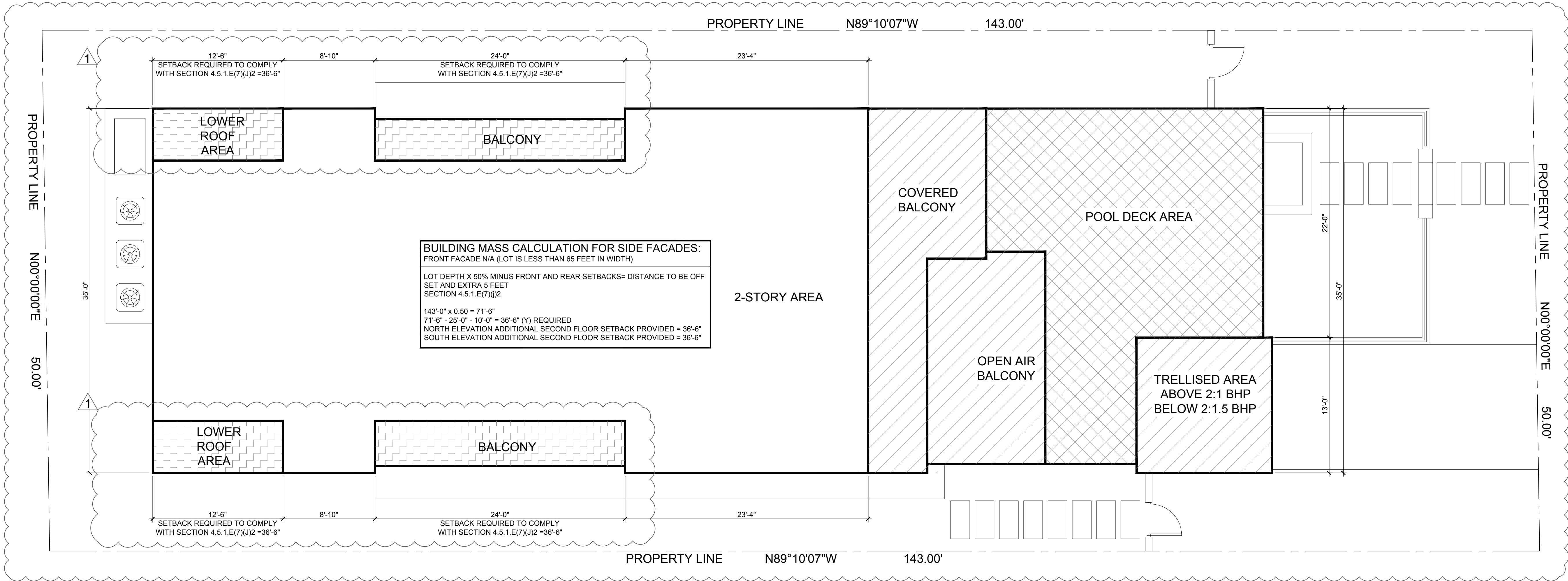


Side Elevation & B.H.P. Diagram

Scale: 3/16"=1'-0"

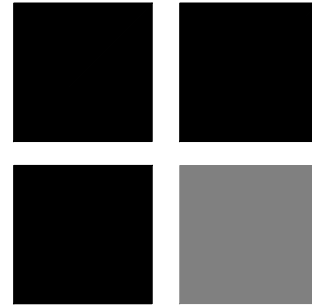


Site Setbacks Diagram (Second Floor)

Scale: 3/16"=1'-0"



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MILLER RESIDENCE
150 MARINE WAY
DELRAY BEACH, FLORIDA

FLORIDA LICENSURE

AA26001617 | IB26001056

COMMISSION # 19-019

DESIGNER: RJ

DRAWN BY: JH

PLAN REVIEW: RJ

SUBMITTALS:

ISSUE FOR HBP

REVIEW: 08.07.19

REVISIONS:

1 BUILDING DEPARTMENT 11.14.19

COMMENTS:

2 BUILDING DEPARTMENT 12.09.19

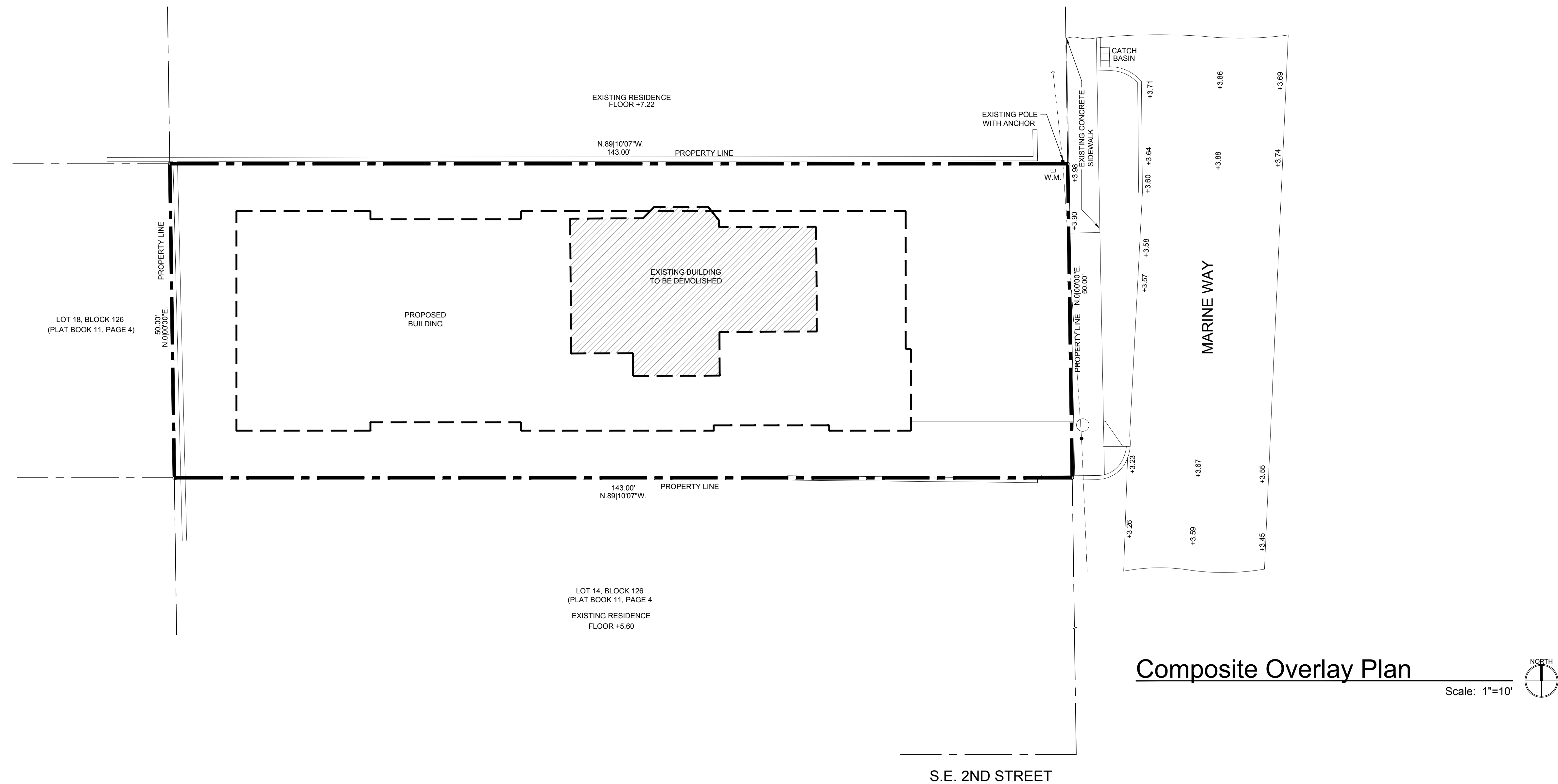
COMMENTS:

SITE & SIDE
ELEVATION
SETBACK
DIAGRAM

SP-2

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PLAN REVIEW:	RJ

SUBMITTALS:	
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REVIEW:	08.07.19

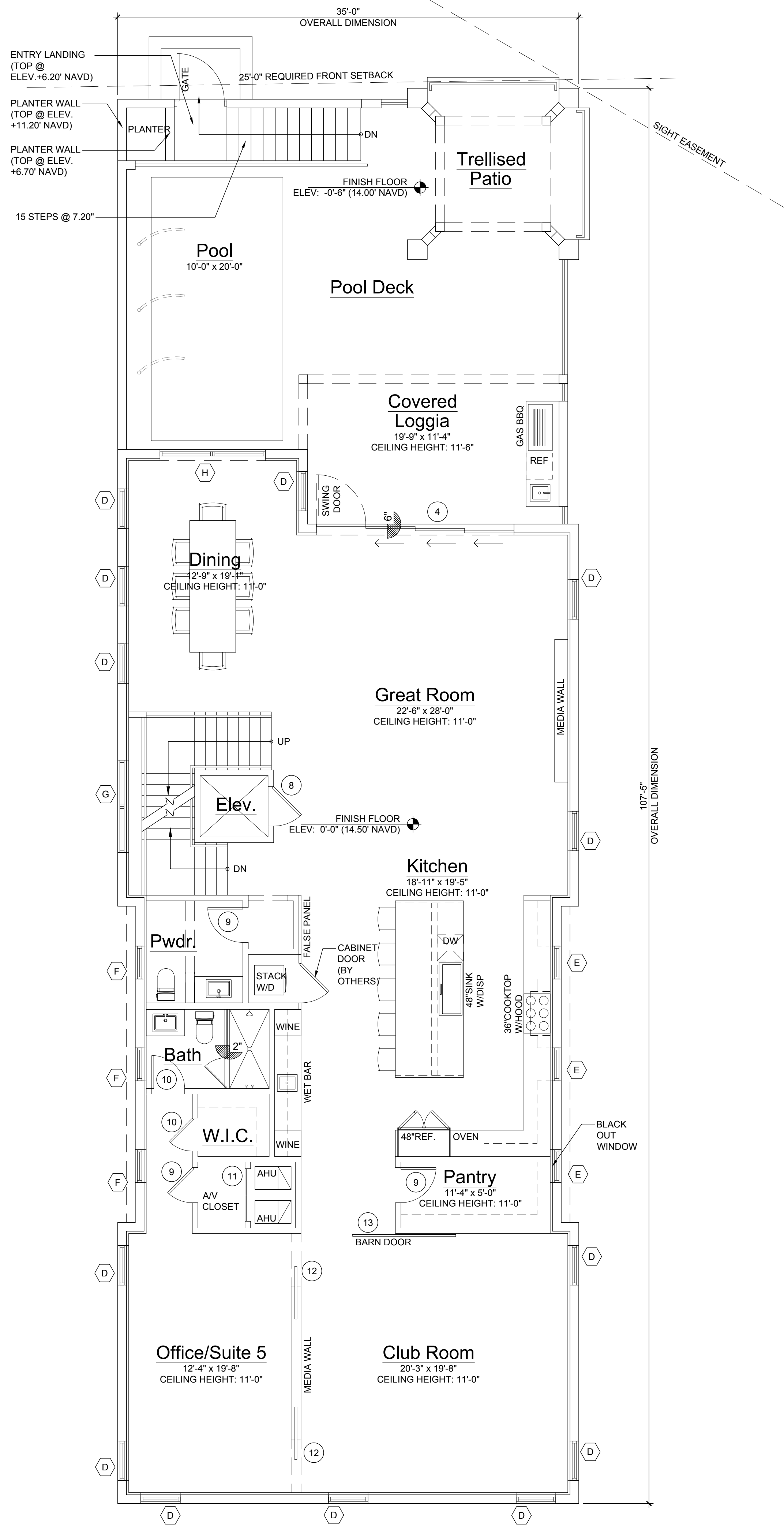
REVISIONS:

1	BUILDING DEPARTMENT COMMENTS:	11.14.19
2	BUILDING DEPARTMENT COMMENTS:	12.09.19

COMPOSITE
OVERLAY
PLAN

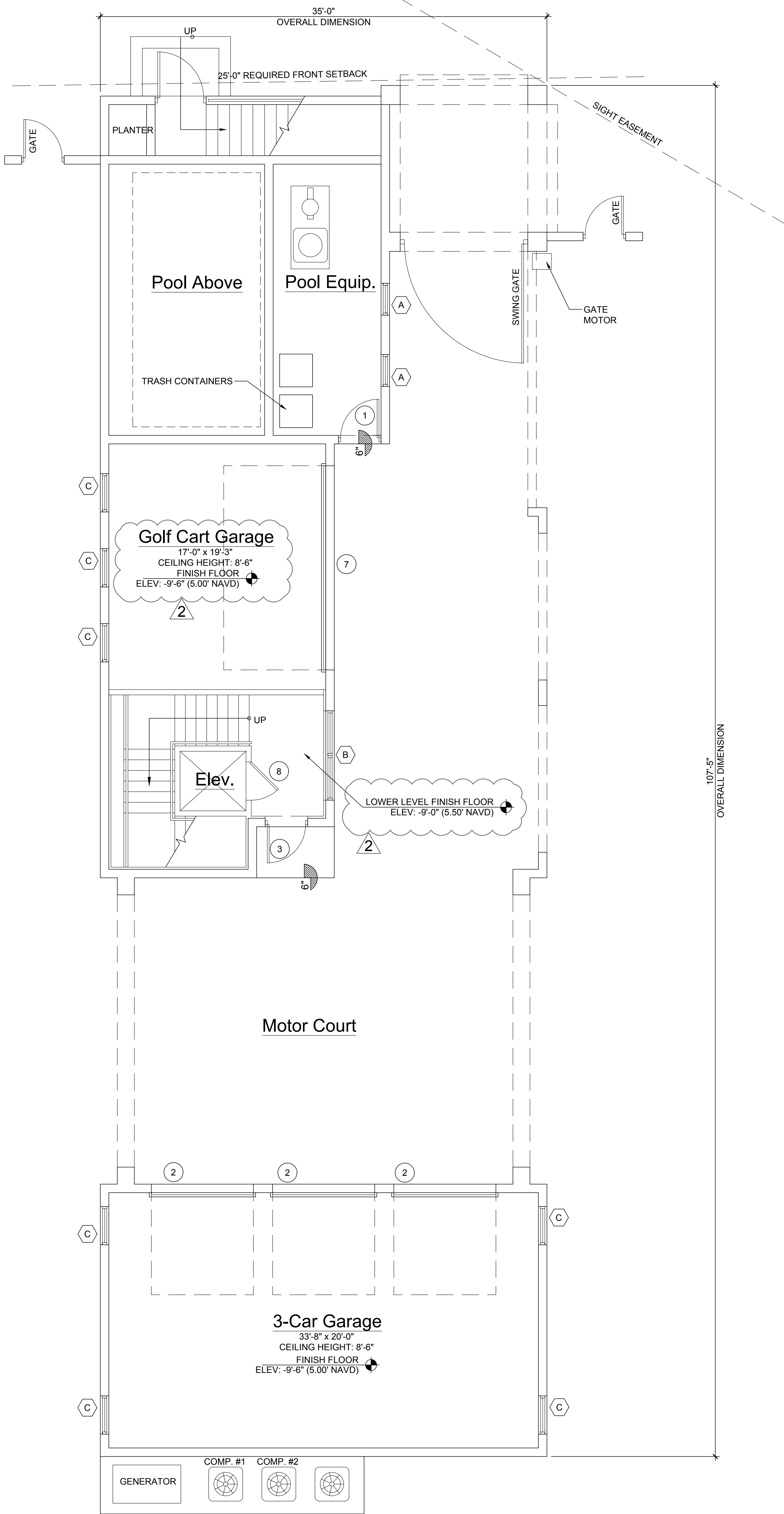
SP-3

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First Floor Plan

Scale: 3/16"=1'-0"



Lower Level Plan

Scale: 3/16"=1'-0"



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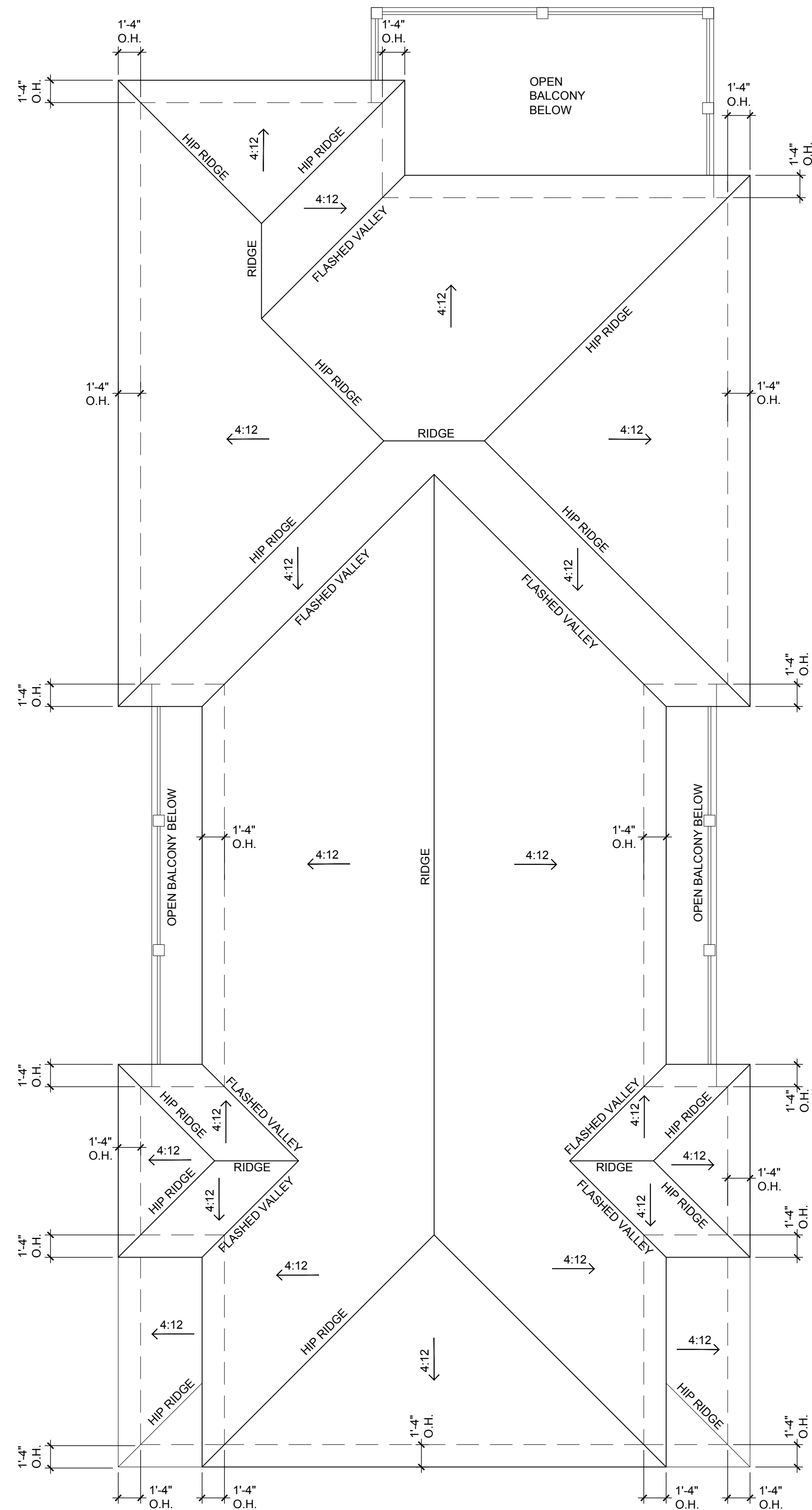
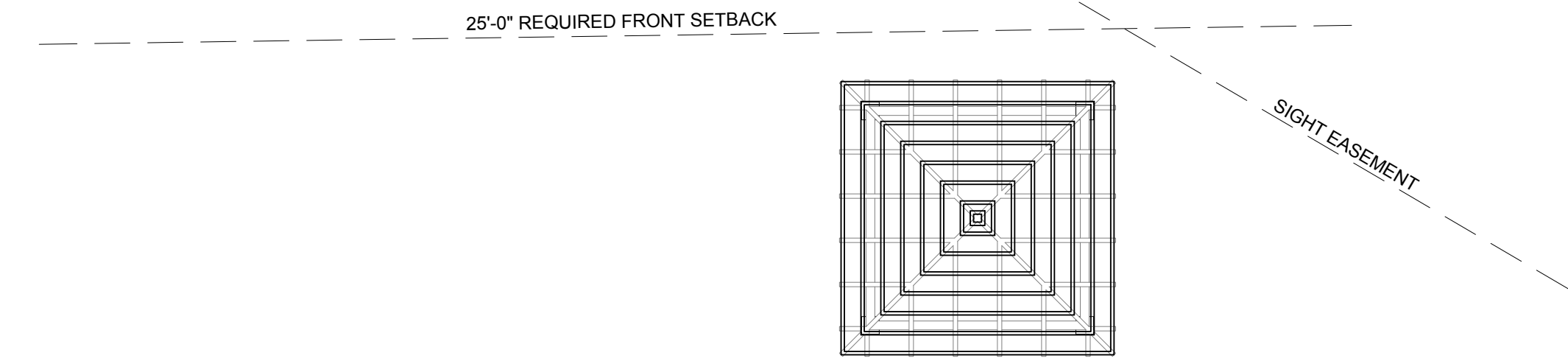
REVISIONS:
1 BUILDING DEPARTMENT 11.14.19
COMMENTS:
2 BUILDING DEPARTMENT 12.09.19
COMMENTS:

LOWER LEVEL
& FIRST
FLOOR PLANS

A-1

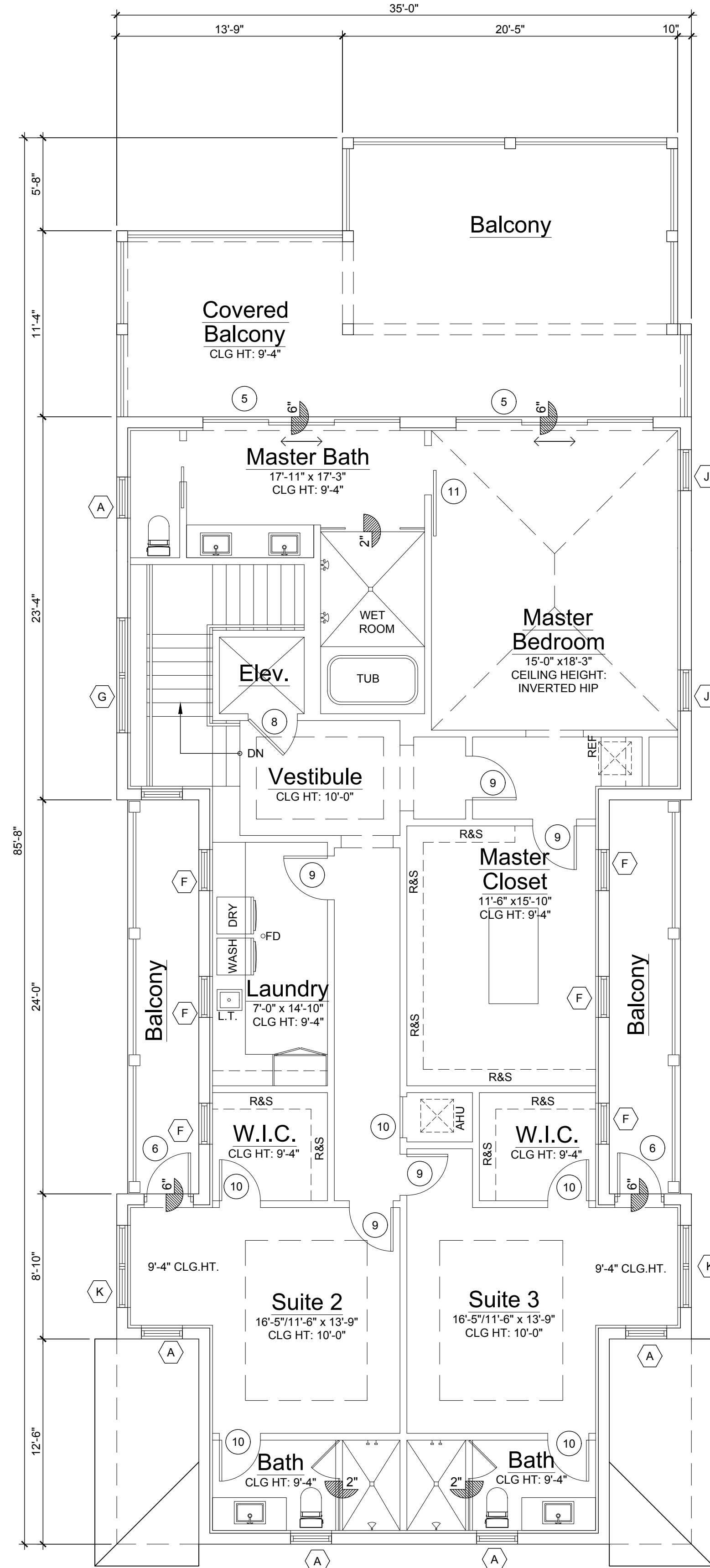
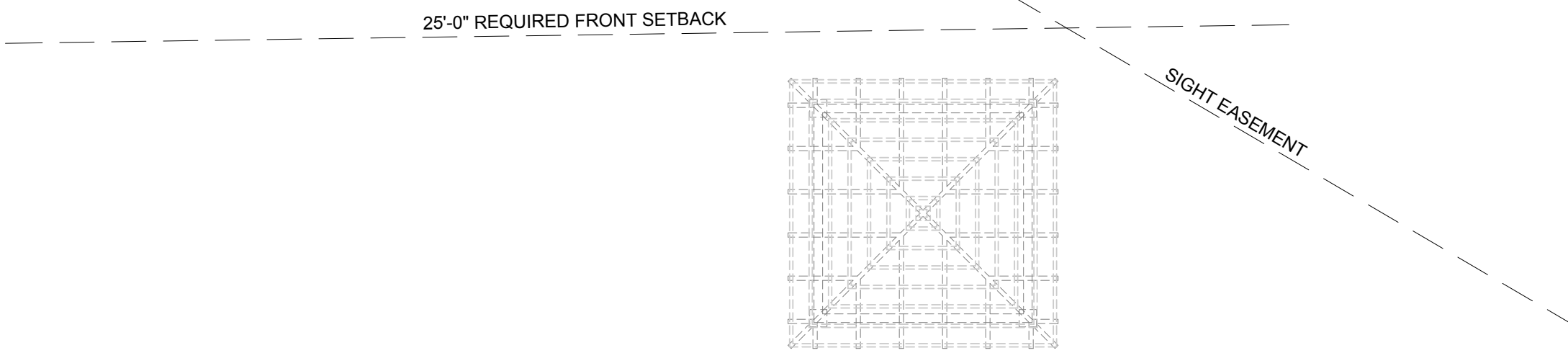
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Roof Plan

Scale: 3/16"=1'-0"

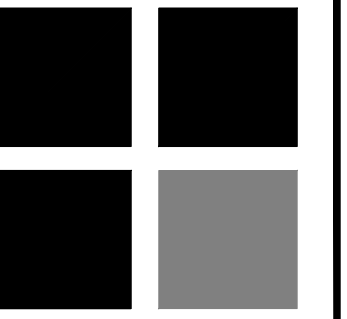


Second Floor Plan

Scale: 3/16"=1'-0"



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PLAN REVIEW: RJ

SUBMITTALS:
ISSUE FOR HBP
REVIEW: 08.07.19

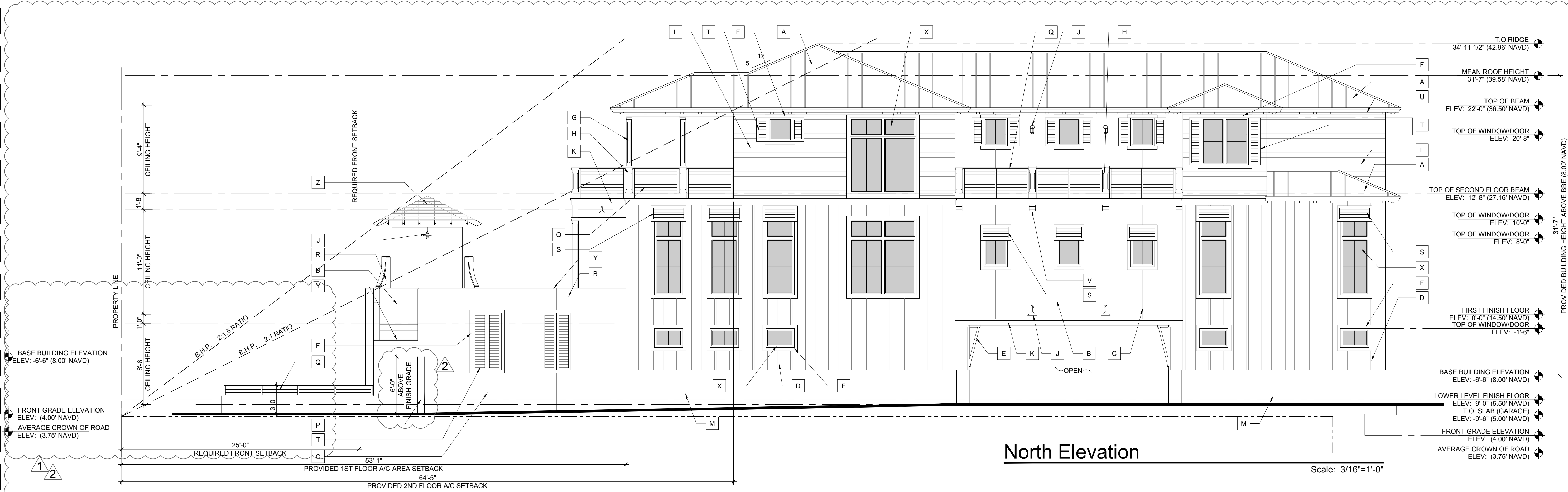
REVISIONS:
1 BUILDING DEPARTMENT 11.14.19
COMMENTS:
2 BUILDING DEPARTMENT 12.09.19
COMMENTS:

ROOF
PLAN

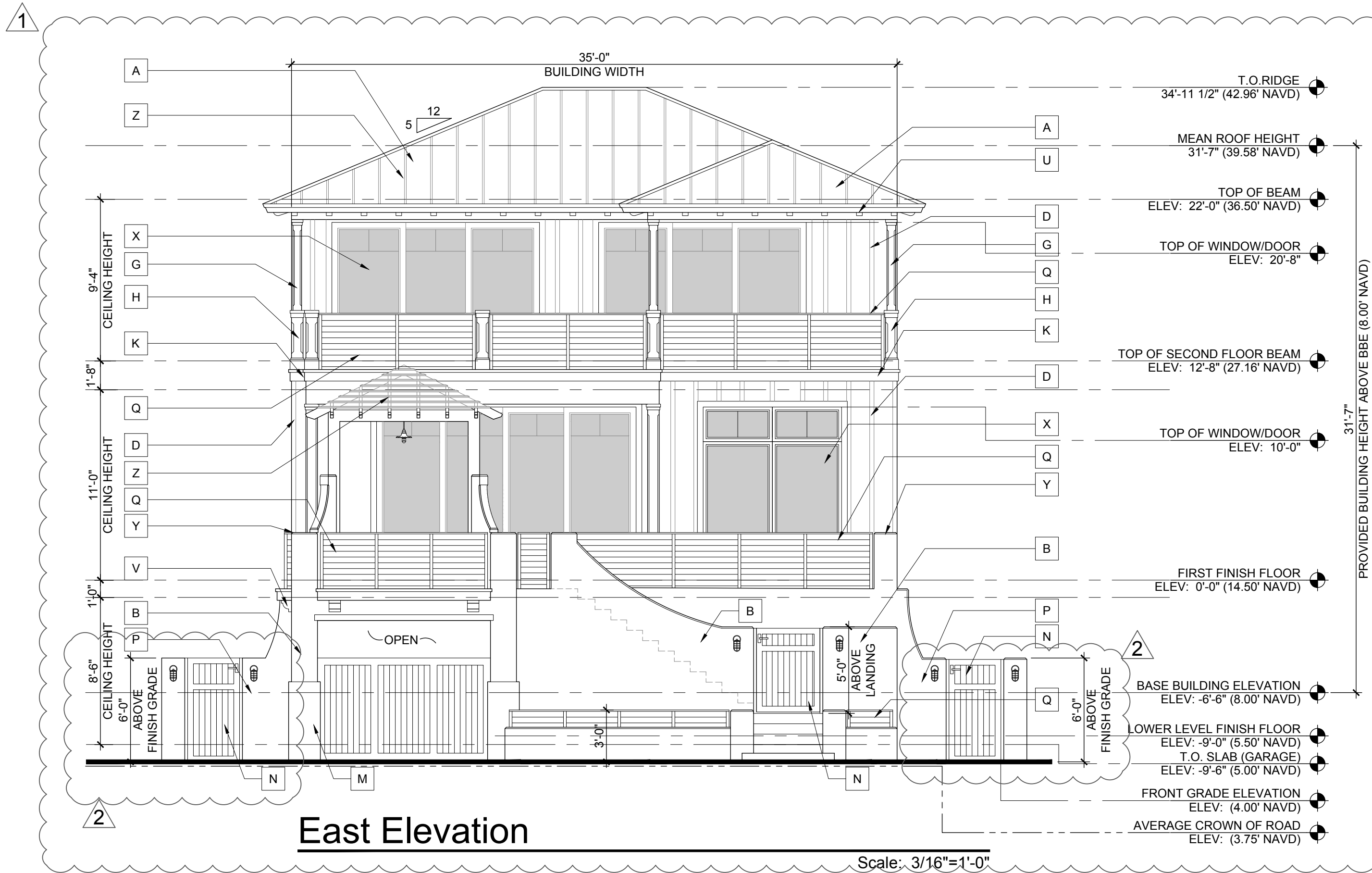
A-2

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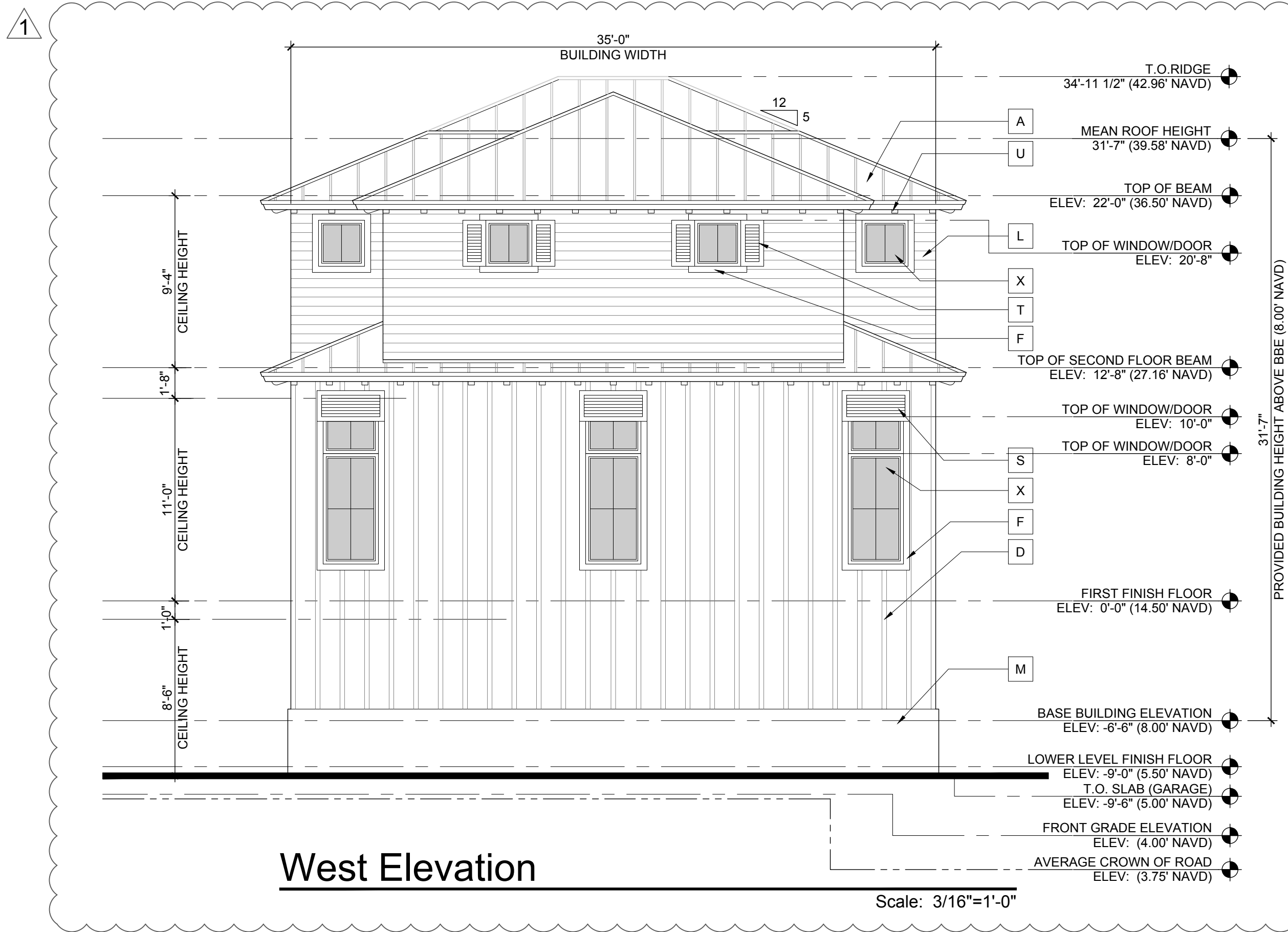
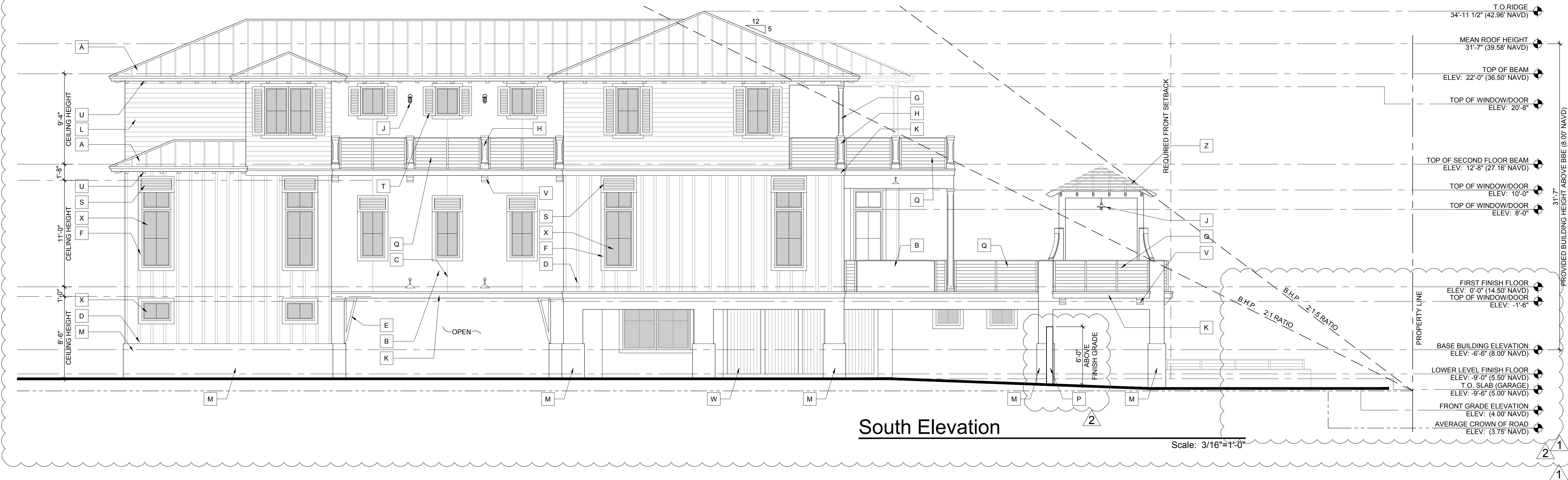
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ELEVATION NOTES			
A	PRE-WEATHERED GALVALUME STANDING SEAM ROOF BY ENGLERT. PROVIDE NOA & SAMPLE FOR ARCHITECTS REVIEW BRONZE FINISH	N	ALUMINUM GATE. REFER TO DETAIL & PROVIDE SHOP DRAWINGS WHITE FINISH
B	SMOOTH STUCCO FINISH.	P	SMOOTH STUCCO FINISH MASONRY GARDEN WALL. REFER TO DETAIL
C	1/4" STUCCO SCORE LINE	Q	39" HIGH ALUMINUM RAIL WITH METAL CABLES. REFER TO DETAIL BRONZE FINISH
D	3/4"x3" SMOOTH STUCCO BOARD AND BATTEN WALL TREATMENT DETAIL.	R	MASONRY COLUMN W/CHAMFERS. REFER TO DETAIL
E	WOOD BRACKET. REFER TO DETAIL	S	ALUMINUM BAHAMA SHUTTERS. PROVIDE SHOP DRAWINGS FOR REVIEW WHITE FINISH
F	4" SMOOTH STUCCO WINDOW SURROUND W/1" PROJECTION	T	ALUMINUM SHUTTERS. PROVIDE SHOP DRAWINGS FOR REVIEW WHITE FINISH
G	WOOD POST W/CHAMFERS AND WHITE PAINT FINISH. REFER TO DETAIL	U	WHITE HARDIE BOYS OUTRIGGERS. REFER TO DETAIL
H	CMU PIER W/CHAMFERS. REFER TO DETAIL	V	WHITE HARDIE BOYS CORBEL. REFER TO DETAIL
J	LIGHT FIXTURE WITH BRONZE FINISH. REFER TO OWNER FOR SELECTION	W	INSULATED METAL GARAGE DOOR WITH APPLIED AZEK MOLDING
K	2" OVER 6" SMOOTH STUCCO BAND W/2" & 1" PROJECTION RESPECTIVELY	X	IMPACT RESISTANT WINDOW AND DOOR (BRONZE FINISH) REFER TO SCHEDULE BRONZE FINISH
L	6" WHITE HARDIE BOARD SIDING. PROVIDE NOA FOR REVIEW	Y	1" STUCCO BEVEL
M	1" SMOOTH STUCCO FINISH WATER TABLE	Z	ALUMINUM TRELLIS (BRONZE FINISH) PROVIDE SHOP DRAWINGS FOR REVIEW



ELEVATION NOTES			
A	PRE-WEATHERED GALVALUMF STANDING SEAM ROOF BY ENGLERT. PROVIDE NOA & SAMPLE FOR ARCHITECTS REVIEW BRONZE FINISH	N	ALUMINUM GATE. REFER TO DETAIL & PROVIDE SHOP DRAWINGS WHITE FINISH
B	SMOOTH STUCCO FINISH.	P	SMOOTH STUCCO FINISH MASONRY GARDEN WALL. REFER TO DETAIL
C	1/4" STUCCO SCORE LINE	Q	39" HIGH ALUMINUM RAIL WITH METAL CABLES. REFER TO DETAIL BRONZE FINISH
D	3/4"x3" SMOOTH STUCCO BOARD AND BATTEN WALL TREATMENT DETAIL.	R	MASONRY COLUMN W/CHAMFERS. REFER TO DETAIL
E	WOOD BRACKET. REFER TO DETAIL	S	ALUMINUM BAHAMA SHUTTERS. PROVIDE SHOP DRAWINGS FOR REVIEW WHITE FINISH
F	4" SMOOTH STUCCO WINDOW SURROUND W/1" PROJECTION	T	ALUMINUM SHUTTERS. PROVIDE SHOP DRAWINGS FOR REVIEW WHITE FINISH
G	WOOD POST W/CHAMFERS AND WHITE PAINT FINISH. REFER TO DETAIL	U	WHITE HARDIE BOYS OUTRIGGERS. REFER TO DETAIL
H	CMU PIER W/CHAMFERS. REFER TO DETAIL	V	WHITE HARDIE BOYS CORBEL. REFER TO DETAIL
J	LIGHT FIXTURE WITH BRONZE FINISH. REFER TO OWNER FOR SELECTION	W	INSULATED METAL GARAGE DOOR WITH APPLIED AZEK MOLDING
K	2" OVER 6" SMOOTH STUCCO BAND W/2" & 1" PROJECTION RESPECTIVELY	X	IMPACT RESISTANT WINDOW AND DOOR (BRONZE FINISH) REFER TO SCHEDULE BRONZE FINISH
L	6" WHITE HARDIE BOARD SIDING. PROVIDE NOA FOR REVIEW	Y	1" STUCCO BEVEL
M	1" SMOOTH STUCCO FINISH WATER TABLE	Z	ALUMINUM TRELLIS (BRONZE FINISH) PROVIDE SHOP DRAWINGS FOR REVIEW



FLORIDA		LICENSURE
AA26001617 IB26001056		
COMMISSION #		19-019
DESIGNER:		RJ
DRAWN BY:		JH
PLAN REVIEW:		RJ
SUBMITTALS:		
ISSUE FOR HBP		
REVIEW:		08.07.19
REVISIONS:		
1		BUILDING DEPARTMENT COMMENTS: 11.14.19
2		BUILDING DEPARTMENT COMMENTS: 12.09.19
BUILDING ELEVATION		
A-4		

RICHARD JONES

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[illegible]

Architectural elevation drawing of a building facade showing eight window units (A-K) with dimensions and labels. The drawing is divided into three horizontal sections by two horizontal lines labeled "TOP OF SLAB".

Top Section:

- Unit A:** FIXED. Dimensions: 2'-6" wide, 2'-6" high. Spacing: 5'-6" from top slab, 8'-0" from bottom slab.
- Unit B:** FIXED. Dimensions: 7'-0" wide (3'-6" + 3'-6"), 6'-0" high. Spacing: 2'-0" from top slab, 8'-0" from bottom slab.
- Unit C:** FIXED. Dimensions: 3'-0" wide, 2'-0" high. Spacing: 6'-0" from top slab, 8'-0" from bottom slab.
- Unit D:** CASEMENT. Dimensions: 3'-0" wide, 10'-0" high (6'-0" + 2'-0" + 2'-0"). Spacing: 2'-0" from top slab, 2'-0" from bottom slab.

Middle Section:

- Unit E:** FIXED. Dimensions: 2'-6" wide, 5'-0" high. Spacing: 4'-0" from top slab, 9'-0" from bottom slab.
- Unit F:** FIXED. Dimensions: 2'-6" wide, 3'-0" high. Spacing: 5'-0" from top slab, 8'-0" from bottom slab.
- Unit G:** FIXED. Dimensions: 7'-0" wide (3'-6" + 3'-6"), 10'-0" high (6'-0" + 2'-0" + 2'-0"). Spacing: 2'-0" from top slab, 2'-0" from bottom slab.
- Unit H:** FIXED. Dimensions: 8'-0" wide (4'-0" + 4'-0"), 10'-0" high (8'-0" + 2'-0"). Spacing: 2'-0" from top slab, 2'-0" from bottom slab.

Bottom Section:

- Unit J:** CASEMENT. Dimensions: 2'-6" wide, 5'-0" high. Spacing: 3'-0" from top slab, 8'-0" from bottom slab.
- Unit K:** CASEMENT. Dimensions: 5'-0" wide (2'-6" + 2'-6"), 5'-0" high. Spacing: 3'-0" from top slab, 8'-0" from bottom slab.

Labels "2" are placed below Unit B and Unit G. The labels "FIXED" and "CASEMENT" are placed below each respective unit. The labels "TOP OF SLAB" are placed at the top and bottom of the drawing.

[illegible]

1. ALL EXTERIOR GLAZING UNITS SHALL BE IMPACT RESISTANT WITH FLORIDA PRODUCT APPROVAL.
(SHADING COEFFICIENT OF GLAZING SHALL COMPLY WITH FLORIDA ENERGY CALCULATIONS).
2. COORDINATE ALL ROUGH OPENINGS WITH WINDOW / DOOR MANUFACTURER - ALL DIMENSIONS ARE NOMINAL (CONCRETE OR ROUGH OPENING) DIMENSIONS. PROVIDE ENGINEERED SHOP DRAWINGS & METRO DADE PRODUCT APPROVAL NOTICES FOR ALL WINDOWS, EXT. DOORS.
3. ALL WINDOWS / DOORS SHALL COMPLY WITH F.B.C. 6TH EDITION (2017).
4. PROVIDE SHOP DRAWINGS FOR ALL GLAZING FOR ARCHITECTS REVIEW AND APPROVAL PRIOR TO FABRICATION.
5. ALL DOORS TO COMPLY WITH CODE. IMPACT AND WIND LOAD REQUIREMENTS (SUBMIT MANUFACTURES CUT SHEET / PRODUCT APPROVALS).
6. FIELD VERIFY ALL WINDOW AND DOOR OPENINGS PRIOR TO FABRICATION.
7. ALL WINDOWS NEEDED AS EGRESS WINDOWS SHALL COMPLY WITH F.B.C. SILL HEIGHT SHALL NOT EXCEED 4' A.F.F. MIN. OPG. HT. SHALL BE 80" MIN. OPG. HT. WITH CLEARANCE BE 20" MIN. CLEARANCE BE 57.5" FT. (6.0 SQ FT. @ 1ST FLOOR).
8. ALL EGRESS WINDOWS IN SLEEPING ROOM SHOULD HAVE A MINIMUM CLEAR OPENING OF 57 SQ. FT.
9. ALL EXTERIOR DOORS / WINDOWS SHALL BE INSTALLED PER FLORIDA PRODUCT APPROVAL.
10. ALL MUNTINS TO BE 1.0" WIDE RAISED TYPE ON BOTH INSIDE AND OUTSIDE OF WINDOW.
11. APPLY ELASTOMERIC WATERPROOF SEALER AT ALL EXTERIOR MASONRY OPENINGS. SEAL ALL INTERIOR SURFACES OF THE OPENING INCLUDING BOTTOM AND EXTEND SEALER 12" BEYOND THE FACE OF THE OPENING ON THE EXTERIOR SIDE OF THE OPENING.
12. USE LOUVERED DOOR AT HVAC CLOSET IF NO RETURN AIR IS PROVIDED.
13. ALL WINDOW & DOOR FRAMES TO BE BRONZE ALUMINUM.
14. REFER TO ELEVATIONS AND SECTIONS FOR OPERABLE WINDOW SWING ORIENTATION.
15. ALL GLASS TO BE CLEAR NON-REFLECTIVE.

The image displays seven architectural drawings of window and door units, numbered 1 through 7, arranged in two rows. Each drawing includes dimensions and labels.

Row 1:

- Unit 1:** A single door unit with a width of 3'-4" and a height of 8'-0". The door is shown with a dashed line indicating its swing. The width of the door leaf is 3'-0".
- Unit 2:** A double door unit with a total width of 8'-0" and a height of 8'-0". The width is divided into three equal parts (EQ.) of 5" each. The height is divided into three equal parts (EQ.) of 7'-1" each. The door is shown with a dashed line indicating its swing. The width of the door leaf is 7'-1".
- Unit 3:** A single door unit with a width of 3'-4" and a height of 8'-0". The door is shown with a dashed line indicating its swing. The width of the door leaf is 3'-0".
- Unit 4:** A triple door unit with a total width of 15'-0" and a height of 8'-0". The width is divided into four equal parts (EQ.) of 5" each. The height is divided into three equal parts (EQ.) of 7'-1" each. The door is shown with a dashed line indicating its swing. The width of the door leaf is 7'-1".

Row 2:

- Unit 5:** A triple door unit with a total width of 12'-0" and a height of 8'-0". The width is divided into three equal parts (EQ.) of 4'-0" each. The height is divided into three equal parts (EQ.) of 7'-1" each. The door is shown with a dashed line indicating its swing. The width of the door leaf is 7'-1".
- Unit 6:** A single door unit with a width of 3'-0" and a height of 8'-0". The door is shown with a dashed line indicating its swing. The width of the door leaf is 2'-8".
- Unit 7:** A triple door unit with a total width of 16'-0" and a height of 8'-0". The width is divided into four equal parts (EQ.) of 4'-0" each. The height is divided into three equal parts (EQ.) of 7'-1" each. The door is shown with a dashed line indicating its swing. The width of the door leaf is 7'-1".

The label "TOP OF SLAB" is present at the bottom right of each row of drawings.

A-5

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DELRAY BEACH, FLORIDA

FLORIDA LICENSURE

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COMMISSION # 19-019
DESIGNER: RJ
DRAWN BY: JH
PLAN REVIEW: RJ

SUBMITTALS:
ISSUE FOR HBP
REVIEW: 08.07.19

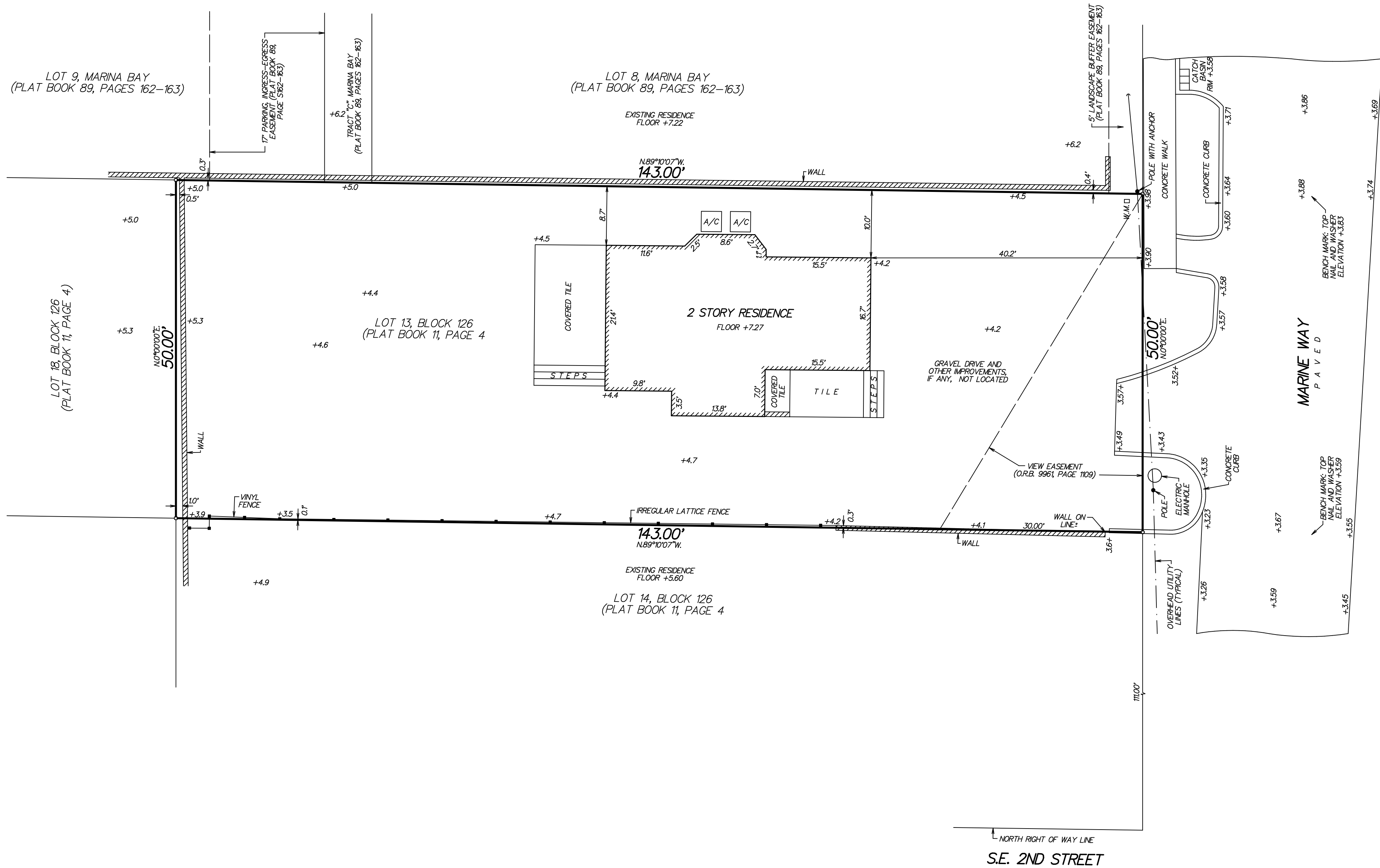
REVISIONS:
1 BUILDING DEPARTMENT 11.14.19
COMMENTS:
2 BUILDING DEPARTMENT 12.09.19
COMMENTS:

STREET
SCAPE

A-6

RICHARD JONES ARCHITECTURE

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SURVEYOR'S REPORT/LEGEND:

C = CENTERLINE
W.M. = WATER METER
A/C = CONCRETE A/C PAD
THE EAST LINE OF LOT 13 IS ASSUMED TO BEAR N0°00'00"E.
+3.59 = ELEVATION BASED ON NORTH AMERICAN VERTICAL DATUM 1988. SOURCE: "L-NET GPS NETWORK"
FLOOD ZONE: AE (EL 6)
COMMUNITY PANEL NO. 125102
MAP NO.: 12099C0979
SUFFIX: F
EFFECTIVE DATE: OCTOBER 5, 2017
ALL DIMENSIONS SHOWN BASED ON STANDARD U.S. FOOT
THIS SURVEY MEETS THE CLOSURE OF 1 FOOT PER 10,000 FEET AS REQUIRED FOR COMMERCIAL HIGH RISK PROPERTY
THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL OF CLOSURE OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR COMMERCIAL/HIGH RISK PROPERTY CLOSURE WAS ACHIEVED BASED ON A REDUNDANCY OF MEASUREMENTS FOR VERTICAL HORIZONTAL AND ANGULAR DIMENSIONS.
NO TITLE WAS REVIEWED OR SEARCH OF THE PUBLIC RECORDS WAS MADE IN REGARD TO EASEMENTS THAT MAY AFFECT SUBJECT PARCEL
NO SUBSURFACE SEARCH WAS MADE FOR UTILITIES OR UNDERGROUND FOOTERS

DESCRIPTION:

LOT 13, BLOCK 126, A SUBDIVISION OF BLOCK 126, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 11, PAGE 4, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

MAP OF AS-BUILT SURVEY
SITE ADDRESS: 150 MARINE WAY,
DELRAY BEACH, FLORIDA 33483
PARCEL CONTROL NO. 12-43-46-16-01-126-0130

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Paul D. Engle

PAUL D. ENGLE
SURVEYOR & MAPPER #5708

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

O'BRIEN, SUITER & O'BRIEN, INC.
LAND SURVEYORS
CERTIFICATE OF AUTHORIZATION #LB353
SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE
955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445
(561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY JANUARY 29, 2018	REVISED: 05/30/19 - ADDED VIEW EASEMENT	SCALE: 1" = 10'
FIELD BOOK D.320	PAGE NO. 20	ORDER NO.: 19-06db