEPARATION OF EXITS REQUIRED	SEPARATION OF EXITS PROVIDED	MAX. TRAVEL DISTANCE	COMMON PATH OF EGRESS TRAVEL	STAIR EGRESS WIDTH (IN INCHES)	REQUIRED EGRESS WIDTH OTHER COMPONENTS (IN INCHES)	PROVIDED EGRESS WIDTH OTHER COMPONENTS (IN INCHES)
BUSINESS	8 OCCUPANTS	YES	1	1	N/A	N/A	100'-0"	44'-0"	N/A	32"	34" CLEAR

- EGRESS DOOR NOTES:**
- ALL DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS OR A GROUP H OCCUPANCY.
  - ALL DOORS REQUIRED TO BE ACCESSIBLE TO HAVE A CLEAR OPENING WIDTH OF 32" WITH THE DOOR OPENED 90 DEGREES, MEASURED BETWEEN THE FACE OF THE DOOR & THE OPPOSITE STOP.
  - MULTIPLE MEANS OF EGRESS SHALL BE SIZED SUCH THAT THE LOSS OF ANY ONE MEANS OF EGRESS SHALL NOT REDUCE THE AVAILABLE CAPACITY TO LESS THAN 50% OF THE REQUIRED CAPACITY.
  - MAINTAIN A MINIMUM OF 12" CLEAR SPACE ON THE PUSH SIDE & 18" CLEAR SPACE ON THE PULL SIDE OF DOORS PER 2017 FLORIDA ACCESSIBILITY CODE, CHAPTER 11.
  - ALL THRESHOLDS AT DOORS NOT TO EXCEED 1/2". RAISED THRESHOLDS & FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS SHALL BE BEVELED W/ SLOPE NO GREATER THAN 1:2.

LIFE SAFETY PLAN LEGEND

- X

DENOTES OCCUPANCY
- NOTE: TOTAL INTERIOR BUSINESS OCCUPANCY: 8
- EXIT

EXIT SIGN, LED, SINGLE FACE, EDGE LIT, BATTERY BACK-UP, CLEAR ALUMINUM MOUNT, RED LETTERS, TO BE PLACED NO LESS THAN 60" AFF TO BOTTOM OF FIXTURE
- EMERGENCY LIGHT

THERMOPLASTIC EMERGENCY LIGHT FIXTURE WITH 90 MIN. EMERGENCY BATTERY PACK, MCPHILBEN "CAX" SERIES.
- EXIT (B)

RAISED CHARACTER & BRAILLE EXIT SIGNS: A SIGN STATING "EXIT" IN RAISED CHARACTERS AND BRAILLE COMPLYING WITH ICC A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN AREA OF REFUGE, AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY, AND THE EXIT DISCHARGE. EXIT SIGN MUST BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR @ 60" A.F.F. TO THE CENTERLINE OF THE SIGN. BRAILLE LETTERING ALSO USED FOR VISION IMPAIRED PERSONS.
- DIRECTION OF EGRESS TRAVEL w/ ACCUMULATED OCCUPANT LOAD
- FIRE EXTINGUISHERS

ORDINARY (MODERATE) HAZARD OCCUPANCY:  
MAX. 3,000 S.F. OF AREA TO BE PROTECTED  
MAX. 75'-0" OF TRAVEL DISTANCE

FE1

LARSEN'S MODEL MP5 (MULTIPURPOSE DRY CHEMICAL TYPE) 5 LBS, 15.25" Hx7.25" W, UL RATING 2A-10B-C WITH LARSEN'S CABINET 2409-SM SURFACE MOUNTED, THE CABINET TO BE MOUNTED WITH ITS LEADING EDGE AT OR BELOW 27" FROM THE FINISHED FLOOR TO COMPLY W/ ADA WALL PROJECTION.

MARION				
Delray Beach, Florida				
<b>'B' Occupancy</b>				
Per FBC 2017, Chapter 3, Section 304				
<b>Occupancy Load Calculations</b>				
Per FBC 2017, Chapter 10, Section 1004, Table 1014.1.2				
Location	Square Footage	S.F. / Occupant Required	Max. # of Occupants	
BUSINESS	736	100 gross s.f.	7	
STORAGE 1	22	300 gross s.f.	0	
STORAGE 2	24	300 gross s.f.	0	
Total			8	
<b>Note #1:</b> Per 2017 FBC-Building, Chapter 10, Table 1004.1.2, BUSINESS				

MARION			
Delray Beach, Florida			
BUSINESS 'B'			
Per FBC 2017, Chapter 3, Section 309			
MINIMUM PLUMBING FIXTURE CALCULATIONS			
Per FBC 2017, Plumbing, Chapter 4, Section 403, Table 403.1			
Total Occupant Load		8	
Fixtures Men & women	Required	Provided	
Water Closets	1 per 25 occupants For the first 50 and 1 per 50 for the remainder exceeding 50	0.01	1
Urinal		N/A	
Lavatories	1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80	0.01	1

Drinking Fountain	1 per 1000 occupants	1	1
Service Sink	not required - see note #1		SEE NOTE #2

**Note #1:** Per section 403.2 exception #: For business and mercantile occupancies with an occupant load of 15 or fewer, service sink is not required.

**NOTE #2:** WATER COOLER PROVIDED.

REVISIONS	BY	DATE
TAC COMMENTS	FMP	08.20.19

(TAC REVIEW) 06-24-19

MARION RESIDENCE

131 NW 1ST AVENUE

DELRAY BEACH, FLORIDA

RANDALL STOFFT ARCHITECTS

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FL-001105 FIRM-AA003379

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DELRAY BEACH, FLORIDA

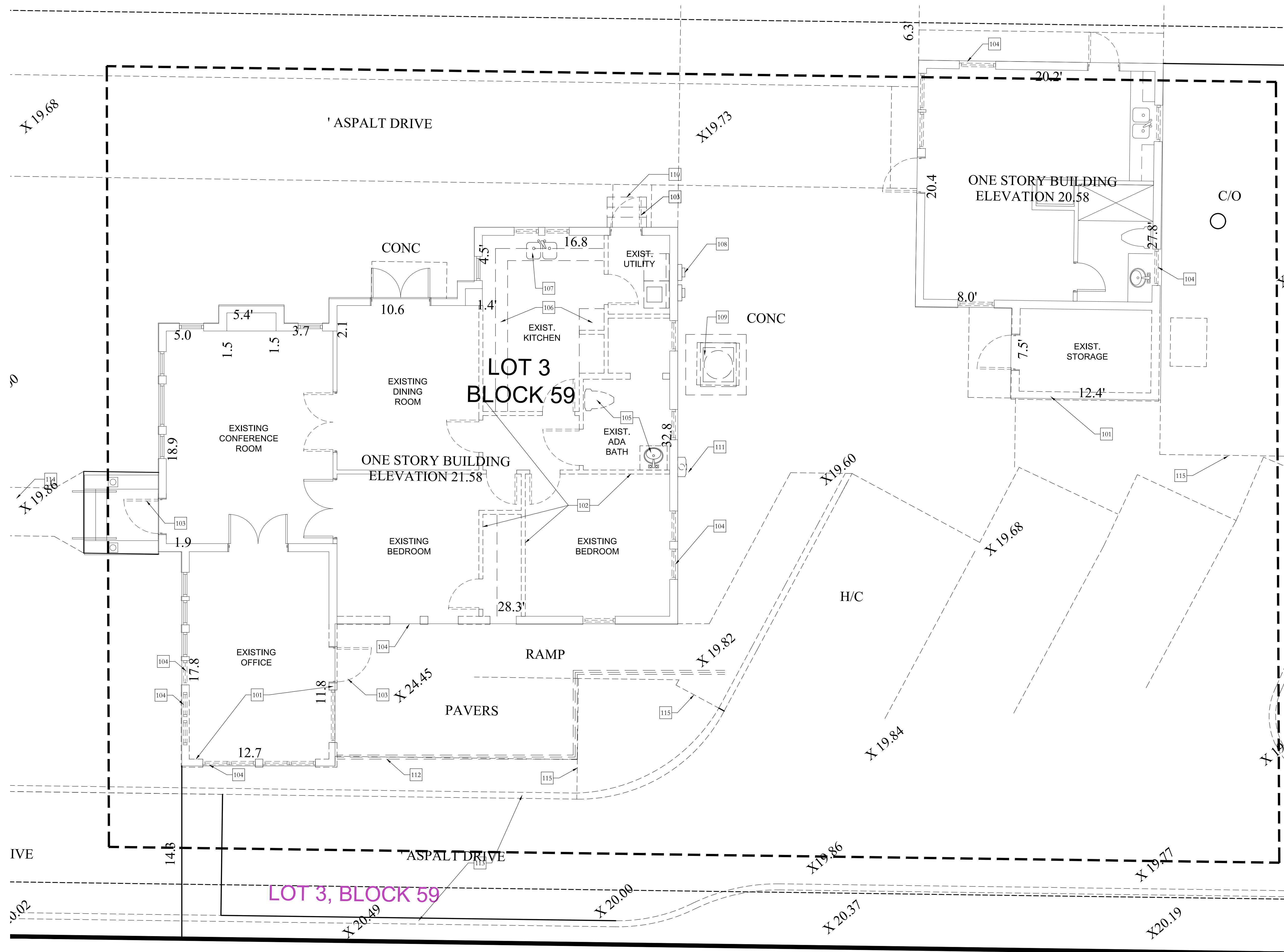
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A200



DEMOLITION PLAN KEY NOTE LEGEND	
101	EXISTING EXTERIOR WALL TO BE REMOVED AS NECESSARY FOR NEW CONSTRUCTION
102	EXISTING INTERIOR WALL TO BE REMOVED AS NECESSARY FOR NEW CONSTRUCTION
103	EXISTING DOOR TO BE REMOVED/RELOCATED
104	EXISTING WINDOW TO BE REMOVED/RELOCATED
105	EXISTING PLUMBING FIXTURE & BATHROOM ELEMENTS TO BE REMOVED (SEE PROPOSED FLOOR PLAN FOR NEW BATHROOM LAYOUT)
106	EXISTING CABINETRY & APPLIANCES TO BE REMOVED
107	EXISTING SINK TO BE REMOVED
108	EXISTING ELECTRICAL METER TO BE RELOCATED
109	EXISTING CONDENSER TO BE REMOVED/RELOCATED
110	EXISTING STEPS TO BE REMOVED
111	EXISTING TANKLESS WATER HEATER TO BE REMOVED RELOCATED
112	EXISTING RAMP RAILING SYSTEM TO BE REMOVED
113	EXISTING DRIVEWAY PARKING TO BE REMOVED
114	EXISTING SIDEWALK TO BE REMOVED
115	EXISTING FENCE TO BE REMOVED

## DEMOLITION GENERAL NOTES

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1. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL CARRY PUBLIC LIABILITY, & WORKER'S COMPENSATION INSURANCE AND MUST PROVIDE ALL VALID CERTIFICATIONS OF ALL TO THE OWNER.
2. THE GENERAL CONTRACTOR IS TO VERIFY ALL DIMENSIONS PRIOR TO ANY DEMOLITION & NEW CONSTRUCTION.
3. THE GENERAL CONTRACTOR IS TO NOTIFY ENGINEER AND/OR ARCHITECT OF ANY DISCREPANCIES FOUND ON CONSTRUCTION DOCUMENTS OR IN THE FIELD.
4. ALL AREAS TO BE PATCHED AND/OR REPAIRED IN PREPARATION FOR NEW CONSTRUCTION AND/OR FINISHES AS INDICATED WITHIN THIS PERMIT SET, OR AS REQUIRED BY OWNER SHALL MATCH ALL EXISTING OR AS INDICATED BY OWNER.
5. DEMOLITION OF ANY MECHANICAL PLUMBING OR ELECTRICAL SYSTEMS SHALL INCLUDE REMOVAL OF ASSOCIATED DUCTWORK, PIPES, CONDITS, WIRING, AND OTHER RELATED COMPONENTS.
6. INTERRUPTION OF ANY UTILITY SERVICE SHALL BE COORDINATED WITH FPL AND APPROVED BY THE OWNER PRIOR TO INTERRUPTION.
7. UTILITY SERVICES TO BE ABANDONED SHALL BE CAPPED OFF AS DIRECTED BY LOCAL OFFICIALS AND OWNER.
8. THE GENERAL CONTRACTOR IS TO PROVIDE A REFUSE DUMPSTER AT ALL TIMES.
9. THE GENERAL CONTRACTOR IS TO ENSURE ADEQUATE PROTECTION AGAINST WATER INTRUSION IS PROVIDED FOR ANY OPEN AREAS EXPOSED DUE TO DEMOLITION AND CONSTRUCTION.
10. THE GENERAL CONTRACTOR IS TO ENSURE SIGNS ARE PROVIDED IN CONSPICUOUS LOCATIONS & CONSTRUCTION BARRIERS IN PLACE FOR PUBLIC SAFETY.



# DEMOLITION PLAN

LOT 4, BLOCK 59

131.60





NEW + EXISTING A/C S.F. CALCULATION	
AREA CALCULATION	
A/C-ADDITION-MASTER	987 SF
A/C-ADDITION-UTILITY	91 SF
A/C-EXISTING-GUEST COTTAGE	412 SF
A/C-EXISTING-MAIN HOUSE	1375 SF
TOTAL AREA	2865 SF
AREA CALCULATION	
ADDITION - GARAGE	264 SF
ADDITION-ODK	238 SF
TOTAL AREA	502 SF
TOTAL AREA	3367 SF

1. VERIFY ALL KITCHEN APPLIANCE SPECIFICATIONS & LOCATIONS, AS WELL AS CABINERY w/ INTERIOR DESIGNER AND KITCHEN CABINET SUPPLIER.
2. G.C. TO VERIFY IF APPLIANCES ARE TO UTILIZE: NATURAL GAS AND SIZE NATURAL GAS TANK ACCORDINGLY. SEE SITE PLAN FOR NATURAL GAS TANK LOCATION. MAINTAIN MIN. CLEARANCES FROM BUILDING & PROPERTY LINES PER MANUFACTURERS SPECIFICATIONS.
3. ALL WINDOW GLASS TO BE CLEAR.
4. OWNER WILL SUPPLY ALL KITCHEN APPLIANCES, RANGE HOOD, AND FIXTURES FOR THE G.C. TO INSTALL.
5. OWNER WILL SUPPLY PULL DOWN IRONING BOARD - G.C. TO INSTALL.
6. ALL SHOWERS TO HAVE RECESS SHELVING FOR TOILETRIES.
7. OWNER WILL SUPPLY BATHROOM TOILETS, CABINETS, AND FIXTURES - G.C. TO INSTALL.
8. OWNER WILL SUPPLY STEAM EQUIPMENT - G.C. TO INSTALL.
9. G.C. TO COORDINATE WITH OWNER REGARDING ALL TILE WORK.
10. OWNER WILL SUPPLY ALL INTERIOR HEATING / AC GRATE COVERS -G.C. TO INSTALL.
11. ALL INTERIOR DOORS TO BE SOLID CORE. OWNER WILL SUPPLY ALL GLASS DOOR KNOBS.
12. OWNER WILL SUPPLY BARN DOORS AND HARDWARE -G.C. TO INSTALL.
13. OWNER WILL SUPPLY ALL LIGHT SWITCH PLATE COVERS -G.C. TO INSTALL.
14. G.C. TO COORDINATE ALL MAIN HOUSE FLOORING MATERIAL WITH OWNER.

## 1st FLOOR NOTE PLAN

## 1ST FLOOR WINDOW SCHEDULE

MARK	SIZE		HEAD HT.	TYPE	NOTES
	WIDTH	HEIGHT			
100	4'-4"	3'-4"	6'-2"	CASMENT-DOUBLE	EXISTING, RELOCATED MATCH EXISTING HEAD HEIGHT
101	4'-4"	3'-4"	6'-2"	CASMENT-DOUBLE	MATCH EXISTING HEAD HEIGHT
102	6'-0"	5'-0"	8'-0"	CASMENT-DOUBLE	W/2 TRANSOM
103	6'-0"	5'-0"	8'-0"	CASMENT-DOUBLE	W/2 TRANSOM
104	6'-0"	5'-0"	8'-0"	CASMENT-DOUBLE	W/2 TRANSOM
105	6'-0"	5'-0"	8'-0"	CASMENT-DOUBLE	W/2 TRANSOM
106	6'-0"	5'-0"	8'-0"	STATIONARY	W/2 TRANSOM
107	6'-0"	5'-0"	8'-0"	STATIONARY	W/2 TRANSOM
108	6'-0"	5'-0"	8'-0"	STATIONARY	W/2 TRANSOM
109	6'-0"	5'-0"	8'-0"	STATIONARY	W/2 TRANSOM
110	6'-0"	5'-0"	8'-0"	STATIONARY	W/2 TRANSOM
111	6'-0"	5'-0"	8'-0"	STATIONARY	W/2 TRANSOM
112	6'-0"	4'-0"	8'-0"	CASMENT-DOUBLE	W/2 TRANSOM
113	6'-0"	6'-0"	8'-0"	STATIONARY	NEW IMPACT
114	3'-0"	6'-0"	6'-0"	DOUBLE-HUNG	INSTALL PER WDS
115	3'-0"	3'-4"	6'-0"	DOUBLE-HUNG	NEW IMPACT
116	3'-0"	3'-4"	6'-0"	DOUBLE-HUNG	INSTALL PER WDS
117	3'-0"	2'-6"	6'-0"	CASMENT	NEW IMPACT
118	3'-0"	2'-6"	6'-0"	CASMENT	INSTALL PER WDS
119	3'-0"	3'-4"	6'-0"	DOUBLE-HUNG	NEW IMPACT
120	3'-0"	3'-4"	6'-0"	DOUBLE-HUNG	INSTALL PER WDS
121	3'-0"	3'-4"	6'-0"	DOUBLE-HUNG	NEW IMPACT
122	3'-0"	3'-4"	6'-0"	DOUBLE-HUNG	INSTALL PER WDS

NOTE: ALL WINDOW GLASS TO BE CLEAR

MARK	SIZE		TYPE	FIRE RATING	NOTES
	WIDTH	HEIGHT			
101	9'-0"	9'-0"	OHCO	100-000	
102	3'-0"	7'-2"	ENTRY	100-000	
103	5'-0"	8'-0"	FRENCH-DBL	100-000	W/2' TRANSOM
104	5'-0"	8'-0"	FRENCH-DBL	100-000	100-000
105	2'-8"	8'-0"	FRENCH	100-000	
106	5'-0"	6'-8"	FRENCH-DBL	100-000	
107	2'-8"	6'-8"	FRENCH	100-000	
108	3'-0"	6'-8"	FRENCH	100-000	

FLOOR PLAN KEY NOTE LEGEND	
101	OWNER SELECTED & BUILDER INSTALLED ELECTRIC FULL SIZE CLOTHES DRYER.
102	OWNER SELECTED & BUILDER INSTALLED ELECTRIC FULL SIZE CLOTHES WASHER.
103	FRAMELESS TEMPERED GLASS ENCLOSURE & SWING DOOR.
104	15" DEEP'S 18" HIGH SHOWER SEAT. FINISH PER I.D. DRAWINGS.
105	22" x 36" ATTIC ACCESS HATCH. VERIFY EXACT LOCATION W/ FINISH TRUSS PLACEMENT. SEE DETAIL ON DETAIL SHEET.
106	22" x 34" ATTIC ACCESS - PULL DOWN STAIRS. <b>GARAGE ONLY.</b> VERIFY EXACT LOCATION W/ FINISH TRUSS PLACEMENT. SEE DETAIL ON DETAIL SHEET.
107	BUILT-IN CLOSET SHELVING. SEE I.D. DWGS
108	36" REFRIGERATOR/ FREEZER COMBO. SEE NOTE #1 BELOW.
109	UNDER COUNTER DISHWASHER. SEE NOTE #1 BELOW.
110	48" NATURAL GAS RANGE w/ S.S. EXHAUST HOOD ABOVE. ROUTE EXHAUST DUCT PIPE THROUGH ROOF
111	OWNER SELECTED & BUILDER INSTALLED UNDERCOUNTER MICROWAVE. W/ WARM DRAWER BELOW. SEE NOTE #1 BELOW
112	OWNER SELECTED & BUILDER INSTALLED UNDERCOUNTER REFRIGERATOR. SEE NOTE #1 BELOW
113	OWNER SELECTED & BUILDER INSTALLED UNDERCOUNTER ICE MAKER. SEE NOTE #1 BELOW.
114	UNDER MOUNT, SINGLE BOWL KITCHEN SINK. W/ GARBAGE DISPOSAL & COUNTERTOP MOUNT SWITCH. VERIFY SPECS AND LOCATION OF FAUCET SET.
115	42" NATURAL GAS BIRD w/ S.S. EXHAUST HOOD & VENTILATOR MOTOR ABOVE. VENT EXHAUST PIPE THROUGH ROOF. VERIFY SPECIFICATIONS.
116	36" HIGH (FINISHED) PREP. WORKSPACE COUNTERTOP w/ CABINETS ABOVE & BELOW. SEE NOTE #1 BELOW.
117	36" HIGH (FINISHED) BUILT-IN CABINETRY w/ CABINETS BELOW. (NO UPPEIS). SEE I.D. DRAWINGS FOR DETAILS.
118	36" HIGH (FINISHED) BATHROOM VANITY w/ CABINET BELOW. SEE I.D. DRAWINGS FOR DETAILS.
119	VANITY MIRROR. FULL VANITY WIDTH MIN. 42" HIGH ABOVE VANITY TOP. SEE I.D. DRAWINGS FOR DETAILS.
120	OWNER SUPPLIED 66-66" DOUBLE-SLIPPER CLAW FOOT CAST-IRON TUB. G.C. TO INSTALL.
121	LINE OF CEILING ABOVE. SEE REFLECTED CEILING PLAN.
122	RECESSED STAINLESS STEEL HOSE BIB BOX AND BRASS HOSE BIB. SEE MEP DRAWINGS
123	FUTURE GENERATOR ON MIN. 6" HIGH CONCRETE EQUIPMENT PAD. VERIFY SIZE OF PAD w/ GENERATOR SPECIFICATIONS. SEE STRUCTURAL DWGS. FOR CONCRETE PAD DETAILS. ELEVATION TO BE ABOVE MIN. FLOOR ELEVATION. SEE SITE PLAN.
124	A.C. COMPRESSOR ON MIN. 6" HIGH CONCRETE EQUIPMENT PAD. VERIFY SIZE OF PAD w/ A.C. COMPRESSOR SPECIFICATIONS. SEE STRUCTURAL DWGS. FOR CONCRETE PAD DETAILS. ELEVATION TO BE ABOVE MIN. FLOOR ELEVATION. SEE SITE PLAN.
125	POOL & SPA EQUIPMENT ON MIN. 6" HIGH CONCRETE EQUIPMENT PAD. VERIFY SIZE OF PAD. SEE STRUCTURAL DWGS. FOR CONCRETE PAD DETAILS. ELEVATION TO BE ABOVE MIN. FLOOR ELEVATION. SEE SITE PLAN.
126	FIREWALL SEPARATION BETWEEN RESIDENTIAL & RESIDENTIAL OCCUPANCY. REFER TO SHEET LS "LIFE SAFETY PLAN"
127	ADA RAMP - REFER TO SHEET ASB01
128	ADA BATHI - REFER TO SHEET ASB01
129	TRASH BINS BEHIND 4' HIGH WOOD FENCE/GATE
130	VINE FEATURE ON WALL
131	MINI-SPLIT A/C SYSTEM
132	A/C IN ATTIC - SEE MECH.
133	RELOCATED TANKLESS HOT WATER HEATER
134	POT FILLER
135	DOUBLE SIDED GLASS UPDR CABINETS - BY OTHERS
136	COUNTER W/ CABINETS ABOVE OVER WASHER AND DRYER
137	OVERHEAD RAIN FALL, SHOWERHEAD, WALL MOUNTED SHOWER HEAD, AND HANDHELD UNIT. G.C. TO COORDINATE LOCATION WITH OWNER.
138	CUSTOMER SUPPLIED ROBERTO TOLETRY CABINET. G.C. TO INSTALL. RECESSED 3" INTO WALL.

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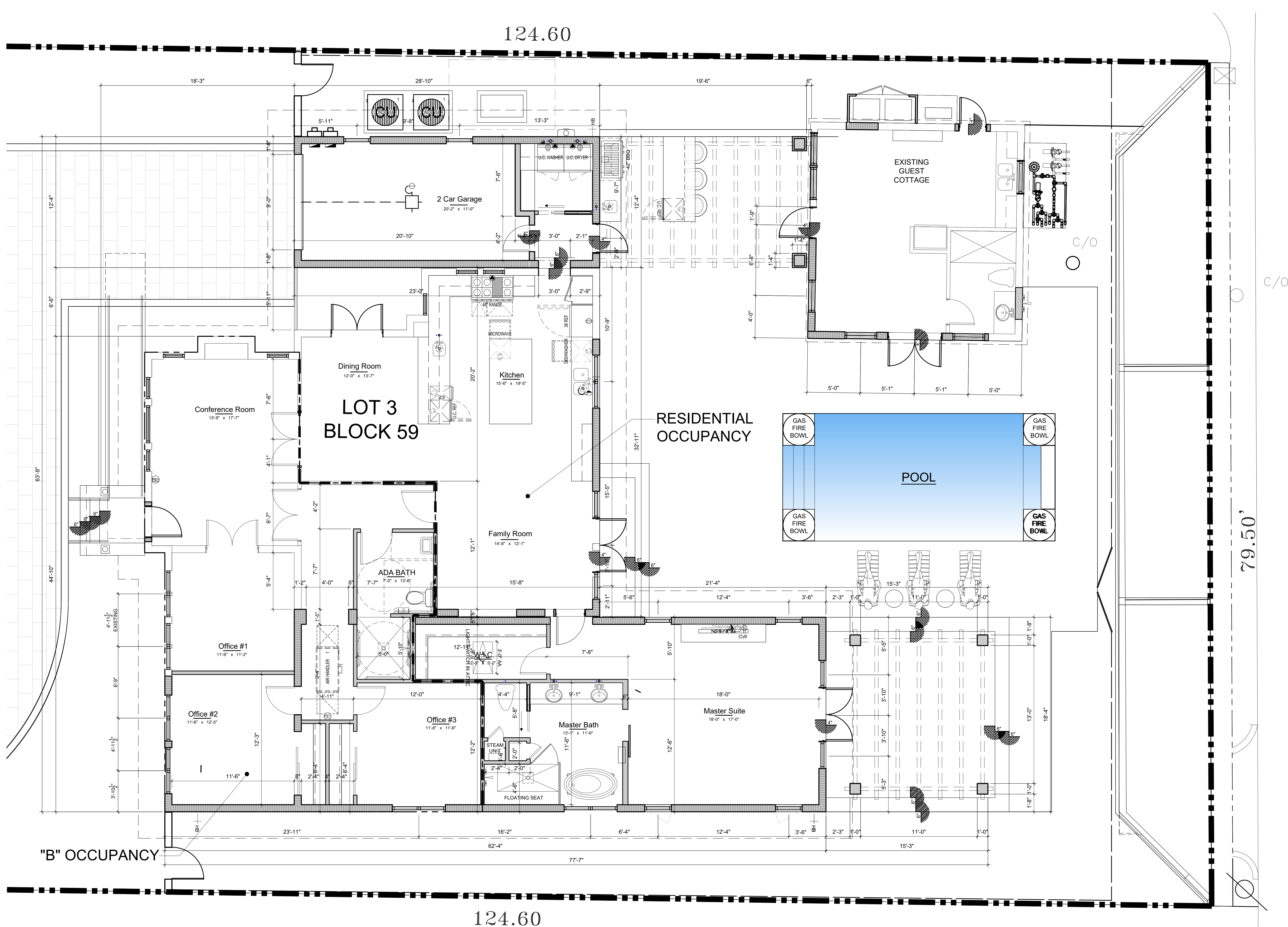
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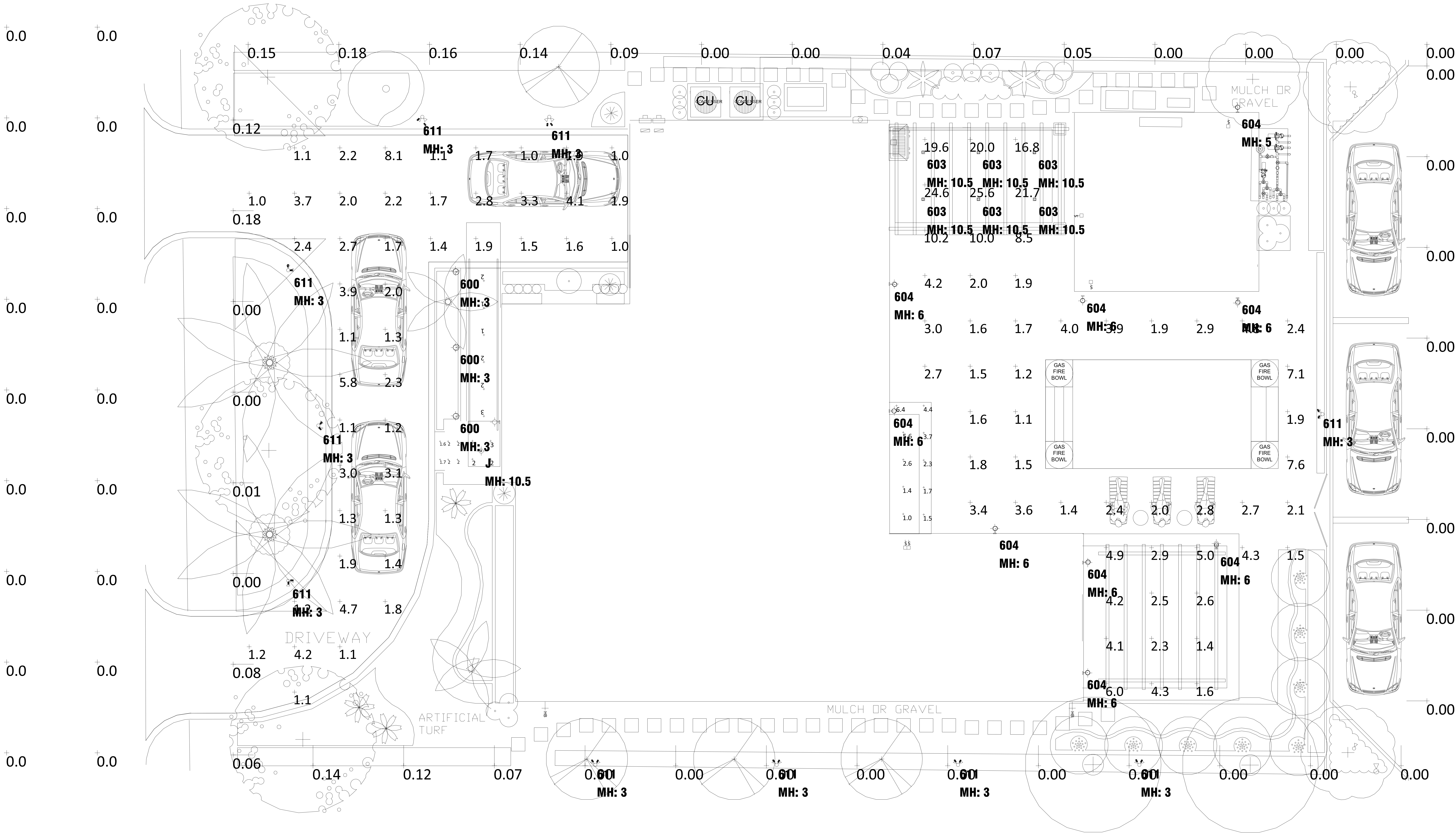
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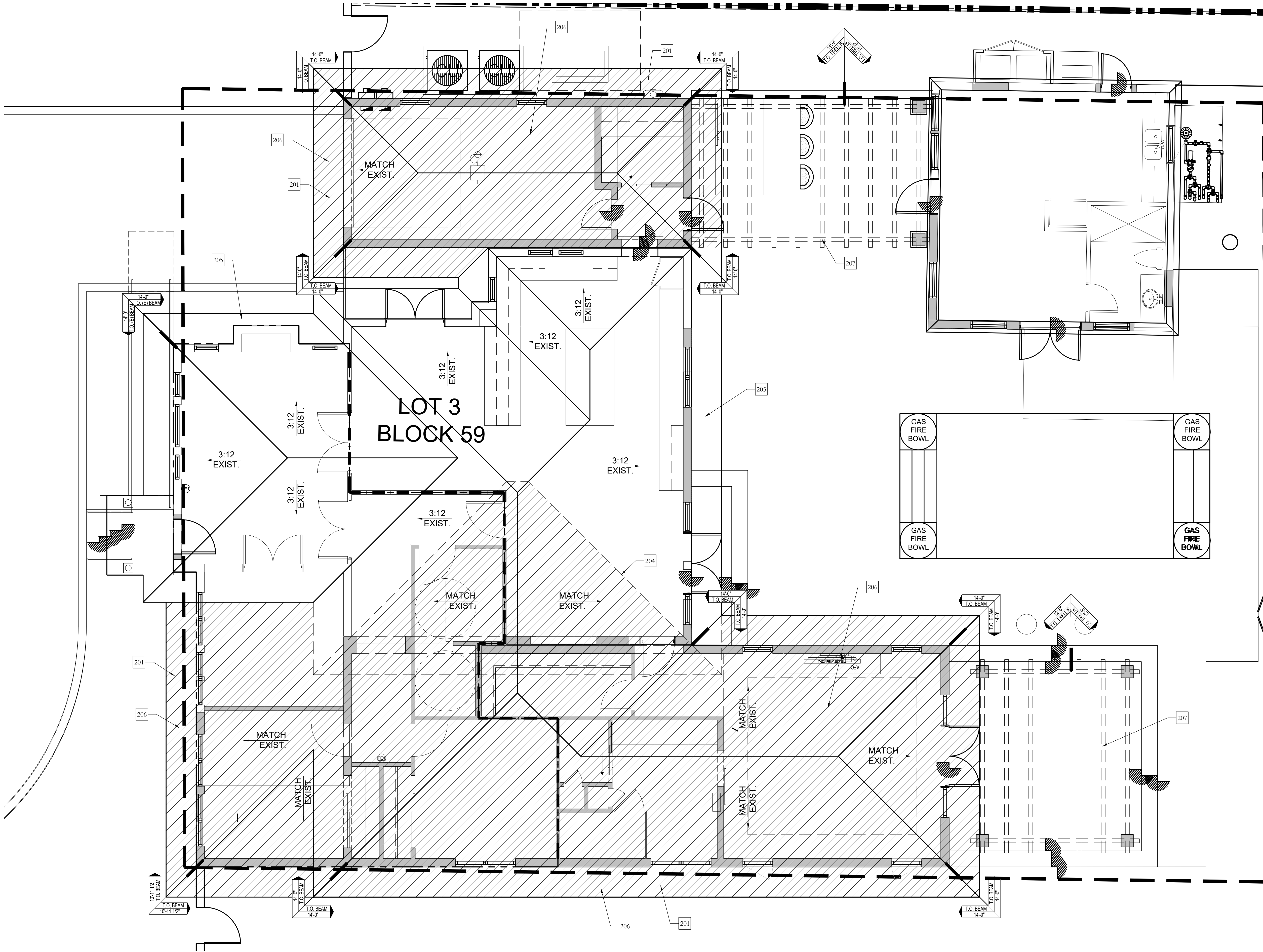
1 1st FLOOR DIM PLAN  
1/4"=1'-0"

Luminaire Schedule					
Project: MARION RESIDENCE - SITE --- AUGUST 6 - 2019					
Symbol	Qty	Label	Description	Lum. Watts	Total Watts
	3	600	TEKA MBP-LED-e95-SD5	6.87256	20.61768
	6	603	LITON DL340B-B45UE-DUN	14.55	87.3
	9	604	KICHLER 49629	11.2	100.8
	10	611	BK TWIN STAFF STYLE C TF-36-C E66 MFL AT 36INCH AFG	6.95	69.5
	1	J	KICHLER 49632	11.2	11.2

Calculation Summary					
Project: MARION RESIDENCE - SITE --- AUGUST 6 - 2019					
Label	Avg	Max	Min	Avg/Min	Max/Min
DRIVE_Planar	2.20	8.1	1.0	2.20	8.10
POOL_DECK_Planar	5.42	25.6	1.1	4.93	23.27
RAMP_Planar	1.83	3	1	1.83	3.00
SPILL - HORIZ 6' AG	0.00	0.03	0.00	N.A.	N.A.
SPILL - VERT 6' AG	0.04	0.18	0.00	N.A.	N.A.
STREET_Planar	0.00	0.0	0.0	N.A.	N.A.







ROOF PLAN KEY NOTE LEGEND		
201	BARREL ROOF TILE TO MATCH EXISTING OVER PRE-ENGINEERED WOOD TRUSSES. REFER TO STRUCTURAL & TRUSS DRAWINGS	
202	22"x34" ATTIC ACCESS HATCH W/PULL DOWN STAIRS, COORDINATE FINAL LOCATION W/TRUSS PLACEMENT	
203	22"x36" ATTIC ACCESS HATCH, COORDINATE FINAL LOCATION W/TRUSS PLACEMENT	
204	LINE OF EXISTING ROOF	
205	EXISTING BARREL ROOF TO BE RENOVATED/REPLACED AS REQUIRED PER NEW CONSTRUCTION. G.C. TO ENSURE THAT BARREL TILE TO BE REPLACED TO MATCH EXISTING.	
206	LINE OF NEW ROOF. ROOF TO MATCH EXISTING BEAM AND FACIA HEIGHT.	
207	NEW TRELLIS STRUCTURE	

- TYPICAL ROOF NOTES**
- THIS ROOF PLAN IS FOR GRAPHIC INFORMATION ONLY (I.E. RIDGE LINES, TIE BEAM HEIGHTS, OVERALL DIMENSIONS, ETC.)
  - G.C. SHALL CONFIRM ALL STRUCTURAL COLUMNS AND BEAM SIZE, LOCATION AND REINFORCEMENT WITH STRUCTURAL ENGINEER'S DRAWINGS PRIOR TO CONSTRUCTION.
  - G.C. TO VERIFY POSITIVE SLOPE AT FINISHED FLOOR TO ENSURE PROPER DRAINAGE AT ALL LANAIS, COVERED ENTRY, OUTDOOR LIVING SPACES, BALCONYS AND GARAGE.
  - G.C. TO PROVIDE SUCRASEAL (OR EQUAL) INSULATION AT THE UNDERSIDE OF ALL ROOF SLABS INCLUDING GARAGES, LANAIS AND BALCONIES IF APPLICABLE. G.C. TO ALSO PROVIDE MAKE UP AIR EQUAL TO ULTRA AIR ADEQUATE FOR THIS SYSTEM. G.C. TO PROVIDE (2) VENTS INSTALLED INSIDE THE GARAGE OPEN TO THE ATTIC SPACE.
  - REFER TO STRUCTURAL DRAWINGS FOR EXACT LOCATION OF COLUMNS AND ADDITIONAL INFORMATION.
  - REFER TO THE REFLECTED CEILING PLAN FOR ALL HEIGHTS, DIMENSIONS AND CEILING DETAILS.
  - G.C. TO COORDINATE ARCHITECTURAL DRAWINGS WITH INTERIOR DESIGN DRAWINGS FOR EXACT DIMENSION AND CEILING DESIGN.
  - SEE TYPICAL WALL SECTIONS FOR TYPICAL ROOF CONSTRUCTION

**ROOF SPECIFICATIONS**

FLAT ROOF DECK:  
ALL FLAT ROOF DECKS ARE TO HAVE BITUMEN ROOFING MEMBRANE (45 MIL. MIN.) THE INSULATION SHALL PROVIDE POSITIVE DRAINAGE TO ROOF DRAINS WITH A MIN. 1/8" PER FOOT SLOPE. ROOFING MEMBRANE INSTALLED PER MANUFACTURER'S SPECIFICATIONS WITH A 20 YEAR WARRANTY.

REFER TO STRUCTURAL  
FOR ALL BEAM SIZES

REFER TO MEP SHEETS  
FOR EXACT ROOF DRAIN  
& DOWNSPOUT LOCATION

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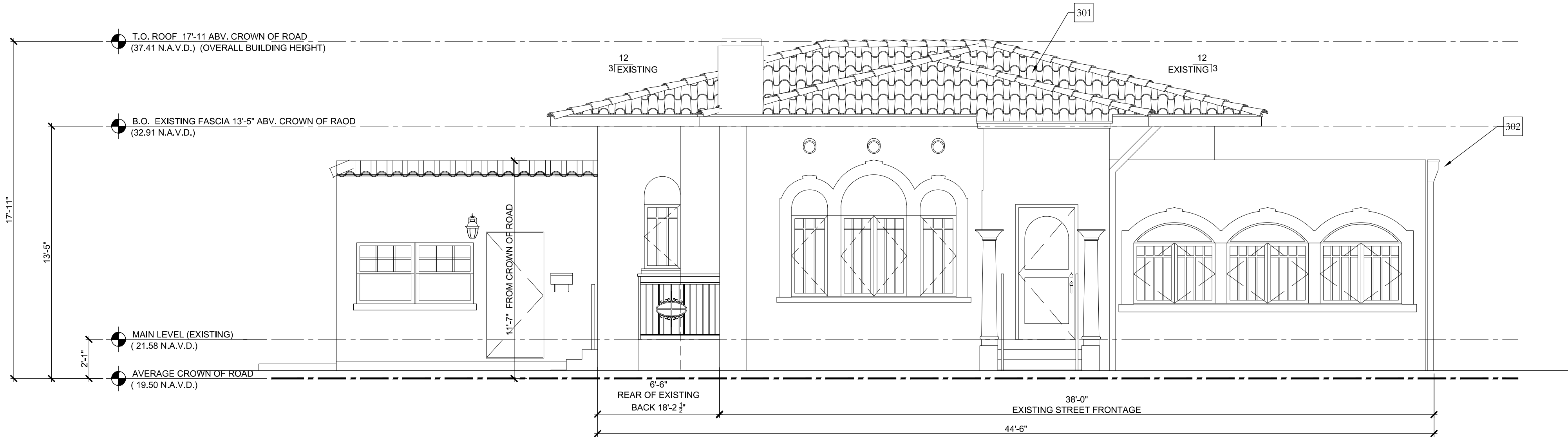
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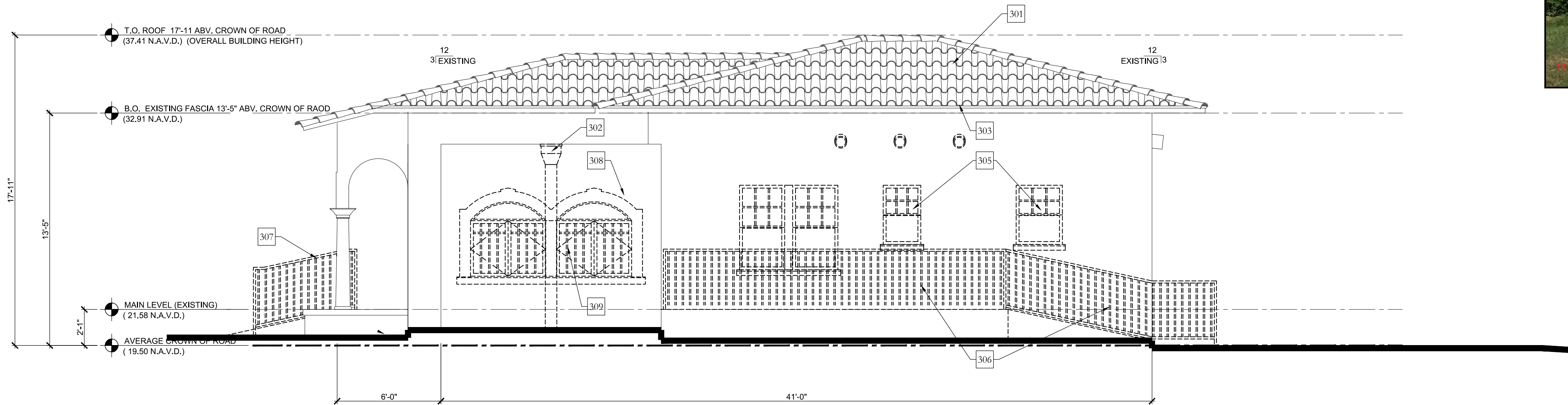




1 EXISTING FRONT ELEVATION (WEST)  
1/4"=1'-0"



BARREL TILE TO MATCH EXISTING



2 EXISTING SIDE ELEVATION (SOUTH)  
1/4"=1'-0"

EXISTING EXTERIOR ELEVATION  
KEYNOTE LEGEND

301	EXISTING BARREL TILE ROOF TO BE REMOVED AND REPLACED AS NECESSARY PER NEW CONSTRUCTION . NEW TILE TO MATCH EXISTING
302	EXISTING DOWNSPROUT TO BE REMOVED
303	EXISTING CLAY BARREL SUPPLIES TO BE REMOVED/RELOCATED
304	EXISTING STUCCO FINISH SYSTEM TO REMAIN
305	EXISTING NON-IMPACT SINGLE HUNG
306	EXISTING RAMP & RAILING SYSTEM TO BE REMOVED
307	EXISTING RAILING TO BE REMOVED
308	EXISTING WALL TO BE REMOVED AS NECESSARY FOR NEW CONSTRUCTION
309	EXISTING IMPACT WINDOW TO BE REMOVED & RELOCATED
310	EXISTING SURFACE MOUNTED A/C LINES TO BE REMOVED
311	EXISTING GLASS BLOCK TO BE REMOVED
312	EXISTING A/C CONDENSING UNIT TO BE RELOCATED
313	EXISTING ELECTRICAL METERS & PANELS TO BE RELOCATED/REPLACED
314	EXISTING TANKLESS HOT WATER HEATER TO BE RELOCATED
315	EXISTING STORAGE AREA TO BE REMOVED
316	EXISTING DOOR TO BE REPLACED

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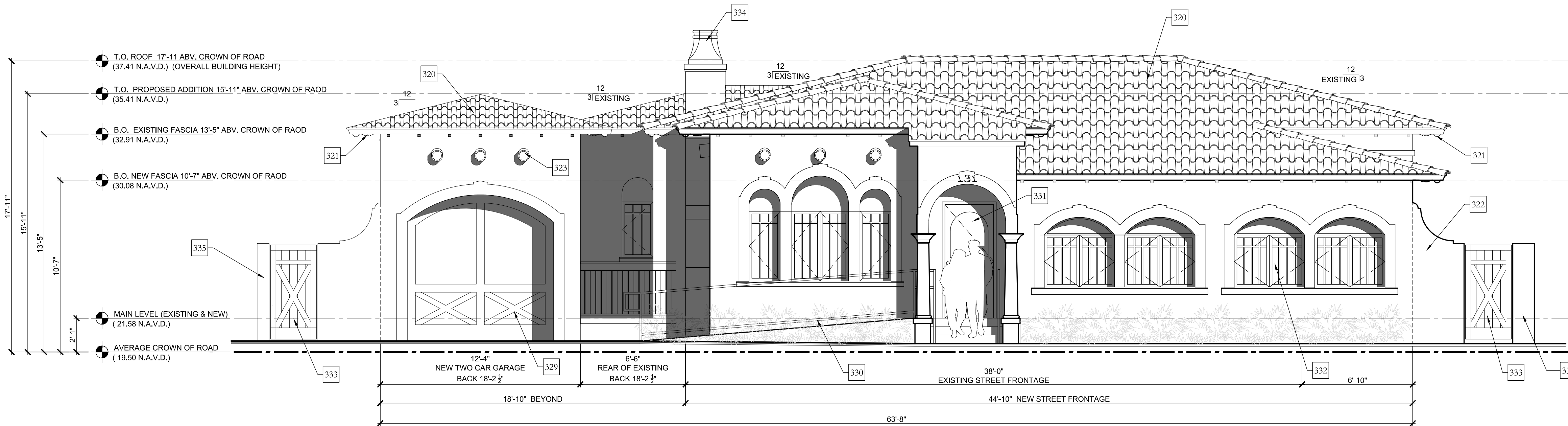
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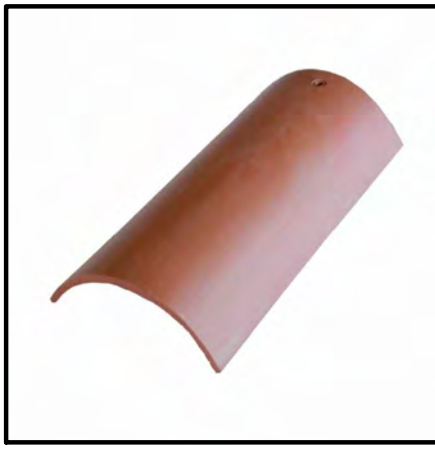
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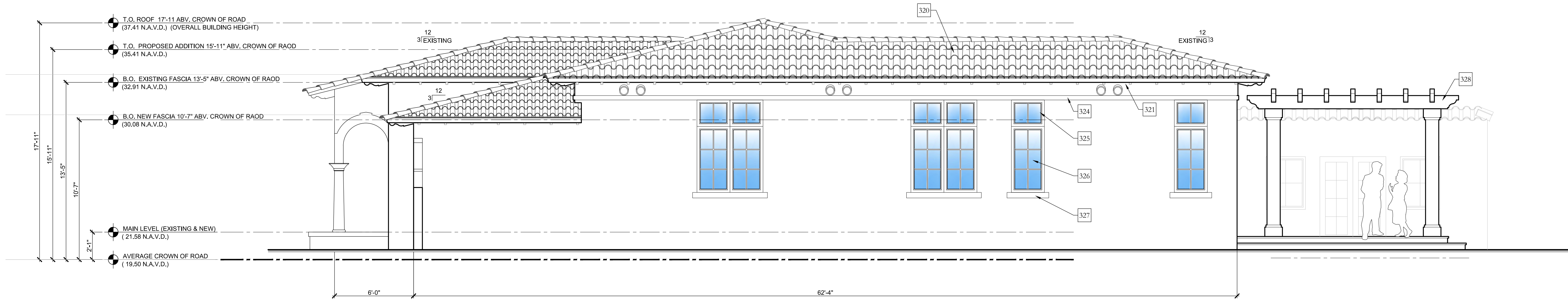
1 FRONT ELEVATION (WEST)  
1/4"=1'-0"



BARREL TILE TO MATCH EXISTING



EXISTING RESIDENCE



2 SIDE ELEVATION (SOUTH)  
1/4"=1'-0"

EXTERIOR ELEVATION KEY NOTE LEGEND	
320	NEW BARREL TILE OVER PRE-ENGINEERED WOOD TRUSSES TO MATCH EXISTING
321	WOOD RAFTER TAILS TO MATCH EXISTING
322	STUCCO FINISH SYSTEM TO MATCH EXISTING
323	DECORATIVE BARRIER TILE SCUPPERS TO MATCH EXISTING
324	RAISED STUCCO BAND
325	CANVAS AWNING
326	NEW IMPACT WINDOWS/DOOR - SEE WINDOW/DOOR SCHEDULE - GLASS TO BE CLEAR
327	RAISED STUCCO SILL
328	NEW WOOD TRELLIS (SEE STRUCTURAL DRAWINGS)
329	IMPACT RATED GARAGE DOOR (SEE DOOR SCHEDULE)
330	NEW ADA RAMP & RAILING - REFER TO HANDICAP ACCESSIBLE DETAILS ON SHEET A801
331	NEW IN-SWING ENTRY DOOR
332	RELOCATED IMPACT WINDOW
333	NEW WOOD GATE
334	NEW CHIMNEY CAP
335	NEW 6" HIGH PRIVACY WALL
336	NEW POOL - BY OTHERS
337	A/C CONDENSER ON MIN. 6" THICK CONCRETE PAD
338	GENERATOR ON MIN. 6" THICK CONCRETE PAD
339	TRASH BINS BEHIND 4" HIGH WOOD COMPOSITE FENCE/GATE

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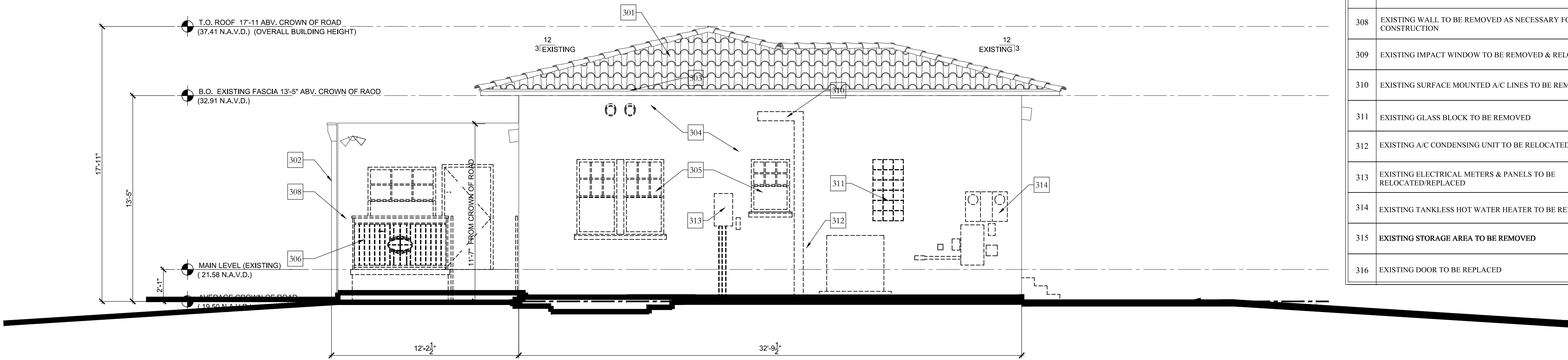
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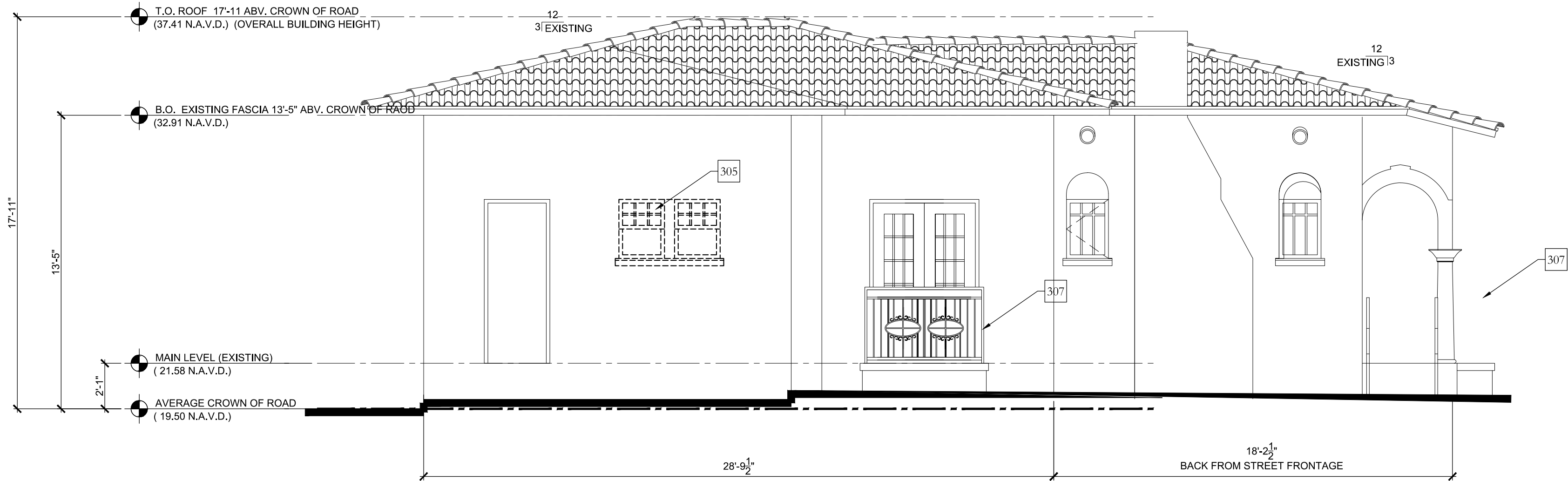
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A301





3 EXISTING REAR ELEVATION (EAST)  
1/4"=1'-0"



4 EXISTING SIDE ELEVATION (NORTH)  
1/4"=1'-0"

### EXISTING EXTERIOR ELEVATION KEYNOTE LEGEND

301	EXISTING BARREL TILE ROOF TO BE REMOVED AND REPLACED AS NECESSARY PER NEW CONSTRUCTION . NEW TILE TO MATCH EXISTING
302	EXISTING DOWNSPROUT TO BE REMOVED
303	EXISTING CLAY BARREL SUPPLIES TO BE REMOVED/RELOCATED
304	EXISTING STUCCO FINISH SYSTEM TO REMAIN
305	EXISTING NON-IMPACT SINGLE HUNG
306	EXISTING RAMP & RAILING SYSTEM TO BE REMOVED
307	EXISTING RAILING TO BE REMOVED
308	EXISTING WALL TO BE REMOVED AS NECESSARY FOR NEW CONSTRUCTION
309	EXISTING IMPACT WINDOW TO BE REMOVED & RELOCATED
310	EXISTING SURFACE MOUNTED A/C LINES TO BE REMOVED
311	EXISTING GLASS BLOCK TO BE REMOVED
312	EXISTING A/C CONDENSING UNIT TO BE RELOCATED
313	EXISTING ELECTRICAL METERS & PANELS TO BE RELOCATED/REPLACED
314	EXISTING TANKLESS HOT WATER HEATER TO BE RELOCATED
315	EXISTING STORAGE AREA TO BE REMOVED
316	EXISTING DOOR TO BE REPLACED

(TAC REVIEW) 06-24-19

REVISIONS	BY	DATE
△ TAC COMMENTS	FMP	08.20.19

MARION RESIDENCE  
131 NW 1ST AVENUE  
DELRAY BEACH, FLORIDA

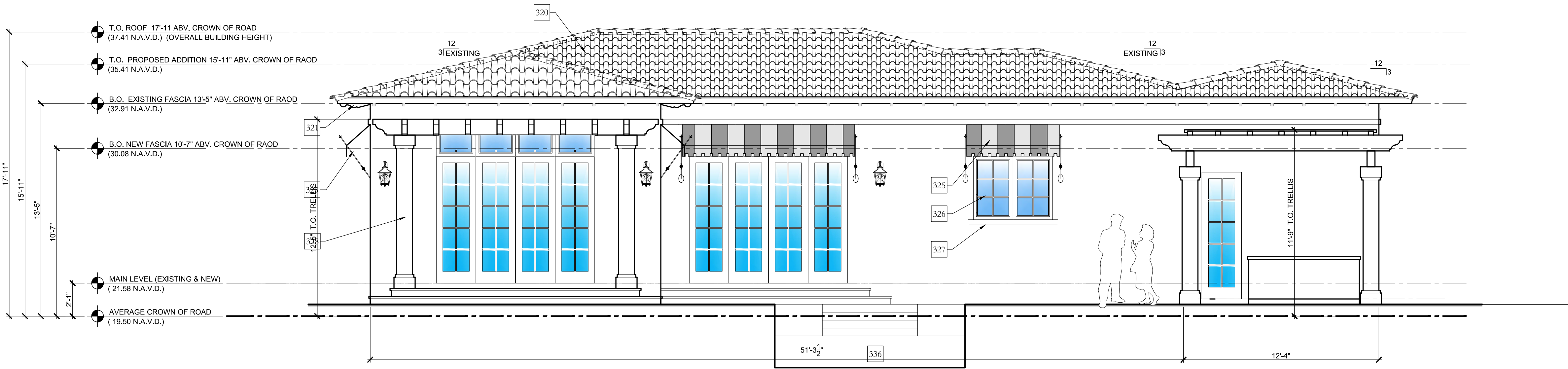
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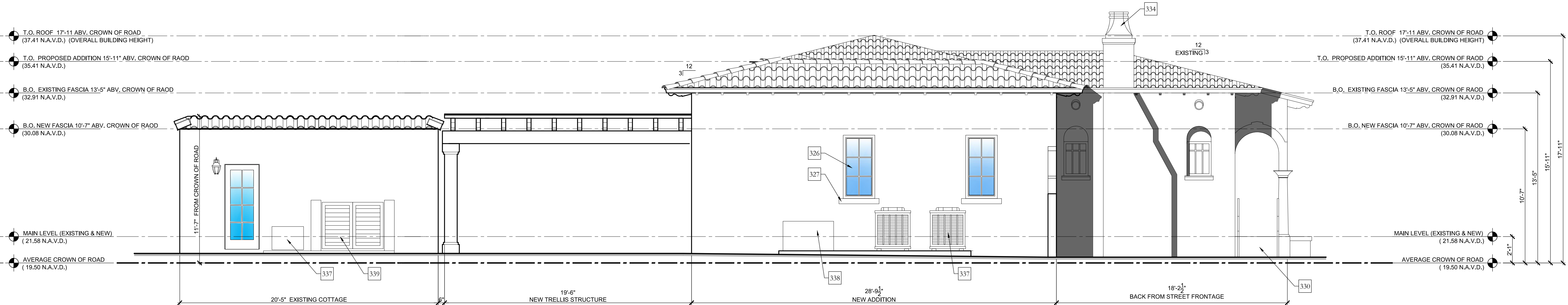
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A302e



3 REAR ELEVATION (EAST)  
1/4"=1'-0"

EXTERIOR ELEVATION KEY NOTE LEGEND	
320	NEW BARREL TILE OVER PRE-ENGINEERED WOOD TRUSSES TO MATCH EXISTING
321	WOOD RAFTER TAILS TO MATCH EXISTING
322	STUCCO FINISH SYSTEM TO MATCH EXISTING
323	DECORATIVE BARRIER TILE SCUPPERS TO MATCH EXISTING
324	RAISED STUCCO BAND
325	CANVAS AWNING
326	NEW IMPACT WINDOWS/DOOR - SEE WINDOW/DOOR SCHEDULE -GLASS TO BE CLEAR.
327	RAISED STUCCO SILL
328	NEW WOOD TRELLIS (SEE STRUCTURAL DRAWINGS)
329	IMPACT RATED GARAGE DOOR (SEE DOOR SCHEDULE)
330	NEW ADA RAMP & RAILING - REFER TO HANDICAP ACCESSIBLE DETAILS ON SHEET A801
331	NEW IN-SWING ENTRY DOOR
332	RELOCATED IMPACT WINDOW
333	NEW WOOD GATE
334	NEW CHIMNEY CAP
335	NEW 6" HIGH PRIVACY WALL
336	NEW POOL - BY OTHERS
337	A/C CONDENSER ON MIN. 6" THICK CONCRETE PAD
338	GENERATOR ON MIN. 6" THICK CONCRETE PAD
339	TRASH BINS BEHIND 4' HIGH WOOD/COMPOSITE FENCE/GATE



4 SIDE ELEVATION (NORTH)  
1/4"=1'-0"

(TAC REVIEW) 06-24-19

REVISIONS	BY	DATE
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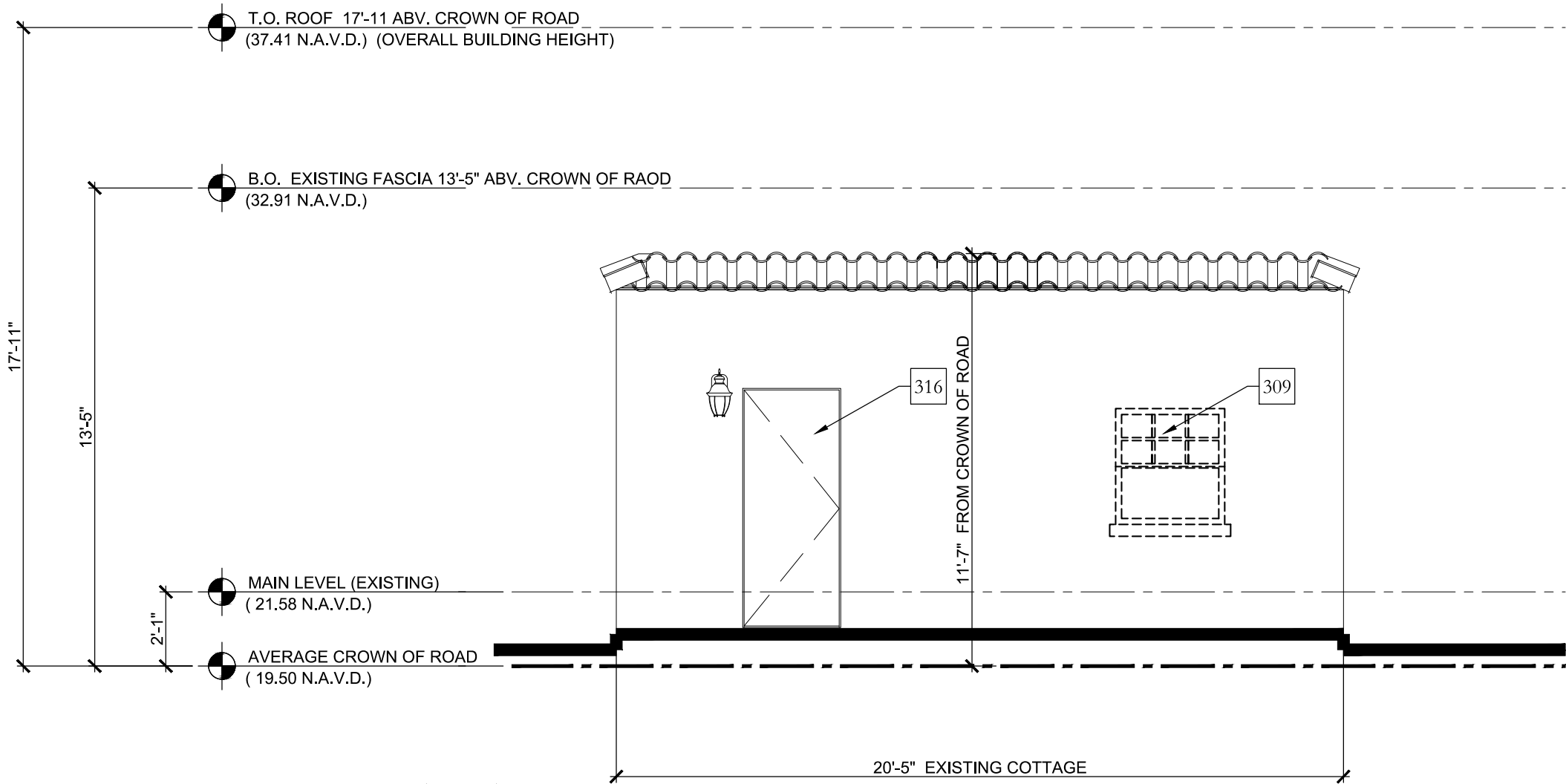
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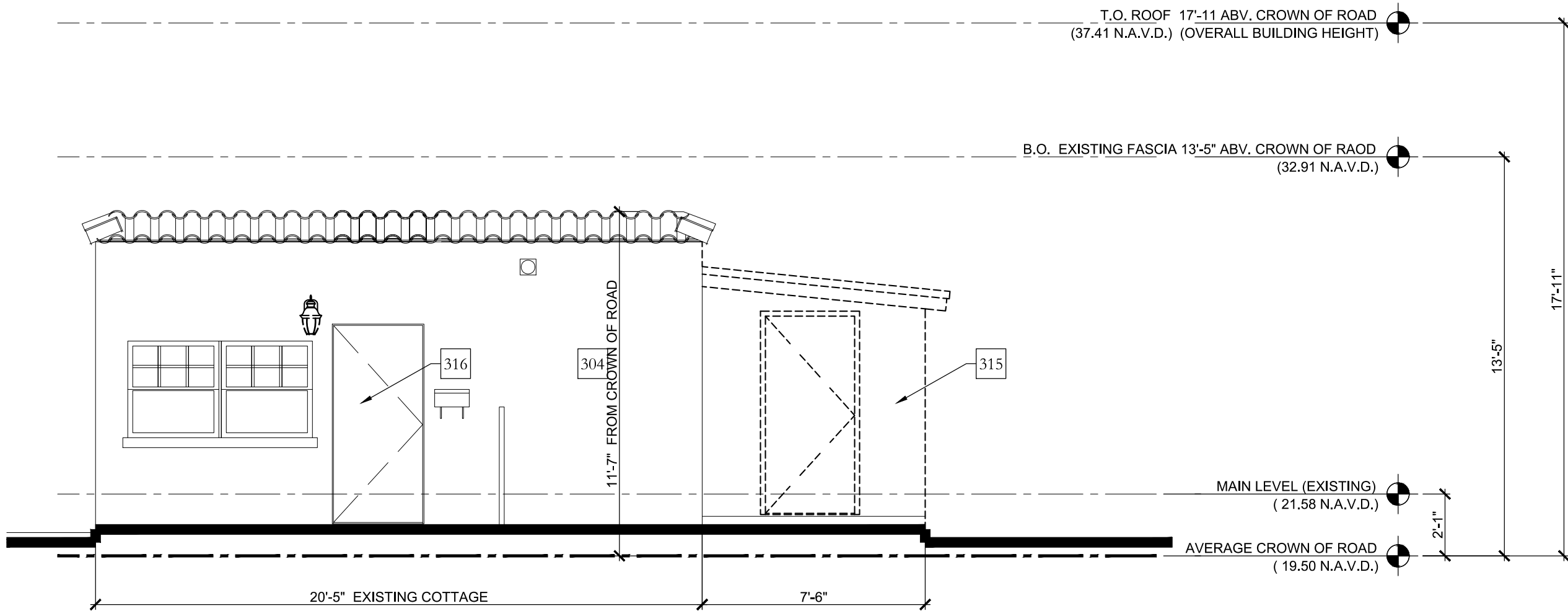
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A302

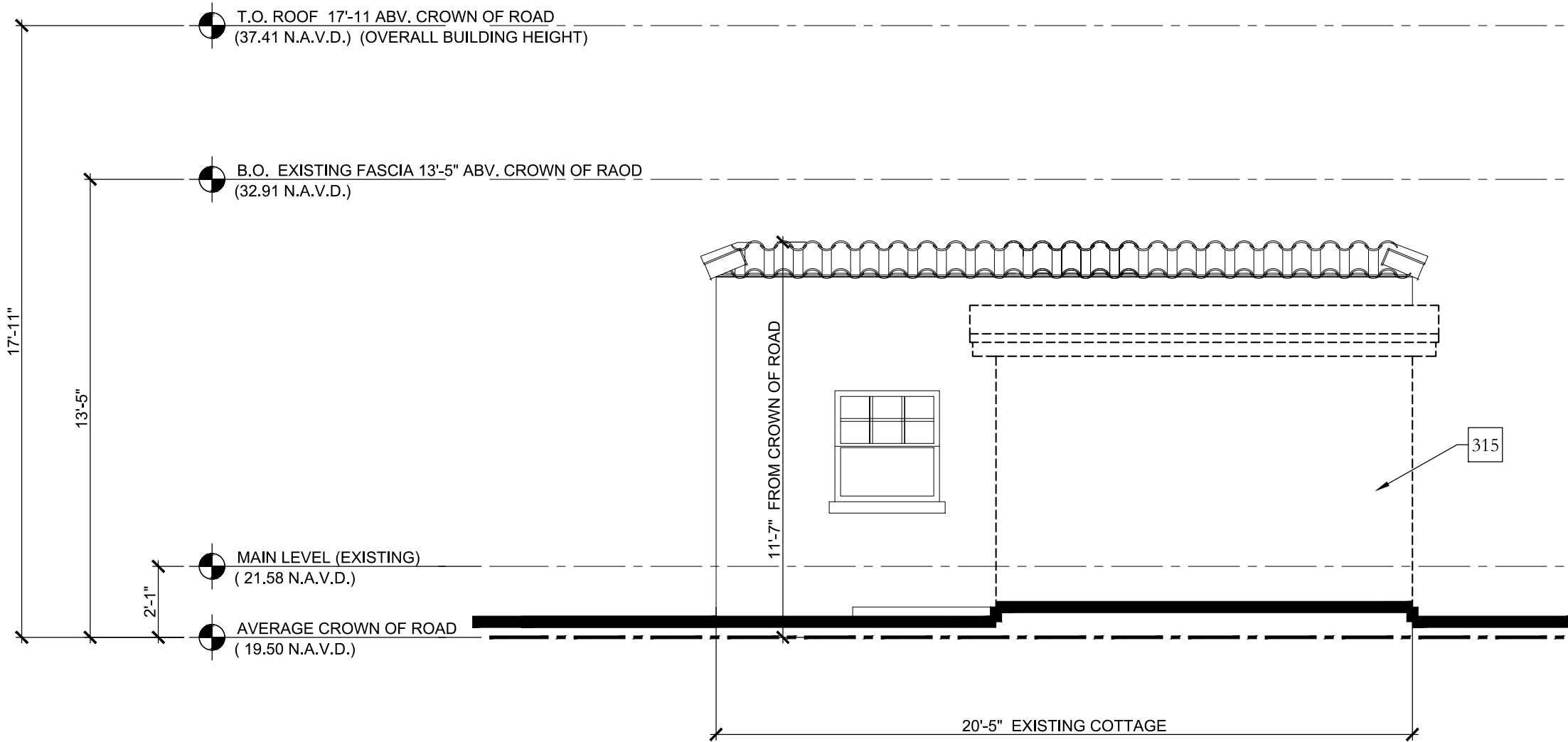




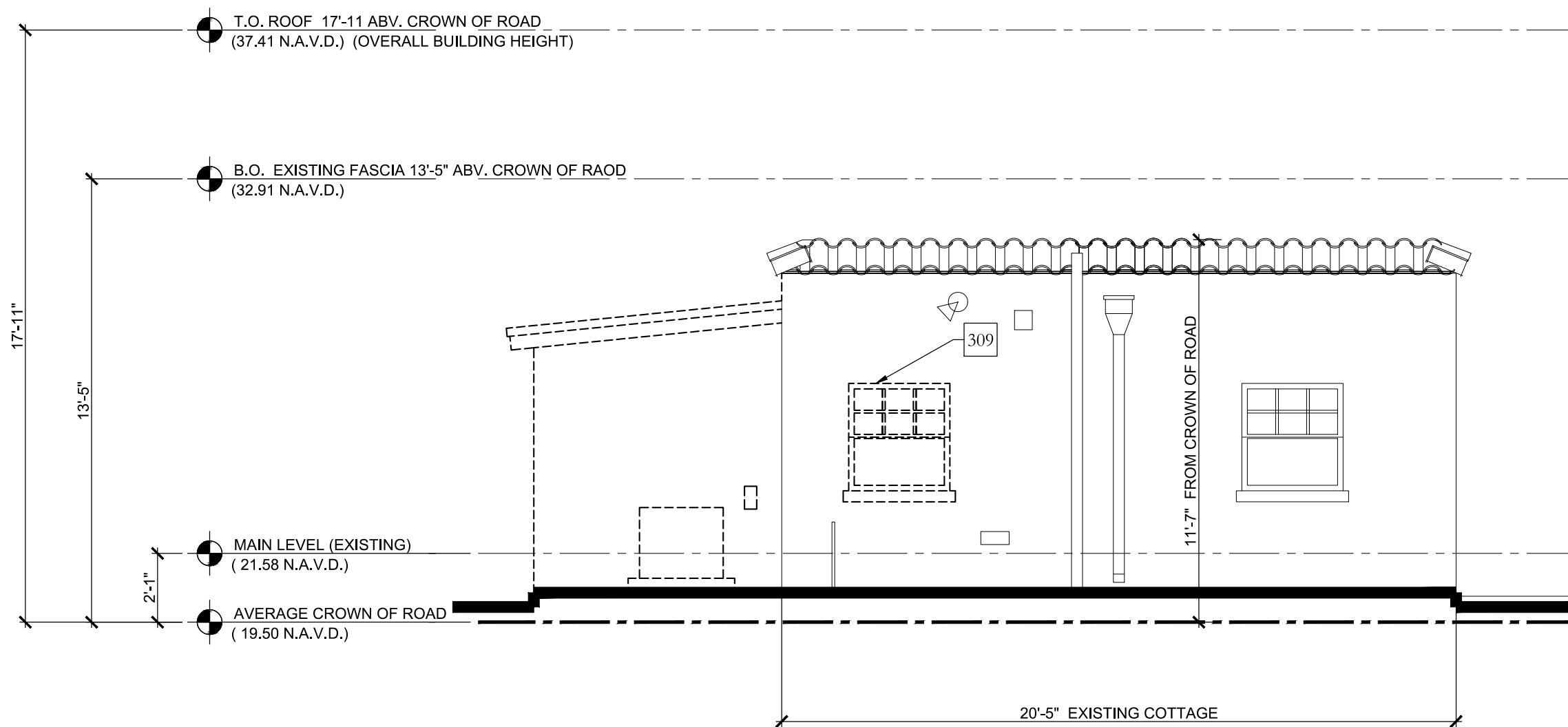
5 GUEST HOUSE - NORTH ELEVATION (EXISTING)  
1/4"=1'-0"



6 GUEST HOUSE - WEST ELEVATION (EXISTING)  
1/4"=1'-0"



7 GUEST HOUSE - SOUTH ELEVATION (EXISTING)  
1/4"=1'-0"



8 GUEST HOUSE - EAST ELEVATION (EXISTING)  
1/4"=1'-0"

EXISTING EXTERIOR ELEVATION KEYNOTE LEGEND	
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(TAC REVIEW) 06-24-19

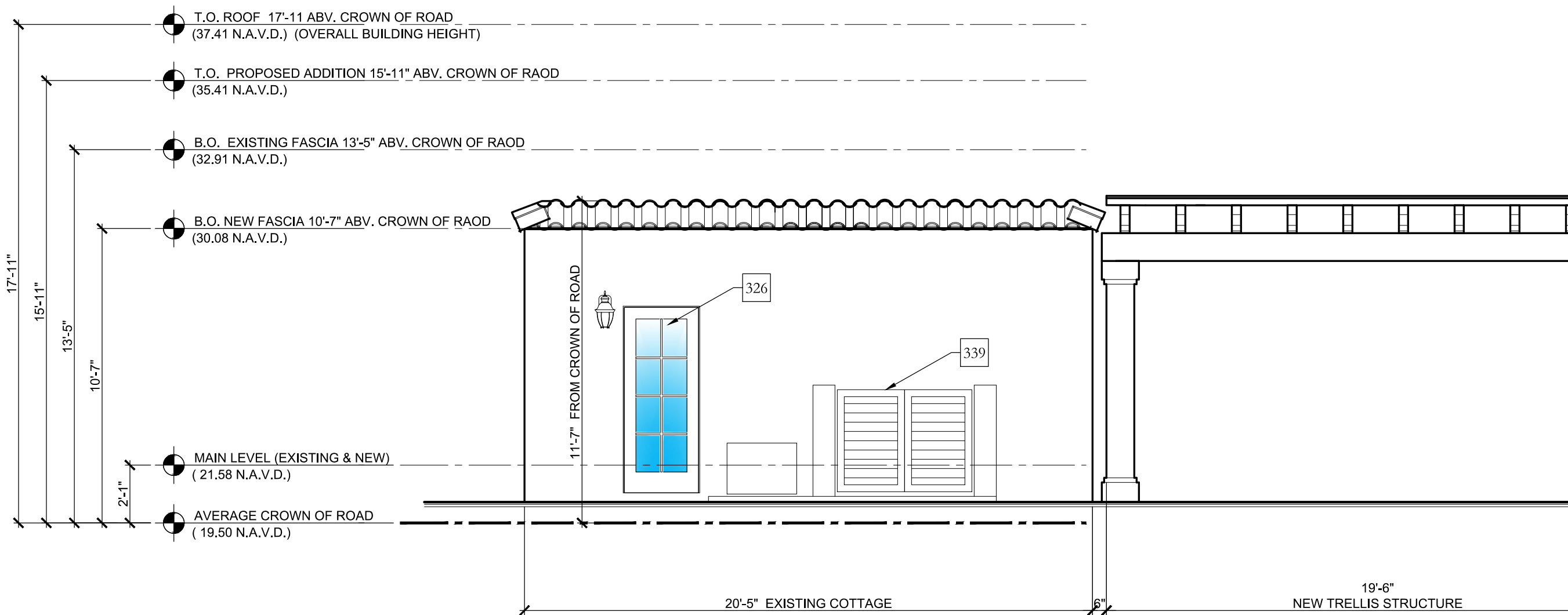
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MARION RESIDENCE  
131 NW 1ST AVENUE  
DELRAY BEACH, FLORIDA

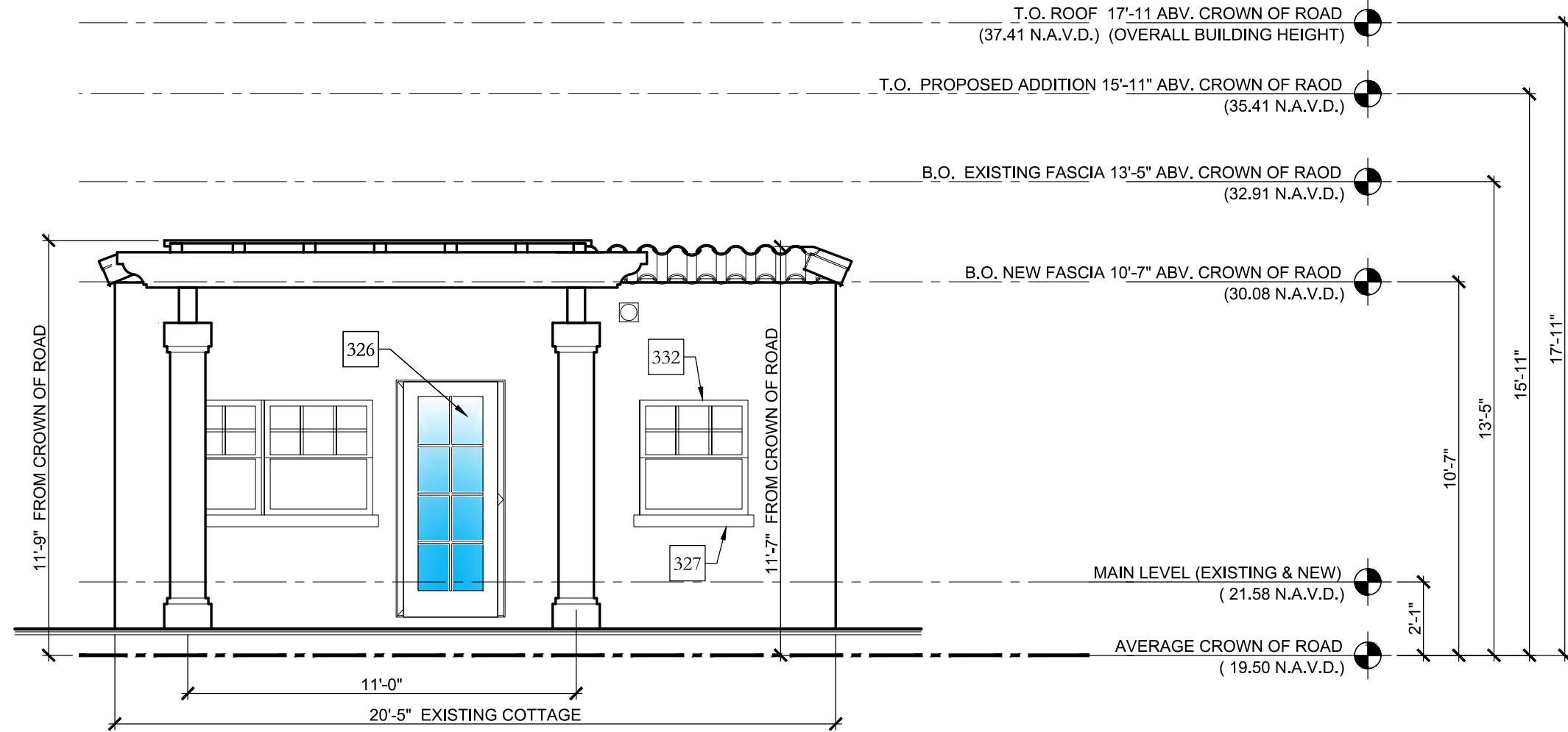
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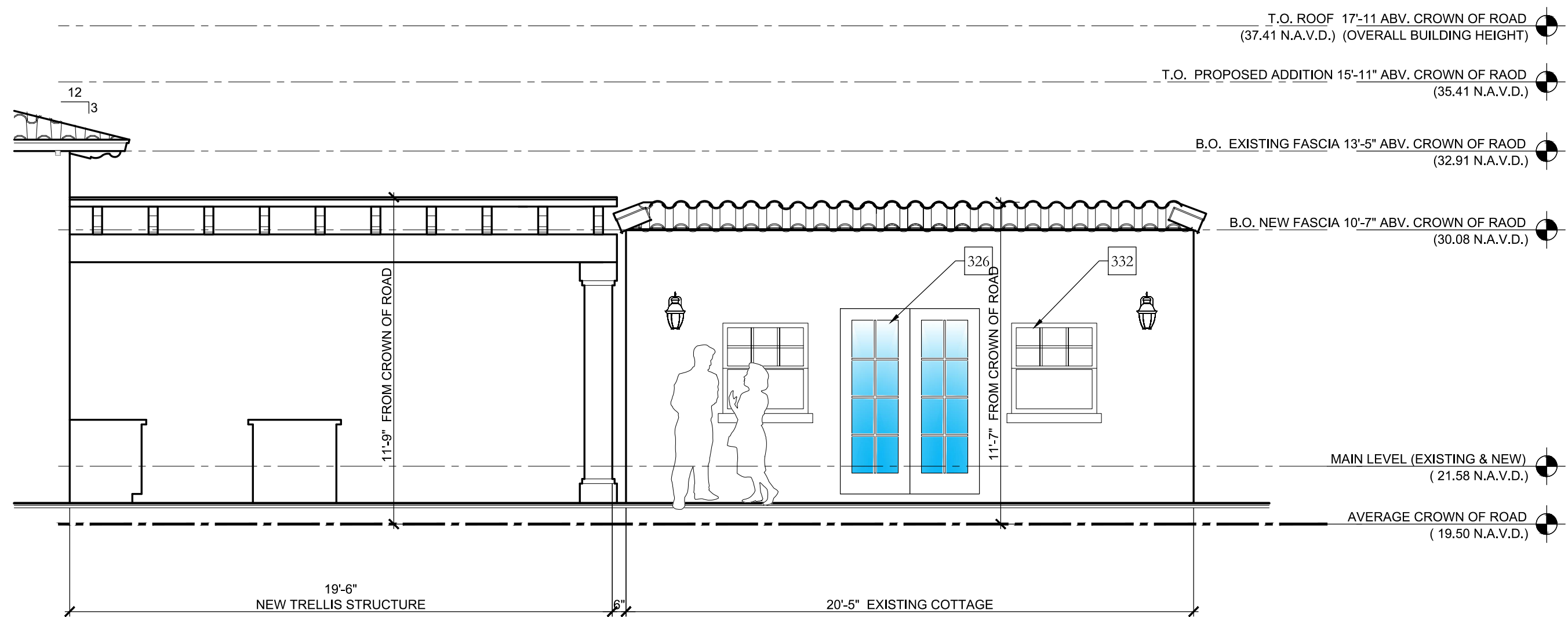
A303e



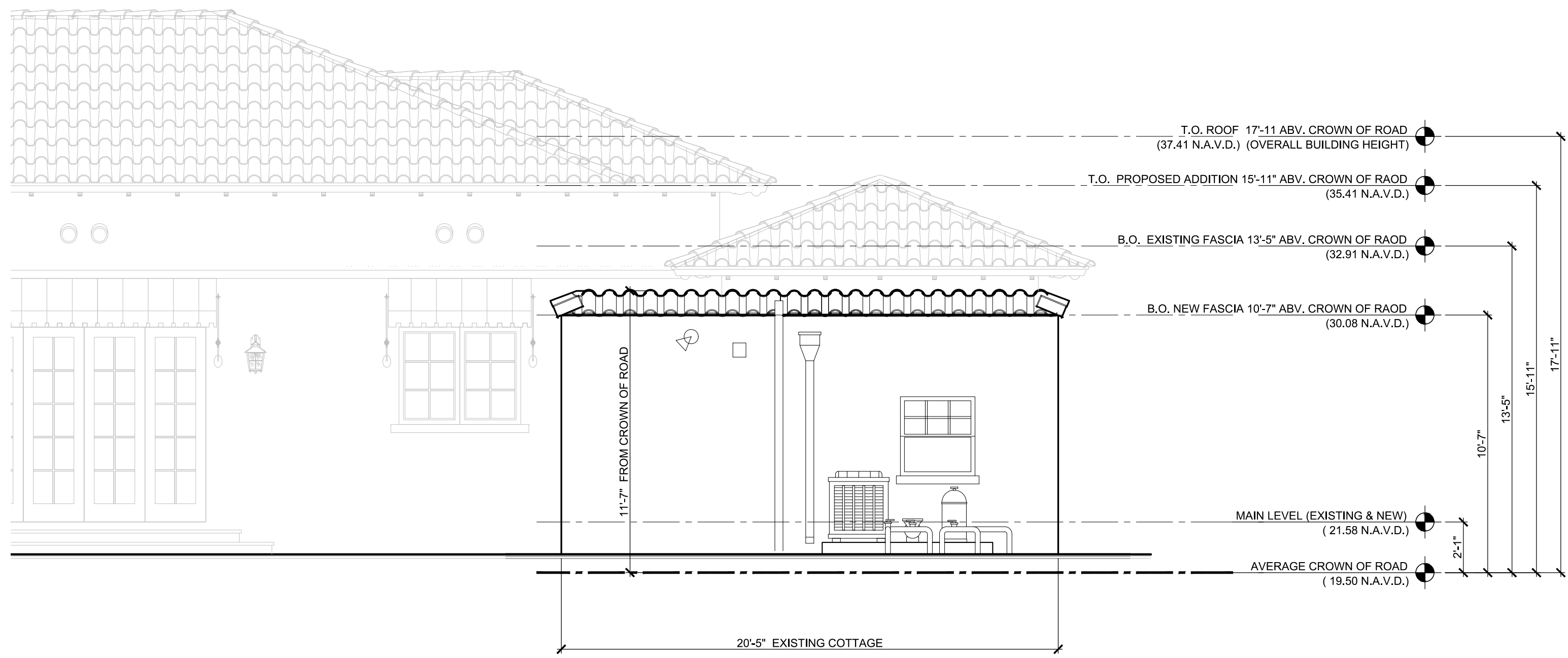
5 GUEST HOUSE - NORTH ELEVATION  
1/4"=1'-0"



6 GUEST HOUSE - WEST ELEVATION  
1/4"=1'-0"



7 GUEST HOUSE - SOUTH ELEVATION  
1/4"=1'-0"



8 GUEST HOUSE - EAST ELEVATION  
1/4"=1'-0"

EXTERIOR ELEVATION KEY NOTE LEGEND	
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330	NEW ADA RAMP & RAILING - REFER TO HANDICAP ACCESSIBLE DETAILS ON SHEET A801
331	NEW IN-SWING ENTRY DOOR
332	RELOCATED IMPACT WINDOW
333	NEW WOOD GATE
334	NEW CHIMNEY CAP
335	NEW 6" HIGH PRIVACY WALL
336	NEW POOL - BY OTHERS
337	A/C CONDENSER ON MIN. 6" THICK CONCRETE PAD
338	GENERATOR ON MIN. 6" THICK CONCRETE PAD
339	TRASH BINS BEHIND 4' HIGH WOOD/COMPOSITE FENCE/GATE

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131 NW 1ST AVENUE  
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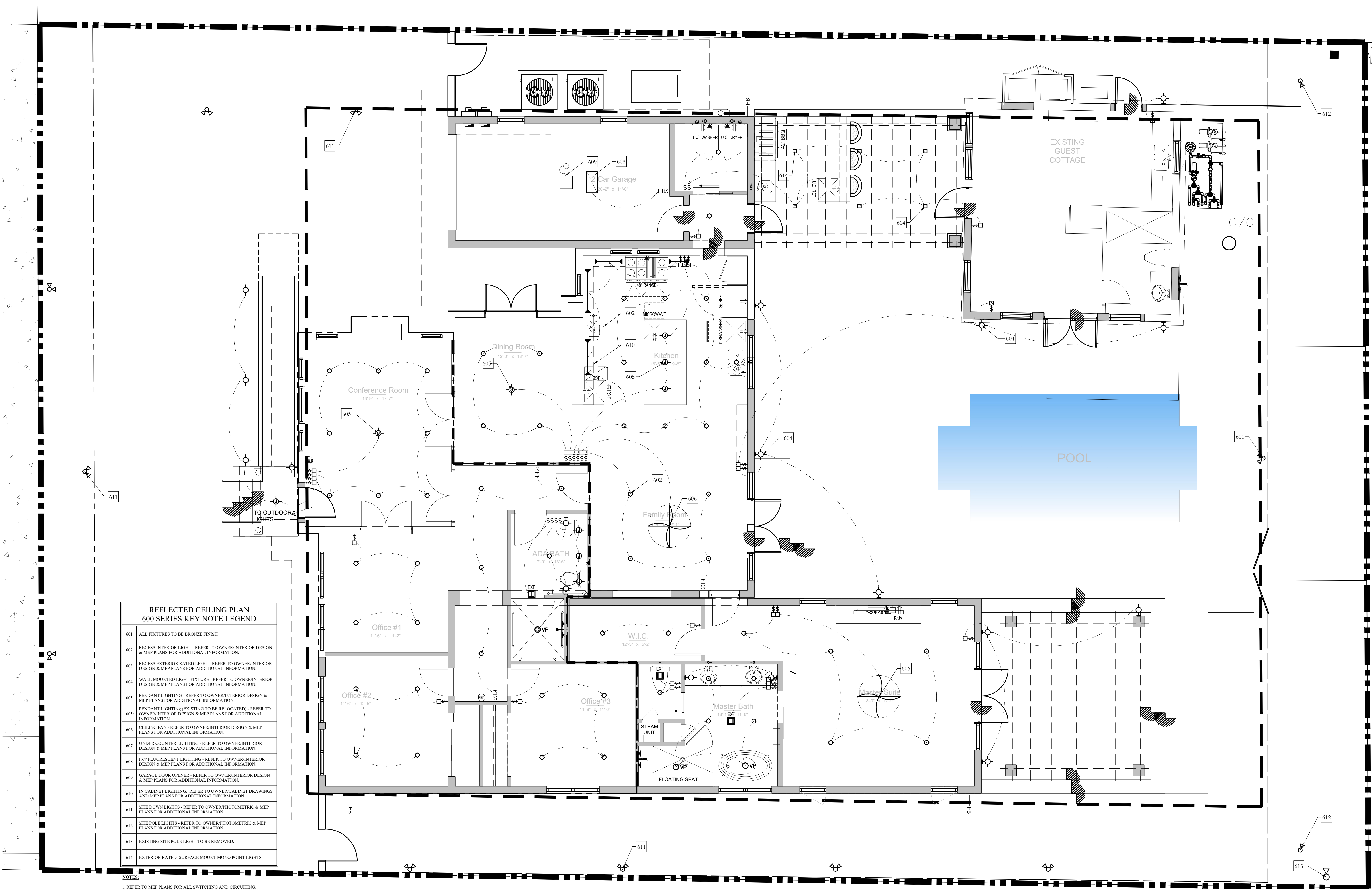
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A303





REFLECTED CEILING PLAN 600 SERIES KEY NOTE LEGEND	
601	ALL FIXTURES TO BE BRONZE FINISH
602	RECESS INTERIOR LIGHT - REFER TO OWNER/INTERIOR DESIGN & MEP PLANS FOR ADDITIONAL INFORMATION.
603	RECESS EXTERIOR RATED LIGHT - REFER TO OWNER/INTERIOR DESIGN & MEP PLANS FOR ADDITIONAL INFORMATION.
604	WALL MOUNTED LIGHT FIXTURE - REFER TO OWNER/INTERIOR DESIGN & MEP PLANS FOR ADDITIONAL INFORMATION.
605	PENDANT LIGHTING - REFER TO OWNER/INTERIOR DESIGN & MEP PLANS FOR ADDITIONAL INFORMATION.
605r	PENDANT LIGHTING (EXISTING TO BE RELOCATED) - REFER TO OWNER/INTERIOR DESIGN & MEP PLANS FOR ADDITIONAL INFORMATION.
606	CEILING FAN - REFER TO OWNER/INTERIOR DESIGN & MEP PLANS FOR ADDITIONAL INFORMATION.
607	UNDER COUNTER LIGHTING - REFER TO OWNER/INTERIOR DESIGN & MEP PLANS FOR ADDITIONAL INFORMATION.
608	T84 FLUORESCENT LIGHTING - REFER TO OWNER/INTERIOR DESIGN & MEP PLANS FOR ADDITIONAL INFORMATION.
609	GARAGE DOOR OPENER - REFER TO OWNER/INTERIOR DESIGN & MEP PLANS FOR ADDITIONAL INFORMATION.
610	IN CABINET LIGHTING - REFER TO OWNER CABINET DRAWINGS AND MEP PLANS FOR ADDITIONAL INFORMATION.
611	SITE DOWN LIGHTS - REFER TO OWNER/PHOTOMETRIC & MEP PLANS FOR ADDITIONAL INFORMATION.
612	SITE POLE LIGHTS - REFER TO OWNER/PHOTOMETRIC & MEP PLANS FOR ADDITIONAL INFORMATION.
613	EXISTING SITE POLE LIGHT TO BE REMOVED.
614	EXTERIOR RATED SURFACE MOUNT MONO POINT LIGHTS

NOTES:

- REFER TO MEP PLANS FOR ALL SWITCHING AND CIRCUITING.
- G.C. TO COORDINATE ALL LIGHTING ON THIS PLAN WITH OWNER/INTERIOR DESIGNER.
- REFER TO MEP PLANS FOR ALL MECHANICAL INFORMATION.
- COORDINATE WITH OWNER/INTERIOR DESIGNER REGARDING ALL LIGHTING SELECTIONS (MODEL NUMBER, CUT SHEETS ETC.)

1 1st FLOOR REFLECTED CEILING / LIGHTING PLAN  
1/4"=1'-0"

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A601





**8. Pursuant to LDR Section 4.2.24(G)(4)**

- Business and professional offices shall provide one space per 300 square feet of total new or existing net floor area being converted to office use. This requirement may be reduced to one parking space per 400 sq. ft. of net floor area, or by at least one space, where there is a mix of residential and office use in the same structure. The parking calculations are as noted 1 space per 400 sq. ft. for the commercial floor area. The parking for the residential area is correct. Revise site data table relating to parking on sheets A101 & A101a to reflect such.

***ANSWER: Please refer to the revised parking calculations provided on sheet A100.***

**9. Pursuant to LDR Section 4.4.24(H)(1)**

- The gross floor area of residential units within a structure containing permitted non-residential use(s) shall not exceed 50 percent of the gross floor area of the structure within which they are located. Provide square footage calculations for the proposed office and residential areas to ensure compliance with this code section.

***ANSWER: Please refer to the square footage calculations as requested on sheet A101.***

**10. Pursuant to LDR Section 4.5.1(E)**

- Development Standards: all new development or exterior improvements on individually designated historic properties and/or properties located within historic districts shall, comply with the goals, objectives, and policies of the Comprehensive Plan, the Delray Beach Historic Preservation Design Guidelines, the Secretary of the Interior's Standards for Rehabilitation, and the Development Standards of this Section. Provide a written narrative or justification statement demonstrating how the proposal complies with the requirements of this code section as well as the Secretary of the Interior Standards for Rehabilitation.

***ANSWER: Please refer to sheet A101 for the Justification Statement stating that our proposed design complies with the requirements of LDR Section 4.5.1(E)***



**A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.**

***ANSWER: The proposed design embraces the characteristics of the existing building, site and environment.***

#### **Standard 2**

**The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.**

***ANSWER: The proposed design retains historical features by matching materials and spaces.***

#### **Standard 3**

**Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.**

***ANSWER: The proposed design embraces the characteristics of the existing building, site and environment***

#### **Standard 4**

**Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.**

***ANSWER: The proposed design embraces the characteristics of the existing building, site and environment. The design is intended to preserve the historic significance.***

#### **Standard 5**

**Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.**

***ANSWER: The proposed design embraces the characteristics of the existing building, site and environment. The design is intended to preserve the historic significance***

#### **Standard 6**

**Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.**

***ANSWER: The proposed design is intended to preserve the historic significance. The repair of deteriorated elements shall match the old in design, color, texture where possible.***

#### **Standard 7**

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Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

**ANSWER:** *The design is intended to preserve the historic significance. The use of Chemical or physical treatments such as sandblasting shall not be used. Contractor to comply.*

**Standard 8**

Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

**ANSWER:** *Yes,. Contractor to comply.*

**Standard 9**

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

**ANSWER:** *The proposed design embraces the characteristics of the existing building, site and environment. The design is intended to preserve the historic significance. The size, scale, and architectural features were designed to protect the historic integrity of the property.*

**Standard 10**

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**ANSWER:** *Yes, the new addition matches existing facia and roof lines.*

**11. Pursuant to LDR Subsection 4.5.1(E)(2) – Major and Minor Development –**

Review of a Modification of Contributing Structures Over 25% within the OSSHAD zoning district is performed by applying the regulations applicable to Major Development, which requires additional technical and specific regulations to determine appropriateness and compatibility. See table below per **LDR Section 4.5.1(E)(2):**

**ANSWER:** *We will comply with the regulations and procedures of review.*



## **12. Pursuant to LDR Section 4.5.1(E)(8)**

**Visual Compatibility Standards.** New construction and all improvements to both contributing and noncontributing buildings, structures and appurtenances thereto within a designated historic district or on an individually designated property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development shall be determined by utilizing criteria contained in (a)-(m) of this section.

Provide a written narrative or justification statement demonstrating how the proposal complies with the requirements of this code section as well as the Secretary of the Interior Standards for Rehabilitation.

**ANSWER: Please refer to sheet A101 for the Justification Statement stating that our proposed design complies with the requirements of LDR Section 4.5.1(E)(8)**

### **Staff comments include:**

a. Maximum height measurement for historic first floor is 14 feet. There are currently two different measurements shown for bottom of fascia. Revise site plan sheets A301e – A302 to reflect accurate measurement;

**ANSWER: Please see revised elevations sheets A301e – A302 . The fascia heights were field verified and dimensioned based of the average crown of road.**

b. Add note to window schedule on sheet A201 that all window glass will be clear;

**ANSWER: The note has been added to the window schedule as requested.**

c. Fourth window addition on the front elevation should not be identical to the concurrent existing windows as instructed by the Standards of Rehabilitation;

**ANSWER: The windows have been modified to enhance the esthetics or the architecture. Please see revised floor plan and exterior elevations.**

d. A vertical plank fence is more appropriate for Mediterranean Style architecture. Horizontal planking is more commonly used with more modern styles;

**ANSWER: A vertical plank fence has been specified on the plans as requested. See Sheet A101**

e. Provide material details for all exterior structures. For example, provide details of railing material for the ADA ramp, the proposed wall enclosure, garage door, etc.;

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131 NW 1st Ave - Main House - West Elevation - from West





131 NW 1st Ave-Guest House-West Elevation- from West





131 NW 1st Ave - Main House - West Elevation - from SouthWest





131 NW 1st Ave-Guest House- West Elevation- from SouthWest





131 NW 1st Ave - Guest House- East Elevation-from East





131 NW 1st Ave - Main House - East Elevation - from SouthEast





131 NW 1st Ave-Guest House-East Elevations-from East





131 NW 1st Ave - Main House - North Elevation - from NorthWest





131 NW 1st Ave-Main House-North Elevation-from NorthWest





131 NW 1st Ave-Main House-North Elevation-from NorthEast





131 NW 1st Ave-Main House-South Elevation-from SouthEast





131 NW 1st Ave - Guest House - South Elevation from South





137 NW 1st Ave-West Elevation-from West





151 NW 1st Ave- West Elevation- from West



