



**CURRIE
SOWARDS
AGUILA
architects**

Architecture, Planning,
Interiors, &
Sustainable Design

AA26001584
185 NE 4TH AVENUE SUITE 101
DELRAY BEACH, FL 33483

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E-MAIL: office@csa-architects.com

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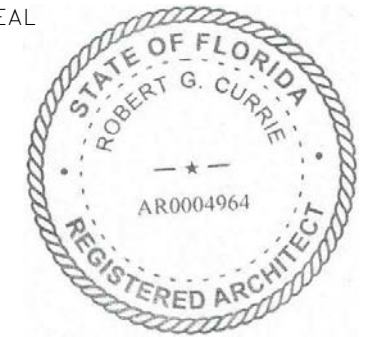
SPA 10-01-19

BIDS

PERMIT

CONSTRUCTION

SEAL



ROBERT G. CURRIE
FLORIDA REGISTRATION #AR0004964

PROJECT TITLE

PHG DELRAY

202 N. Federal Hwy.
DeLray Beach, FL

REVISIONS

NUM.	DESCRIPTION	DATE
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TO PROVIDE EVERY DETAIL OR
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CONSTRUCT THE BUILDING. THE
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BUILDING WHETHER INDICATED ON
THE PLANS OR NOT.

DRAWING TITLE

SOUTHEAST VIEW

DATE 10/01/19 DRAWN BY KAB

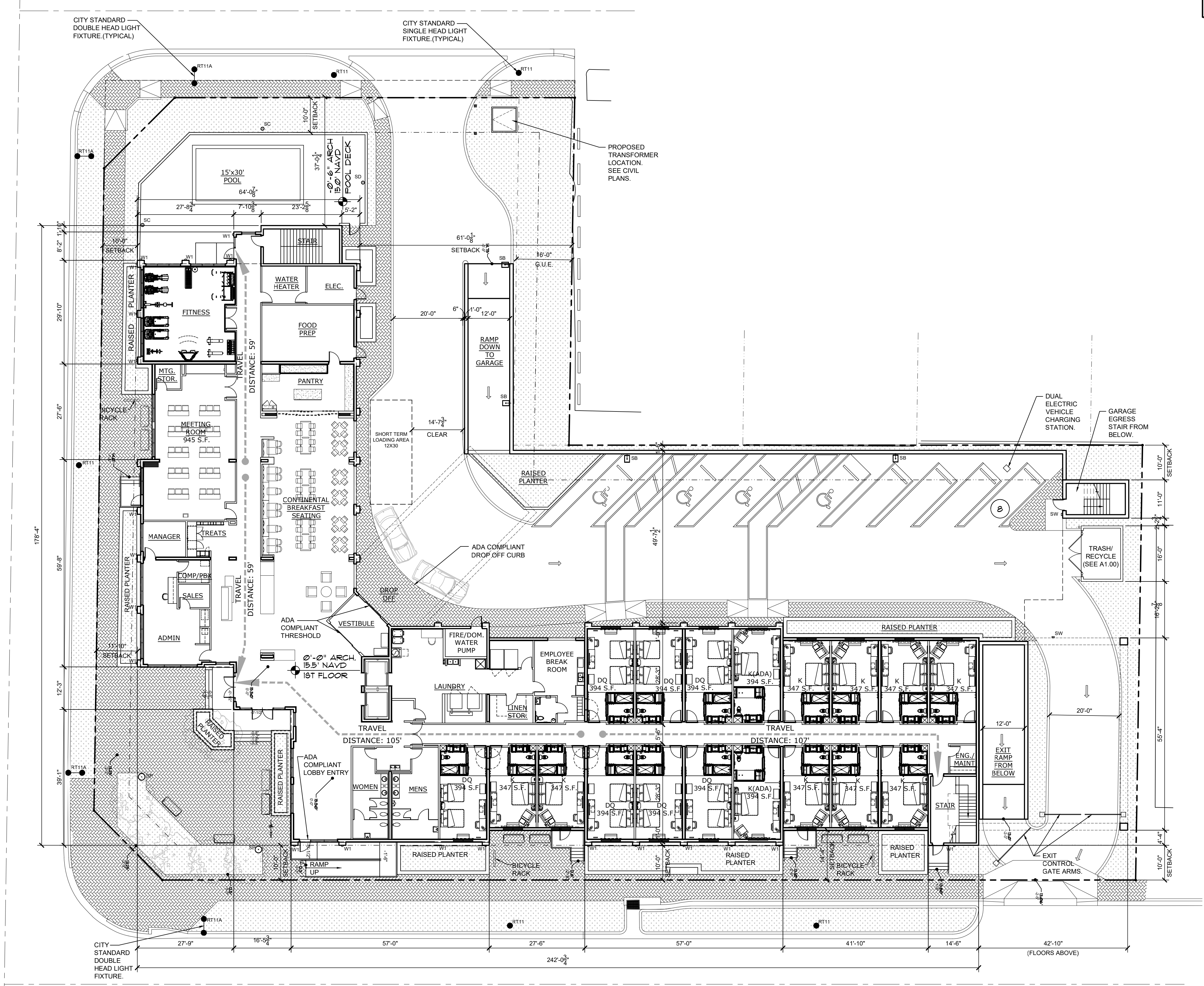
JOB NUMBER 181201

DRAWING NUMBER

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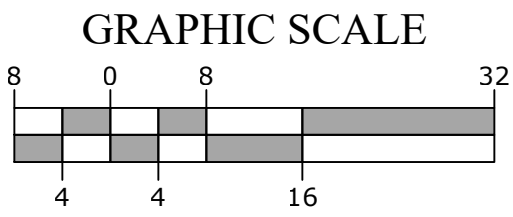
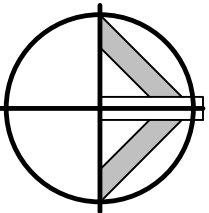
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A1.01

PROPOSED FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"



BUILDING CODE DATA

BUILDING CODE:	2017 FBC (6TH EDITION)
OCCUPANCY TYPE:	R-1 AND S-2 (MIXED USE)
CONSTRUCTION TYPE:	II-B (SPRINKLERED)
MAX. ALLOW. HEIGHT ABV. GRADE PLANE:	75'-0" (PROPOSED =46'-0")
MAX. STORIES ABV. GRADE PLANE:	5 (PROPOSED =4)
MAX. ALLOW. AREA PER FLOOR:	48,000 S.F. (R-1)
	78,000 S.F. (S-2)
MAX. TRAVEL DISTANCE TO EXIT:	(R-1) = 250'
	(S-2) = 400'

BUILDING AREA
CALCULATIONS

PARKING LEVEL	39,538 S.F.
1ST FLOOR	19,037 S.F.
2ND FLOOR	20,880 S.F.
3RD FLOOR	20,880 S.F.
4TH FLOOR	18,255 S.F.
4TH BALCONIES	2,837 S.F.
ROOF	18,762 S.F.
TOTAL BUILDING:	140,189 S.F.

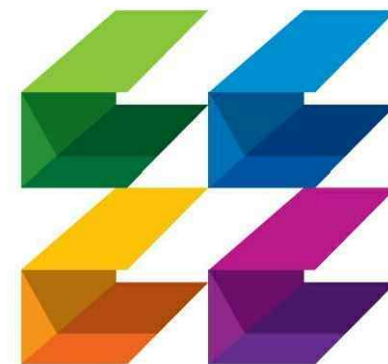
1ST FLOOR EXTERIOR STRUCTURAL SLAB	4,964 S.F.
ADJ. TO ROADWAYS	12,566 S.F.
WESTERN PARKING/DRIVE	17,530 S.F.
TOTAL BUILDING:	17,530 S.F.

OVERALL ROOM COUNT

GUESTROOMS:	
1ST FLOOR	18
2ND FLOOR	46
3RD FLOOR	46
4TH FLOOR	33
TOTAL ROOMS:	143

ROOM COUNT

FIRST FLOOR	
DOUBLE QUEEN [394 S.F.]	=07
KING [347 S.F.]	=09
KING (ADA) [394 S.F.]	=02
TOTAL ROOMS	=18



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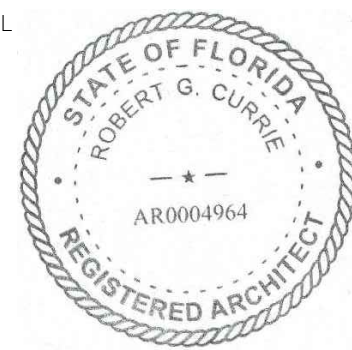
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SEAL



PROJECT TITLE

PHG DELRAY

NE 5TH AVENUE
DELRAY BEACH, FL 33483

REVISIONS

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DRAWING TITLE

**PROPOSED
FIRST FLOOR
PLAN**

DATE
09/27/19

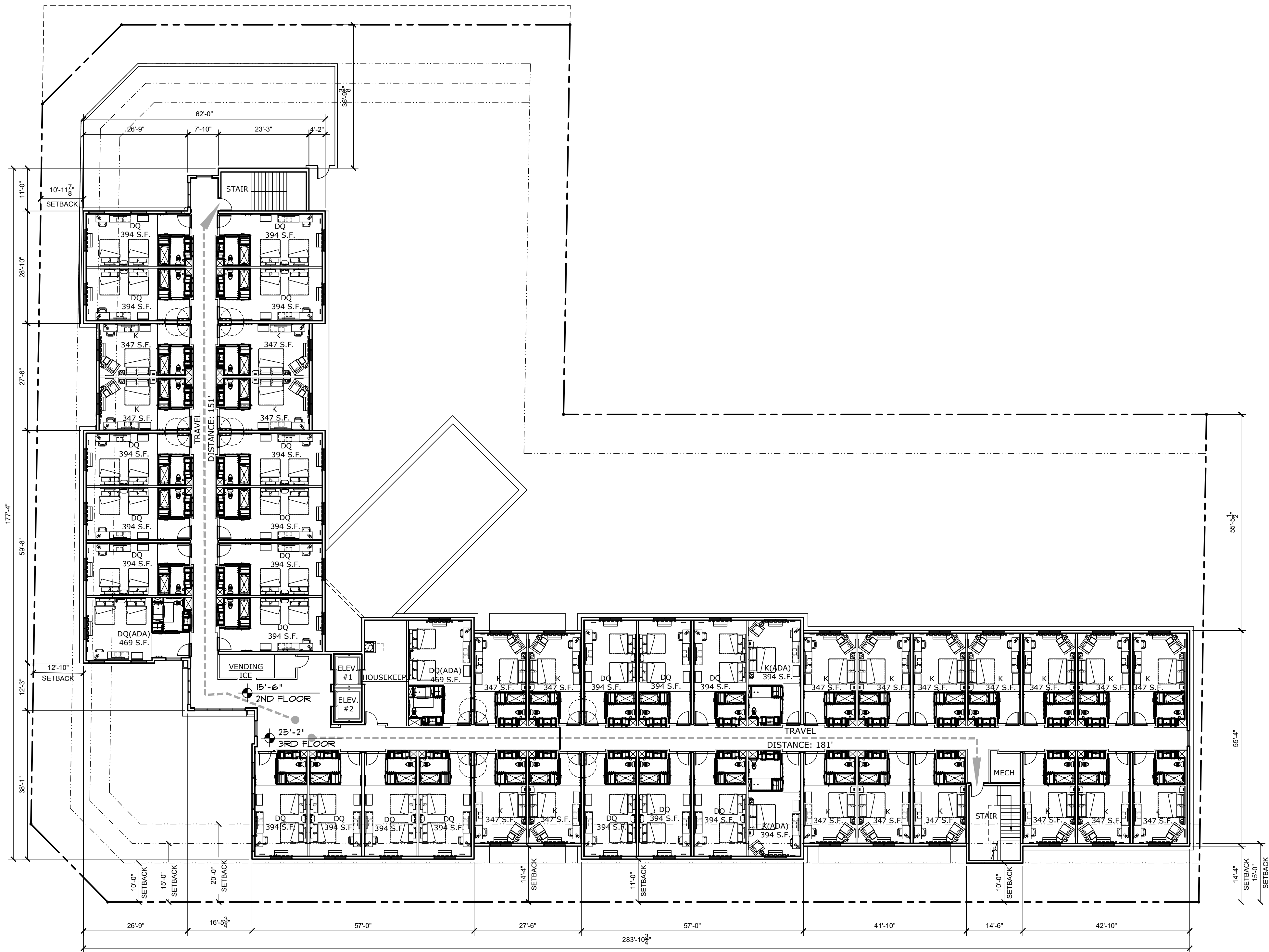
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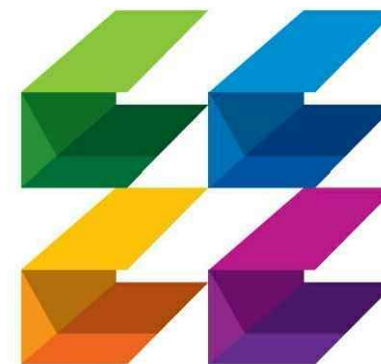
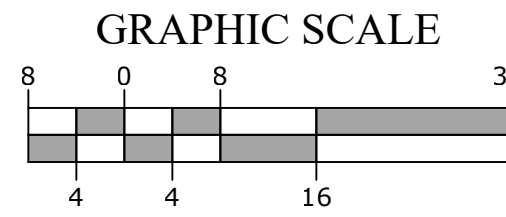
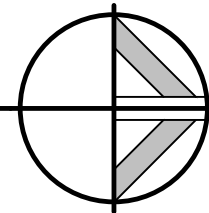
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1
A1.02

TYPICAL SECOND AND THIRD FLOOR PLAN

SCALE: 1/16" = 1'-0"



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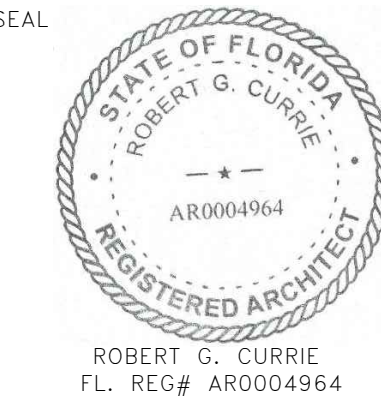
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DRAWING TITLE
**TYPICAL
SECOND AND
THIRD FLOOR
PLAN**

DATE
09/27/19

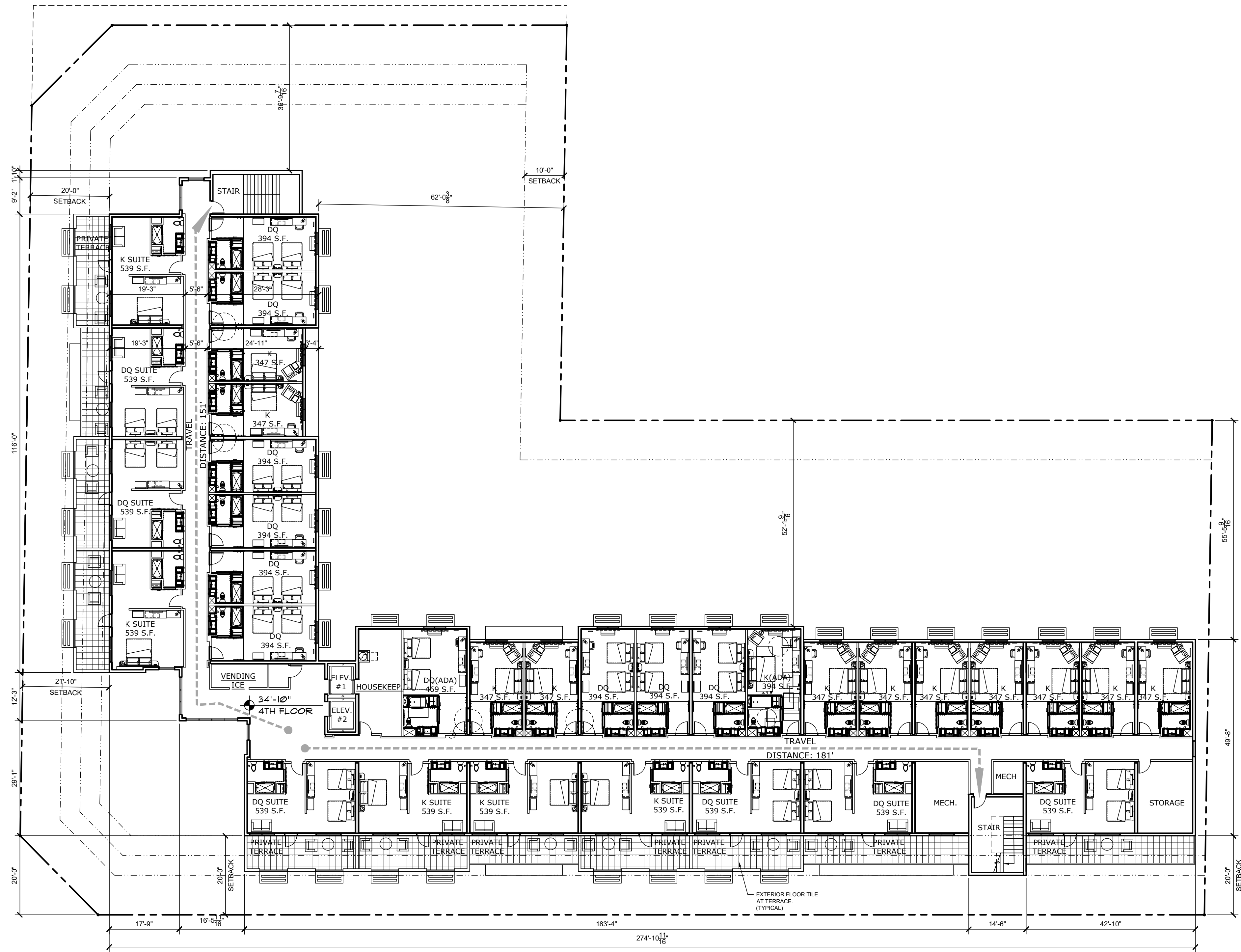
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DRAWING NUMBER

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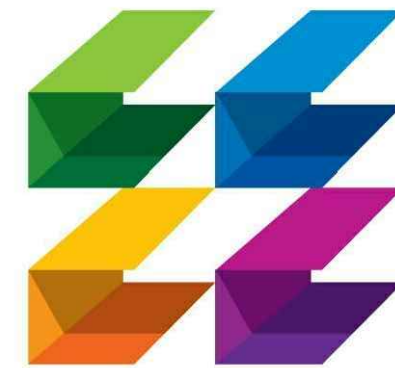
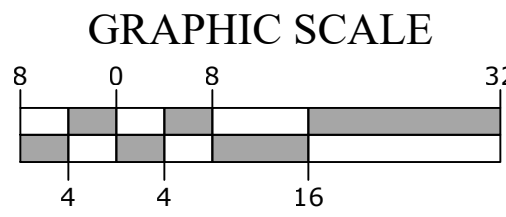
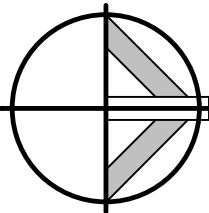
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1
A1.03

FOURTH FLOOR PLAN

SCALE: 1/16" = 1'-0"



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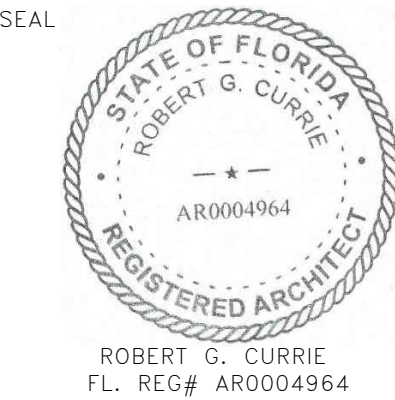
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PROJECT TITLE
PHG DELRAY

NE 5TH AVENUE
DELRAY BEACH, FL 33483

REVISIONS

ROOM COUNT

DOUBLE QUEEN [394 S.F.]	=09
KING [347 S.F.]	=11
DOUBLE QUEEN(ADA) [469 S.F.]	=01
KING (ADA) [394 S.F.]	=01
KING SUITE [539 S.F.]	=05
DBL. QUEEN SUITE [539 S.F.]	=06
TOTAL ROOMS	=33

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DRAWING TITLE
FOURTH FLOOR
PLAN

DATE
09/27/19

DRAWN BY
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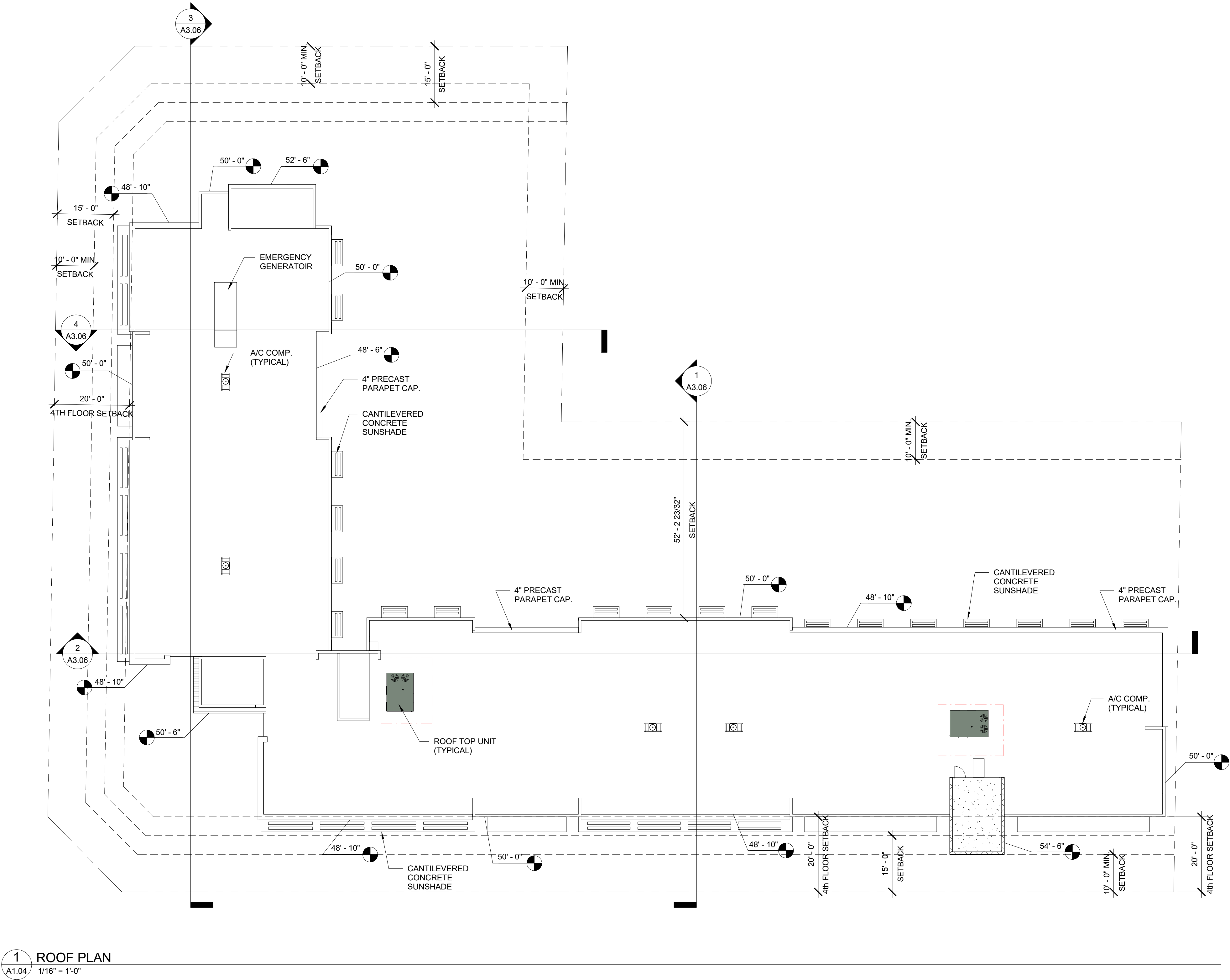
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1 ROOF PLAN
A1.04 1/16" = 1'-0"



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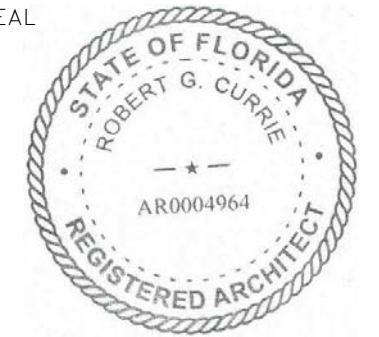
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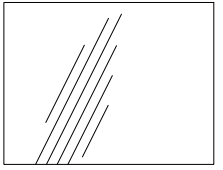
DRAWING TITLE
ROOF PLAN

DATE	DRAWN BY
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A1.04

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COLOR LEGEND	
COLOR	MATERIAL
	ACCENT COLOR SHERWIN WILLIAMS #SW6244 NAVAL
	BASE/BODY COLOR: SHERWIN WILLIAMS #SW7668 MARCH WIND
	BODY COLOR: SHERWIN WILLIAMS #SW7005 PURE WHITE
	GLAZING: GRAY TINT NON REFLECTIVE GLASS
	ANODIZED ALUMINUM LOUVERS, STOREFRONT FRAMES, ANODIZED HORIZONTAL SCREENING
	



2 SOUTH ELEVATION - NE 2ND STREET
A3.01 3/32" = 1'-0"



1 EAST ELEVATION - N. FEDERAL HIGHWAY
A3.01 3/32" = 1'-0"



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DRAWING TITLE
**EXTERIOR
ELEVATIONS**

DATE
10/01/19

DRAWN BY
KAB

JOB NUMBER
181201

DRAWING NUMBER

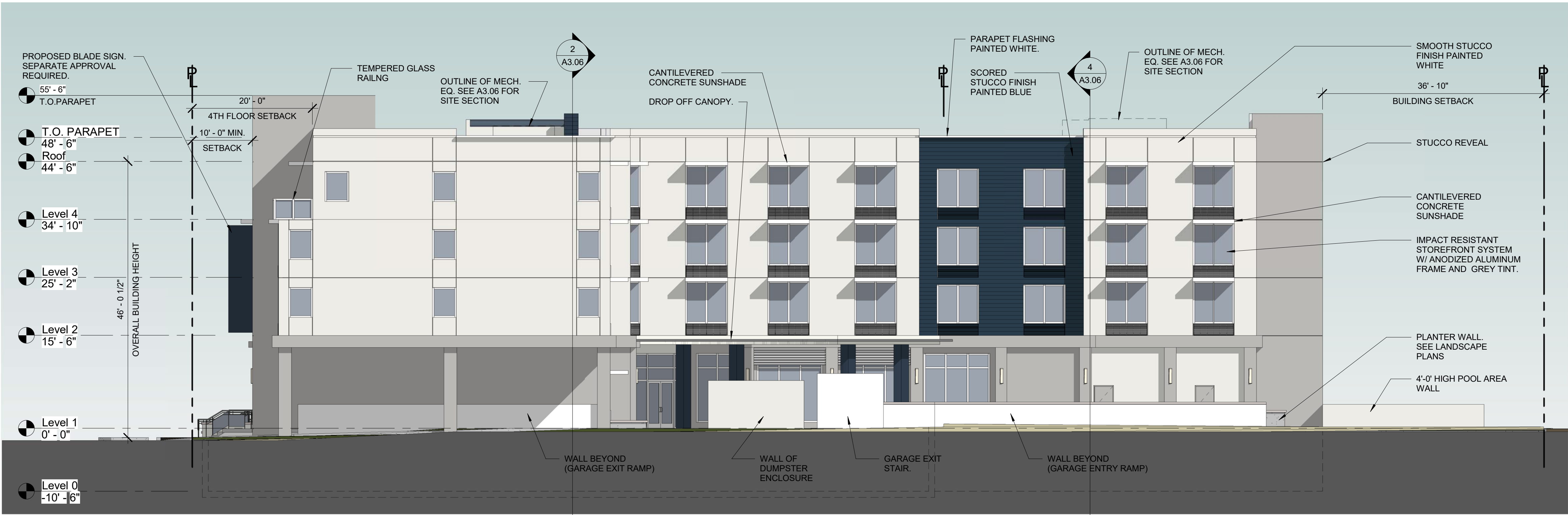
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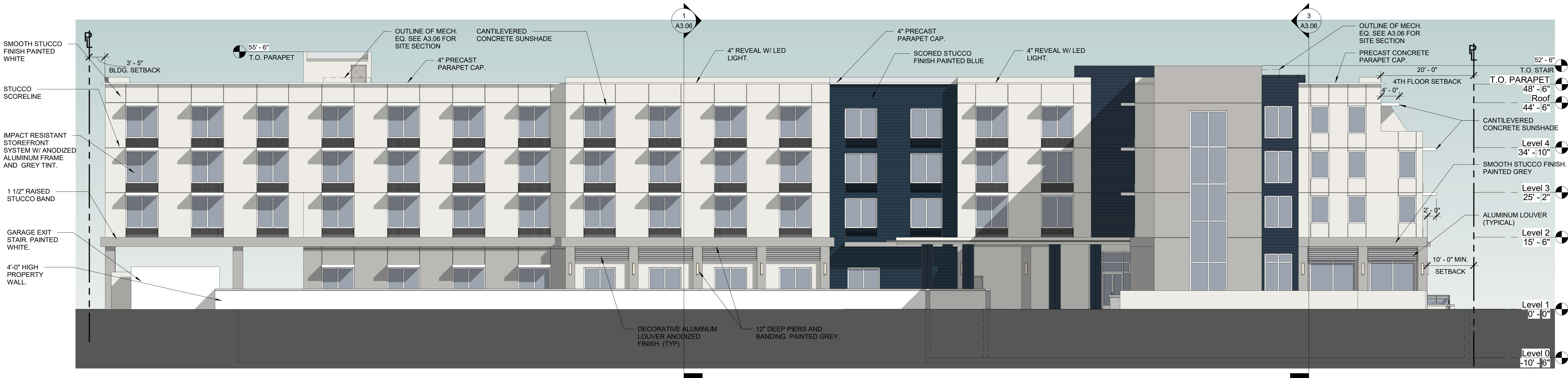
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COLOR LEGEND	
COLOR	MATERIAL
	ACCENT COLOR SHERWIN WILLIAMS #SW6244 NAVAL
	BASE/BODY COLOR: SHERWIN WILLIAMS #SW7668 MARCH WIND
	BODY COLOR: SHERWIN WILLIAMS #SW7005 PURE WHITE
	GLAZING: GRAY TINT NON REFLECTIVE GLASS
	ANODIZED ALUMINUM LOUVERS, STOREFRONT FRAMES, ANODIZED HORIZONTAL SCREENING



2 NORTH ELEVATION
A3.02 3/32" = 1'-0"



1 WEST ELEVATION - NE 4TH AVENUE
A3.02 3/32" = 1'-0"



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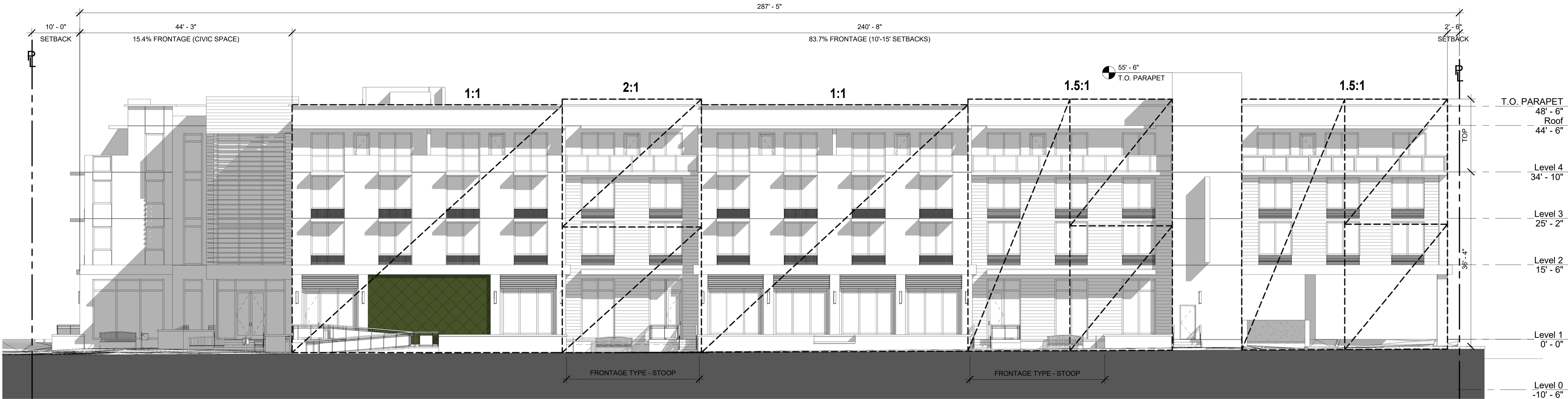
DRAWING TITLE
**EXTERIOR
ELEVATIONS**

DATE	DRAWN BY
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JOB NUMBER	
181201	
DRAWING NUMBER	

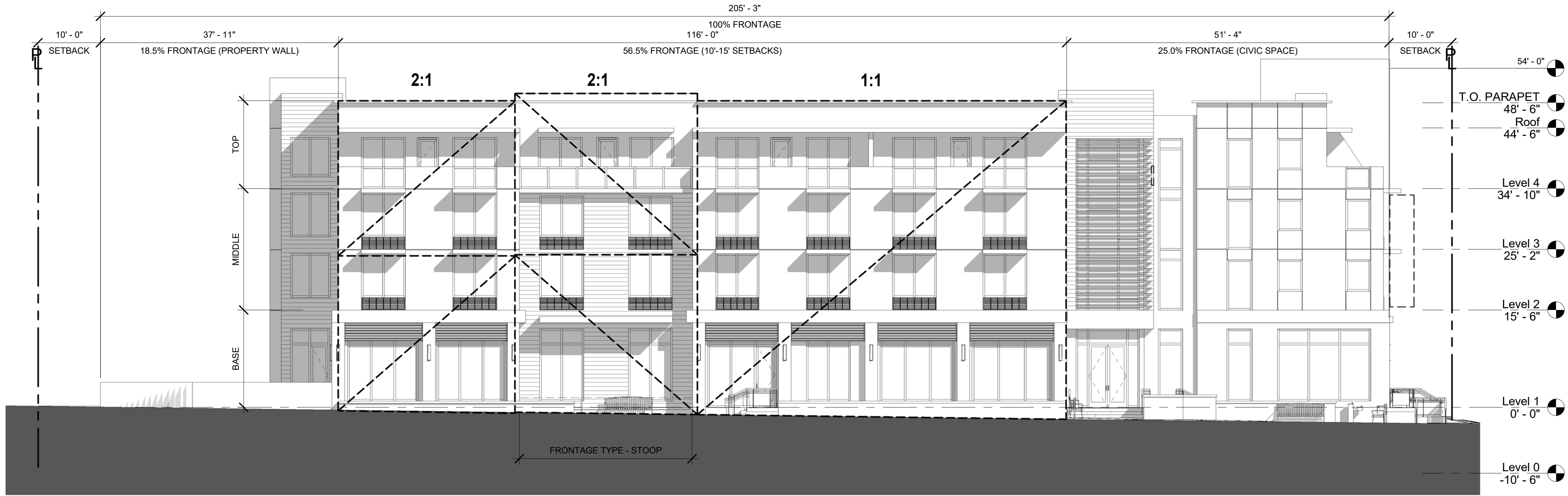
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1 EAST SIDE FRONTAGE DIAGRAM
A3.03 3/32" = 1'-0"



2 SOUTH ELEVATION - NE 2ND STREET
A3.03 3/32" = 1'-0"



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PROJECT TITLE

PHG DELRAY

ARCHITECTURAL STANDARDS

THIS PROJECT DESIGN PROPOSED IS MASONRY MODERN IN CONJUNCTION WITH FRONTAGE TYPE - STOOP.

THE ELEVATIONS EXHIBIT THE MASONRY MODERN ARCHITECTURAL STYLE BY PROVIDING:

- PARAPET WALLS OF STUCCO AND GLASS AT THE 4TH FLOOR TERRACES
- CANTILEVERED CONCRETE SUNSHADE COMPONENTS WITH VOIDS, ILLUSTRATING CARVED ELEMENTS
- WINDOW PROPORTIONS ARE VERTICAL
- DECORATIVE METAL PANELS AT WINDOW BASES ON UPPER FLOORS
- CLEARLY IDENTIFIABLE ENTRANCE VIA CIVIC SPACE
- GEOMETRIC FORMS TO SHOW VOLUMETRIC LAYOUT
- PRIMARY FINISHES ARE STUCCO AND GLASS
- ESTABLISHED BASE, MIDDLE AND TOP
- RECESSED AREAS WITH CONTRASTING COLOR TO REINFORCE MOVEMENT IN THE FACADES.

202 N. Federal Hwy.
Delray Beach, FL

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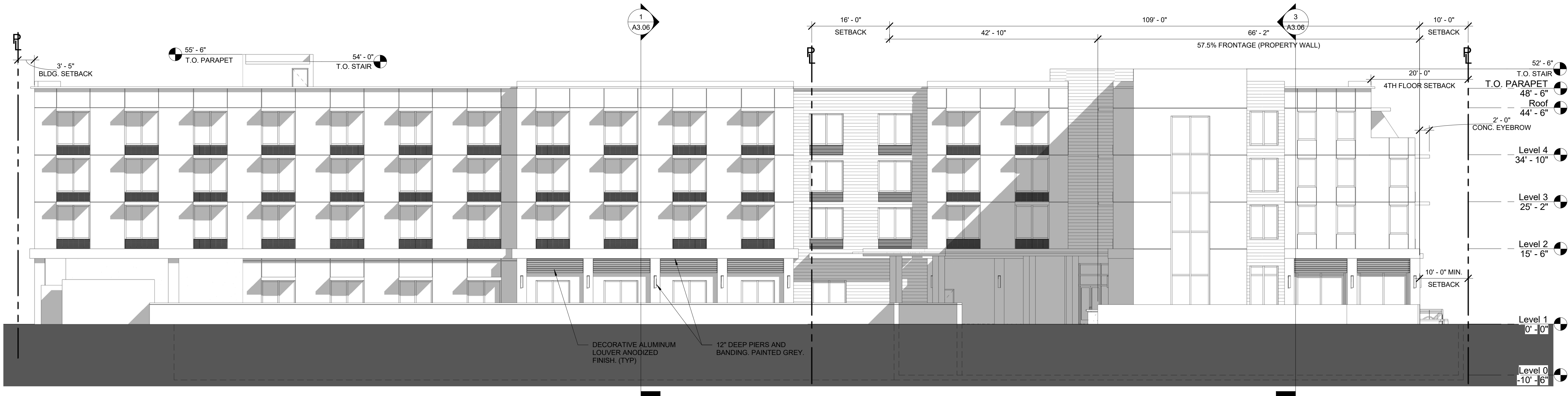
DRAWING TITLE
**FRONTAGE
DIAGRAMS**

DATE 10/01/19 | DRAWN BY KAB
JOB NUMBER 181201
DRAWING NUMBER

A3.03

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1 WEST ELEVATION - NE 4TH AVENUE
A3.04 3/32" = 1'-0"

ARCHITECTURAL STANDARDS

THIS PROJECT DESIGN PROPOSED IS MASONRY MODERN IN CONJUNCTION WITH FRONTAGE TYPE - STOOP .

THE ELEVATIONS EXHIBIT THE MASONRY MODERN ARCHITECTURAL STYLE BY PROVIDING:

- PARAPET WALLS OF STUCCO AND GLASS AT THE 4TH FLOOR TERRACES
- CANTILEVERED CONCRETE SUNSHADE COMPONENTS WITH VOIDS, ILLUSTRATING CARVED ELEMENTS
- WINDOW PROPORTIONS ARE VERTICAL
- DECORATIVE METAL PANELS AT WINDOW BASES ON UPPER FLOORS
- CLEARLY IDENTIFIABLE ENTRANCE VIA CIVIC SPACE
- GEOMETRIC FORMS TO SHOW VOLUMETRIC LAYOUT
- PRIMARY FINISHES ARE STUCCO AND GLASS
- ESTABLISHED BASE, MIDDLE AND TOP
- RECESSED AREAS WITH CONTRASTING COLOR TO REINFORCE MOVEMENT IN THE FACADES.



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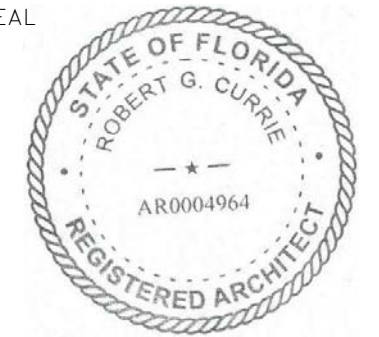
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FRONTAGE
DIAGRAMS

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185 NE 4TH AVENUE, SUITE 101
DELRAY BEACH, FL 33483

T: (561) 276-4951 F: (561) 243-8184
E-MAIL: office@csa-architects.com

ISSUED FOR :

SPA 10-01-19

BIDS

PERMIT

CONSTRUCTION

SEAL



ROBERT G. CURRIE
FLORIDA REGISTRATION #AR0004964

PROJECT TITLE

PHG DELRAY

202 N. Federal Hwy.
Delray Beach, FL

REVISIONS

NUM.	DESCRIPTION	DATE
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DRAWING TITLE

TRANSPARENCY DIAGRAMS

DATE 10/01/19 | DRAWN BY KAB

JOB NUMBER 181201

DRAWING NUMBER

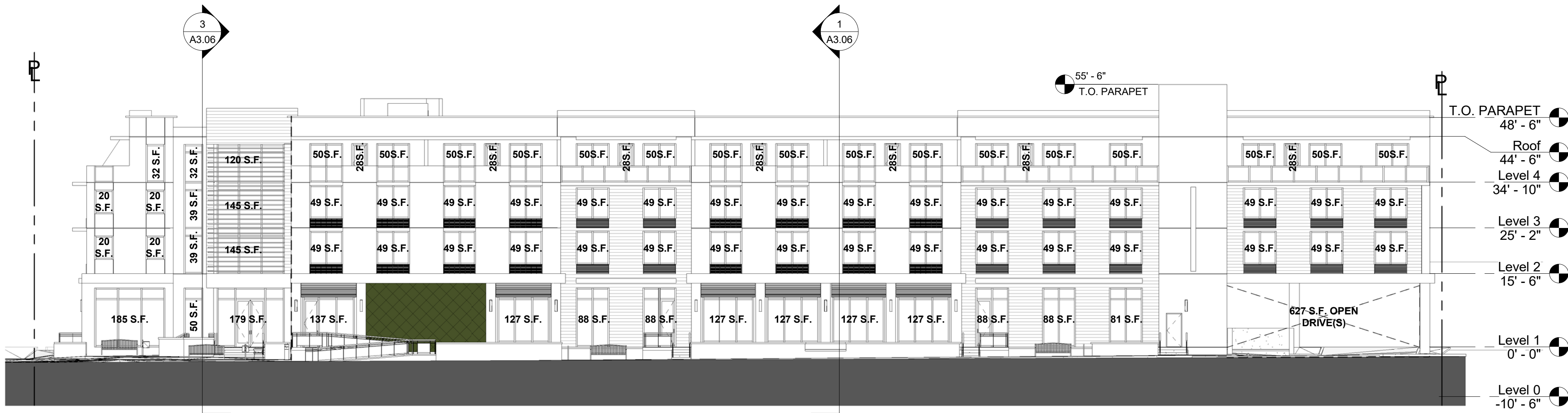
A3.05



3 WEST ELEVATION - NE 4TH AVENUE
A3.05 1/16" = 1'-0"



2 SOUTH SIDE TRANSPARENCY DIAGRAM
A3.05 1/16" = 1'-0"



1 EAST SIDE FRONTAGE DIAGRAM
A3.05 1/16" = 1'-0"

TRANSPARENCY CALCULATIONS

1ST FLOOR AREA	= 912 S.F. WALL AREA	= 396 S.F. TRANS. AREA (43.4%)
2ND FLOOR AREA	= 569 S.F. WALL AREA	= 191 S.F. TRANS. AREA (33.5%)
3RD FLOOR AREA	= 569 S.F. WALL AREA	= 191 S.F. TRANS. AREA (33.5%)
4TH FLOOR AREA	= 569 S.F. WALL AREA	= 167 S.F. TRANS AREA (29.3%)

TRANSPARENCY CALCULATIONS

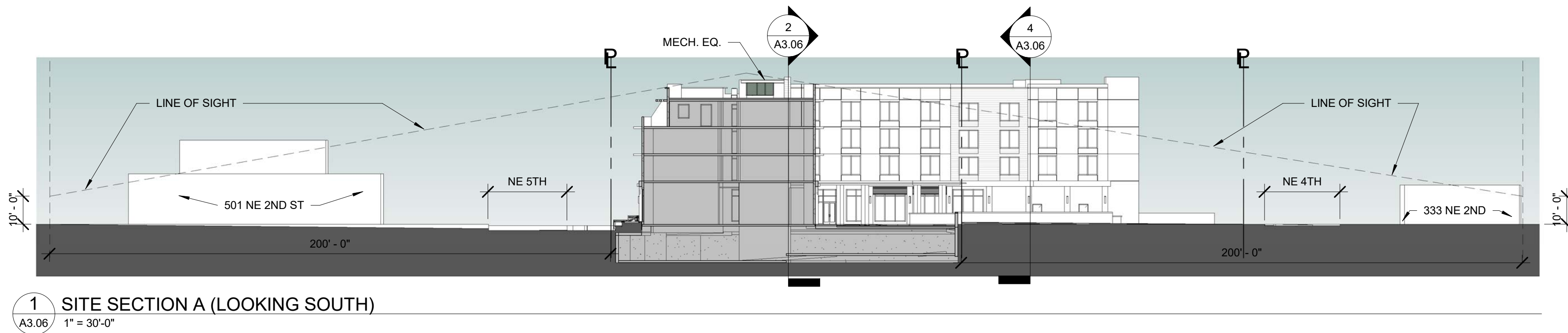
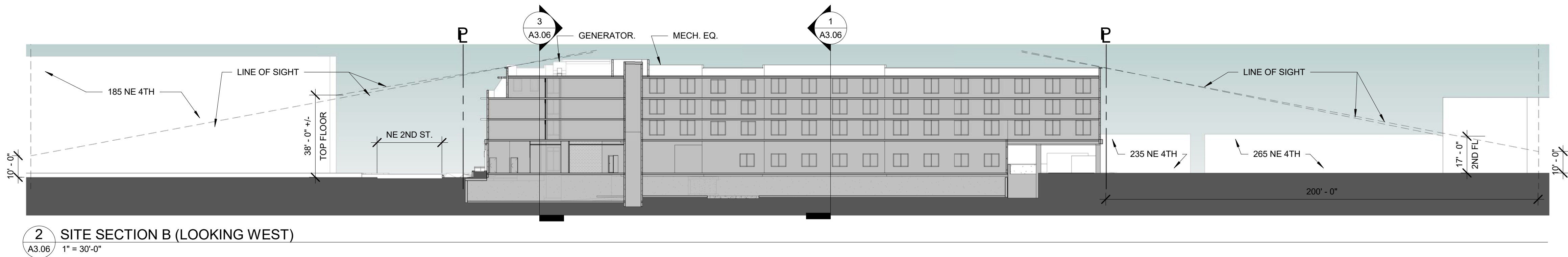
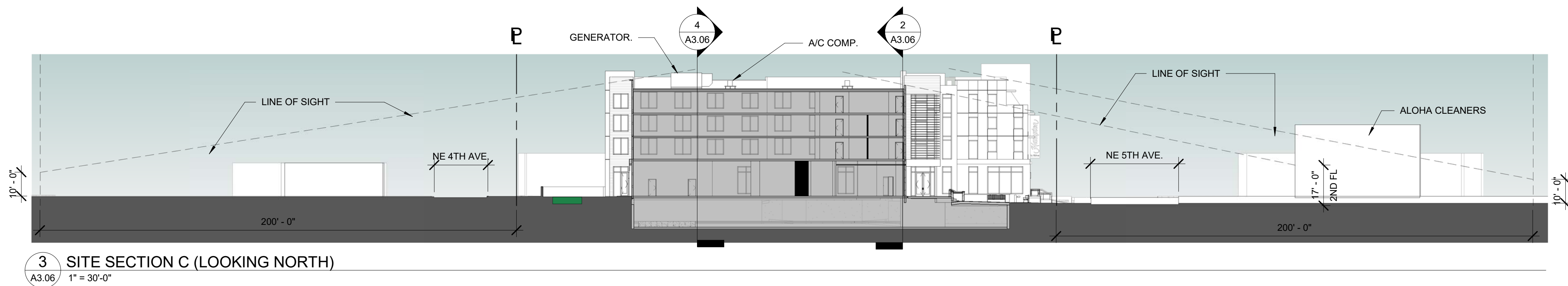
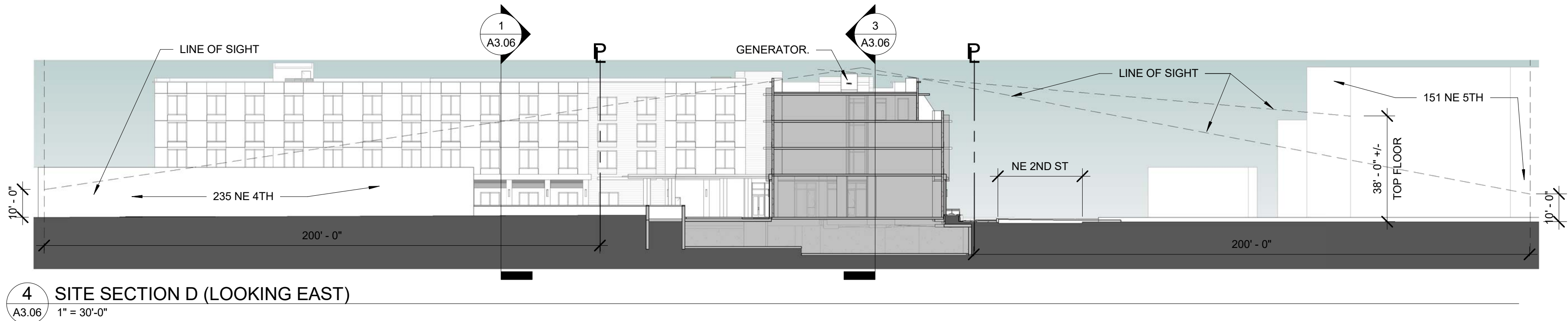
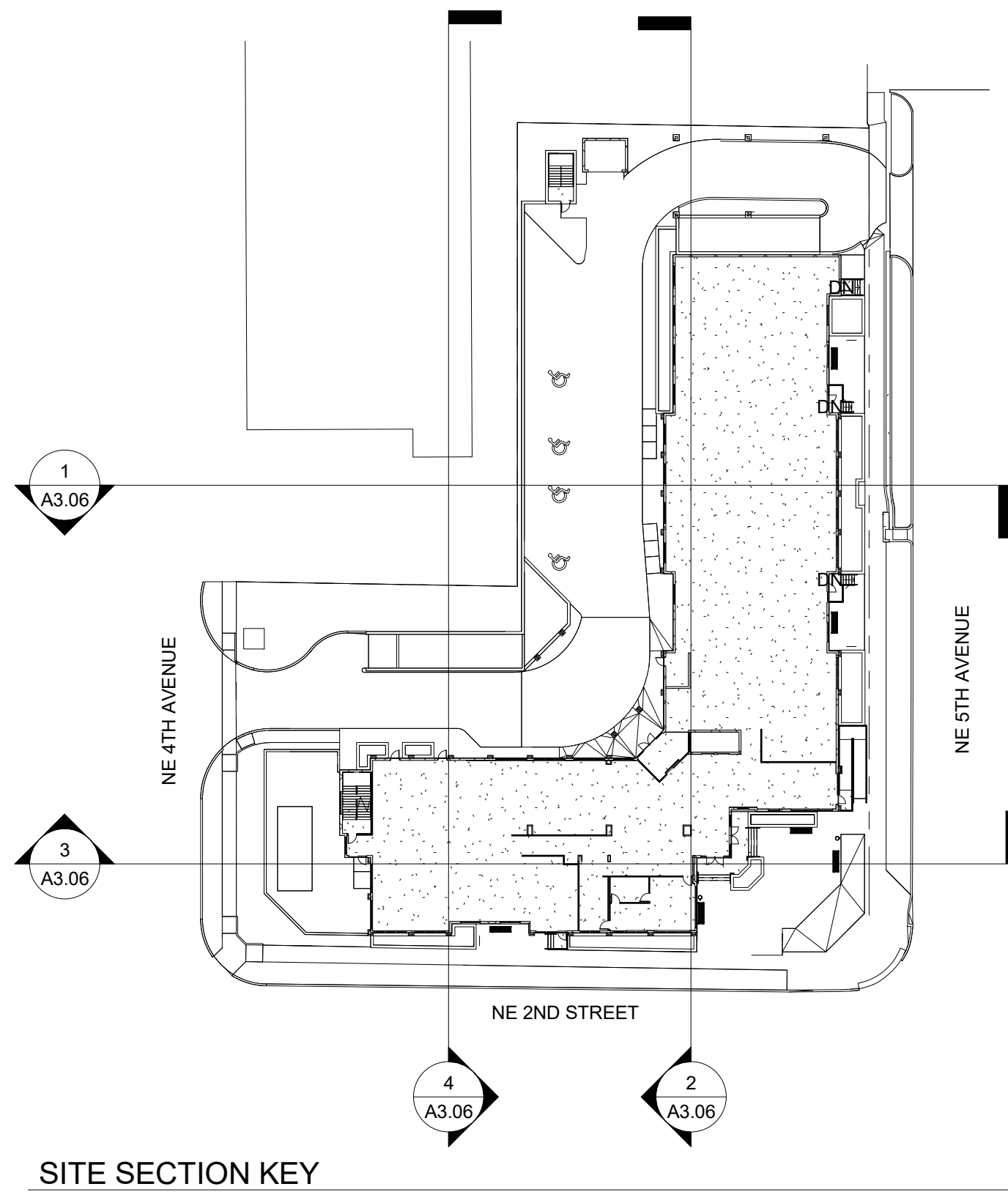
1ST FLOOR AREA	= 2,736 S.F. WALL AREA	= 1,382 S.F. TRANS. AREA (50.5%)
2ND FLOOR AREA	= 1,706 S.F. WALL AREA	= 653 S.F. TRANS. AREA (38.2%)
3RD FLOOR AREA	= 1,706 S.F. WALL AREA	= 653 S.F. TRANS. AREA (38.2%)
4TH FLOOR AREA	= 1,706 S.F. WALL AREA	= 727 S.F. TRANS AREA (42.6%)

TRANSPARENCY CALCULATIONS

1ST FLOOR AREA	= 4,407 S.F. WALL AREA	= 2,246 S.F. TRANS. AREA (50.9%)
2ND FLOOR AREA	= 2,749 S.F. WALL AREA	= 1,027 S.F. TRANS. AREA (37.3%)
3RD FLOOR AREA	= 2,749 S.F. WALL AREA	= 1,027 S.F. TRANS. AREA (37.3%)
4TH FLOOR AREA	= 2,749 S.F. WALL AREA	= 1,180 S.F. TRANS AREA (42.9%)

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Architecture, Planning,
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Sustainable Design

AA26001584

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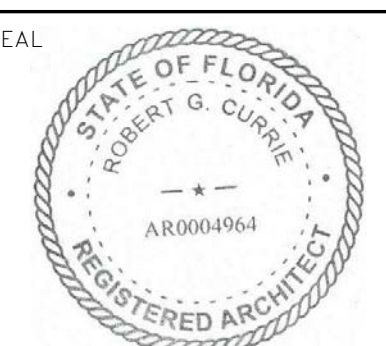
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Delray Beach, FL

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NUM.	DESCRIPTION	DATE

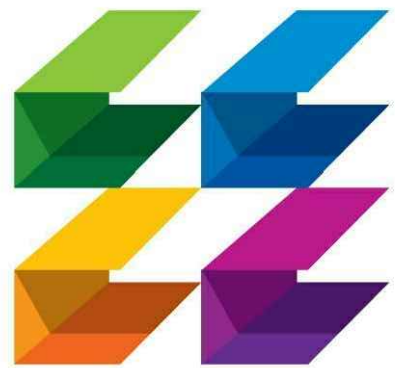
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DRAWING TITLE
SITE SECTIONS

DATE	DRAWN BY
10/01/19	KAB
JOB NUMBER	
181201	
DRAWING NUMBER	

A3.06

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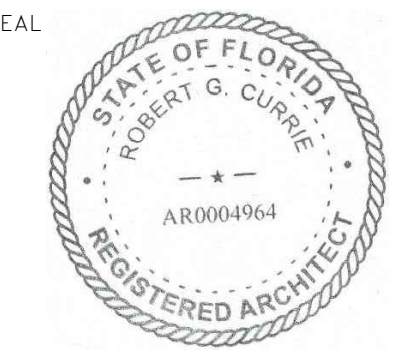
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ROBERT G. CURRIE
FL. REG# AR0004964

PROJECT TITLE

PHG DELRAY

NE 5TH AVENUE
DELRAY BEACH, FL 33483

REVISIONS

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DRAWING TITLE

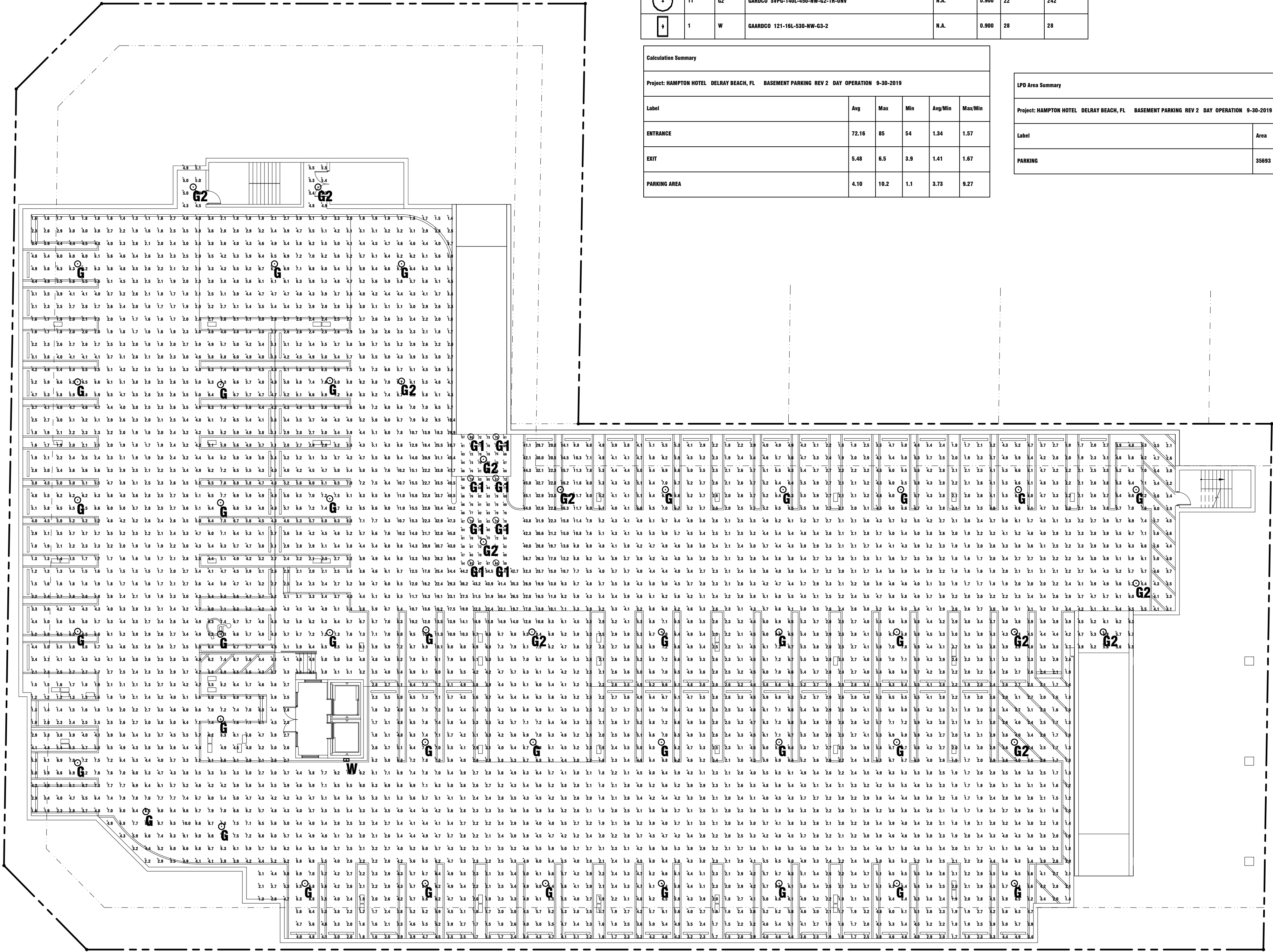
PARKING LEVEL PHOTOMETRIC PLAN - DAY

DATE	DRAWN BY
10/01/19	KAB

JOB NUMBE

DRAWING NUMBER

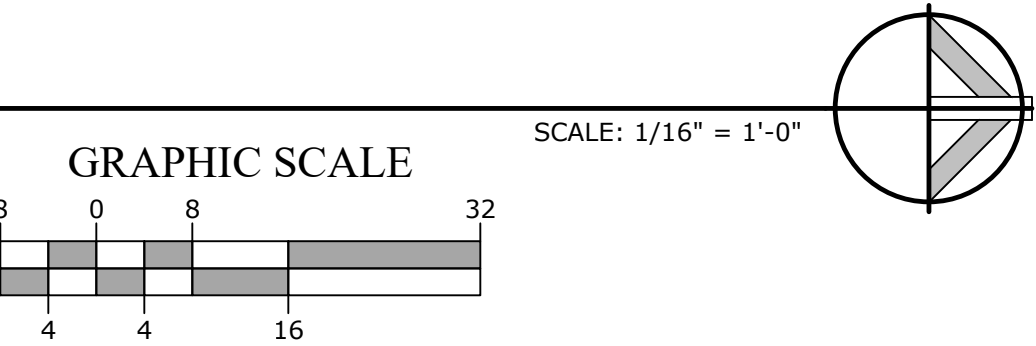
PH-1d

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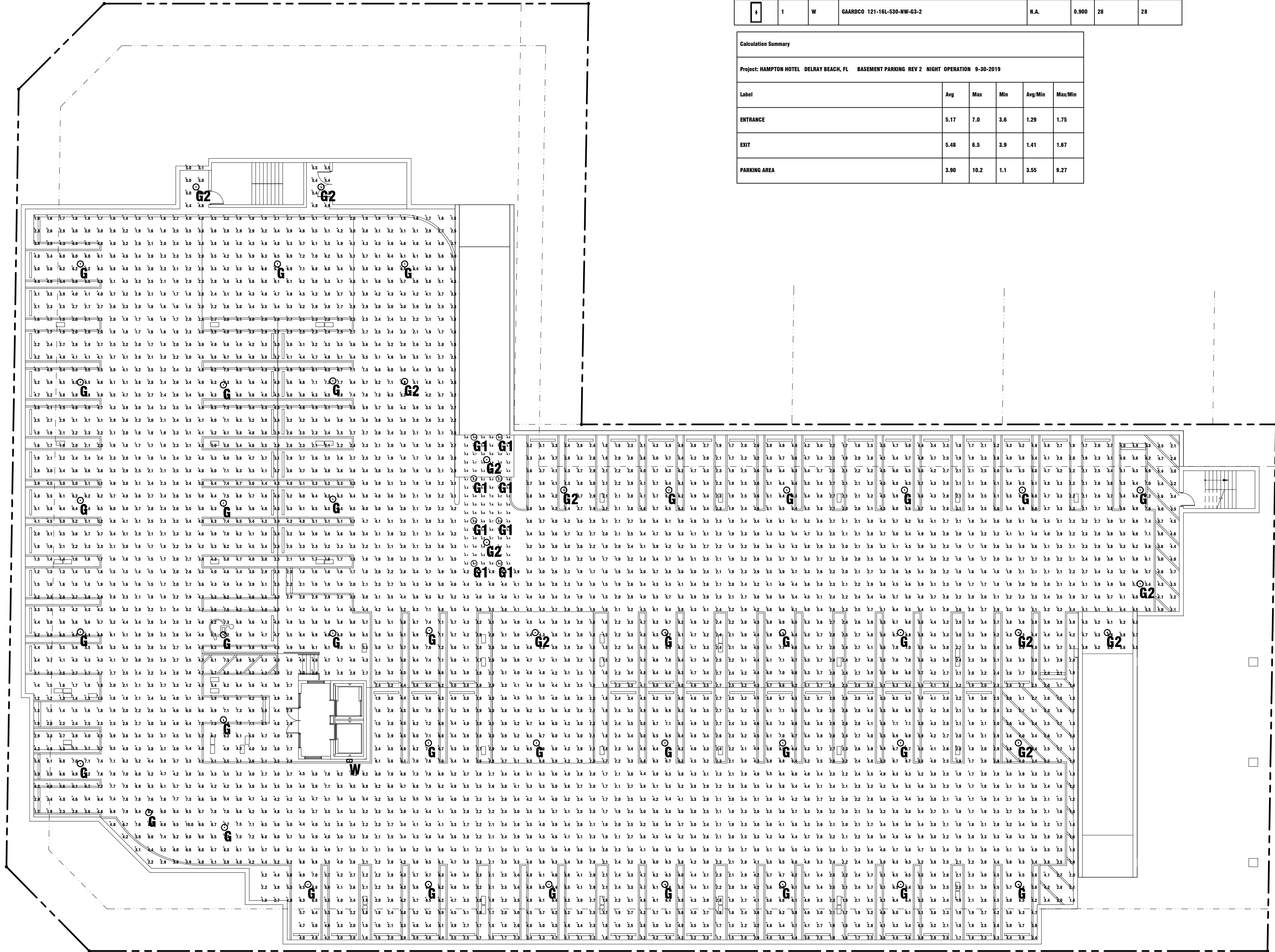
Luminaire Schedule							
Project: HAMPTON HOTEL DELRAY BEACH, FL BASEMENT PARKING REV 2 DAY OPERATION 9-30-2019							
Symbol	Qty	Label	Description	Lumens/Lamp	LF	Lum. Watts	Total Watts
	37	0	GABCO SVPP-160L-800-NW-62-1R-UVV	N.A.	0.900	37	1369
	8	01	GABCO SVPP-160L-2100-NW-62-CB-UVV	N.A.	0.900	95	790
	11	02	GABCO SVPP-160L-450-NW-62-1R-UVV	N.A.	0.900	22	242
	1	W	GABCOG 121-16L-530-NW-63-2	N.A.	0.900	28	28

Calculation Summary					
Project: HAMPTON HOTEL DELRAY BEACH, FL BASEMENT PARKING REV 2 DAY OPERATION 8-30-2019					
Label	Avg	Max	Min	Avg/Min	Max/Min
ENTRANCE	72.16	85	54	1.54	1.57
EXIT	5.48	6.5	3.9	1.41	1.67
PARKING AREA	4.10	10.2	1.1	3.73	9.27

LPO Area Summary			
Project: HAMPTON HOTEL DELRAY BEACH, FL BASEMENT PARKING REV 2 DAY OPERATION 9-30-2019			
Label	Area	Total Watts	LPO
PARKING	35693	2399	0.067

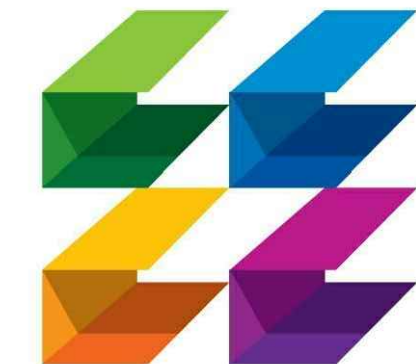


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Luminaire Schedule						
Project: HAMPTON HOTEL DELRAY BEACH, FL BASEMENT PARKING REV 2 NIGHT OPERATION 9-30-2019						
Symbol	Qty	Label	Description	Lumens/Lamp	LF	Len. Watts
	37	G	GARDCO DVPD-140L-800-WW-62-18-00V	N.A.	9.900	37
	8	G1	GARDCO DVPD-140L-2100-WW-62-00-00V OFF AT SUNSET	N.A.	N.A.	N.A.
	11	G2	GARDCO DVPD-140L-450-WW-62-18-00V	N.A.	9.900	22
	1	W	GARDCO 121-16L-530-WW-63-2	N.A.	9.900	28

Calculation Summary					
Project: HAMPTON HOTEL DELRAY BEACH, FL BASEMENT PARKING REV 2 NIGHT OPERATION 9-30-2019					
Label	Arg	Max	Min	Arg/Min	Max/Min
ENTRANCE	5.17	7.0	3.4	1.29	1.75
EXIT	5.48	6.5	3.4	1.41	1.87
PARKING AREA	3.90	10.2	1.1	3.55	9.27



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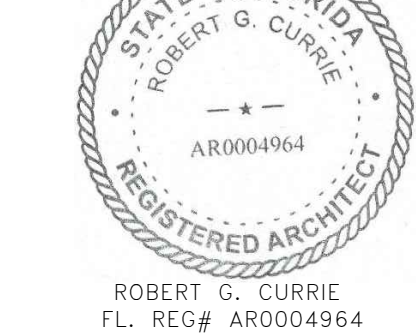
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DRAWING TITLE
**PARKING LEVEL
PHOTOMETRIC
PLAN -NIGHT**

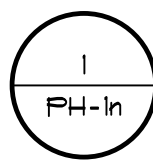
DATE
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JOB NUMBER
181201

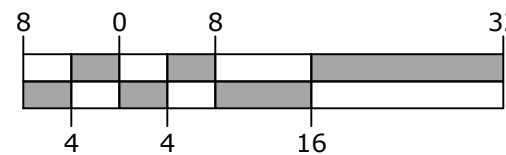
DRAWING NUMBER

PH-1n



PARKING LEVEL PHOTOMETRIC PLAN - NIGHT

GRAPHIC SCALE



SCALE: 1/16" = 1'-0"

