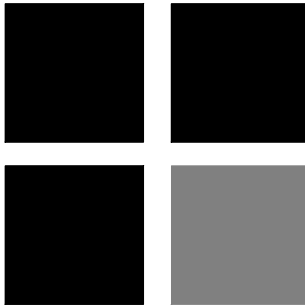


100 GLEASON STREET

DELRAY BEACH,
FLORIDA

RICHARD JONES



ARCHITECTURE

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100 GLEASON STREET
DELRAY BEACH

JOHN DELEONIBUS
100 GLEASON STREET
DELRAY BEACH, FL 33483

FLORIDA LICENSURE

AA26001617 | IB26001056

COMMISSION # 17-058
DESIGNER: RJ
DRAWN BY: GsJ
PLAN REVIEW: RJ

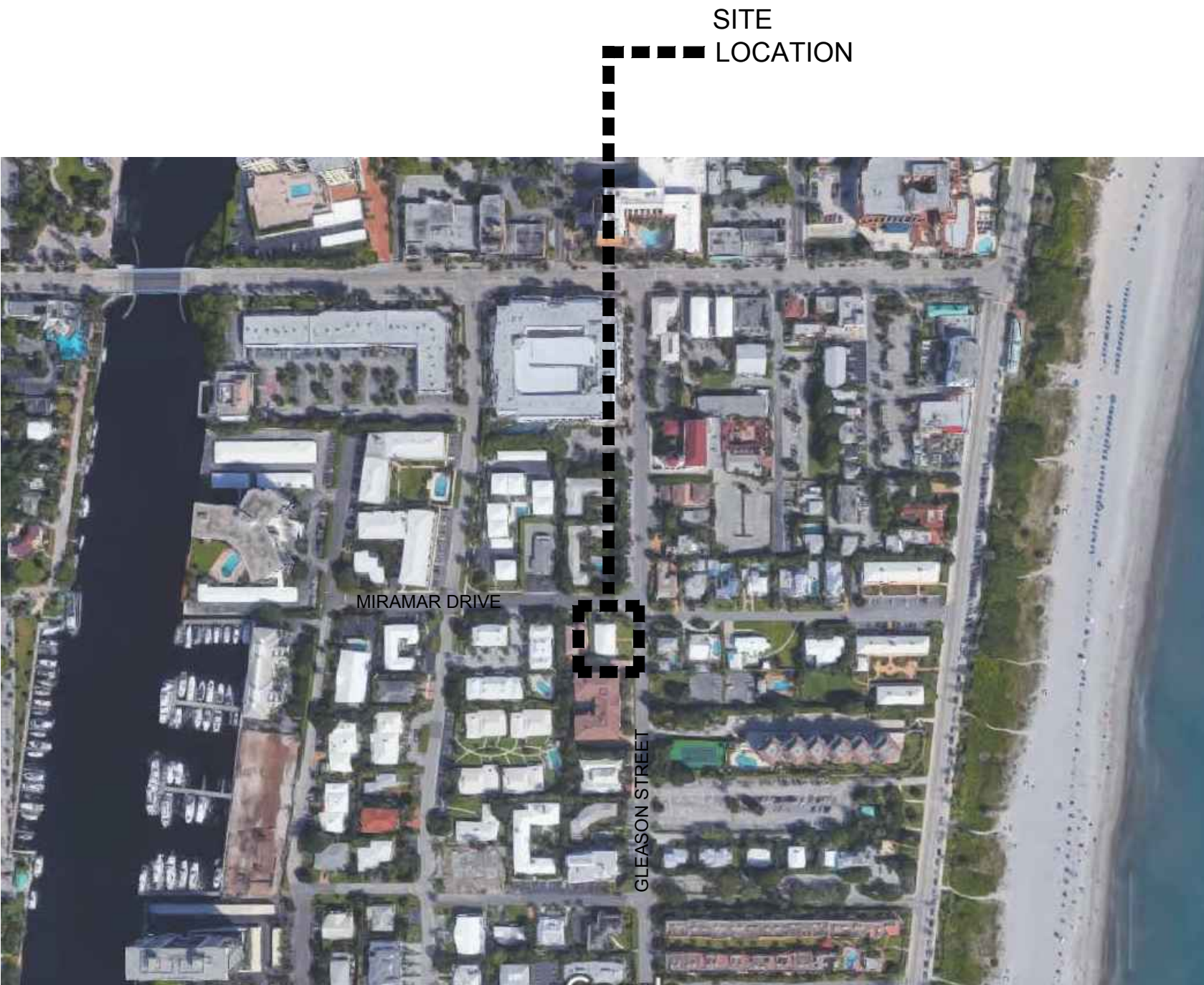
SUBMITTALS:
CLASS V
SPECIAL SITE
PLAN
SUBMITTAL 12.03.19

REVISIONS:

COVER
SHEET

CVR

LOCATION MAP



OWNER

JOHN DELEONIBUS
100 GLEASON STREET
DELRAY BEACH , FL 33483

DRAWING INDEX

ARCHITECTURAL

CVR COVER SHEET
SP-1 SITE PLAN
A-1.1 GROUND FLOOR PLAN
A-1.2 SECOND FLOOR PLAN
A-1.3 THIRD FLOOR PLAN
A-1.4 ROOF TERRACE PLAN #1
A-1.5 ROOF TERRACE PLAN #2
A-2 UPPER ROOF PLAN
A-3.1 EAST AND NORTH ELEVATIONS
A-3.2 WEST AND SOUTH ELEVATIONS
A-3.3 MASSING STUDY
A-3.4 RENDERING

CODE RESEARCH

PROPOSED PROJECT: 3 STORY DUPLEX WITH (2) CAR GARAGE AND ROOF TOP APPURTENANCE

GOVERNING CODE: FBC RESIDENTIAL 6th EDITION (2017), FFPC 6th EDITION (2017), NFPA 1 UFC FLORIDA 2015 EDITION, NFPA 101 LSC FLORIDA 2018 ED.

BUILDING HEIGHT: 35'-0" TO BASE BUILDING ELEVATION

TYPE OF CONSTRUCTION: TYPE VB SPRINKLERED FOR 3-STORY UNITS

BLDG. DESIGNED: ENCLOSED

WIND SPEED: 170 MPH ULTIMATE WIND SPEED

EXPOSURE: D

ZONING DISTRICT: RM-MEDIUM HIGH DENSITY

HAZARD CLASSIFICATION: ORDINARY HAZARD

REQ'D. SETBACKS: FRONT SETBACK = 25'-0"/30'-0" REAR SETBACK = 15'-0" SIDE INTERIOR SETBACK = 15'-0"/30'-0" SIDE STREET = 25'-0"/30'-0"

PROVIDED: FRONT SETBACK = 25'-0"/30'-0" REAR SETBACK = 15'-0 3/4" SIDE INTERIOR =15'-0 1/4"/30'-0" SIDE STREET = 25'-0"/ 30'-0"

DESIGN PARAMETERS

OCCUPANCY (SINGLE FAMILY, DUPLEX, MULTI-FAMILY, COMMERCIAL, INDUSTRIAL - DESCRIBE) MULTI-FAMILY(DUPLEX)

EXPOSURE CONDITION D ☒ SEC. R301.2.1.4.3 5th EDITION (2014) FLORIDA RESIDENTIAL CODE

MEAN ROOF HEIGHT 35'-0" TO BASE BUILDING ELEVATION ☒ ASCE 7-10 CHAPTER 26

BUILDING HEIGHT ☒ ≤ 60 FT. (MAY USE LOW RISE PROVISIONS OF THE 5th EDITION (2014) FLORIDA RESIDENTIAL CODE) ☐ > 60 FT. (ASCE 7-10 CHAPTER 26)

BUILDING DESIGNED AS ☐ PARTIALLY ENCLOSED ☒ ENCLOSED ☐ OPEN ☐ TESTED (WIND TUNNEL)

IMPORTANCE FACTOR (DETERMINED BY BUILDING USE/OCCUPANCY, REFER TO 5th EDITION (2014) FLORIDA RESIDENTIAL CODE OR ASCE 7-10 CHAPTER 26) 1.0

BASIC WIND VELOCITY PRESSURES : 5th ADDITION (2014) FLORIDA RESIDENTIAL CODE
VERIFY APPROPRIATE POSITIVE/NEGATIVE PRESSURE COEFFICIENTS HAVE BEEN APPLIED TO MAIN WIND FORCE RESISTING SYSTEM, OR BUILDING ENVELOPE COMPONENTS AND CLADDING AS APPLICABLE: 40 PSF

5th EDITION (2014) FLORIDA RESIDENTIAL CODE- ULTIMATE WIND SPEED 170 (3 SECOND GUST) BASIC VELOCITY PRESSURE

ASCE 7-10 CH 26- WIND SPEED NA (3 SECOND GUST) BASIC VELOCITY PRESSURE NA PSF

NOTE: ACTUAL DESIGN PRESSURES FOR ALL EXTERIOR WINDOWS, DOORS, GARAGE DOORS, AND SIMILAR ENVELOPE ELEMENTS MUST BE INDICATED ON CONSTRUCTION PLANS.

ROOF DEAD LOAD (ACTUAL DEAD LOAD OF MATERIAL USED FOR DETERMINING UPLIFT REACTIONS) 5 PSF

SOIL BEARING CAPACITY 2500 PSF

REVIEWED FOR SHEAR WALL REQUIREMENTS ☒ YES ☐ NO (IF NO, INDICATE REASON)

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ENVIRODESIGN ASSOCIATES, INC.
298 NE 2ND AVENUE
DELRAY BEACH, FL 33444
TELEPHONE: 561-274-6500
FAX: 561-274-8558

ARCHITECT

RICHARD JONES ARCHITECTURE
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DELRAY BEACH, FL. 33444
TELEPHONE: 561-274-9186

STRUCTURAL

ENGINEERING PLUS
19528 SEDGEFIELD TERRACE
BOCA RATON, FL 33498
TELEPHONE: 561-756 4106

LANDSCAPE

DAVE BODKER LANDSCAPE
PLANNING
601 N CONGRESS AVE SUITE 105-A
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DESIGNER: RJ
DRAWN BY: GIL

PLAN REVIEW: RJ

| | |
|--------------|----------|
| SUBMITTALS: | |
| CLASS V | 12.03.19 |
| SPECIAL SITE | |
| PLAN | |
| SUBMITTAL | |

REVISIONS:

LEGAL DESCRIPTION

THE EAST 89.6 FEET OF LOT 13, BLOCK D, JOHN B. REID'S VILLAGE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 21, PAGE 95, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

BUILDING SETBACKS

| | Required | Provided |
|------------------------------|----------|------------|
| Front Setback (North) | 25'-0" | 25'-0" |
| Rear Setback (South) | 15'-0" | 15'-0 3/4" |
| Side Interior Setback (West) | 15'-0" | 15'-0 1/4" |
| Side Street Setback (East) | 25'-0" | 25'-0" |

SITE DATA CHART

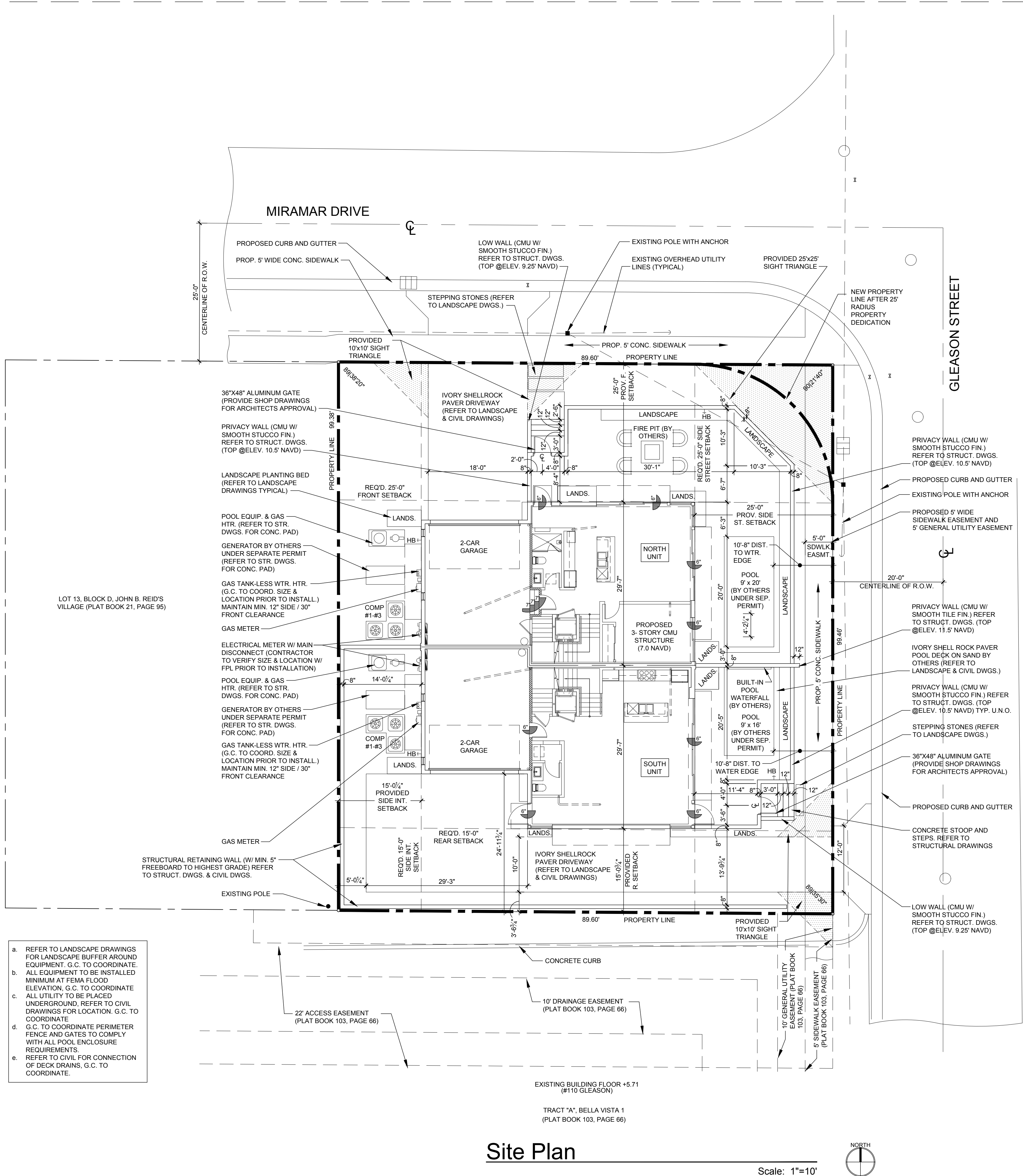
| | PROVIDED | REQUIRED |
|-------------------|---------------|-------------------|
| Bldg Footprint = | 2,680 SQ. FT. | |
| Impervious Area = | | |
| Pervious Area = | | |
| Total Site Area = | 8,908 SQ. FT. | |
| Lot Coverage = | 30% | 40% |
| % Impervious = | | |
| % Pervious = | | |
| %Open Space = | | 25% Non-Vehicular |

| | | | |
|-------------------|--------|--------|-----------------|
| Lot Width = | 89.60' | | |
| Lot Depth = | 99.46' | | |
| Lot Frontage = | 89.60' | | |
| Building Height = | 35'-0" | 35'-0" | (FROM C. OF R.) |
| | | | |

SITE PLAN

SP-1

RICHARD JONES ARCHITECTURE



KEY NOTES

1. 48" REFRIGERATOR/FREEZER (REFER TO I.D. DRAWINGS).

2. DOUBLE BOWL SINK w/ DISPOSAL (REFER TO I.D. DRAWINGS).

3. 48" GAS RANGE w/ HOOD (REFER TO I.D. DRAWINGS).

4. UNDER COUNTER MICROWAVE DRAWER (REFER TO ID DRAWINGS).

5. DISHWASHER (REFER TO ID DRAWINGS).

6. ELECTRIC CAR CHARGING STATION W/ DEDICATED CIRCUIT (G.C. TO COORD. W/ OWNER)

7. KITCHEN ISLAND w/ KNEE SPACE - COUNTER +36" A.F.F. (REFER TO I.D. DWGS.)

8. HOSE BIB (ALSO REFER TO SHEET SP-1 SITE PLAN FOR ADDITIONAL LOCATIONS).

9. WASHING MACHINE (REFER TO I.D. DRAWINGS).

10. DRYER - VENT TO EXTERIOR (REFER TO I.D. DRAWINGS).

11. UNDER COUNTER REFRIGERATOR (REFER TO I.D. DRAWINGS).

12. FLAT HEADER +8'-0" ABOVE FINISH FLOOR.

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14. LAVATORY (REFER TO I.D. DRAWINGS).

15. WATER CLOSET (REFER TO I.D. DRAWINGS).

16. MASONRY PARAPET +42" ABOVE FINISH ROOF DECK.

17. AIR HANDLER UNIT #1 W/ DUAL CONDENSATE OVERFLOW EMERG. SHUT OFF SENSORS.

18. AIR HANDLER UNIT #2 W/ DUAL CONDENSATE OVERFLOW EMERG. SHUT OFF SENSORS.

19. AIR HANDLER UNIT #3 W/ DUAL CONDENSATE OVERFLOW EMERG. SHUT OFF SENSORS.

20. FLOOR DRAIN. VERIFY LOCATION IN FIELD. SLOPE FLR. TO DRAIN

21. CONCRETE STEPS (REFER TO STRUCTURAL DRAWINGS).

22. R-11 INSULATION AND TYPE 'X' GYPSUM BOARD AT GARAGE CEILING.

23. R-11 INSULATION AT GARAGE WALL

24. TEMP. GLS. SHWR. ENCLOS. (W/ TEMP. GLS. DOOR WHERE APPLICABLE) SEE I.D. DRAWINGS.

25. INTERIOR STAIR WITH RAILING SYSTEM - SEE ENLARGED STAIR DETAILS SHEET A-7.1 (REFER TO I.D. DRAWINGS) PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL.

26. PANTRY BUILT-IN (BY OTHERS - REFER TO I.D. DRAWINGS).

27. BUILT-IN (BY OTHERS) SEE CABINET SHOP DRAWINGS FOR DIMENSIONS.

28. ELECTRICAL PANEL IN G.W.B BUILT OUT (REFER TO ELEC. SHEETS E-1 THRU E-4).

29. DASHED LINE INDICATES BALCONY ABOVE.

30. CANTILEVERED CONCRETE EYEBROW BELOW - SLOPE MAXIMUM 1/8" PER FOOT.

31. STRUCTURAL COLUMN (REFER TO STRUCTURAL DRAWINGS).

32. GAS METER.

33. 6" PEDESTAL TUB (REFER TO I.D. DRAWINGS).

34. SHOWER (REFER TO I.D. DRAWINGS).

35. WET BAR SINK (REFER TO I.D. DRAWINGS).

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38. 12" VENTILATED WIRE SHELVING AND HANGING ROD.

39. 2" GARAGE DOOR RAIN RECESS (TYPICAL).

40. NOMINAL STORM DRAIN ROUTE AT THIS FLOOR LEVEL.

41. FIRE SPRINKLER RISER LOCATION.

42. TANK-LESS GAS WATER HEATER (G.C. TO SIZE ACCORDINGLY).

43. NOMINAL STORM DRAIN ROUTE IN CEILING PLENUM FROM FLOOR ABOVE (DASHED LINE).

44. COUNTER +36" A.F.F. (REFER TO INTERIOR DESIGNER DRAWINGS).

45. TERRACE / BALCONY WATER PROOFING & FLASHING SYSTEM - WATERPROOF CLEAR SEALER OVER TILE WITH THIN SET "LATI-CRETE" EPOXY GROUT OVER TREMCO 350/351 SYSTEM (OR EQUAL) SLOPE 1/8" PER FOOT (INSTALL PER MANUFACTURER'S SPECIFICATIONS) UNDERSIDE OF DECK MINIMUM 3" ICYNENE PRO SEAL INSULATION (AVG. R-19 INSULATION ENTIRE ASSEMBLY) WHERE TERRACE / BALCONY ENCLOSES A/C SPACE BELOW.

46. 42" H. TEMP. SAFETY GLASS RAILING SYSTEM W/ ALUM. FRAME (TO REJECT 4" SPHERE) SILVER POWDER COATED (PROV. SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).

47. ELEC. METER W/ MAIN DISC. (G.C. TO VERIFY LOCATION W/ FFL PRIOR TO INSTALLATION).

48. 28" H. ALUM. RAILING SYSTEM W/ 3/4" SQ. HORIZ. TUBING W/ RECESSED MOUNTED POSTS ON 14" H. CONC. LOW WALL (PROVIDE SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).

49. 22"x36" ACCESS PANEL (FOR EMERGENCY ACCESS TO ELEVATOR MOTOR).

50. SMART VENT FLOOD VENT BLOCKS (VENT MUST BE INSTALLED 0" TO 12" A.F.F. ENTIRE VENT MUST BE BELOW BASE FLOOD ELEVATION / DESIGN FLOOD ELEVATION).

51. 2" STRUCTURAL BUMP OUT.

52. NOMINAL ROUTE OF HVAC SUPPLY FROM AHU #1 ABOVE AT SECOND FLOOR.

53. 2-HOUR DEMISING WALL.

54. NOMINAL ROUTE OF HVAC SUPPLY FROM AHU #3 ABOVE AT APPURTENANCE FLOOR.

55. 13" HIGH MASONRY PARAPET.

56. ROOF DECK WATER DRAIN.

57. MASONRY KNEE WALL +42" ABOVE FINISH DECK.

58. MASONRY PRIVACY WALL +6'-4" ABOVE FINISH DECK.

59. FLUSH PANEL METAL GARAGE DOOR W/ PAINTED FINISH (PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.

60. MASONRY PRIVACY WALL +7'-2" ABV. FIN. DECK W/ COLOR COORD. ALUM. DRIP EDGE CAP.

61. ALUM. GATE (SEE SITE PLAN & DTL.) PROV. SHOP DWGS. FOR ARCH'S. REVIEW & APPROVAL.

62. PRE-FAB GAS FIRE (BY OTHERS) G.C. TO COORD. W/ OWNER (REFER TO I.D. DRAWINGS).

63. OPTIONAL FREE STANDING SPA (BY OTHERS) G.C. TO COORDINATE W/ OWNER.

64. TRACTION ELEVATOR (BY OTHERS).

65. CENTRAL VACUUM SYSTEM (BY OTHERS) G.C. TO COORDINATE W/ OWNER.

66. 4" WIDE x 2" HIGH EMERGENCY OVERFLOW SCUPPER.

67. DASHED LINE INDICATES EYEBROW ABOVE.

68. TERRACE / AMENITY DECK WATER DRAIN.

69. GENERATOR (BY OTHERS UNDER SEPARATE PERMIT) G.C. TO COORDINATE SIZING REQ'S.

70. EPOXY PAINT FINISH ON GARAGE FLOOR (G.C. TO COORDINATE W/ OWNER / I.D. DWGS.).

71. T.V. NICHE 4" INSET FROM FACE OF MASONRY WALL (G.C. TO COORD. SIZING W/ ELEC. SUB).

72. 48" ELECTRIC / INDUCTION RANGE w/ HOOD (REFER TO I.D. DRAWINGS).

73. GAS BARBECUE.

74. RAYNOR GLASS OVER HEAD DOOR (PROVIDE NOA AND SHOP DWGS. FOR ARCH'S. REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.

75. APPLIED PORCELAIN TILE OVER WATER PROOFING ON MASONRY WALL (G.C. TO COORDINATE FINISH SELECTION WITH OWNER) TYP. @2ND FLR. BALCONY END BUMP-OUTS.

76. FASCIA BOARD CONCEALED DRAPERY POCKET (REFER TO I.D. DRAWINGS).

77. STRUCT. COL. CLAD IN CLEAR ANODIZED ALUM. TO MATCH WINDOW (SEE STRUCT. DWGS.).

78. SHOWER SEAT +22" A.F.F. (REFER TO INTERIOR DRAWINGS).

NOTES

1. ALL FINISHES AND PAINT COLORS SHALL BE SELECTED BY INTERIOR DESIGNER.

2. 5/8" THICK DENS-SHIELD SHALL BE INSTALLED IN LIEU OF GYPSUM BD. @ ALL WET AREAS.

3. MIRRORS SHALL BE INSTALLED OVER ALL VANITIES. HEIGHT & WIDTH SHALL BE DETERMINED BY INTERIOR DESIGNER.

4. ALL EXPOSED GYP. BD. WALLS AND CEILING SHALL RECEIVE 2 COATS OF FLAT LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.

5. ALL INTERIOR WOOD, DOORS, BASE OR TRIM SHALL RECEIVE 2 COATS OF SEMI-GLOSS LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.

6. FINISH FOR CLOSETS SHALL BE SAME AS FINISH OF ROOM CLOSET IS IN (U.O.N.).

7. ALL KITCHEN, LAUNDRY ROOM, FINISHED BATHROOMS & POWDER ROOMS SHALL HAVE IMPERVIOUS FLOORING & BASE.

NOTE: ALL WINDOWS NOTED AS EGRESS WINDOWS SHALL COMPLY WITH F.B.C. SILL HEIGHT SHALL NOT EXCEED 44" A.F.F. MIN. OPG. HT. SHALL BE 24" AND MIN OPG. WIDTH SHALL BE 20" MIN. CLEAR OPEN AREA SHALL BE 5.7 SQ. FT. (5.0 SQ.FT. @ 1ST FLOOR)

WALL HATCH SCHEDULE

DENOTES SOUND ATTENUATION INSULATION WITHIN WALL

DENOTES R-11 BATT INSULATION WITHIN WALL

NORTH UNIT BUILDING AREA CALCULATIONS

GROUND FLOOR A/C

886 SQ.FT.

SECOND FLOOR A/C

1,322 SQ.FT.

THIRD FLOOR A/C

694 SQ.FT.

APPURTENANCE A/C

145 SQ.FT.

TOTAL A/C

3,047 SQ.FT.

GARAGE

452 SQ.FT.

BALCONIES

560 SQ.FT.

TERRACE

472 SQ.FT.

TOTAL BUILDING FLOOR AREA

4,531 SQ.FT.

SOUTH UNIT BUILDING AREA CALCULATIONS

GROUND FLOOR A/C

889 SQ.FT.

SECOND FLOOR A/C

1,324 SQ.FT.

THIRD FLOOR A/C

680 SQ.FT.

APPURTENANCE A/C

175 SQ.FT.

TOTAL A/C

3,068 SQ.FT.

GARAGE

452 SQ.FT.

BALCONIES

565 SQ.FT.

TERRACE

427 SQ.FT.

TOTAL BUILDING FLOOR AREA

4,512 SQ.FT.

Ground Floor Plan

Scale: 1/4"=1'-0"

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SUBMITTALS:

CLASS V

SPECIAL SITE PLAN

SUBMITTAL

12.03.19

REVISIONS:

GROUND FLOOR PLAN

A-1.1

RICHARD JONES ARCHITECTURE

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66. 4" WIDE x 2" HIGH EMERGENCY OVERFLOW SCUPPER.

67. DASHED LINE INDICATES EYEBROW ABOVE.

68. TERRACE / AMENITY DECK WATER DRAIN.

69. GENERATOR (BY OTHERS UNDER SEPARATE PERMIT) G.C. TO COORDINATE SIZING REQ'S.

70. EPOXY PAINT FINISH ON GARAGE FLOOR (G.C. TO COORDINATE W/ OWNER / I.D. DWGS.).

71. T.V. NICHE 4" INSET FROM FACE OF MASONRY WALL (G.C. TO COORD. SIZING W/ ELEC. SUB).

72. 48" ELECTRIC / INDUCTION RANGE w/ HOOD (REFER TO I.D. DRAWINGS).

73. GAS BARBECUE.

74. RAINNOR GLASS OVER HEAD DOOR (PROVIDE NOA AND SHOP DWGS. FOR ARCHS. REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.

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76. FASCIA BOARD CONCEALED DRAPERY POCKET (REFER TO I.D. DRAWINGS).

77. STRUCT. COL. CLAD IN CLEAR ANODIZED ALUM. TO MATCH WINDOW (SEE STRUCT. DWGS.).

78. SHOWER SEAT +22" A.F.F. (REFER TO INTERIOR DRAWINGS).

NOTES

1. ALL FINISHES AND PAINT COLORS SHALL BE SELECTED BY INTERIOR DESIGNER.

2. 5/8" THICK DENS-SHIELD SHALL BE INSTALLED IN LIEU OF GYPSUM BD. @ ALL WET AREAS.

3. MIRRORS SHALL BE INSTALLED OVER ALL VANITIES. HEIGHT & WIDTH SHALL BE DETERMINED BY INTERIOR DESIGNER.

4. ALL EXPOSED GYP. BD. WALLS AND CEILING SHALL RECEIVE 2 COATS OF FLAT LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.

5. ALL INTERIOR WOOD, DOORS, BASE OR TRIM SHALL RECEIVE 2 COATS OF SEMI-GLOSS LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.

6. FINISH FOR CLOSETS SHALL BE SAME AS FINISH OF ROOM CLOSET IS IN (U.O.N.).

7. ALL KITCHEN, LAUNDRY ROOM, FINISHED BATHROOMS & POWDER ROOMS SHALL HAVE IMPERVIOUS FLOORING & BASE.

NOTE: ALL WINDOWS NOTED AS EGRESS WINDOWS SHALL COMPLY WITH F.B.C. SILL HEIGHT SHALL NOT EXCEED 44" A.F.F. MIN. OPG. HT. SHALL BE 24" AND MIN OPG. WIDTH SHALL BE 20". MIN. CLEAR OPEN AREA SHALL BE 5.7 SQ. FT. (5.0 SQ.FT. @ 1ST FLOOR)

WALL HATCH SCHEDULE

DENOTES SOUND ATTENUATION INSULATION WITHIN WALL

DENOTES R-11 BATT INSULATION WITHIN WALL

NORTH UNIT BUILDING AREA CALCULATIONS

| | |
|------------------|--------------|
| GROUND FLOOR A/C | 886 SQ.FT. |
| SECOND FLOOR A/C | 1,322 SQ.FT. |
| THIRD FLOOR A/C | 694 SQ.FT. |
| APPURTENANCE A/C | 145 SQ.FT. |
| TOTAL A/C | 3,047 SQ.FT. |

SOUTH UNIT BUILDING AREA CALCULATIONS

| | |
|------------------|--------------|
| GROUND FLOOR A/C | 889 SQ.FT. |
| SECOND FLOOR A/C | 1,324 SQ.FT. |
| THIRD FLOOR A/C | 680 SQ.FT. |
| APPURTENANCE A/C | 175 SQ.FT. |
| TOTAL A/C | 3,068 SQ.FT. |

| | |
|---------------------------|--------------|
| GARAGE | 452 SQ.FT. |
| BALCONIES | 560 SQ.FT. |
| TERRACE | 472 SQ.FT. |
| TOTAL BUILDING FLOOR AREA | 4,531 SQ.FT. |

| | |
|---------------------------|--------------|
| GARAGE | 452 SQ.FT. |
| BALCONIES | 565 SQ.FT. |
| TERRACE | 427 SQ.FT. |
| TOTAL BUILDING FLOOR AREA | 4,512 SQ.FT. |

Second Floor Plan

Scale: 1/4"=1'-0"

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LICENSURE

AA26001617 | IB26001056

COMMISSION # 17-058
DESIGNER: RJ
DRAWN BY: GsJ
PLAN REVIEW: RJ

SUBMITTALS:

CLASS V 12.03.19
SPECIAL SITE PLAN
SUBMITTAL

REVISIONS:

SECOND FLOOR PLAN

A-1.2

RICHARD JONES ARCHITECTURE

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2. DOUBLE BOWL SINK w/ DISPOSAL (REFER TO I.D. DRAWINGS).

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4. UNDER COUNTER MICROWAVE DRAWER (REFER TO ID DRAWINGS).

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56. ROOF DECK WATER DRAIN.

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| THIRD FLOOR A/C | 694 SQ.FT. |
| APPURTENANCE A/C | 145 SQ.FT. |
| TOTAL A/C | 3,047 SQ.FT. |

GARAGE452 SQ.FT.

BALCONIES560 SQ.FT.

TERRACE472 SQ.FT.

TOTAL BUILDING FLOOR AREA4,531 SQ.FT.

SOUTH UNIT BUILDING AREA CALCULATIONS

| | |
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| GROUND FLOOR A/C | 889 SQ.FT. |
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GARAGE452 SQ.FT.

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TERRACE427 SQ.FT.

TOTAL BUILDING FLOOR AREA4,512 SQ.FT.

The Third Floor Plan is a detailed architectural drawing of a multi-unit residential building. It is divided into two main sections: the North Unit and the South Unit. The North Unit, located on the left and top portions of the plan, includes a Terrace, Kitchen (11'-11" x 10'-6", CLG. HT. 9'-4"), Great Room (15'-10" x 23'-2", CLG. HT. 9'-4"), Dining (CLG. HT. 9'-4"), Bath (CLG. HT. 9'-4"), and a Club Rm. (10'-8" x 17'-9", CLG. HT. 9'-4"). The South Unit, located on the right and bottom portions, includes a Terrace, Kitchen, Great Room, Dining, Bath (CLG. HT. 9'-4"), and a Club Rm. (10'-8" x 17'-9", CLG. HT. 9'-4"). Both units feature multiple balconies (Balc.) and a central elevator (Elev.) with a shaft (CLG. HT. 9'-4"). The plan also shows various structural elements such as walls, columns, and doors, along with dimensions and elevations. A note indicates that the shop drawings for the final cabinet dimensions and layout should be provided. The plan is oriented with North at the top, as indicated by the North arrow.

Third Floor Plan

Scale: 1/4"=1'-0"

RICHARD JONES

ARCHITECTURE

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LICENSEURE

AA26001617 | IB26001056

COMMISSION # 17-058

DESIGNER: RJ

DRAWN BY: Gsj

PLAN REVIEW: RJ

SUBMITTALS:

CLASS V

SPECIAL SITE

PLAN

SUBMITTAL

12.03.19

REVISIONS:

THIRD FLOOR PLAN

A-1.3

RICHARD JONES ARCHITECTURE

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78. SHOWER SEAT +22" A.F.F. (REFER TO INTERIOR DRAWINGS).

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NOTE: ALL WINDOWS NOTED AS EGRESS WINDOWS SHALL COMPLY WITH F.B.C. SILL HEIGHT SHALL NOT EXCEED 44" A.F.F. MIN. OPG. HT. SHALL BE 24" AND MIN OPG. WIDTH SHALL BE 20" MIN. CLEAR OPEN AREA SHALL BE 5.7 SQ. FT. (5.0 SQ.FT. @ 1ST FLOOR)

WALL HATCH SCHEDULE

DENOTES SOUND ATTENUATION INSULATION WITHIN WALL.

DENOTES R-11 BATT INSULATION WITHIN WALL.

NORTH UNIT BUILDING AREA CALCULATIONS

| | |
|------------------|--------------|
| GROUND FLOOR A/C | 886 SQ.FT. |
| SECOND FLOOR A/C | 1,322 SQ.FT. |
| THIRD FLOOR A/C | 694 SQ.FT. |
| APPURTENANCE A/C | 145 SQ.FT. |
| TOTAL A/C | 3,047 SQ.FT. |

SOUTH UNIT BUILDING AREA CALCULATIONS

| | |
|------------------|--------------|
| GROUND FLOOR A/C | 889 SQ.FT. |
| SECOND FLOOR A/C | 1,324 SQ.FT. |
| THIRD FLOOR A/C | 680 SQ.FT. |
| APPURTENANCE A/C | 175 SQ.FT. |
| TOTAL A/C | 3,068 SQ.FT. |

| | |
|---------------------------|--------------|
| GARAGE | 452 SQ.FT. |
| BALCONIES | 560 SQ.FT. |
| TERRACE | 472 SQ.FT. |
| TOTAL BUILDING FLOOR AREA | 4,531 SQ.FT. |

The diagram is a detailed roof terrace plan for a building with North and South units. It shows the layout of mechanical units (Mech. NORTH UNIT and Mech. SOUTH UNIT), terraces, balconies (Balc. Below), and various structural elements like walls, columns, and stairs. Dimensions are provided for various sections, and elevations are noted for key points like the top of knee walls and roof low points. The plan also includes a 2-hour demising wall separating the units. A north arrow is located in the bottom right corner.

Roof Terrace Plan #1

Scale: 1/4"=1'-0"

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DRAWN BY: Gsj
PLAN REVIEW: RJ

SUBMITTALS:
CLASS V
SPECIAL SITE
PLAN
SUBMITTAL

12.03.19

REVISIONS:

ROOF
TERRACE
PLAN

A-1.4

RICHARD JONES ARCHITECTURE

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DENOTES SOUND ATTENUATION INSULATION WITHIN WALL

DENOTES R-11 BATT INSULATION WITHIN WALL

NORTH UNIT BUILDING AREA CALCULATIONS

GROUND FLOOR A/C

886 SQ.FT.

SECOND FLOOR A/C

1,322 SQ.FT.

THIRD FLOOR A/C

694 SQ.FT.

APPURTENANCE A/C

145 SQ.FT.

TOTAL A/C

3,047 SQ.FT.

SOUTH UNIT BUILDING AREA CALCULATIONS

GROUND FLOOR A/C

889 SQ.FT.

SECOND FLOOR A/C

1,324 SQ.FT.

THIRD FLOOR A/C

680 SQ.FT.

APPURTENANCE A/C

175 SQ.FT.

TOTAL A/C

3,068 SQ.FT.

GARAGE

452 SQ.FT.

BALCONIES

560 SQ.FT.

TERRACE

472 SQ.FT.

TOTAL BUILDING FLOOR AREA

4,531 SQ.FT.

GARAGE

452 SQ.FT.

BALCONIES

565 SQ.FT.

TERRACE

427 SQ.FT.

TOTAL BUILDING FLOOR AREA

4,512 SQ.FT.

The diagram is a detailed roof terrace plan for a two-unit residential building. It shows the layout of the North Unit and South Unit, including their respective terraces, balconies, and structural elements. Key features include:
 - **Units and Layout**: The North Unit is located on the upper left, and the South Unit is on the lower right. They are separated by a central 2-Hour Demising Wall.
 - **Structural Details**: The plan shows various structural elements such as walls, columns, and roof sections. Annotations include 'TOP OF KNEE WALL ELEV: 38'-6"', 'T.O. ROOF @ LOW POINT ELEV: 35'-0"', and 'TOP OF EYEBROW ELEV: 33'-0"'.
 - **Dimensions and Slopes**: Numerous dimensions are provided for walls, terraces, and overall unit footprints. Slopes are indicated for various roof sections, such as 'SLOPE' and 'SLOPE 1/4"'.
 - **Terraces and Balconies**: Both units have associated terraces and balconies, labeled 'Terrace' and 'Balc. Below'.
 - **Annotations and Notes**: The plan includes various callouts and notes, such as 'CLG. HT: 8'-9"', 'FIN. FLR ELEV: 35'-6"', and 'CLG. HT: 4'-1"'. It also shows the location of structural columns and other building components.
 - **Orientation and Scale**: The plan is oriented with North at the top, as indicated by the 'NORTH' arrow. The scale is given as 1/4"=1'-0".
 - **Overall Dimensions**: The overall dimensions of the building footprint are 32'-3" wide by 55'-2" deep. The terrace area is 32'-7" wide by 27'-7" deep.
 - **Additional Details**: The plan shows the location of various structural elements, including walls, columns, and roof sections. It also includes details for the 2-Hour Demising Wall and the various terraces and balconies.

Roof Terrace Plan #2

Scale: 1/4"=1'-0"

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COMMISSION # 17-058
DESIGNER: RJ
DRAWN BY: Gsj
PLAN REVIEW: RJ

SUBMITTALS:

CLASS V 12.03.19
SPECIAL SITE PLAN
SUBMITTAL

REVISIONS:

ROOF
TERRACE
PLAN

A-1.5

RICHARD JONES ARCHITECTURE

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3. MIRRORS SHALL BE INSTALLED OVER ALL VANITIES. HEIGHT & WIDTH SHALL BE DETERMINED BY INTERIOR DESIGNER.

4. ALL EXPOSED GYP. BD. WALLS AND CEILING SHALL RECEIVE 2 COATS OF FLAT LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.

5. ALL INTERIOR WOOD, DOORS, BASE OR TRIM SHALL RECEIVE 2 COATS OF SEMI-GLOSS LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.

6. FINISH FOR CLOSETS SHALL BE SAME AS FINISH OF ROOM CLOSET IS IN (U.O.N.).

7. ALL KITCHEN, LAUNDRY ROOM, FINISHED BATHROOMS & POWDER ROOMS SHALL HAVE IMPERVIOUS FLOORING & BASE.

NOTE: ALL WINDOWS NOTED AS EGRESS WINDOWS SHALL COMPLY WITH F.B.C. SILL HEIGHT SHALL NOT EXCEED 44" A.F.F. MIN. OPG. HT. SHALL BE 24" AND MIN OPG. WIDTH SHALL BE 20". MIN. CLEAR OPEN AREA SHALL BE 5.7 SQ. FT. (5.0 SQ FT. @ 1ST FLOOR)

WALL HATCH SCHEDULE

DENOTES SOUND ATTENUATION INSULATION WITHIN WALL

DENOTES R-11 BATT INSULATION WITHIN WALL

NORTH UNIT BUILDING AREA CALCULATIONS

GROUND FLOOR A/C

886 SQ.FT.

SECOND FLOOR A/C

1,322 SQ.FT.

THIRD FLOOR A/C

694 SQ.FT.

APPURTENANCE A/C

145 SQ.FT.

TOTAL A/C

3,047 SQ.FT.

SOUTH UNIT BUILDING AREA CALCULATIONS

GROUND FLOOR A/C

889 SQ.FT.

SECOND FLOOR A/C

1,324 SQ.FT.

THIRD FLOOR A/C

680 SQ.FT.

APPURTENANCE A/C

175 SQ.FT.

TOTAL A/C

3,068 SQ.FT.

GARAGE

452 SQ.FT.

BALCONIES

560 SQ.FT.

TERRACE

472 SQ.FT.

TOTAL BUILDING FLOOR AREA

4,531 SQ.FT.

GARAGE

452 SQ.FT.

BALCONIES

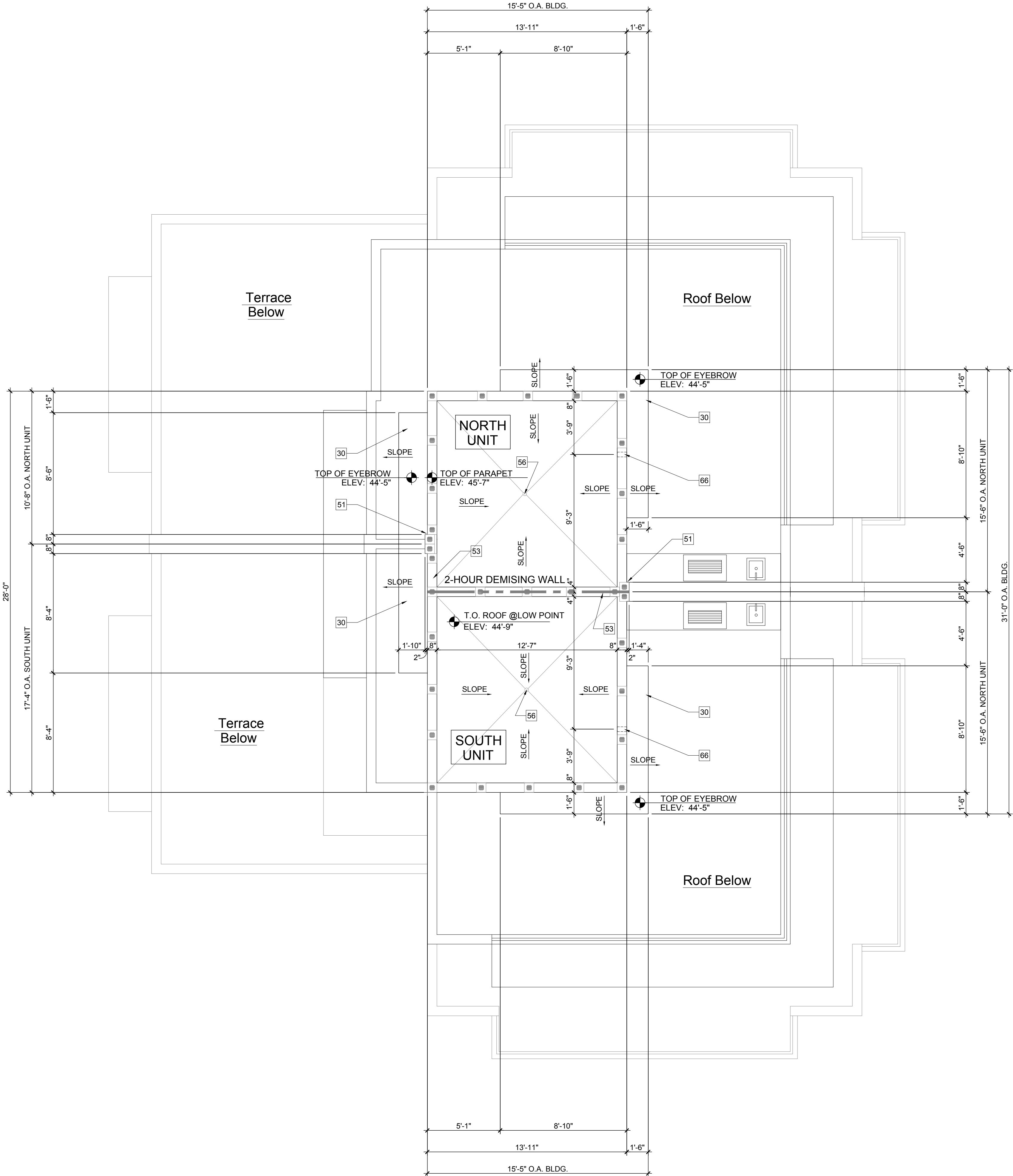
565 SQ.FT.

TERRACE

427 SQ.FT.

TOTAL BUILDING FLOOR AREA

4,512 SQ.FT.



Upper Roof Plan

Scale: 1/4"=1'-0"



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COMMISSION # 17-058
DESIGNER: RJ
DRAWN BY: Gsj
PLAN REVIEW: RJ

SUBMITTALS:

CLASS V
SPECIAL SITE
PLAN
SUBMITTAL

12.03.19

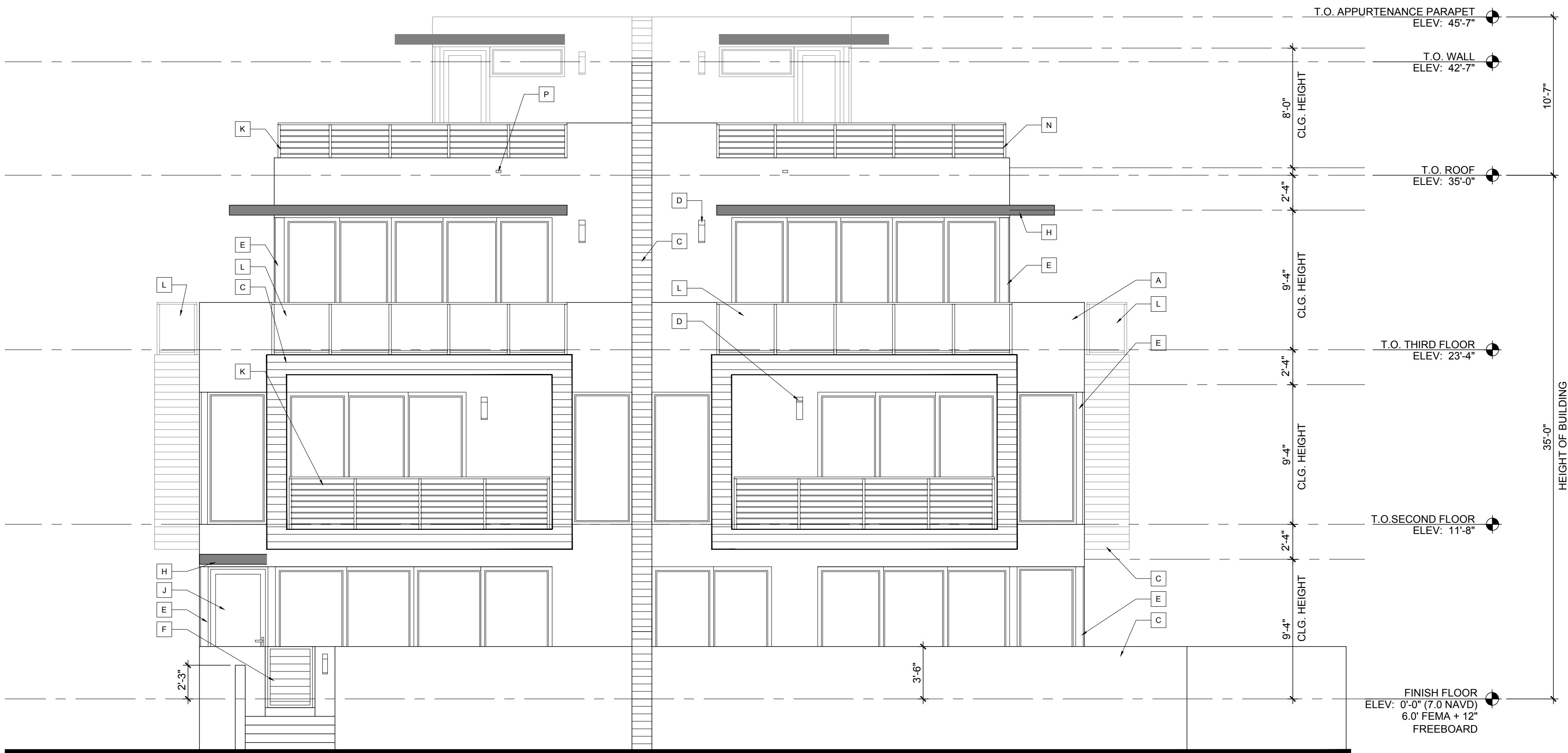
REVISIONS:

UPPER
ROOF
PLAN

A-2

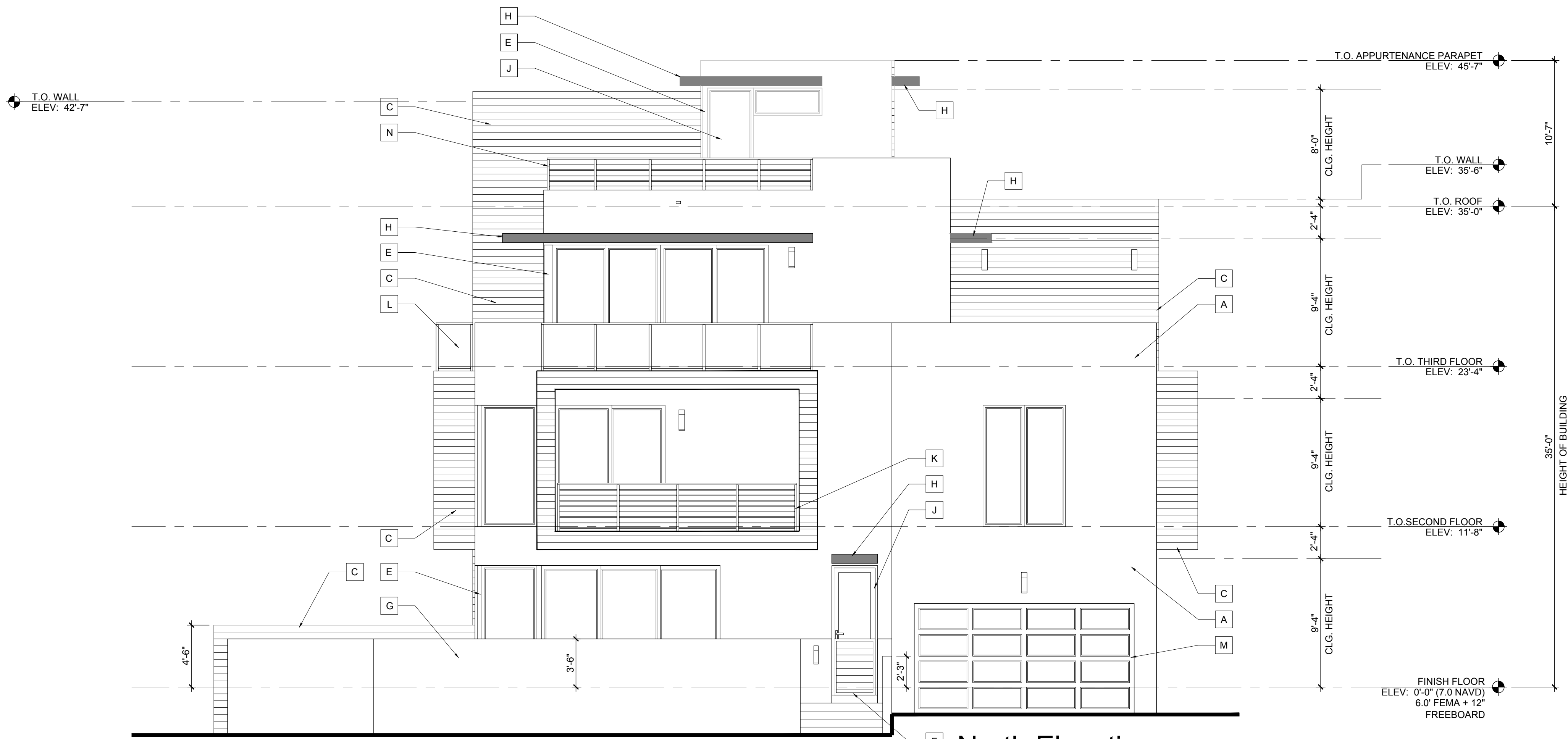
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East Elevation

Scale: 3/16"=1'-0"



North Elevation

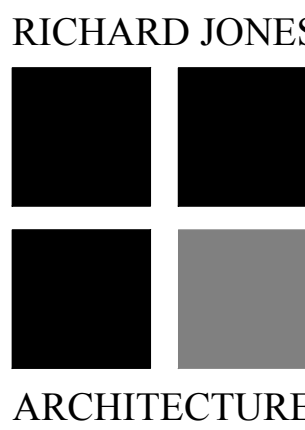
Scale: 3/16"=1'-0"

ELEVATION NOTES

| | |
|---|--|
| A | SMOOTH STUCCO FINISH |
| B | FLUSH PANEL METAL GARAGE DOOR W/ 3/4" SQ. HORIZONTAL TUBING W/ RECESSED MOUNTED POSTS (TO REJECT 4" DIA. SPHERE) PROV. SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL |
| C | APPLIED PORCELAIN TILE OVER WATER PROOFING ON MASONRY WALL (G.C. TO COORDINATE FINISH SELECTION WITH OWNER). |
| D | LIGHT FIXTURE (TO BE SELECTED BY OWNER) |
| E | STRUCTURAL STEEL COLUMN WRAPPED IN BREAK METAL TO MATCH WINDOW/DOOR FRAME |
| F | ALUMINUM GATES BY SOUTH FLORIDA ALUMINUM (OR EQUAL) REFER TO FLOOR PLAN & DETAILS |
| G | MASONRY GARDEN WALL W/ SMOOTH STUCCO FINISH (REFER TO STRUCTURAL DRAWINGS) |
| H | CONCRETE ROOF/EYEBROW (REFER TO STRUCTURAL DRAWINGS) |
| J | IMPACT RESISTANT WINDOW AND DOOR PROVIDE SHOP DRAWINGS FOR ARCHITECT'S APPROVAL |
| K | 42" HIGH ALUMINUM RAILING SYSTEM W/ 3/4" SQ. HORIZONTAL TUBING W/ RECESSED MOUNTED POSTS (TO REJECT 4" DIA. SPHERE) PROV. SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL |
| L | 42" HIGH TEMPERED SAFETY GLASS RAILING SYSTEM W/ ALUMINUM FRAME (TO REJECT 4" DIAMETER SPHERE) PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW AND APPROVAL |
| M | RAYNOR GLASS / METAL GARAGE DOOR W/ CLEAR ANODIZED FINISH - SEE DOOR SCHEDULE (PROVIDE NOA & SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL) |
| N | 28" H. ALUM. RAILING SYSTEM W/ 3/4" SQ. HORIZ. TUBING W/ RECESSED MOUNTED POSTS ON 14" H. CONC. LOW WALL (PROVIDE SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL). |
| P | EMERGENCY OVERFLOW SCUPPER (REFER TO DETAIL 2 SHEET A-7.3) |

BUILDING COLORS

| |
|--|
| WALLS - SHERWIN WILLIAMS PURE WHITE 7005 |
| EYEBROWS - SHERWIN WILLIAMS SKYLINE STEEL 1015 |
| DOORS AND WINDOWS - CLEAR ANODIZED |
| RAILING - SILVER POWDER COATED |



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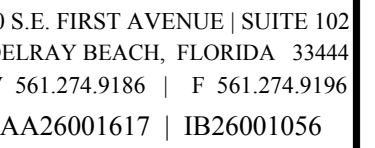
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DRAWN BY: Gsj
PLAN REVIEW: RJ

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12.03.19

REVISIONS:

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REVISIONS:

WEST AND
SOUTH
ELEVATION

A-3.2

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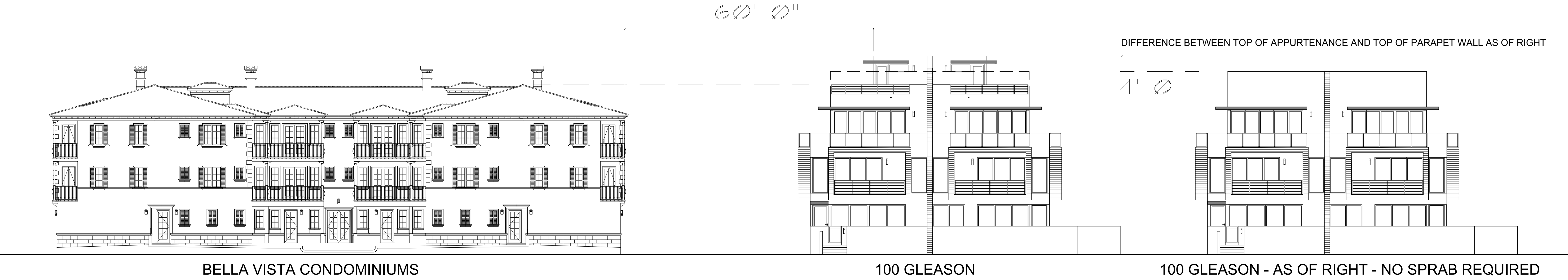


Scale: 3/16"=1'-0"

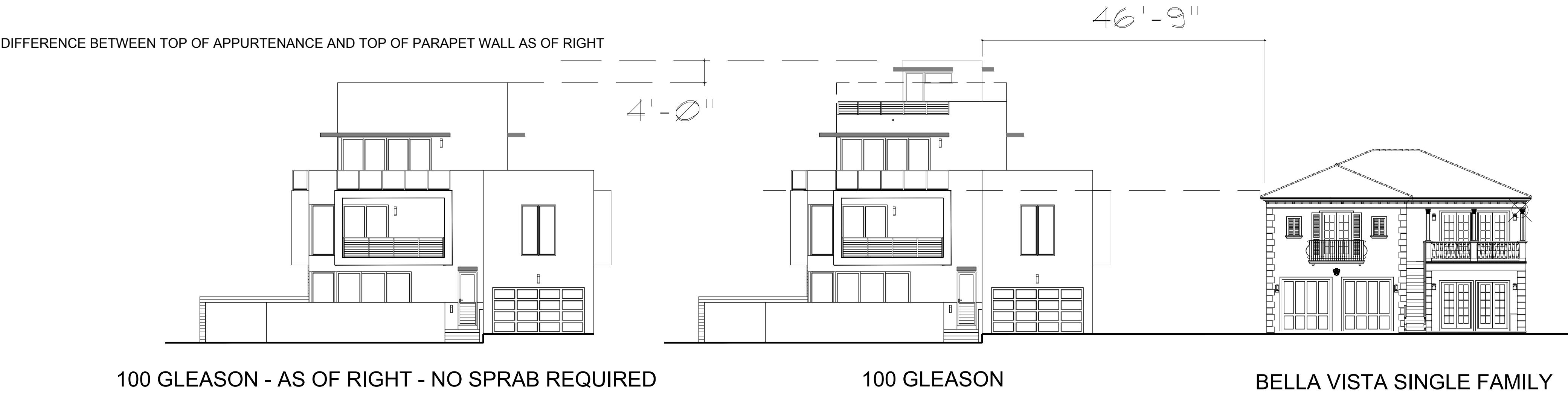


Scale: $3/16"=1'-0"$

| ELEVATION NOTES | |
|--|--|
| A | SMOOTH STUCCO FINISH |
| B | FLUSH PANEL METAL GARAGE DOOR W/ SILVER FINISH - SEE DOOR SCHEDULE (PROVIDE NOA & SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL). |
| C | APPLIED PORCELAIN TILE OVER WATER PROOFING ON MASONRY WALL (G.C. TO COORDINATE FINISH SELECTION WITH OWNER). |
| D | LIGHT FIXTURE (TO BE SELECTED BY OWNER) |
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| P | EMERGENCY OVERFLOW SCUPPER (REFER TO DETAIL 2 SHEET A-7.3) |
| BUILDING COLORS | |
| WALLS - SHERWIN WILLIAMS PURE WHITE 7005 | |
| EYEBROWS - SHERWIN WILLIAMS SKYLINE STEEL 1015 | |
| DOORS AND WINDOWS - CLEAR ANODIZED | |
| RAILING - SILVER POWDER COATED | |



GLEASON STREETSCAPE



MIRAMAR STREETSCAPE

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DRAWN BY: GsJ
PLAN REVIEW: RJ

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SUBMITTAL

12.03.19

REVISIONS:

MASSING
STUDY

A-3.3

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REVISIONS:

RENDERING

A-3.4

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