



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Pierre Delray I

Project Location: 302 E. Atlantic Avenue

Request: Class III Site Plan Application

Board: Site Plan Review and Appearance Board

Meeting Date: December 11, 2019

Board Vote: Approved on a 7-0 vote

Board Action:

Approved (7 to 0), the Class III Site Plan, Landscape Plan, and Architectural Elevations for the Pierre Delray I project located at 302 E. Atlantic Avenue.

Project Description:

The subject site is a 0.1809-acre property with Palm Beach County parcel number 12-43-46-16-01-093-0010, with address 302 E. Atlantic Avenue. The subject site is zoned Central Business District (CBD) located within the Central Core. The request before the Site Plan Review and Appearance Board (SPRAB) was a Class III Site Plan, Landscape Plan, and Architectural Elevations for the Pierre Delray I project (2019-256) associated with façade improvements, a square foot increase on the first floor, a new roof, site lighting, and utility improvements in the public Right-Of-Way (ROW).

Board Comments:

The Board comments were supportive.

Public Comments:

The Public comments were supportive.

Associated Actions:

The board added a condition to their motion requiring the applicant work with staff to relocate the bike racks away from the pedestrian walkway and incorporate the accent tile on the front facade.

Next Action:

The SPRAB action is final unless appealed by the City Commission.



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

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PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: December 11, 2019	File No.: 2019-256-SPF-SPR-CLIII	Application Name: Pierre Delray Phase I (SunTrust Bank)
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General Data:

Applicant: Pierre Delray One, LLC.
Agent: Bonnie Miskel, Esq., Dunay, Miskel & Backman, LLP
Location: 302 E. Atlantic Avenue
PCN: 12-43-46-16-01-093-0010
Property Size: 0.1809 Acres
FLUM: Commercial Core (CC)
Zoning: Central Business District – Central Core (CBD)
Adjacent Zoning:

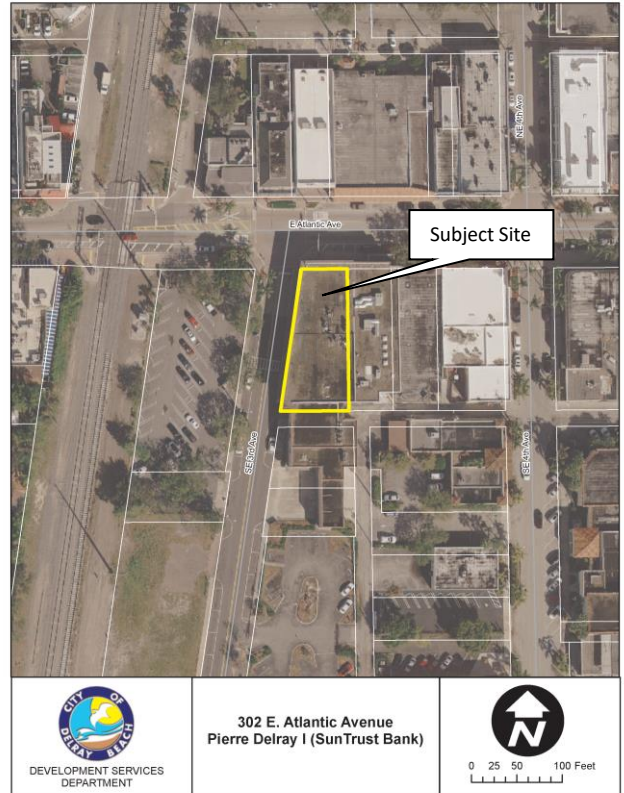
- North: CBD
- East: CBD
- South: CBD
- West: CBD

Existing Land Use: Bank
Proposed Land Use: Bank/Retail/Office
Proposed Floor Area Ratio: 1.79
Maximum Floor Area Ratio: 3.0

Item before the Board:

The action before the Board is for the approval of a Class III Site Plan modification for Pierre Delray I (SunTrust Bank) pursuant to LDR Section 2.4.5 (G)(1)(c) and Section 3.1.1, including the following:

- ☐ Site Plan
- ☐ Landscape Plan
- ☐ Architectural Plan



Optional Board Motions for Action Items:

1. Move to continue with direction
2. Move approval of the Class III (2019-256) Site Plan modification, Landscape Plan, Architectural Elevations for Pierre Delray Phase I located at 302 E. Atlantic Avenue as amended, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
3. Move denial of the Class III (2019-256) Site Plan modification, Landscape Plan, Architectural Elevations for Pierre Delray Phase I located at 302 E. Atlantic Avenue, by finding that the request is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in the Land Development Regulations.

Notes:

1. Provide a recorded Pedestrian Clear Zone agreement prior to building permit issuance.
2. Provide a recorded hold harmless agreement for the roof parapet extension, structural column, and the awnings that encroach into the public ROW prior to building permit issuance.
3. Provide the Utility provider responses prior to site plan certification.
4. Provide a recorded maintenance agreement for the bicycle rack in the curb zone adjacent to the subject site prior to

Project Planner: Kent Walia, AICP, Senior Planner walia@mydelraybeach.com 561-243-7365	Review Dates: SPRAB Board: December 11, 2019	Attachments 1. Site Plans 2. Landscape Plans 3. Architecture Plans
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building permit issuance.

5. Update the note on sheet A4 to include the City Standard “Acorn” double light pole across SE 3rd Street as part of the scope of work for Pierre Delray I prior to site plan certification.
6. Update the applicable plan sheets to show the bicycle racks spaced further a part to accommodate parallel placement of bikes to Atlantic Avenue prior to site plan certification.
7. Prior to site plan certification include the curb cut ramp shown on sheet C-301 on all other applicable civil and architectural plan sheets.
8. The curb cut ramps and the bollards located at the southeast corner of the intersection of SE 3rd Avenue and Atlantic Avenue shown on sheet C-301, shall be finalized with the City Engineer prior to building permit issuance.
9. Prior to building permit issuance, the photometric calculations shall be finalized with the City Engineer.

Project Summary:

The subject property is zoned Central Business District (CBD) and is in the Central Core Sub-district. The 0.1809-acre site is located at 302 East Atlantic Avenue, which is at the southeast corner of the intersection of East Atlantic Avenue and SE 3rd Avenue. The proposed Class III Site Plan modification is associated with façade improvements, a square foot increase on the first floor, a new roof, site lighting, and utility improvements in the public Right-Of-Way (ROW). The façade improvements include new modern storefront glazing, a color change, new awnings, new LED lights, and a reconfigured roof parapet. The building increase on the first floor proposes the conversion of the existing arcade area into additional square footage. The façade improvements intend to transform the existing building design into contemporary masonry modern design. The utility improvement consists of the removal and replacement of sanitary sewer and drainage infrastructure, water supply and fire service lines, exfiltration and storm structures to improve the utilities on site and in the area. The utility improvement will be located in the public ROW adjacent to the property along SE 3rd Avenue and the alleyway.

Background:

The 0.1809-acre subject site is situated on Lot 1, of block 93 of the Re-Subdivision of Block 93 plat in Palm Beach County Plat book 10, page 53. The property is located at southeast corner of the intersection of East Atlantic Avenue and SE 3rd Avenue. The site contains a two-story 14,357 gross square foot (gsf) bank/office building. The following is a timeline of actions involving the site:

- Palm Beach County Property Appraiser records indicate that the building was constructed in 1929.
- On July 21, 2006, the Planning & Zoning Department administratively approved a Class 1 Site Plan modification (2006-376) associated with the installation of replacement light fixtures and poles.
- On November 17, 2010, the Planning & Zoning Department administratively approved a Class 1 Site Plan modification (2010-086) for the installation of railing and sloped pavement at the front entrance of the building to meet ADA requirements.
- On February 15, 2011, the City Commission approved a conditional use application (2010-212) to allow Unity Parking Systems, Inc. to manage and operate a “For Pay” parking lot at the southwest corner of East Atlantic Avenue and SE 3rd Avenue (across the street from the subject site).
- On February 13, 2013, the Site Plan Review and Appearance Board (SPRAB) approved the Class I Site Plan modification (2013-089) associated with the addition of new impact resistant windows on the interior side of the building annex. The building annex is the building that is connected to the subject building by an aerial bridge.
- On October 27, 2014, the Planning & Zoning Department administratively approved the Class I Site Plan modification (2014-256) associated architectural elevation changes consisting of the installation of impact windows, and relocation of window openings.
- On February 6, 2019, the Development Services Department administratively approved the Class I Site Plan Modification (2019-086) associated with the installation of an ATM machine and modifications to the photometric plan to accommodate to an ATM machine.



- On November 13, 2019, the Site Plan Review and Appearance Board (SPRAB) voted 6 to 0 (Andrea Sherman was absent) to recommend approval to the City Commission for the waiver from LDR Section 4.4.13 (E)(4)(e)1.,a., Table 4.4.13(I) "Dimensional Requirement for Storefronts", Line A, to allow a seven-foot, ten-inch (7'-10") storefront setback at the north side of the building in lieu of the ten-foot (10') minimum required setback for the proposed site plan modification for the Pierre Delray I building (SunTrust Bank) located at 302 E. Atlantic Avenue.
- The City Commission will consider the setback waiver at its meeting of December 10, 2019. The results of the City Commission action will be reported to the SPRAB on December 11, 2019. The waiver requested is for the reduction of the minimum required storefront setback from 10' to 7'-10". The reduction will allow for the expansion of the ground floor space into the existing arcade area with a new storefront design. It is important to note, that the plan proposes to connect the existing columns to new facade wall. The connecting of the storefront to the back of the existing columns will result in a 2'-8" encroachment into the required 10' front setback. The proposed site plan provides a streetscape width of 15' between the columns and 12'-7" at the face of the existing columns. The proposed waiver request would remove the non-conforming arcade but would create a non-conforming front setback (7'-10" in lieu of 10' required). It is important to note that the existing building has non-conforming side and rear setbacks.

Site Plan Analysis:

Compliance with the Land Development Regulations:

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

Central Business District (CBD)

- Pursuant to LDR Section 4.4.13(A), **Purpose and intent for the CBD**, *The Central Business District (CBD) Zone District is established in order to preserve and protect the cultural and historic aspects of downtown Delray Beach and simultaneously provide for the stimulation and enhancement of the vitality and economic growth of this special area.*

Central Core Sub-District:

Pursuant to LDR Section 4.4.13 (A)(1) **Central Core**, *The regulations are intended to result in development that preserves the downtown's historic moderate scale, while promoting a balanced mix of uses that will help the area evolve into a traditional, self-sufficient downtown.*

- The subject site is located in the CBD Central Core Zoning district, within the Atlantic Avenue Limited Heights overlay, on a Required Retail corridor. The proposal includes façade modifications to an existing two-story concrete building that was constructed in 1929. Records indicate that the building has functioned as a financial institution (bank) since it was constructed. The proposal to add retail use space to the existing financial institution use provides a mix of uses component to the central core. The plans provided show that the building's overall scale would remain the same in regard to height and width, except for a minor 365 sf +/- infill addition of the first floor. The façade improvements include new modern storefront glazing, a color change, new awnings, new LED lights, and a reconfigured roof parapet. The proposed façade improvements are intended to transform the existing building design into a masonry modern design. The proposed design intends to update the existing architecture, into a more modern designed building with a ground floor storefront depth that is more compatible with other storefronts along the corridor.

Pursuant to LDR section 4.4.13 (B) **Regulating Plans**, *The Delray Beach Central Business District (CBD) regulating plans depict additional information necessary to apply the standards contained in this Section and are hereby officially adopted as an integral part of these regulations.*

- According to the Central Core regulating plan Figure 4.4.13-5, the subject site is located in the **Atlantic Avenue Limited Height Area** (the Limited Height Area), **Atlantic Avenue Parking district**, which requires **Retail Frontage** and is along a **Primary street**. The existing building, which was built in 1929, pre-dates the LDR and the regulating plans. The proposed site plan modification is associated with façade and site improvements.
 - The Atlantic Avenue Limited Height area within the CBD Central Core limits building height to three-stories and 38' for properties, or portions of properties, located within 125 feet north or south of the



East Atlantic Avenue right-of-way line, between Swinton Avenue and the Intercoastal Waterway. The existing building height complies with the regulating plan.

- Pursuant to LDR Section 4.4.13 (C)(3)(a)2., Required Retail Frontage requires that properties on designated streets (i.e., Atlantic Avenue) provide retail use on the sidewalk level that have a storefront or arcade front, an individual commercial space width not to exceed 75', the depth of retail space of at least 20'. The plans show that the building will have retail use on the ground floor with a storefront façade, a width of 58', and a retail space depth of approximately 130'.
- The Atlantic Avenue Parking district is a designated area on the regulating plan that requires increased parking spaces for restaurant and lounge uses within the CBD Central Core. Since the plans provided indicate that the entire building will be used for retail and office use, the requirements of the aforementioned regulating plan are not applicable.
- The regulating plans require that Primary Streets have superior pedestrian environments and, as such, are held to higher standards in the regulations regarding building placement, building frontage, and the location of parking and service uses. The plans provided show that the building will provide retail and financial institution office space along Atlantic Avenue, a primary street, in compliance with regulation plan.
- The plans show that the building will be oriented facing Atlantic Avenue, that ground floor will have retail frontage, and that the site includes a 15' wide streetscape along a primary street. Thus, the proposed designed complies with the aforementioned regulating plan requirement.

Base District Requirements:

LDR sections 4.4.13 (D), Table 4.4.13 (B), and 4.3.4 (K) Development Standards Matrix

<u>Zoning</u>	<u>Required / Allowed</u>	<u>Provided</u>
Central Business District – Central Core		
Lot Frontage (Min./Max)	75% / 100%	Approx. 96.3%
Lot Width (Min.)	20'	58'
Lot Area (Min.)	2000 sf	7,880
Open Space (Min.)	0%	0%
Height (Max.)	38'	29'
Stories (Max.)	3	2
Ground Floor Height (Min.)	12'	11'-2" *
Setbacks (Min.):		
Front (South)	10' (min) / 15' (max)	7'-10" **
Side Street (West)	10' (min) / 15' (max)	0'***
Side Interior (East)	0'	0'***
Rear (North)	10'	0'***

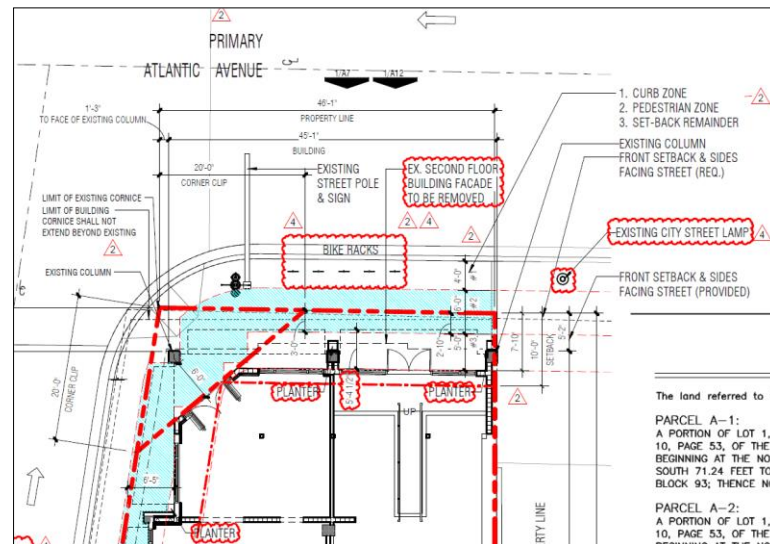
* The 11'-2" ceiling height listed is 10" less than the 12' minimum required. The existing ceiling height predates the LDR requirement and is an existing non-conforming condition.

**The applicant submitted a waiver request that will be considered by the City Commission on December 10, 2019, to reduce the storefront (front) setback from 10' to 7'-10" in order to increase the square footage on the ground floor and replace an existing arcade.

***The building which has existed since 1929, has an existing non-conforming rear, side street, and front setback. LDR Section 1.3.5 (B)(1) says that "a nonconforming structure shall not be altered or enlarged in any way which increases its nonconformity, vertically or horizontally. Enlargement or alteration of the structure in a way that complies with applicable dimensional standards and does not create any new nonconformity, or alteration of the structure in a way that decreases the degree of nonconformity, is permitted.

Pursuant to LDR section 4.4.13 (E)(2) **Minimum Streetscape Width**, the combination of public sidewalk (located within the right-of-way) and hardscape (located in front setback areas) shall provide a minimum streetscape area no less than 15 feet in width, measured from the back of curb.

- Pursuant to LDR section 4.4.13 (E)(3)(a)1., the **curb zone** shall be at least 4' in width and shall accommodate street, and public infrastructure needs such as utility poles, streetlights, street signs, parking meters, etc. The plans provided show an existing 4' curb zone with streetlights and traffic signage.
- Pursuant to LDR section 4.4.13 (E)(3)(a)2., the **pedestrian clear zone** shall be at least 6' feet wide and provide clear adequate walking space. The plans show a 6' wide pedestrian clear zone is provided. It's important to note that a "Pedestrian Clear Zone" agreement would be required prior to building permit issuance for the portion of the property being dedicated for perpetual sidewalk use in order to ensure that area would remain clear of obstructions. The dedication would be made for the portion of the clear zone that encroaches on to private property.
- Pursuant to LDR section 4.4.13 (E)(3)(a)3., the **remaining front setback area** shall be the remainder within the minimum 15' streetscape width to accommodate hardscape design features. Hardscape features can include outdoor dining areas or landscape features such as potted plants. The plans provided show a paved 5' remaining front setback between the columns for an additional sidewalk area, and landscape planters near the columns. If the waiver is granted, the available 16' of paved walking area which exists from the property line to the existing building façade underneath the arcade would be reduced to 7'-10" by the proposed expanded storefront area. The waiver, upon the discretion of the City Commission, would reduce the available walking area by 8'-2".



Pursuant to LDR Section 4.4.13 (E)(4)(e) **Storefront**, is a frontage type along sidewalk level of the ground story, typically associated with commercial uses. Storefronts are frequently shaded by awnings or arcades.

- The project is proposing a revised storefront system for the entire building. The storefront on the ground floor on the north and west elevations are required to comply with Dimensional Requirements for Storefront listed in LDR Section 4.4.13 (E)(4)(e)1., a, Table 4.4.13 (I), A. The following is a matrix demonstrating compliance with the aforementioned LDR Section:

Dimensional Requirements for Storefront Table 4.4.13 (I)

	Minimum	Maximum	Provided
Building Setback	10'	15'	7'-10" (North)*, 6" – 6'-3" (West)*
Store Width	N/A	75' on Req. Retail Streets	Approx. 62'
Storefront Base	9"	3'	9"
Glazing Height	8'	-	Approx. 9.7'
Required Openings	80%	-	40.15% to 87.92%**
Awning Projection	5'	-	3' (North), 2'-5'-6" (West)***



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

*The applicant submitted a waiver request that will be considered by the City Commission on December 10, 2019, to reduce the storefront (front) setback from 10' to 7'-10" in order to increase the square footage on the ground floor and replace an existing arcade. The varying 6" to 6'-3" storefront setback on the west elevation adjacent to SE 3rd Avenue is existing and has remained since 1959.

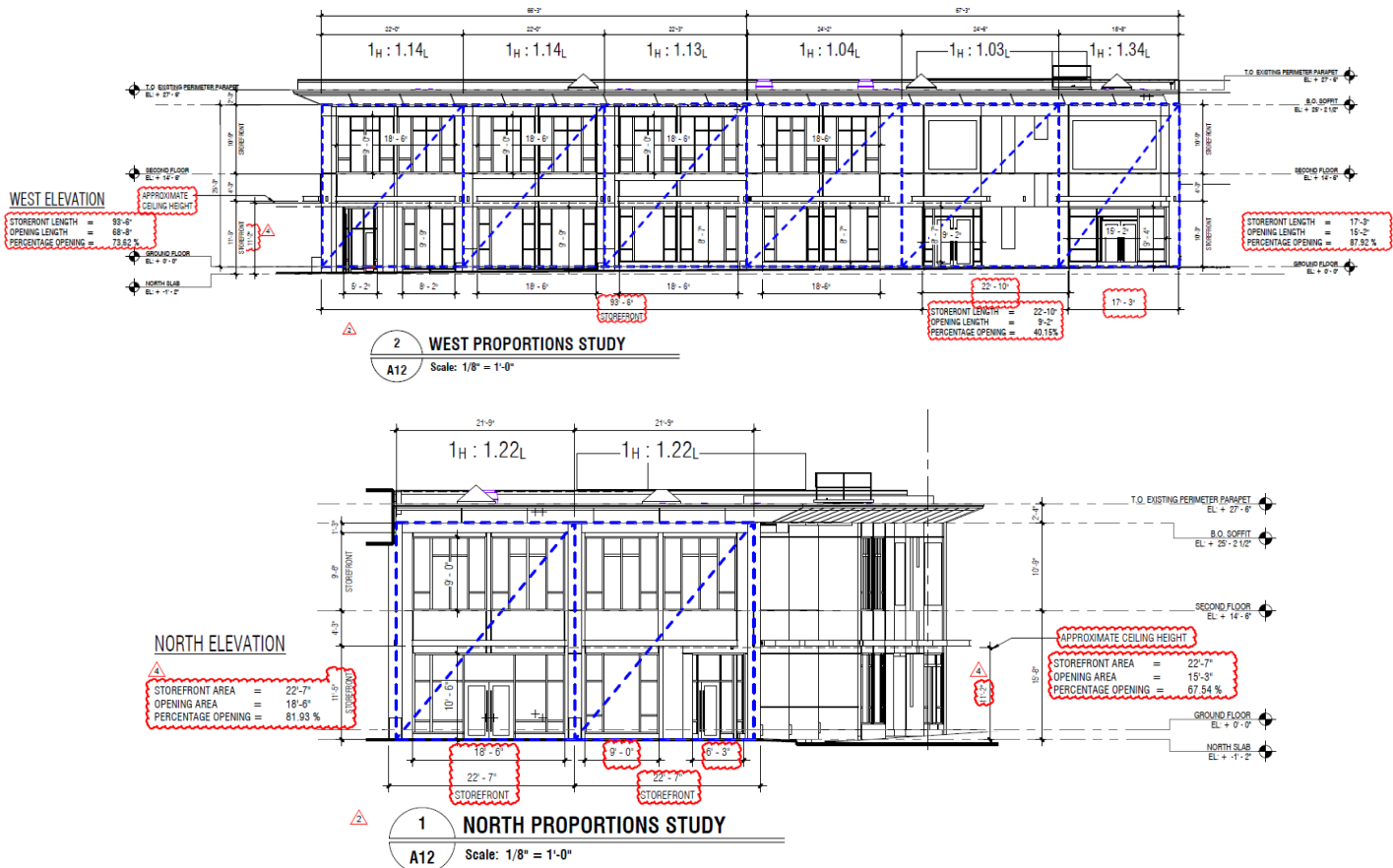
** The proposed design appears to maximize the amount of glazing possible. In some areas, the minimum 80% required openings where not able to be achieved due to non-conforming composition of the building and the structural columns.

***The 3' wide awnings located on the bottom of the 2nd floor, project 5'-5" from the façade on the ground floor. The awning projection on the west side of the property varies from 2' to 5'-6". Some of the awnings proposed along the west elevation adjacent to SE 3rd Avenue are unable to project 5' from the façade due to possible encroachment into the travel lane of the road.

Pursuant to LDR section 4.4.13 (F)(2)(d), **Façade composition compliance**, all development submittals shall provide diagrams and/or documentation to illustrate compliance with the requirements of this Section which includes Building Articulation, Tripartite Composition, and Visual Screening.

Pursuant to LDR section 4.4.13 (F)(2)(a)1., **Building Articulations**, form of a change in building height and building placement shall be incorporated so that building façade proportions do not exceed height to width ratios of 3:1 or 1:3. Building articulations shall be reinforced by changes in roof design, fenestration patterns, or architectural elements

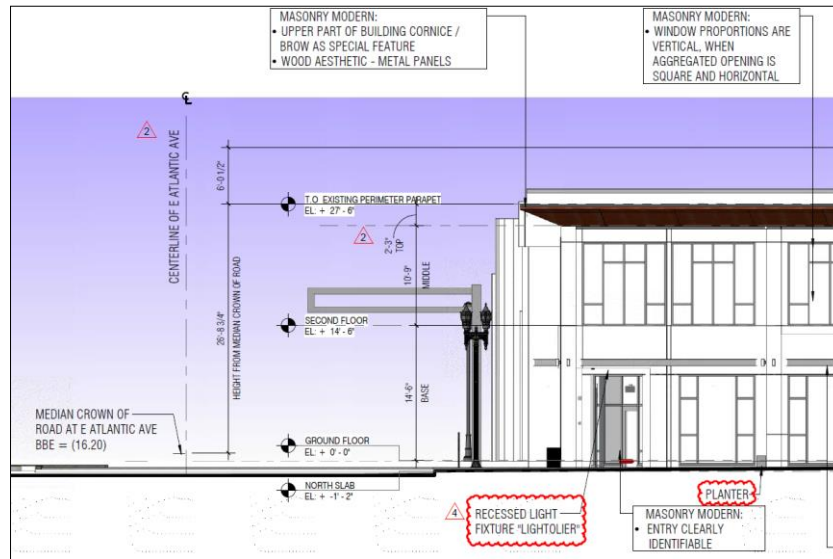
- Sheet A12 shows a building articulation ratio of 1:1.22 on the North elevation, and 1:1.03 to 1:1.34 on the west elevation. The articulation ratio shown is less than what is required in the aforementioned LDR section. It is important to note that the building façade has existed since 1929 and predates the current LDR. The proposed design to retrofit the exterior with a new storefront demonstrates the intent to comply with the ratio specified in the LDR without having to completely change the structural integrity of the building.



Pursuant to LDR section 4.4.13 (F)(2)(b), **Tripartite Composition**, all buildings shall have a clearly expressed base, middle, and top in the façade design.

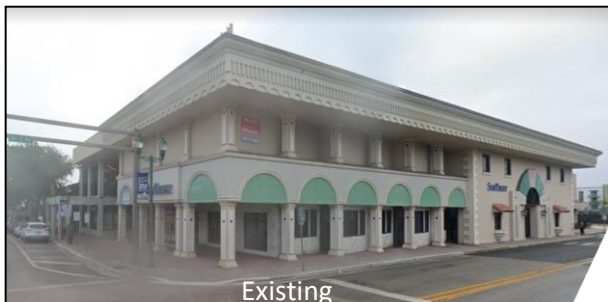
- The LDR requires that all buildings in the CBD have a Tripartite Composition (base, middle, and top). The Class III Site Plan modification proposes façade improvements to a building that was constructed in 1929. The façade improvements include a new modern storefront system that includes a 9" aluminum base, a second-floor middle, and a redesigned contemporary cantilever parapet roof top.

Northwest Elevation



Pursuant to LDR section 4.4.13 (F)(3)(a) **Architectural Styles**, the "Delray Beach Central Business District Architectural Design Guidelines", identifies seven architectural styles as appropriate for downtown Delray Beach. The permitted architectural styles are outlined in the "Delray Beach Central Business District Architectural Design Guidelines" document.

- The Pierre Delray I (SunTrust Bank) has existed since 1929. The existing design predates architect style guidelines listed in the Delray Beach CBD Architectural Design Guidelines (the Design Guide). The proposed "Masonry Modern" retrofit design includes a new storefront glazing for interior views of the building, metal awnings, chamfered roof top cornice act as shading devices for the building, cladded exterior columns that create articulations on the façade, and stucco, tile, and faux wood cladding. The new storefront system includes "Varicon" clear vertical glass glazing with powder coated gray aluminum framing. The awning proposed are pre-engineered aluminum canopies with a color to match the storefront. The exterior stucco wall will be painted with Sherwin Williams "Pure White." The design shows that the roof top cornice will be chamfered and will be cladded with Reynobond "Colonial Red" faux wood finished metal plans. The proposed renovation contain sustainable design practices such as retrofitting of an existing building, skylights to allow natural light and reduce artificial lighting, white wall painting to reflect surface heat, canopies and roof overhangs that would cast shade to reduce surface temperatures, a high efficiency air conditioning unit, and low flow plumbing fixtures.





CBD Parking Requirements

Pursuant to LDR Section 4.4.13(l)(2)(d), **Off Street Parking Requirement**, “Properties less than 65 feet in width are not required to provide off-street parking, except for restaurant and lounge uses.”

- The subject site is approximately 60’ wide when measured in accordance with LDR Section 4.3.4 (C). Composite Site Plan sheet A4 shows that the project is proposing a financial institution (SunTrust Bank) and retail uses on the ground floor of the building. Since the building is less than 65’ in width and has uses other than restaurant and lounge, thus the property is not required to provide parking.

Pursuant to LDR Section 4.4.13(l)(4), Table 4.4.13 (M), **Bicycle Parking Requirement**, the minimum number of bicycle parking spaces for retail uses are 1 space per 1,000 sf, and for Profession Offices 1 space per 2,000 sf.

- The proposed building is 14,357 gsf. The gross square footage is composed of 2,771 sf of retail space, and 11,586 sf of financial institution office space. As such, the retail square footage requires 3 spaces (2,771 sf / 1,000 sf), and the financial institution office square footage requires 6 spaces (11,586 sf / 2,000 sf). As a result, the project is required to provide 9 bicycle parking spaces. Currently, there are no bicycle parking spaces on site. Due to the existing non-conforming site constraints the plans show that the bicycle racks being installed in the 4’ curb zone. A note was added to this report requesting that a maintenance agreement for the bicycle rack be provided prior to building permit issuance.

Supplemental District Regulations:

Lighting:

Pursuant to LDR section 4.6.8 (A)(3) table 2, **Photometric requirement**, on-site lighting must be provided and be consistent with the minimum and maximum foot candle illumination level requirements. The following chart shows the photometric calculations proposed for the site:

Photometric Plan	Requirements		Proposed	
	Minimum (fc)	Maximum (fc)	Minimum (fc)	Maximum (fc)
Building Entrance	1.0	10.0	0.1	11.0
Overhang/Canopies (Corner entrance)	3.0	30.0		
Property Line	0.0	0.25	0.8	10.0

Photometric Plan	Required	Proposed
Light Pole	25’ (Max.)	10.5’ (approx.)

- The photometric plan sheet A14a provided shows illumination to the center line of SE 3rd Avenue and Atlantic Avenue. The light levels provided exceed the minimum light levels required for the building entrances along SE 3rd Avenue in order to provide illumination along SE 3rd Avenue. Lighting is required along SE 3rd Avenue because there are currently no streetlights along the east street adjacent to the building. The existing sidewalk along SE 3rd Avenue adjacent to the subject site is approximately 4.5’ and cannot accommodate streetlights, so the plans propose wall mounted fixtures to light the building entrances and to illuminate the ROW. The light levels along SE 3rd Avenue were increased higher than the minimum required in order to light the portion of the corridor. A note has been added to the staff report requiring that sheet A4 be updated prior to site plan certification to show the City Standard “Acorn” double light pole located across the SE 3rd Avenue be provided as part of the scope of work for Pierre Delray 1.

Landscape Analysis:

Pursuant to LDR section 4.6.16(B)(4), *to any modification to existing development which results in an increase of 25 percent in the gross floor area of the structure, or structures, situated on the site. In such cases the entire site shall be upgraded to present landscape standard.*

- The proposed project consists of a façade improvement and a 415 sf increase to the ground floor at the north side of the property. The proposed addition does not result in a 25% building increase, therefore additional landscape is not required. However, the plans do propose providing landscape planters with shade tolerant plantings along the north and west elevations of the building in an effort to provide foliage on the lot lacking available open space.

**Architecture Elevations:**

Pursuant to LDR section 4.6.18(B)(2), *buildings or structures located along strips of land or on single sites, and not a part of a unified multi-building complex, shall strive to achieve visual harmony with the surroundings.*

- The proposed Class III Site Plan modification features aesthetic changes to the architectural elevations of an existing building, a ground floor building expansion, and offsite utility improvements. The architectural elevation changes include the addition of new storefront framing and glazing on north and west facades, modern metal awnings, and a 415 sf ground floor addition on the north side of the building that received a front setback variance. The proposed façade improvements intent is to transform the building's appearance to a "Masonry Modern" building. The neighboring properties along E. Atlantic Avenue feature a combination of old, redesigned, and new buildings that create diverse structures along the corridor. The architecture of the neighboring buildings are composed of Florida Vernacular, Mediterranean Revival, Classical Traditional, Masonry Modern and Main Street Vernacular designs. The buildings along the corridor feature one- and two-story buildings most with ground floor storefront, awnings, and some with arcades. Furthermore, the project is proposing retail and financial institution office uses which are required by the LDR for this portion of the corridor. The proposed building design demonstrates visual harmony by providing a compatible design, height, and use with the neighboring properties.

Pursuant to LDR section 4.6.18 (E), **Criteria for board action**, *the following criteria shall be considered, by the Site Plan Review and Appearance Board or Historic Preservation Board, in the review of plans for building permits.*

1. *The plan or the proposed structure is in conformity with good taste, good design, and in general, contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.*
 - As mentioned, the building design is compatible with the downtown and will increase the overall aesthetic design of the community. Furthermore, the size and scale of the proposed building retrofit are in compliance with the recently LDR requirements for the CBD.
2. *The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.*
 - The exterior improvements proposed for the project intends to transform the appearance of the existing building façade from Classic Traditional to Masonry Modern. As mentioned, the building has existed since 1929. The improvements to the façade intend to improve the appearance of the building which would add to the overall aesthetics of the corridor, thus contributing to the value of properties in the corridor. Furthermore, the floor plans show the interior conversion of 50% of the ground floor financial institution (bank) space into two retail bays.
3. *The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.*
 - The proposed project is compatible with scale and zoning of the properties adjacent to the site. Furthermore, the project complies with the goals, objectives, and policies (GOP) listed in the comprehensive plan. Specifically, the project furthers the GOP of the comprehensive plan by improving building aesthetics in the CBD, furthers economic growth, retains local business, and for providing retail on the ground floor.

Required Findings:

Pursuant to section 3.1.1 **Required Findings**, *prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following areas:*

Section 3.1.1 (A) - Future Land Use Map:

The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Future Land Use Map.

- The subject property has a FLUM designation of Commercial Core (CC) and a Zoning map designation of



Central Business District (CBD). The CBD zoning district is consistent with the CC FLUM designation. In accordance with LDR section 4.4.13 (C)(3), Table 4.4.13 (A), services and facilities (financial institutions) and general retail uses are permitted principle uses in the CBD zoning district and on the ground floor for Required Retail corridors.

Section 3.1.1 (B) – Concurrency:

Facilities which are provided by, or through, the City shall be provide to new development concurrent with the issuance of a Certificate of Occupancy. The facilities shall be provided pursuant to levels of service established within the Comprehensive Plan.

- As described in Appendix “A”, a positive finding of can be made in regard to water and sewer, streets and traffic, drainage and solid waste.

Section 3.1.1 (C) – Consistency:

Compliance with performance standards set forth in Chapter 3 and required findings in section 2.4.5(F)(5) for the request shall be the basis upon which a finding of overall consistency is to be made. Other objectives and policies found in the adopted Comprehensive Plan may be used in making a finding of overall consistency.

- As described in Appendix “B”, a positive finding of Consistency can be made as it relates to Standards for Site Plan Actions.

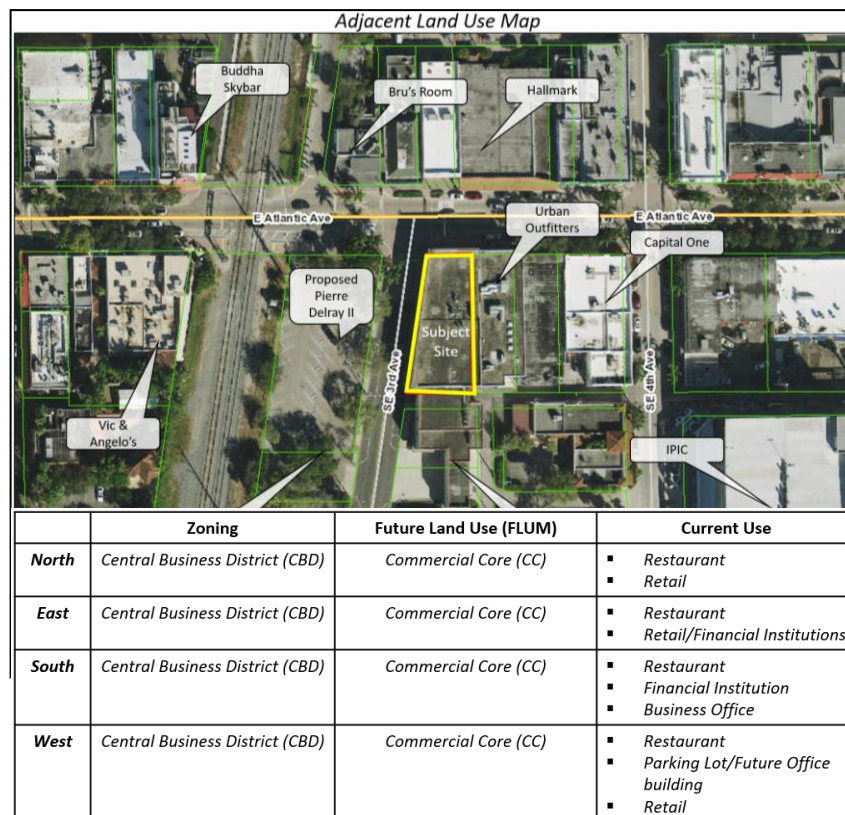
Section 3.1.1 (D) – Compliance with the LDRs:

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

- See the Site Plan Analysis section of this report.

Adjacent Land Uses:

Pursuant to LDR section 2.4.5(F)(5), **Adjacent land use designations**, “the approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values”: The following image indicates the zoning and land use of the properties surrounding the subject property:





As mentioned, the subject site is located at 302 E Atlantic Avenue and the building has existed since 1929. The subject site is located adjacent to restaurant and retail uses on all sides, and on the same block as another financial institution (Capital One). The architecture along the corridor is composed of dated and current designs. The buildings along E. Atlantic Avenue are one to three-stories in height with facades that abut the 15' wide street scape. The masonry modern design proposed complies with the LDR and the CBD design guide and is compatible with the architecture along the corridor. The proposed design to replace the existing non-conforming arcade with an expanded storefront that is closer to the streetscape area furthers the building compatibility along the corridor. The proposed project demonstrates compatible and harmonious assimilation with the adjacent and neighboring properties and will contribute to improving the building aesthetics along the corridor while increasing foot traffic past local businesses.

Comprehensive Plan Policies:

A review of the objectives and policies of the adopted Comprehensive Plan was conducted, and the following applicable objectives or policies were noted.

Future Land Use Element (FLUE)

Objective A-1: Property shall be developed or redeveloped, in a manner so that the future use, intensity, and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services; are complementary to and compatible with adjacent land uses and fulfill remaining land use needs.

- The subject site located at 302 E. Atlantic Avenue is situated in the CBD zoning district, which allows retail and financial institution (bank) uses. The proposed site plan modification to renovate the façade to an updated masonry modern design and to bring the ground floor façade along the north side of the property closer to the corridor furthers the building's compatibility with the LDR and the other structures in the CBD Commercial Core. There are no known physical issues associated with the property that would prevent the proposed building expansion.

Pursuant to LDR section 3.2.3 (B), *separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists, and vehicles in a manner consistent with policies found under Objectives D-1 (Separation of Transportation Modes) and D-2 (Accommodating Bicycles) of the Transportation Element.*

- The subject site is situated at the corner of E. Atlantic Avenue and SE 3rd Avenue. The site plan shows that 4' wide curb zone would remain, and a 6' wide pedestrian clear zone and a 5' wide paved remaining front setback would be provided. The site is not located on a bus route but is located within two blocks of a bus stop and route. Additionally, since the site is not located on a bus route, the development would be providing 50% of the cost of bus shelter in order to contribute to the funding of a shelter elsewhere in need. The subject site is not located on a bike route. However, since the development is a non-residential project, it is required to provide bicycle racks. The plans show bicycle racks on the plans to accommodate potential riders.

Review by Others:**Utility Providers:**

Pursuant LDR section to 2.4.2 (C)(2)(a), utility providers where notified of the site plan submission. No objectionable comments have been provided to date.

Community Redevelopment Agency (CRA):

Pursuant to LDR section 2.4.2 (C)(1)(b), Notice of all development applications within its geographic limits of the CRA is required.

- A summary was provided to the CRA notifying the board of the project.

Downtown Development Authority (DDA):

Pursuant to LDR section 2.4.2 (C)(1)(a), a notice of all development applications within its geographic limits of the DDA is required.

- A summary was provided to the DDA notifying the board of the project. On September 9, 2019, the DDA



voted 5-0 (Mark Denkler not present, Frank Frione recused himself due to conflict of interest) in favor of the project.

Courtesy Notices:

Pursuant to 2.4.2 (C)(3), courtesy notices have been provided to the following neighborhood associations:

- Pineapple Grove Main Street
- Osceola Park

*Letters of objection or support, if any, will be presented at the Site Plan Review and Appearance Board (SPRAB) meeting.

Appendix “A” – Concurrency Findings

Pursuant to LDR section 3.1.1(B), Concurrency, as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan, must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer:

- Utility Plan C-501 shows a proposed lateral connection into an existing water main from E. Atlantic Avenue through SE 3rd Avenue.
- Utility Plan C-501 shows a proposed 4” lateral connection into an existing sanitary sewer main along rear alley way.
- Pursuant to the City’s Comprehensive Plan, treatment capacity is available at the City’s Water Treatment Plant and the South-Central County Wastewater Treatment Plant for the City at build-out.

Streets and Traffic:

Provide with the application was a traffic impact evaluation created by Kimley Horn. The statement mentions that the subject site 302 E. Atlantic Avenue is located in the Transportation Concurrency Exception Area (TCEA). The TCEA area exempts the site from the capacity analysis requirements of the County’s Traffic Performance Standards (TPS) as defined in Article 12 of the Palm Beach County Unified Land Development Code (ULDC). Therefore, a traffic statement has been provided in order to identify the trip generation potential for the site. As indicated in Table 1 of the impact evaluation, the proposed redevelopment is projected to generate a decrease of 298 net new external daily trips, a decrease of 19 net new AM peak hour (-3 in, -16 out), and a decrease of 88 net new external PM peak hour (-47 in, -41 out). Based on the trip generation calculations, the proposed redevelopment is a decrease in trips from the current use. The statement was provided to the Palm Beach County Traffic Division for review, and the response was that since the property is located in the TCEA boundary, the proposed development is exempted from the Palm Beach County performance standards.

*It is important to note that the applicant is proposing to close one of the two-way lanes on SE 3rd Avenue during construction. This lane closure would need to be coordinated with the City’s Public Works Department and permitted accordingly. The duration of the lane closure is unknown at this time.

Solid Waste:

Proposed Demand:

Bank Use: $11,586 \text{ g.s.f} \times 3.7\text{lbs} = 42,868.2 / 2,000 = 21.43 \text{ tons per year}$

Retail Use: $2,771 \text{ g.s.f} \times 10.2\text{lbs} = 28,264.2 / 2,000 = 14.13 \text{ tons per year}$

Total Tonnage per year = 35.56 tonnage

- The proposed Pierre Delray I building renovation will add approximately 36 tons of waste per year to the current demand as a result of the increase square footage and use change. The Solid Waste Authority has indicated that its facilities have sufficient capacity to handle all development proposals until the year 2048; thus, meeting concurrency.

**APPENDIX "B" - STANDARDS FOR SITE PLAN ACTIONS Sec. 3.2.3 (A) through (J)**

- A. Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation. **(Existing building)**
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent
- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists, and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent
- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.
- ☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent
- D. The City shall evaluate the effect that any street widening, or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.
- ☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent
- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.
- ☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent
- F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent
- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.
- ☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent
- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability, and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

- I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.
- ☐ Not applicable
 - ☒ Meets intent of standard
 - ☐ Does not meet intent
- J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.
- ☒ Not applicable
 - ☐ Meets intent of standard
 - ☐ Does not meet intent



EXISTING VIEW FROM EAST ATLANTIC AVENUE AND SOUTHEAST 3RD AVENUE

4 DELTA 4 - SPRAB COMMENTS - 11/22/19
2 DELTA 2 - SPRAB COMMENTS - 09/09/19



PIERRE DELRAY I - SPRAB SITE PLAN APPLICATION

OWNER:
CANYON PARTNERS
2000 AVENUE OF THE STARS, 11TH FLOOR
LOS ANGELES, CA., 90067

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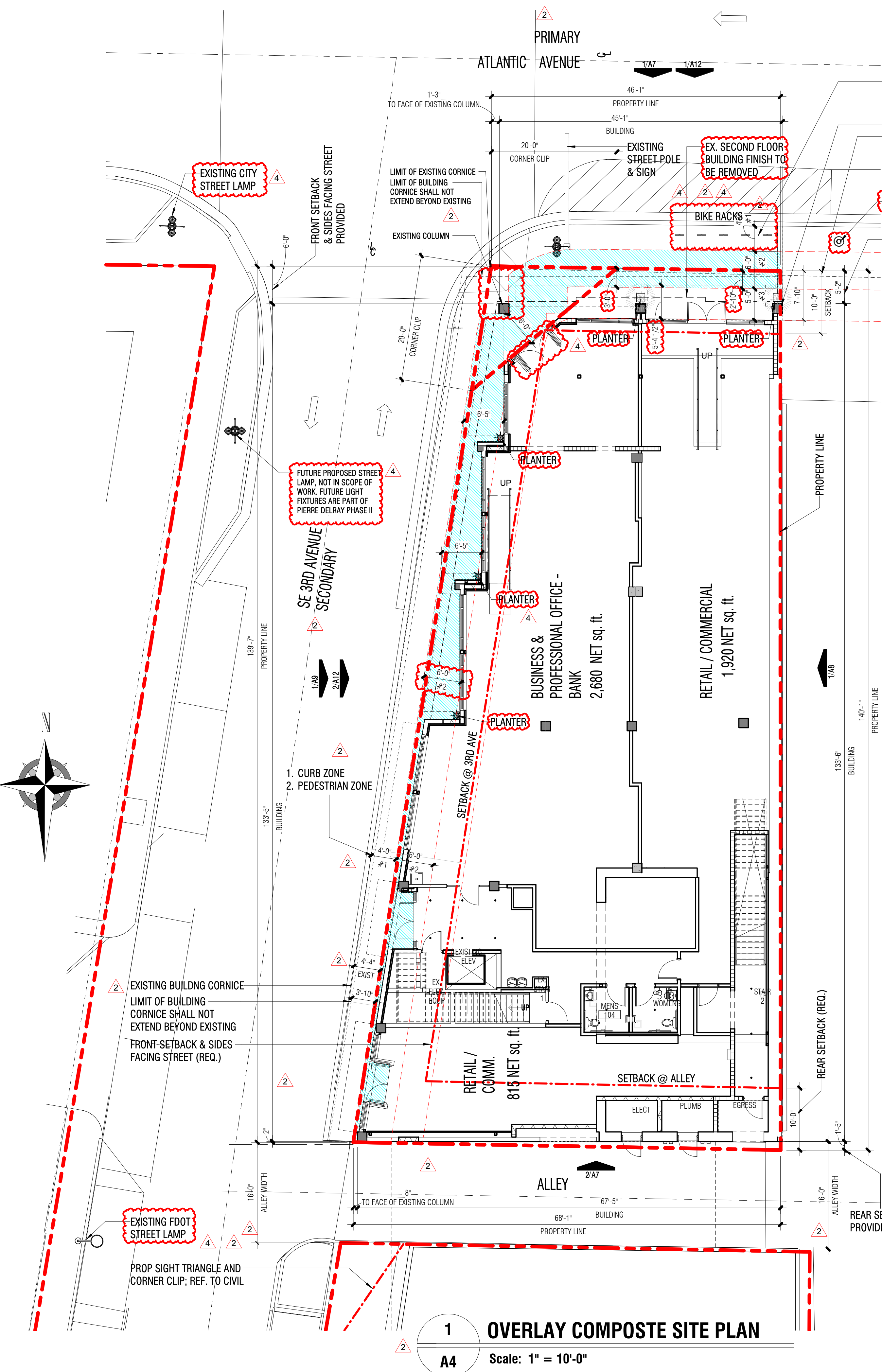
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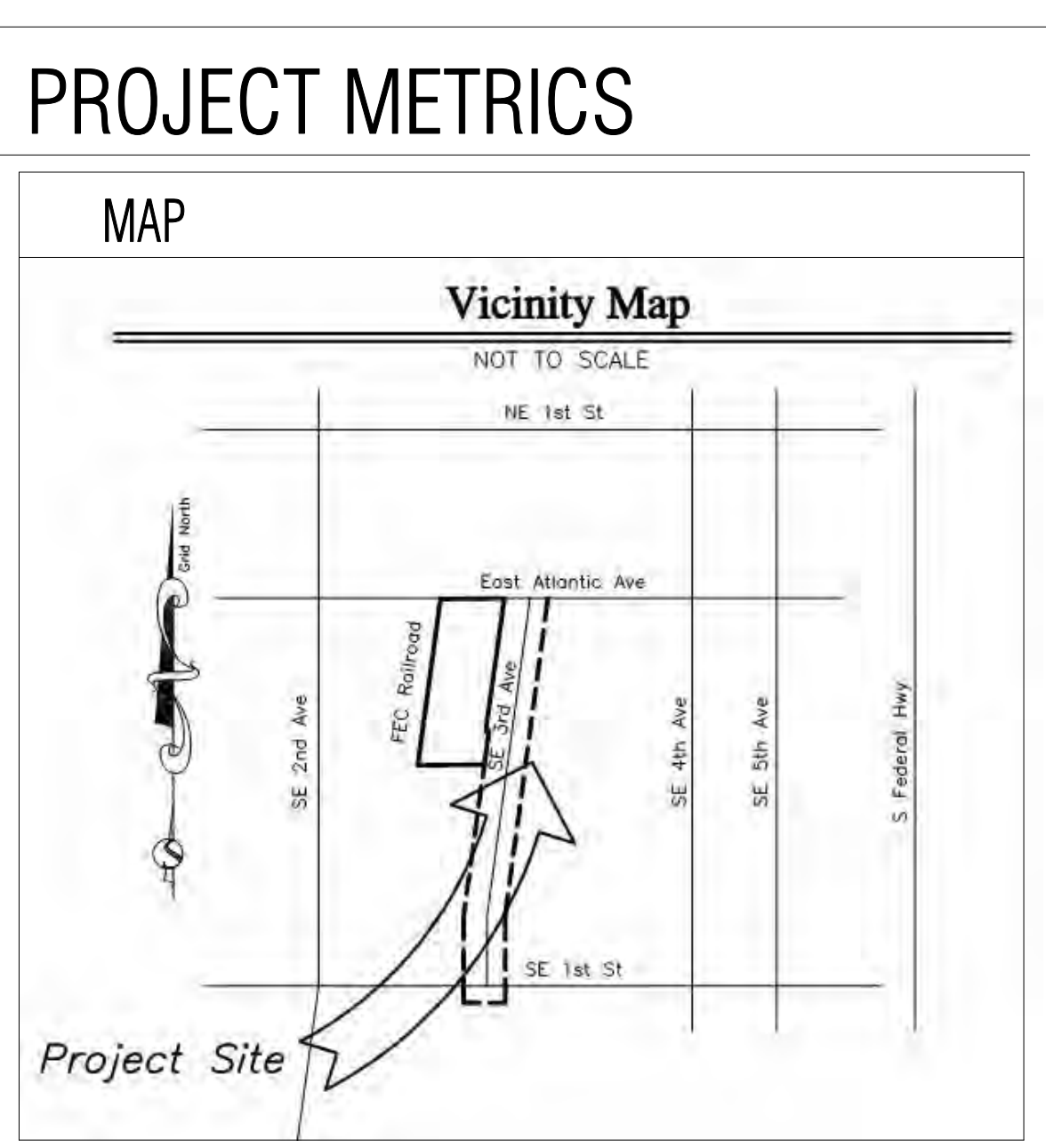
BIKE RACK
COMMENT #30

Pursuant to LDR Section 4.4.13(1)(4), Table 4.4.13 (M), Bicycle Parking Requirement, the minimum number of bicycle parking spaces for retail uses are 1 space per 1,000 sf, and for Profession Offices 1 space per 2,000 sf. The proposed building is 14,357 sq. ft. The gross square footage is composed of 2,771 sf of retail space, and 11,586 sf of business office space. As such, the retail square footage requires 3 spaces (2,771 sf / 1,000 sf), and the business office square footage requires 6 spaces (11,586 sf / 2,000 sf). As result, the project is required to provide 9 bicycle parking spaces. Please provide bicycle parking racks that can accommodate 9 bicycles. You can put the bicycle rack in the curb zone, but the rack has to be perpendicular to Atlantic Avenue so that the bicycles do not stick out into the pedestrian clear zone.

5 BIKE RACKS ARE PROVIDED TO PROVIDE A TOTAL OF 10 BICYCLE SPACES. RACKS ARE PERPENDICULAR TO STREET.

OPENINGS - CITY OF DELRAY BEACH - LDR - CBD

SEC. 4.4.13(F)(5)(a)
(5)Openings. [Amd. Ord. 28-15 12/08/15](a)Building facades facing streets or civic open spaces must have transparent windows covering between 20 percent and 75 percent of the wall area of each story as measured between finished floors. Transparent means non-solar, non-mirrored glass with a light transmission reduction of no more than 20 percent. [Amd. Ord. 28-15 12/08/15]
SEC. 4.4.13(E)(4)(e)
(e)Storefront. The storefront is a frontage type along sidewalk level of the ground story, typically associated with commercial uses. Storefronts are frequently shaded by awnings or arcades.
1.Storefront dimensions. Table 4.4.13(i) provides the dimensional requirements and the maximum allowable encroachment permitted. Figure 4.4.13-23 illustrates the dimensional requirements and Figure 4.4.13-24 provides a chapter example.
2.Storefront setbacks. a. Storefronts shall be directly accessible from sidewalks; storefront doors may be recessed up to ten feet. [Amd. Ord. 28-15 12/08/15]
b. Storefront (window and door) openings shall extend along at least 80 percent of the width of the facade of the commercial space, measured by the sum of the widths of the rough openings.
c. Storefront windows shall have a base nine inches to three feet high.
d. Transparent glazed windows shall extend from the base to at least eight feet in height as measured from sidewalk grade. Transparent means non-solar, non-mirrored, glass with a light transmission reduction of no more than 20 percent.
e. Metal storefront window and door frames shall powder-coated finishes
f. Awnings shall be consistent with the building's architecture and proportionate to the facade opening shape and size. Except for curved awnings, all awnings shall be sloped 15 to 35 degrees from the horizontal plane. Valances shall be no more than 12 inches long. Internally illuminated or plastic awnings are prohibited.
c.Storefronts may be combined with forecourts, porches, or arcades. [Amd. Ord. 28-15 12/08/15]



Legal Description

The land referred to herein below is situated in the County of Palm Beach, State of Florida, and is described as follows:

PARCEL A-1:
A PORTION OF LOT 1, BLOCK 93, OF RE-SUBDIVISION OF BLOCK 93, CITY OF DELRAY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 53, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF BLOCK 93; THENCE EAST ALONG THE PROPERTY LINE OF ATLANTIC AVENUE 23.35 FEET TO A POINT; THENCE SOUTH 71.24 FEET TO A POINT; THENCE WEST AND PARALLEL TO ATLANTIC AVENUE A DISTANCE OF 32.77 FEET TO THE WEST PROPERTY LINE OF SAID BLOCK 93; THENCE NORTHERLY ALONG THE WEST PROPERTY LINE OF SAID BLOCK 93, 72.05 FEET TO THE POINT OF BEGINNING.

PARCEL A-2:
A PORTION OF LOT 1, BLOCK 93, OF RE-SUBDIVISION OF BLOCK 93, CITY OF DELRAY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 53, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF BLOCK 93; THENCE EAST ALONG THE PROPERTY LINE OF ATLANTIC AVENUE 23.35 FEET TO A POINT; THENCE SOUTH TO A POINT ON THE SOUTH LINE OF LOT 1, BLOCK 93, 46.34 FEET EAST OF THE SOUTHWEST CORNER OF SAID LOT 1, BLOCK 93; THENCE WEST ALONG THE SOUTH LINE OF SAID LOT 1, BLOCK 93 TO THE SOUTHWEST CORNER OF SAID LOT; THENCE NORTHERLY ALONG THE WESTERN BOUNDARY OF SAID LOT 1, BLOCK 93 TO THE POINT OF BEGINNING.

LESS THE FOLLOWING DESCRIBED PROPERTY: (LESS PARCEL A-1)
BEGINNING AT THE NORTHWEST CORNER OF BLOCK 93; THENCE EAST ALONG THE PROPERTY LINE OF ATLANTIC AVENUE 23.35 FEET TO A POINT; THENCE SOUTH 71.24 FEET TO A POINT; THENCE WEST AND PARALLEL TO ATLANTIC AVENUE A DISTANCE OF 32.77 FEET TO THE WEST PROPERTY LINE OF SAID BLOCK 93; THENCE NORTHERLY ALONG THE WEST PROPERTY LINE OF BLOCK 93, A DISTANCE OF 72.05 FEET TO THE POINT OF BEGINNING.

PARCEL A-3:
A STRIP OF LAND EXTENDING FROM THE SOUTH LINE OF ATLANTIC AVENUE TO THE NORTH LINE OF THE EAST AND WEST ALLEY RUNNING THROUGH BLOCK 93, OF THE CITY OF DELRAY BEACH (FORMERLY THE TOWN OF LINTON), FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 53, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF BLOCK 9, AS AFORESAID, AND RUNNING THENCE WEST ON THE SOUTH LINE OF ATLANTIC AVENUE OF SAID CITY A DISTANCE OF 1.61 FEET; THENCE SOUTH IN PARROT STREET A DISTANCE OF 141.55 FEET TO A POINT ON THE NORTH LINE OF SAID ALLEY *PRODUCE EAST ALONG THE NORTH LINE OF SAID ALLEY PRODUCED A DISTANCE OF .75 OF A FOOT TO THE SOUTHEAST CORNER OF SAID STRIP, BEING THE SOUTHWEST CORNER OF LOT 1, BLOCK 93, OF SAID CITY; THENCE NORTH ALONG THE WEST BOUNDARY OF SAID BLOCK 93 A DISTANCE OF 141.55 FEET TO THE POINT OF BEGINNING.

PARCEL A-4:
LOT 1, BLOCK 93, OF RE-SUBDIVISION OF BLOCK 93, CITY OF DELRAY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT; BOOK 10, PAGE 53, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

LESS THE FOLLOWING DESCRIBED PROPERTY: (LESS PARCELS A-1 AND A-2)
BEGINNING AT THE NORTHWEST CORNER OF BLOCK 93 OF THE CITY OF DELRAY BEACH, FLORIDA, ACCORDING TO THE PLAT ON FILE IN PLAT BOOK 10, PAGE 53, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THENCE EAST ALONG THE PROPERTY LINE OF ATLANTIC AVENUE 23.35 FEET TO A POINT; THENCE SOUTH TO A POINT ON THE SOUTH LINE OF LOT 1, BLOCK 93, 46.34 FEET EAST OF THE SOUTHWEST CORNER OF SAID LOT 1, BLOCK 93; THENCE WEST ALONG THE SOUTH LINE OF SAID LOT 1, BLOCK 93 TO THE SOUTHWEST CORNER OF SAID LOT 1, BLOCK 93; THENCE NORTHERLY ALONG THE WEST BOUNDARY OF SAID LOT 1, BLOCK 93 TO THE POINT OF BEGINNING.

PARCEL C:
ALL OF THE NORTH 250 FEET OF BLOCK 85, LYING EAST OF THE FLORIDA EAST COAST RAILWAY RIGHT-OF-WAY, IN THE CITY OF DELRAY BEACH, FLORIDA, ACCORDING TO THE PLAT OF THE TOWN OF LINTON (NOW DELRAY BEACH), ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 3, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

LESS THE SOUTH 51 FEET THEREOF.

AND LESS THE FOLLOWING 3 PARCELS:

LESS PARCEL C(a)
(A) LANDS CONVEYED TO THE CITY OF DELRAY BEACH, BY DEED RECORDED IN DEED BOOK 341, PAGE 241, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

LESS PARCEL C(b)
(B) LANDS CONVEYED TO THE CITY OF DELRAY BEACH, BY RIGHT-OF-WAY DEED RECORDED IN DEED BOOK 621, PAGE 115, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

LESS PARCEL C(c)
(C) LANDS CONVEYED TO THELMA A. PRIEST AND O.D. PRIEST, HER HUSBAND, BY DEED RECORDED IN DEED BOOK 721, PAGE 568, EXCEPTING THEREFROM, THE NORTH 1.25 FEET CONVEYED IN DEED BOOK 931, PAGE **524, BOTH OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

PARCEL F:
ALL OF THE NORTH 250 FEET OF BLOCK 85 LYING EAST OF THE FLORIDA EAST COAST RAILROAD RIGHT-OF-WAY IN THE CITY OF DELRAY BEACH, FLORIDA, ACCORDING TO THE PLAT OF THE TOWN OF LINTON (NOW DELRAY BEACH), AS RECORDED IN PLAT BOOK 1, PAGE 3, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

LESS HOWEVER, THAT PORTION OF BLOCK 85 DESCRIBED IN THAT CERTAIN DEED FROM DELRAY PROPERTIES, INC., A FLORIDA CORPORATION TO PARCO, INC., A FLORIDA CORPORATION, DATED APRIL 2, 1957, AND RECORDED APRIL 2, 1957, IN OFFICIAL RECORDS BOOK 38, PAGE 240, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

PARKING CALCULATIONS (INSIDE CBD)

1st FL. PARKING SPACE COUNT	REQUIRED (xx) - TOTAL PROVIDED
LEVEL SURFACE PARKING (RETAIL): 1.0/500 NET SF	2,735 sf : 1.0 sp / 500 sf = 5.47 spaces (6)
1st FL. PARKING SPACE COUNT	
LEVEL SURFACE PARKING (OFFICE): 1.0/500 NET SF	2,680 sf : 1.0 sp / 500 sf = 5.36 spaces (6)
TOTAL 1st FL. SPACES: 12 SPACES	
2nd FL. PARKING SPACE COUNT	
LEVEL SURFACE PARKING (OFFICE): 1.0/500 NET SF	5,619 sf : 1.0 sp / 500 sf = 11.24 spaces (12)
TOTAL 2nd FL. SPACES: 12 SPACES	
REQUIRED SPACES: 24 SPACES*	
* PARKING INCLUDING BICYCLE PARKING PROVIDED ACROSS THE STREET AT PIERRE DELRAY PHASE II 9 BICYCLE SPACES SHOWN	

PER TABLE 4.4.13(L) OF THE CITY OF DELRAY BEACH, FL. BUSINESS AND PROFESSIONAL OFFICE <10,000 SF : 1 SP : 500 SF. (NET) PER LDR SECTION 4.4.13(D)(2)(d) PARKING IS NOT REQUIRED FOR LOTS WITH WIDTH < 65 FT. RETAIL AND COMMERCIAL : 1 SP : 500 SF (NET)

SETBACKS	BUILDING GROSS AREA
LDR, 4.3.4(K)	GROUND FLOOR GROSS AREA 7132 SF
REQUIRED PROVIDED	
A FRONT SETBACK - EAST ATLANTIC AVE. (PRIMARY)	
10 FT. MIN	N.E. 5 FT - 2 IN
15 FT. MAX	N.W. 6 FT - 0 IN
B SIDE SETBACK - SE 3RD AVE. (SECONDARY)	
0 FT.	N.W. 1 FT - 3 IN
0 FT.	S.W. 0 FT - 8 IN
C REAR - ALLEY	
10 FT.	S.W. 0 FT - 2 IN
10 FT.	S.E. 1 FT - 5 IN
SECOND FLOOR GROSS AREA 7225 SF	
TOTAL GROSS AREA 14357 SF	
LOT COVERAGE	BUILDING % INCREASE
LDR, 4.3.4(K)	BUILDING SF CUMULATION OF NEW AND EXISTING SF BASED ON NEW SURVEY. SEE CIVIL
TOTAL LOT AREA: 7,880 SF	EXISTING GROSS SF = 6,771 SF
BUILDING FOOTPRINT: 7,132 SF	NEW ADDITION SF = 361 SF
PAVED AREA: 748 SF	NEW GROSS SF = 7,132 SF
LANDSCAPE AREA: 0 SF	TOTAL PERCENTAGE OF NEW SF = 5.06%
CIVIC SPACE: 0 SF	

NOTE A*:
Regarding Parcel C(a) per Deed Book 341, Page 241: Supplied document was handwritten and recorded in 1924 and is very hard to read. Based on what the Surveyor was able to decipher it is believed that the intention was to keep the width of the public right-of-way for SE 3rd Avenue a distance of 40.00 feet. Surveyor, also believes, that this document may have been recorded in conjunction with Deed Book 818, Page 22 (Parcel A-3) as part of a land swap agreement. Based on the fact that the document was illegible the location and dimension of said Parcel C(a), as depicted hereon, is approximate.

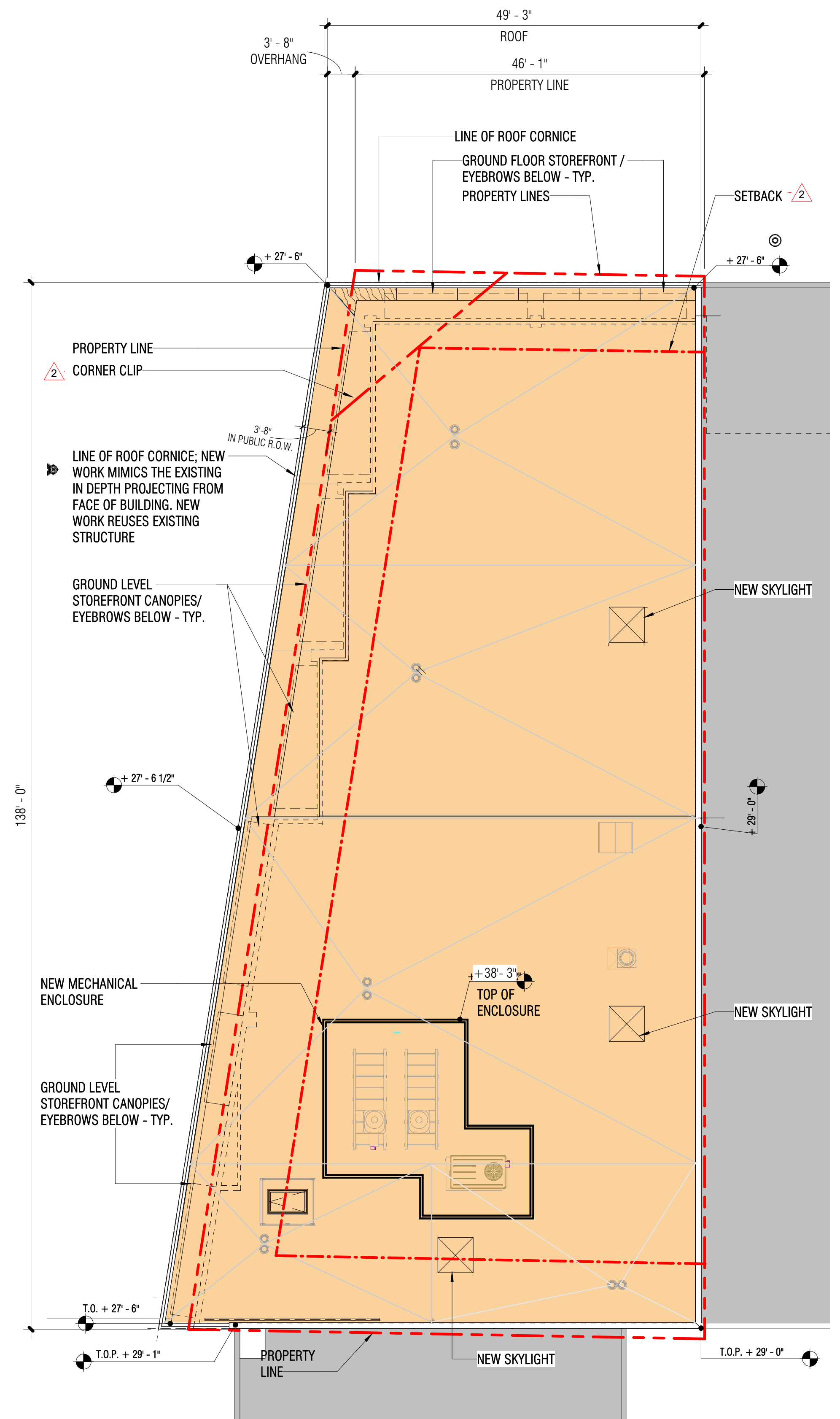
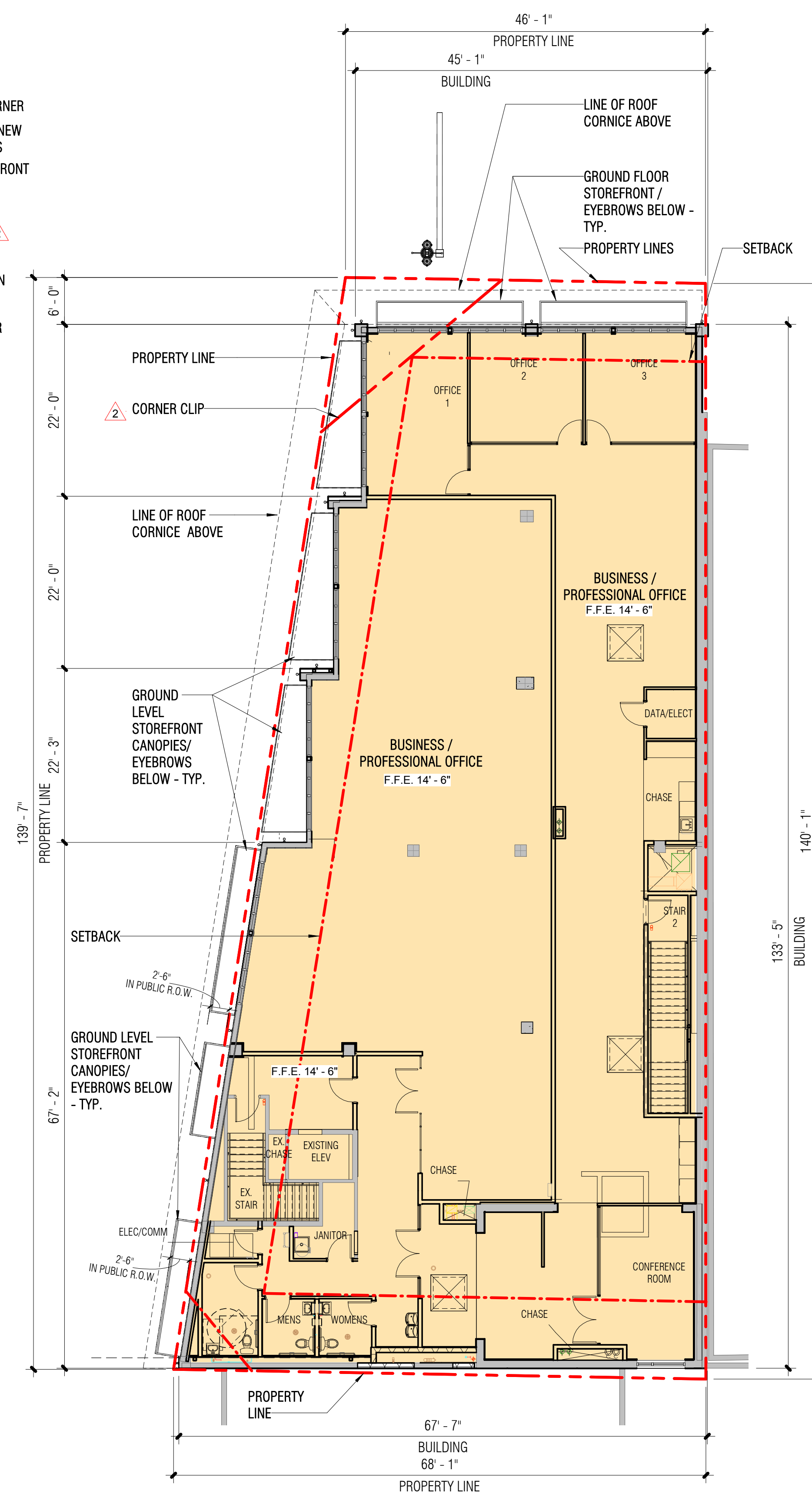
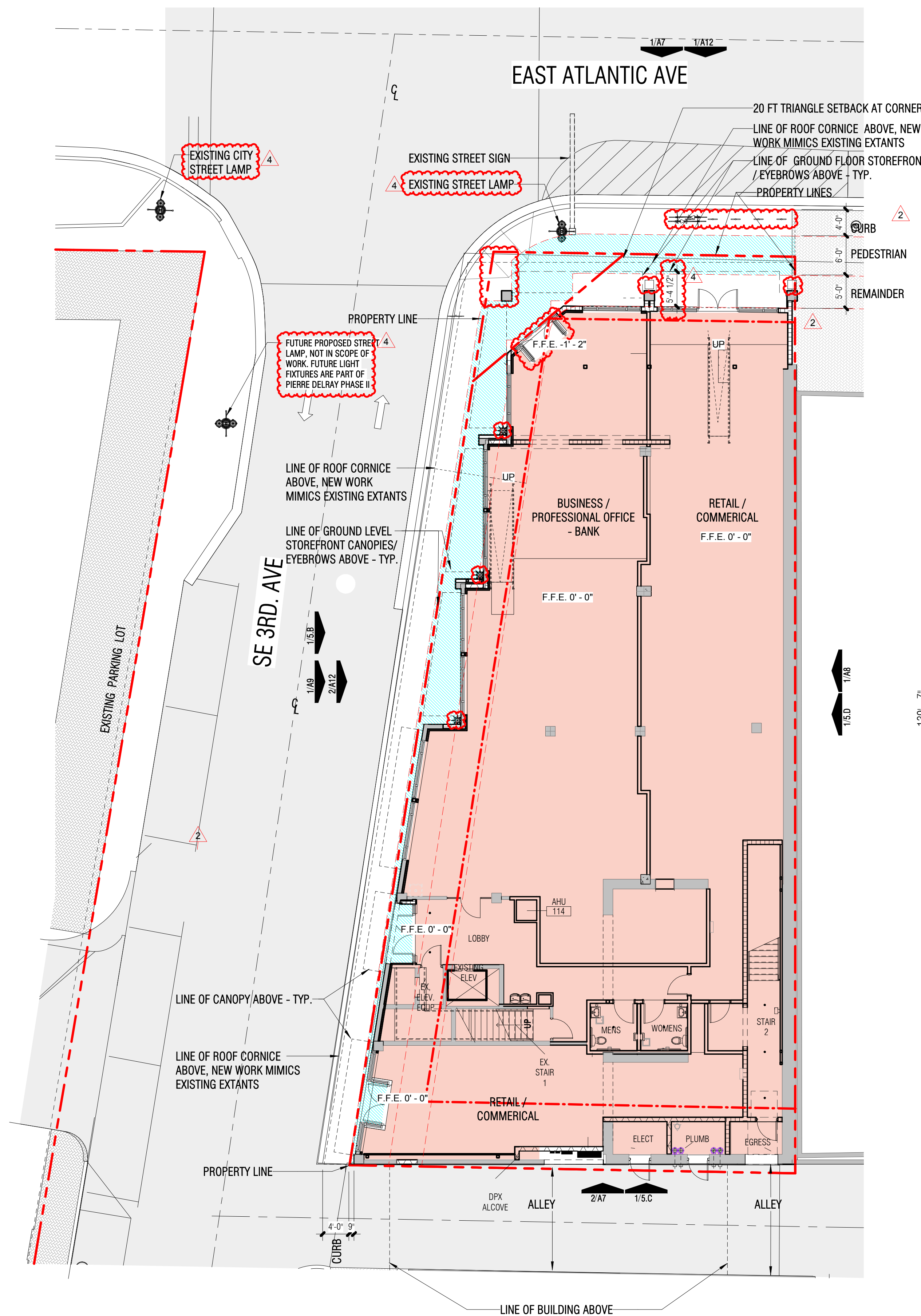
CONTIGUITY NOTES:
Parcels A-1, A-2, A-3 & A-4
The limits of Parcel A-1, A-2, A-3 & A-4 as depicted hereon are contiguous, without gap, gore, hiatus or overlaps.

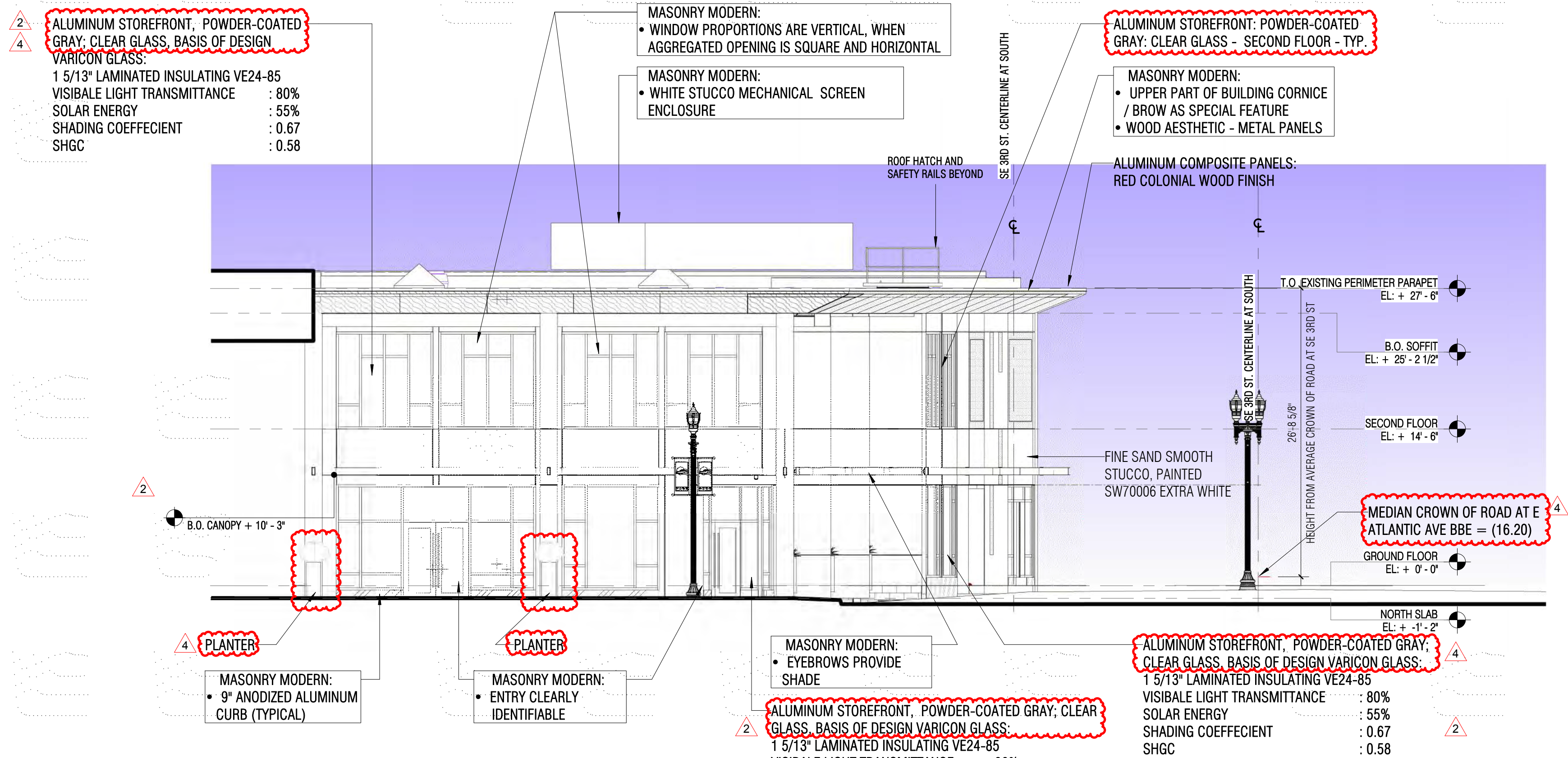
PARCEL C & PARCEL F
The North boundary of Parcel F is contiguous, without gap, gore, hiatus or overlap to the South boundary of Parcel C. The South boundary of Parcel C is contiguous, without gap, gore, hiatus or overlap to the North boundary of Parcel F.

NOTE:
The above description is the same as the one described per Title Commitment File No. 3020-865138 issued by First American Title Insurance Company, bearing an effective date of August 8, 2017 at 8:00 AM.

***SurvTech believes this is a typographical error and potentially read: "protruding West; thence East, along the North line of said alley protruding West,"**

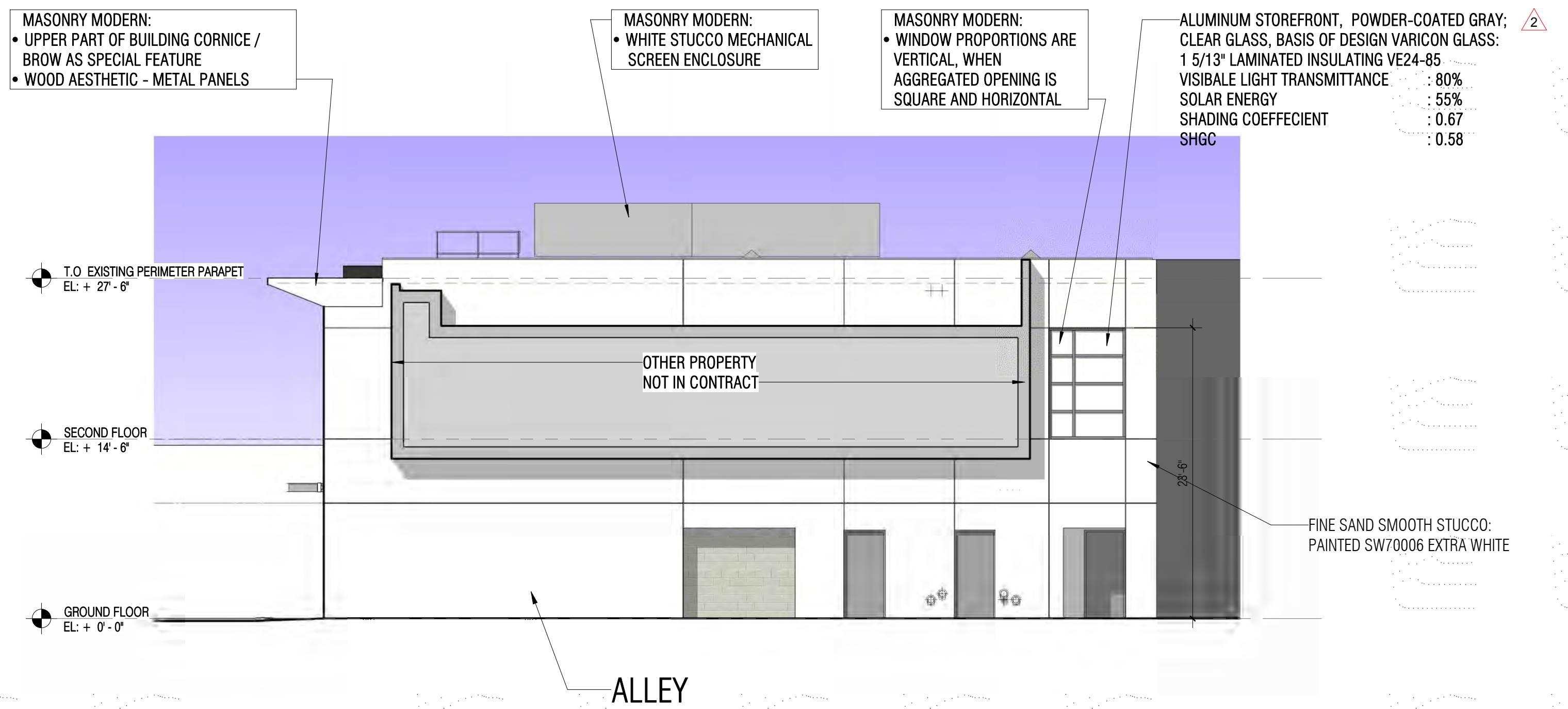
****SurvTech believes this is a typographical error and should read: "594"**





1 NORTH ELEVATION - DP

A7 Scale: 1/8" = 1'-0"



2 SOUTH ELEVATION - DP - ALLEY ELEVATION

A7 Scale: 1/8" = 1'-0"

OPENINGS - CITY OF DELRAY BEACH - LDR - CBD

- SEC. 4.4.13(F)(5)(a)
(5)Openings. [Amd. Ord. 28-15 12/08/15](a)Building façades facing streets or civic open spaces must have transparent windows covering between 20 percent and 75 percent of the wall area of each story as measured between finished floors. Transparent means non-solar, non-mirrored glass with a light transmission reduction of no more than 20 percent. [Amd. Ord. 28-15 12/08/15]
SEC. 4.4.13(E)(4)(e)
(e)Storefront.
The storefront is a frontage type along sidewalk level of the ground story, typically associated with commercial uses. Storefronts are frequently shaded by awnings or arcades.
1.Storefront dimensions. Table 4.4.13(i) provides the dimensional requirements and the maximum allowable encroachment permitted. Figure 4.4.13-23 illustrates the dimensional requirements and Figure 4.4.13-24 provides a character example.
a. Storefronts shall be directly accessible from sidewalks; storefront doors may be recessed up to ten feet. [Amd. Ord. 28-15 12/08/15]
b. Storefront (window and door) openings shall extend along at least 80 percent of the width of the facade of the commercial space, measured by the sum of the widths of the rough openings.
c. Storefront windows shall have a base nine inches to three feet high.
2.Storefront elements.
a. Storefronts shall have either awnings or an arcade. Awnings shall project a minimum of five feet from the building facade. Arcade shall meet the Arcade frontage standards in Section 4.4.13(E)(4)(i).
b. Awnings shall be consistent with the building's architecture and proportionate to the facade opening shape and size. Except for curved awnings, all awnings shall be sloped 15 to 35 degrees from the horizontal plane. Valances shall be no more than 12 inches long. Internally illuminated or plastic awnings are prohibited.
c.Storefronts may be combined with forecourts, porches, or arcades. [Amd. Ord. 28-15 12/08/15]
d. Transparent glazed windows shall extend from the base to at least eight feet in height as measured from sidewalk grade. Transparent means non-solar, non-mirrored, glass with a light transmission reduction of no more than 20 percent.
e. Metal storefront window and door frames shall powder-coated finishes



- 4 PLANTS
NORTH SIDE: FIDDLE LEAF FIG
WEST SIDE (WILL WORK AT NORTH SIDE): SNAKE PLANT ('SPEAR', 'HEMP', ETC.)
BEGONIA ODOURATA: BEGONIA 'WHITE ANGEL'
NOTE: PLANTINGS SHOWN IN ELEVATION ARE FOR DEMONSTRATION ONLY

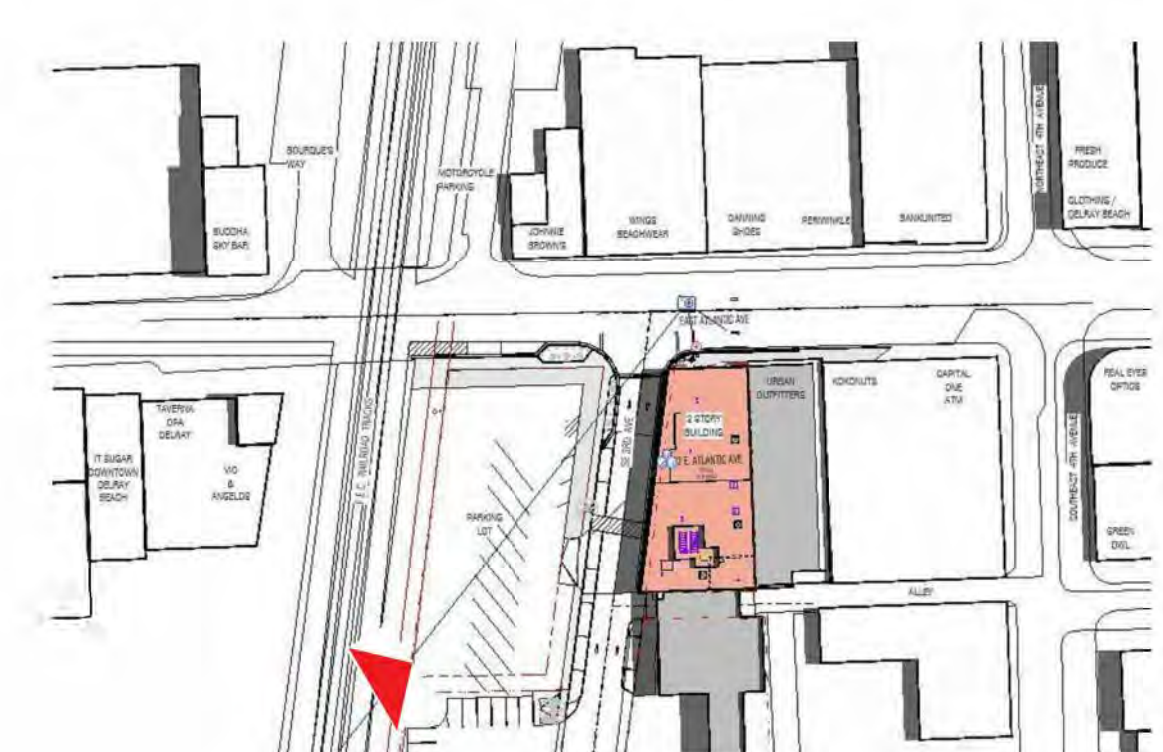
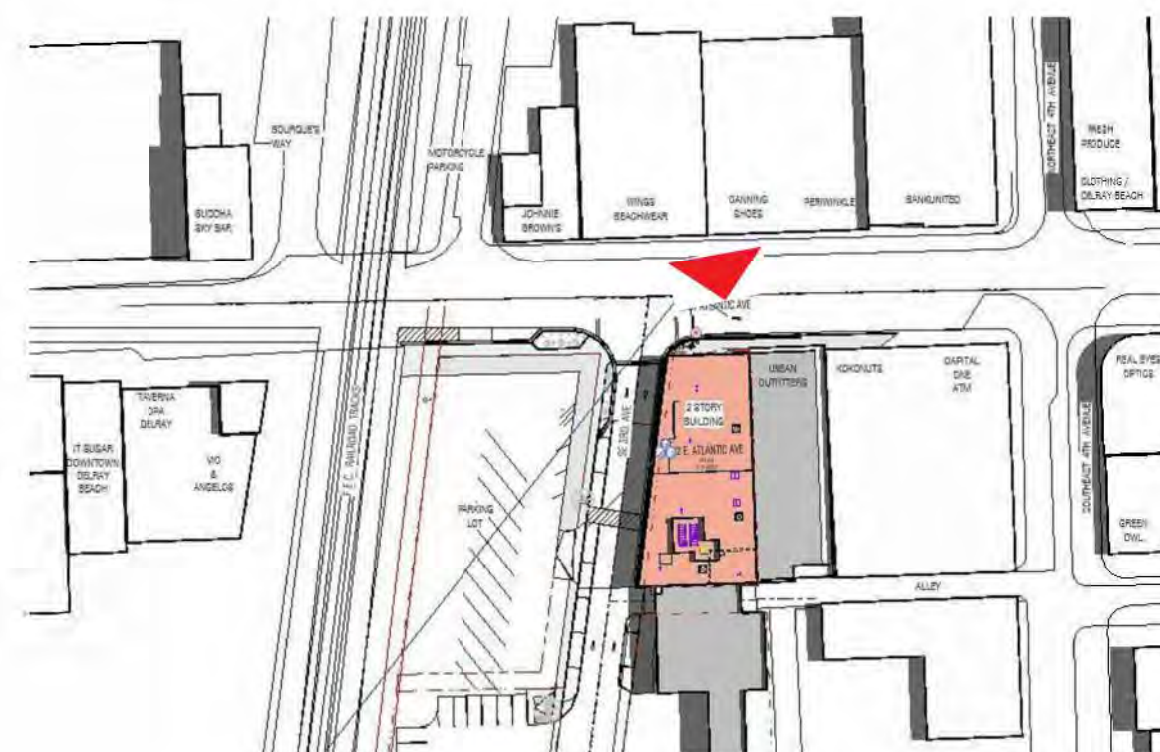
PERSPECTIVE FROM EAST ATLANTIC AVENUE LOOKING SOUTH

A7 Scale:



PERSPECTIVE FROM EXISTING PARKING LOT LOOKING EAST ACROSS SE 3RD AVENUE

A7 Scale:



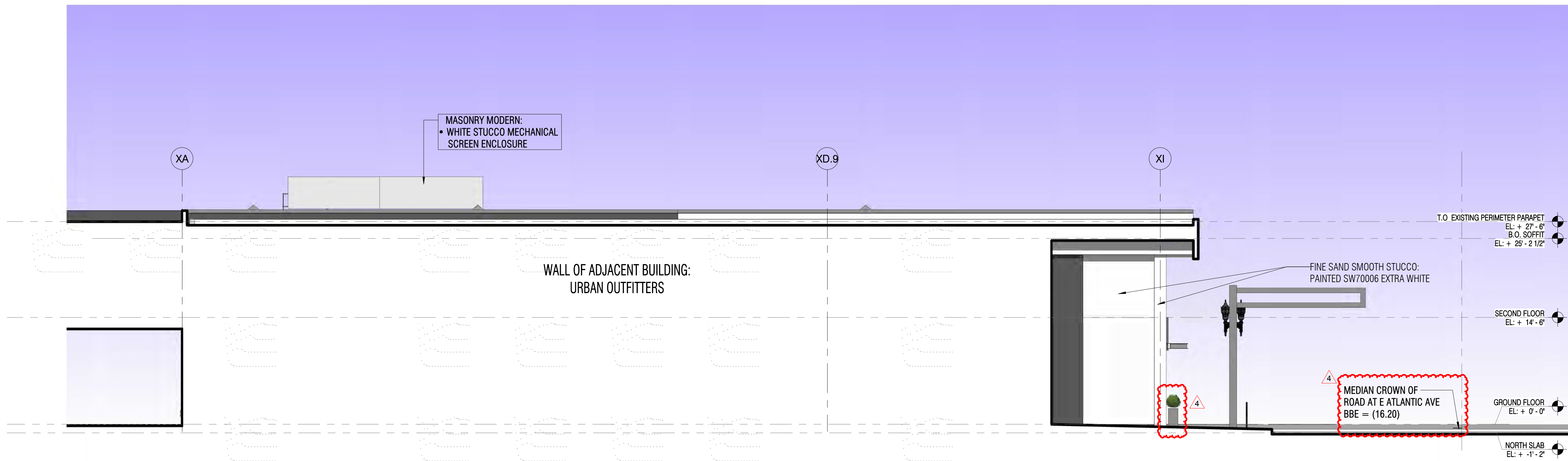
OPENINGS - CITY OF DELRAY BEACH - LDR - CBD

SEC. 4.4.13(F)(5)(a)
 (5)Openings. [Amd. Ord. 28-15 12/08/15](a)Building facades facing streets or civic open spaces must have transparent windows covering between 20 percent and 75 percent of the wall area of each story as measured between finished floors. Transparent means non-solar, non-mirrored glass with a light transmission reduction of no more than 20 percent. [Amd. Ord. 28-15 12/08/15]

SEC. 4.4.13(E)(4)(e)
 (e)Storefront. The storefront is a frontage type along sidewalk level of the ground story, typically associated with commercial uses. Storefronts are frequently shaded by awnings or arcades.

1.Storefront dimensions. Table 4.4.13(f) provides the dimensional requirements and the maximum allowable encroachment permitted. Figure 4.4.13-23 illustrates the dimensional requirements and Figure 4.4.13-24 provides a character example.

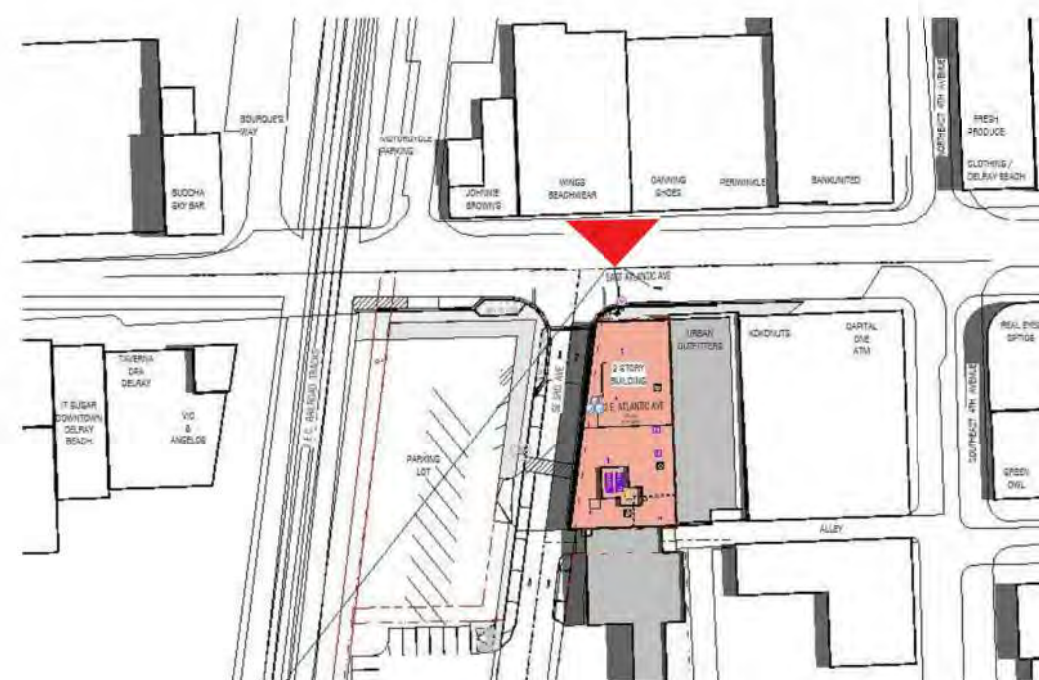
2.Storefront glazing.
 a. Storefronts shall be directly accessible from sidewalks. Storefront doors may be recessed up to ten feet. [Amd. Ord. 28-15 12/08/15]
 b. Storefront (window and door) openings shall extend along at least 80 percent of the width of the facade of the commercial space, measured by the sum of the widths of the rough openings.
 c. Storefront windows shall have a base nine inches to three feet high.
 d. Transparent glazed windows shall extend from the base to at least eight feet in height as measured from sidewalk grade. Transparent means non-solar, non-mirrored, glass with a light transmission reduction of no more than 20 percent.
 e. Metal storefront window and door frames shall powder-coated finishes.
 f. Awnings shall project a minimum of five feet from the building facade. Arcade shall meet the Arcade frontage standards in Section 4.4.13(E)(4)(f).
 g. Awnings shall be consistent with the building's architecture and proportionate to the facade opening shape and size. Except for curved awnings, all awnings shall be sloped 15 to 35 degrees from the horizontal plane. Valances shall be no more than 12 inches long. Internally illuminated or plastic awnings are prohibited.
 h. Storefronts may be combined with forecourts, porches, or arcades. [Amd. Ord. 28-15 12/08/15]



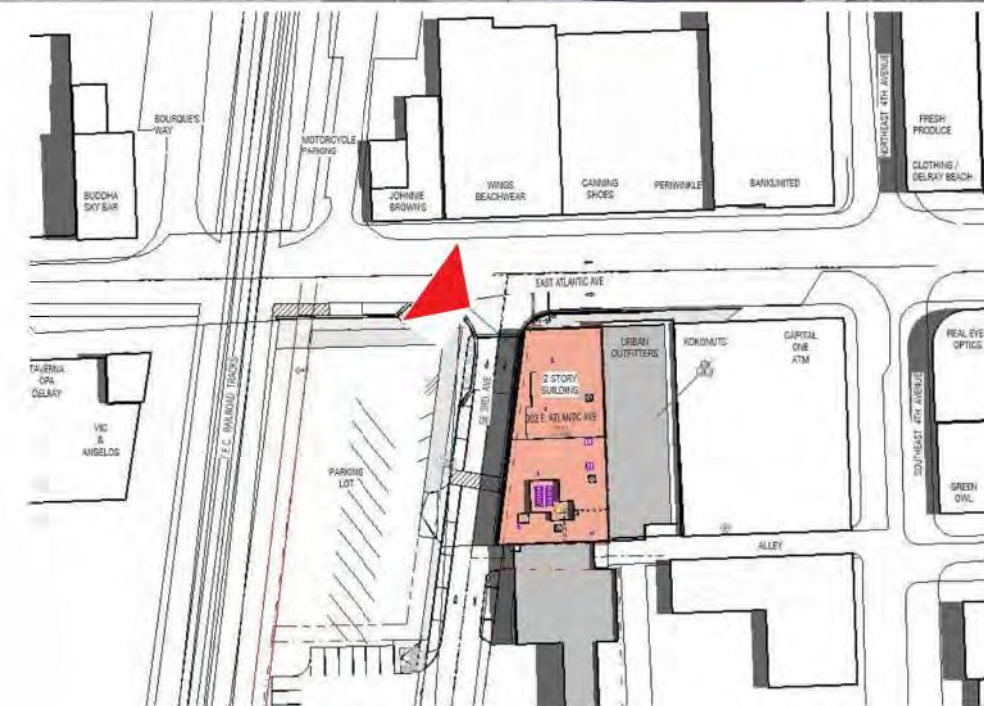
1 EAST ELEVATION - DP
 A8 Scale: 1/8" = 1'-0"

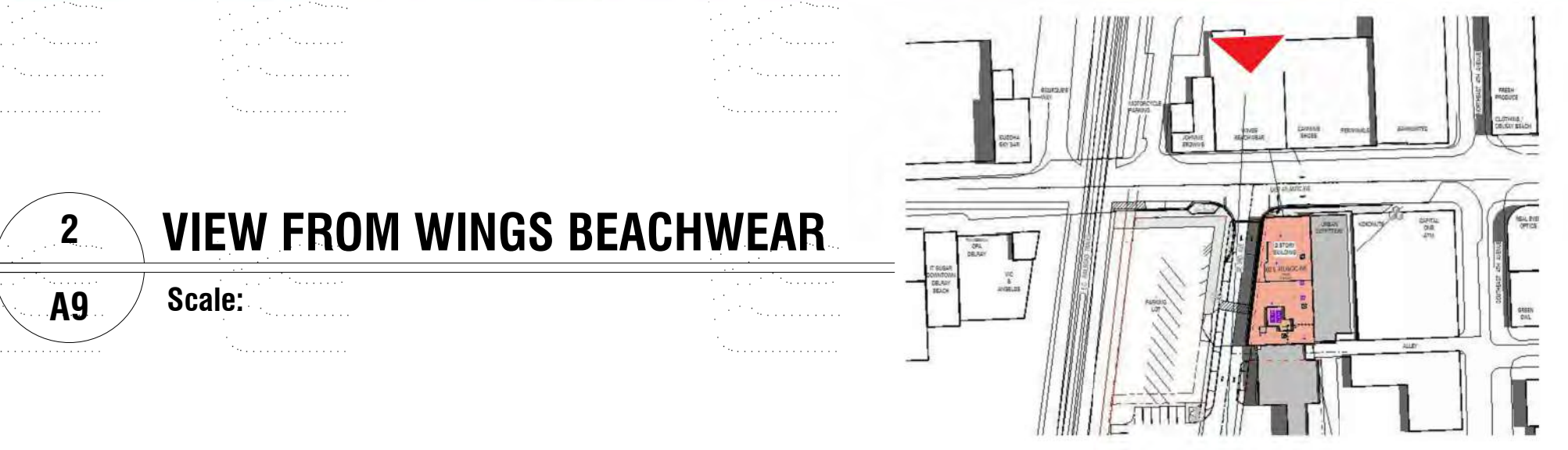
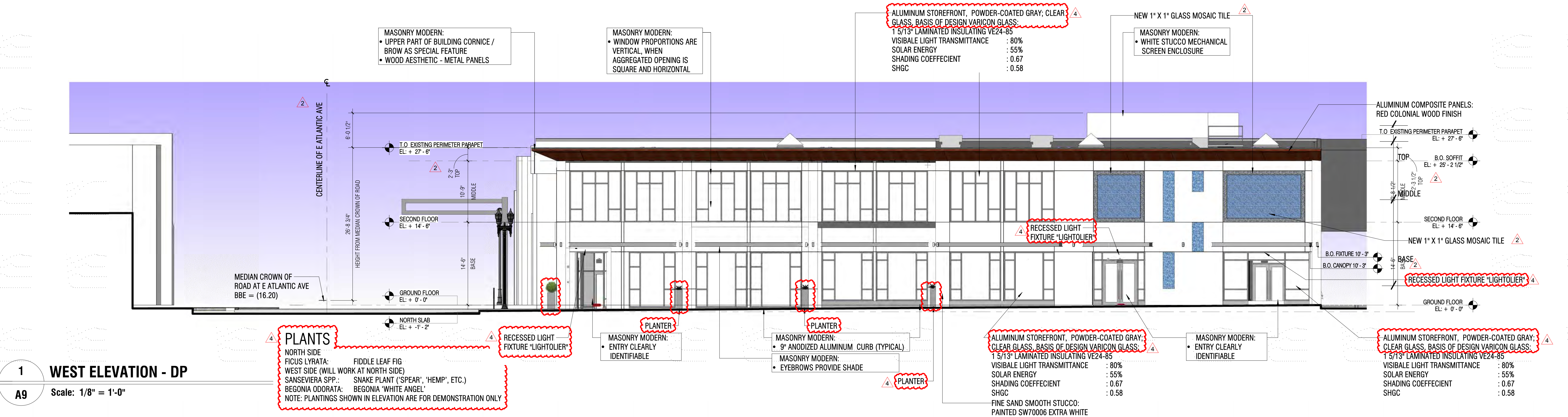


2 PERSPECTIVE FROM EAST ATLANTIC AVE LOOKING SOUTH
 A8 Scale:



3 PERSPECTIVE FROM EAST ATLANTIC AVE & SE 3RD AVE
 A8 Scale:





OPENINGS - CITY OF DELRAY BEACH - LDR - CBD

SEC. 4.4.13(F)(5)(e)

(f) Openings. [Am. Ord. 28-15 12/08/15](g) Building facades facing streets or civic open spaces must have transparent windows covering between 20 percent and 75 percent of the wall area of each story as measured between finished floors. Transparent means non-solar, non-mirrored glass with a light transmission reduction of no more than 20 percent. [Am. Ord. 28-15 12/08/15]

SEC. 4.4.13(E)(4)(e)

(e) Storefront.

The storefront is a frontage type along sidewalk level of the ground story, typically associated with commercial uses. Storefronts are frequently shaded by awnings or arcades.

1. Storefront dimensions. Table 4.4.13(i) provides the dimensional requirements and the maximum allowable encroachment permitted. Figure 4.4.13-23 illustrates the dimensional requirements and Figure 4.4.13-24 provides a character example.

2. Storefronts shall be directly accessible from sidewalks; storefront doors may be recessed up to ten feet. [Am. Ord. 28-15 12/08/15]

a. Storefront (window and door) openings shall extend along at least 80 percent of the width of the facade of the commercial space, measured by the sum of the widths of the rough openings.

b. Storefront windows shall have a base nine inches to three feet high.

c. Storefront windows shall have a base nine inches to three feet high.

d. Transparent glazed windows shall extend from the base to at least eight feet in height as measured from sidewalk grade. Transparent means non-solar, non-mirrored, glass with a light transmission reduction of no more than 20 percent.

e. Metal storefront window and door frames shall powder-coated finishes

2. Storefront dimensions.

a. Storefronts shall have either awnings or an arcade. Awnings shall project a minimum of five feet from the building facade. Arcade shall meet the Arcade frontage standards in Section 4.4.13(E)(4)(i).

b. Awnings shall be consistent with the building's architecture and proportionate to the facade opening shape and size. Except for curved awnings, all awnings shall be sloped 15 to 35 degrees from the horizontal plane. Valances shall be no more than 12 inches long. Internally illuminated or plastic awnings are prohibited.

c. Storefronts may be combined with forecourts, porches, or arcades. [Am. Ord. 28-15 12/08/15]



ROOF FINISH SPECIFICATION RESPONSE

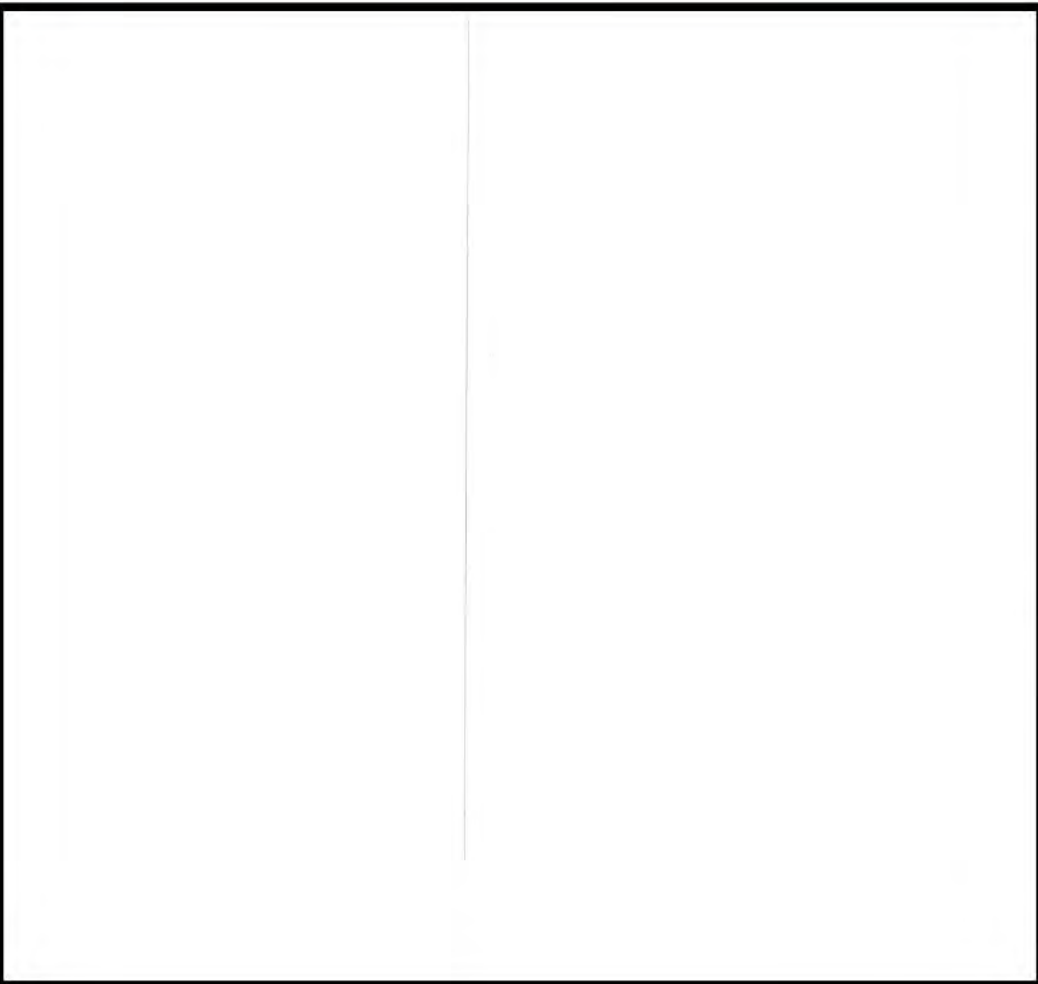
<div>In response to the City review comment:</div> <div><ul style="list-style-type: none">The specifications 075423 Thermoplastic-Polyolefin (TPO) Roofing indicated Carlisle as the basis-of-design manufacturer, with Firestone, GAF and Johns Manville as other approved manufacturers.</div>	
<div>2.2. MANUFACTURERS</div> <div>A. Basis-of-Design Manufacturer: Carlisle SynTec Systems, www.carlsilesyntec.com.</div> <div>B. Other Approved Manufacturers: One of the following, meeting Project requirements and possessing Notice of Acceptance (NOA) reviewed and accepted by Miami-Dade County Department of Regulatory and Economic Resources (RER) Product Control Section for use in Miami Dade County and allowed by the local Authority Having Jurisdiction (AHJ).</div> <div><div>1. Firestone Building Products Co.; www.firestonebpc.com.</div><div>2. GAF; www.gaf.com.</div><div>3. Johns Manville; www.jm.com.</div></div>	<div><ul style="list-style-type: none">Drawings Indicated GAF as the basis-of-design</div> <div><div>NORTH ROOF SYSTEM:</div><div>1. AFTER REMOVING ALL EXISTING BUR TO EXISTING DECK.</div><div>2. NEW VAPOR BARRIER ADHERED TO EXISTING TECTUM DECK.</div><div>3. NEW LWIC DECK SLOPED TO DRAIN; HOLEY BOARD 250, REQUIRED TO ACHIEVE R-20ci, TO 4.5" DEPTH.</div><div>4. FINAL GAF 60 MIL TPO ROOF SYSTEM APPLIED.</div><div>5. REFER TO NOA'S, REF. TO MFR INSTALLATION AND MAINTENANCE GUIDELINES.</div><div>6. PROVIDE ROOF PAD TO PREVENT DEBRIS PENETRATIONS THRU TPO DURING CONSTRUCTION.</div></div> <div><div>SOUTH ROOF SYSTEM:</div><div>1. AFTER REMOVING ALL EXISTING BUR TO EXISTING DECK.</div><div>2. NEW VAPOR BARRIER APPLIED TO EXISTING DECK.</div><div>3. NEW LWIC DECK SLOPED TO DRAIN, HOLEY BOARD 250, REQUIRED TO ACHIEVE R020ci, TO 4.5" DEPTH.</div><div>4. FINAL GAF 60 MIL TPO ROOF SYSTEM APPLIED.</div><div>5. REFER TO NOA'S, REF. TO MFR INSTALLATION AND MAINTENANCE GUIDELINES.</div><div>6. PROVIDE ROOF PADS TO PREVENT DEBRIS PENETRATIONS THRU TPO DURING CONSTRUCTION.</div></div>
<div>2.3. THERMOPLASTIC POLYOLEFIN (TPO) ROOFING</div> <div>A. TPO Sheet: ASTM D6878/D6878M, internally fabric- or scrim-reinforced, fabric-backed TPO sheet.</div> <div><div>1. Basis-of-Design Product: Sure-Weld FleeceBack 115 TPO Fully Adhered Roofing System by Carlisle SynTec Systems.</div><div>a. Manufacturer's Notice of Acceptance (NOA) No. 17-1227.05.</div><div>2. Thickness: 60 mils membrane thickness; 55 mils fleece backing, 115 mils total thickness.</div><div>3. Exposed Face Color: White.</div></div>	<div><ul style="list-style-type: none">The Part 2 - Performance Requirements articles includes energy performance for solar reflectance and emissivity to provide high-performing, energy-efficient roofing. Although the specified requirement of 0.70 for reflectance exceeds the LDR requirements noted (0.65 new, 0.50 aged), the specified requirement of 0.75 for emissivity does not meet the LDR requirements noted (0.90).</div> <div><div>F. Energy Performance: Roofing system shall have an initial solar reflectance of not less than 0.70 and an emissivity of not less than 0.75 when tested according to CRRC-1.</div><div>G. Exterior Fire-Test Exposure: ASTM E108 or UL 790, Class A, for application and roof slopes indicated, testing by a qualified testing agency. Identify products with appropriate markings of applicable testing agency.</div></div> <div><ul style="list-style-type: none">However, the manufacturers' standard "White" color TPO membrane products from Carlisle (specified) and GAF (in drawings) both meet the requirements of the LDR: Carlisle Sure-Weld TPO (refer to attached product data sheet):<ul style="list-style-type: none">Energy Star Solar Reflectance, Initial: 0.79Energy Star Solar Reflectance, 3-year: 0.70Solar Reflectance Index (SRI), Initial: 0.99Solar Reflectance Index (SRI), 3-year: 0.85CRRC Thermal Emittance, Initial: 0.90GAF EverGuard TPO (refer to attached product data sheet):<ul style="list-style-type: none">Energy Star Solar Reflectance, Initial: 0.76Energy Star Solar Reflectance, 3-year: 0.68Solar Reflectance Index (SRI), Initial: 0.94Solar Reflectance Index (SRI), 3-year: 0.81CRRC Thermal Emittance, Initial: 0.90</div>



ALUMINUM COMPOSITE PANEL
BASIS OF DESIGN: REYNOBOND -
COLONIAL RED; FAUX-WOOD FINISH
WITH GRAIN
MOUNT TO PANEL CHANNEL
SUBFRAMING



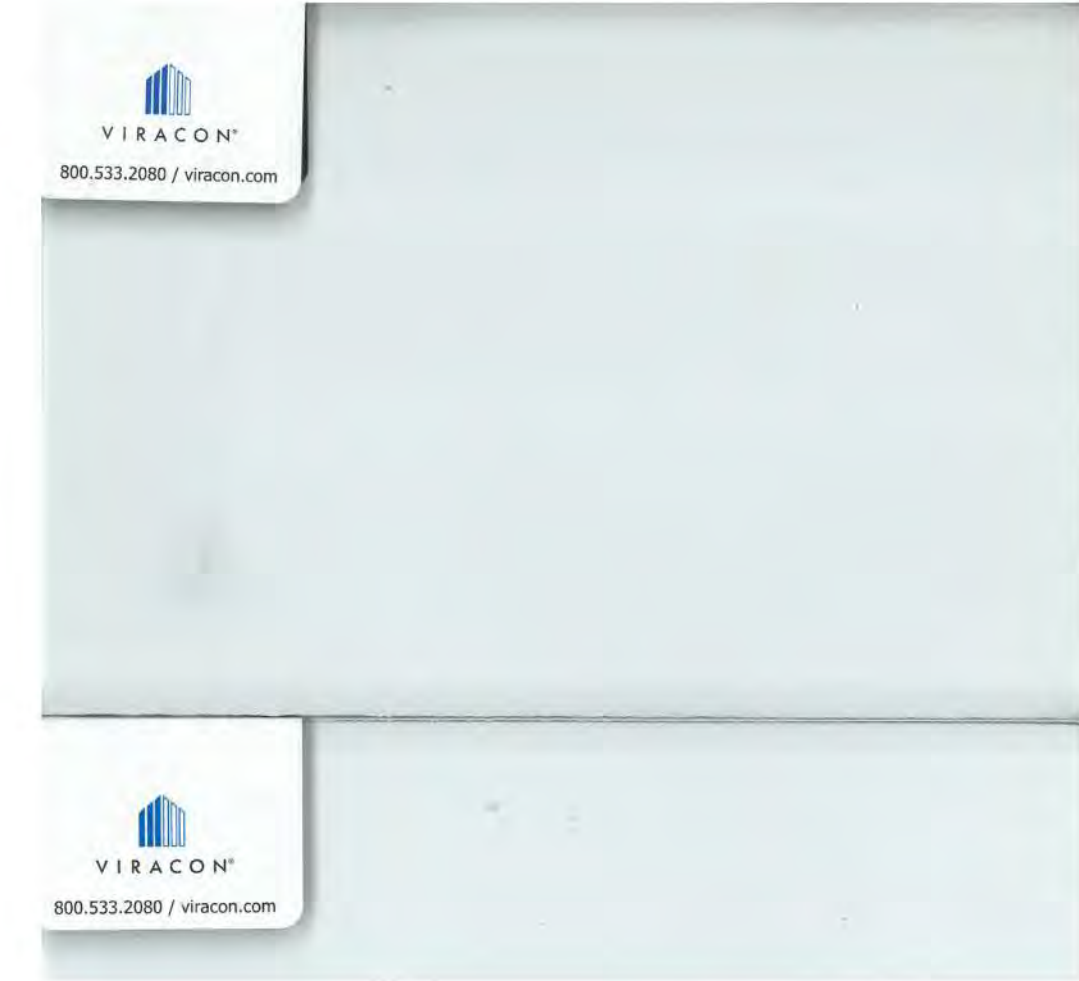
STUCCO
3-PART CEMENTICIOUS STUCCO; FINE
SAND SMOOTH
PAINTED SHERWIN WHILLIAMS
SW7005 PURE WHITE



PAINT
SW7005 PURE WHITE
R: 237 G: 236 B: 230
Hex Value: #edece6
LRV: 84
Light Reflective Value: 84 (High)
Color Collections: Acute Care Cool
Foundations, ABC's and 123's, Inbe Tweens,
Teen Space, Trendsetter, Dreamer, Timeless
White, Pottery Barn - Fall/Winter 2019



ALUMINUM STOREFRONT MULLIONS
BASIS OF DESIGN: KAWNEER 451T,
POWDER-COATED DOVE GRAY



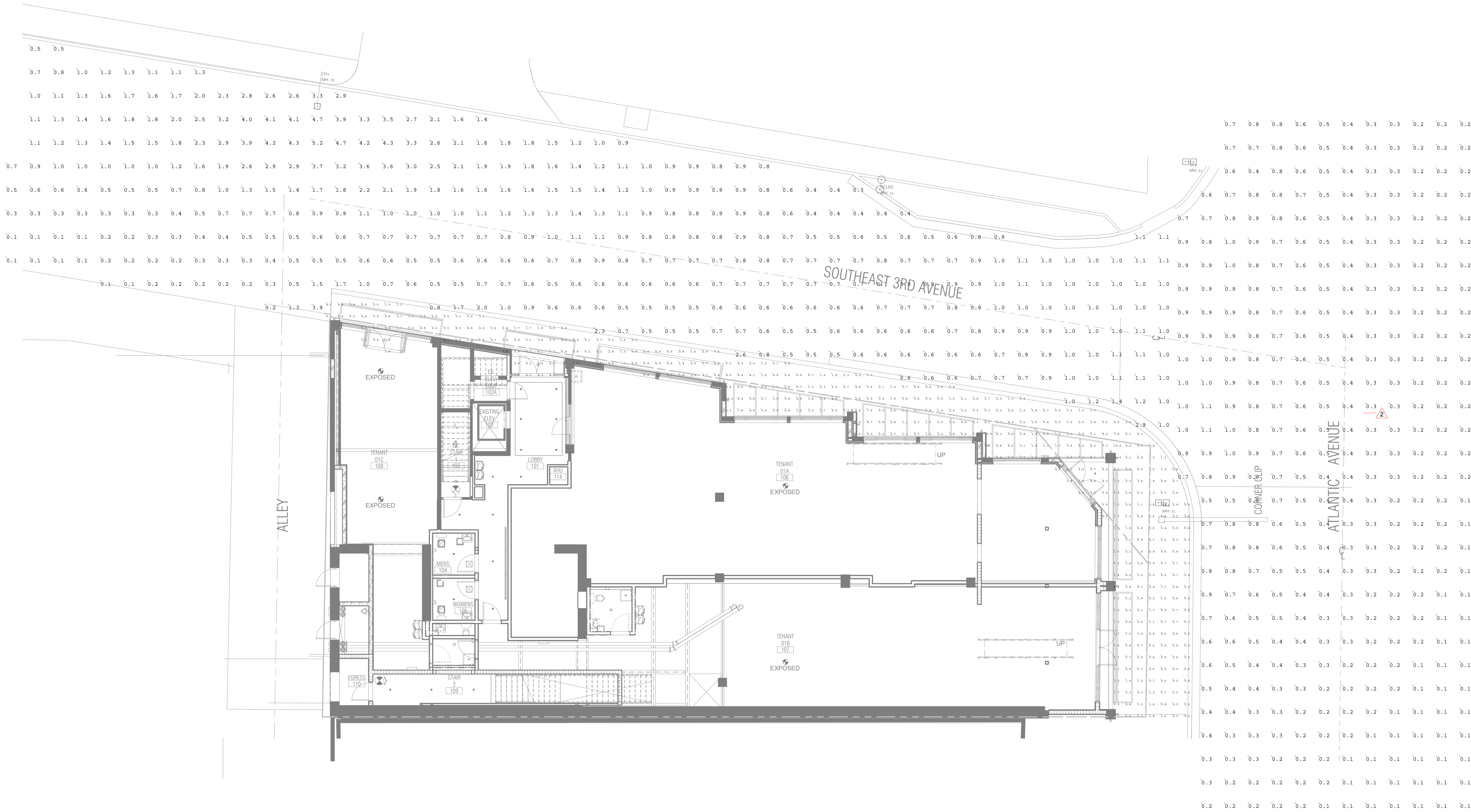
GLASS
VIRACON
1 5/16" (25mm) Insulating VE24-85
PERFORMANCE DATA
Transmittance
Visible Light: 80%
Solar Energy: 55%
UV: <1%
Reflectance
Visible Light-Exterior: 16%
Visible Light-Interior: 16%
Solar Energy: 30%
NFRC U-Value
Winter: 0.46 Btu/(hr x sqft x °F)
Summer: 0.47 Btu/(hr x sqft x °F)
Shading Coefficient (SC): 0.67
Relative Heat Gain: 140 Btu/(hr x sqft)
Solar Heat Gain Coefficient (SHGC) 0.58
LSG: 1.38



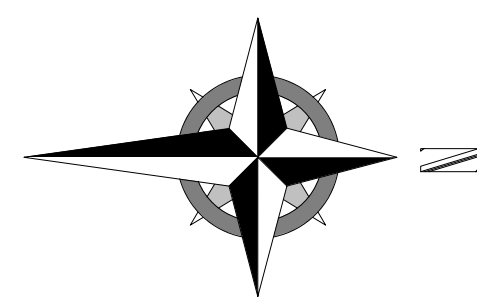
TILE
MARKET COLLECTION- VIHARA
Vinyasa - Silk
1" x 1" Blue Tile



MARKET COLLECTION - VIHARA
Akasha - Silk
1" x 1" Gray Tile



1 PHOTOMETRIC PLAN
A14a Scale: 1/8" = 1'-0"



Luminaire Schedule							
Symbol	Qty	Label	Tag	Description	Lum. Watts	Lum. Lumens	LLF
	3	OE	Lighttoller	C6RN-C6L5827M210U-C6RDLC (500 Lumens)	9	995	0.450
	14	OA	V2 Lighting	K3RL-N-V-D-07832760-NN-(FINISH)	5.6	613	0.900
	3	SC1	Existing	(2)WSH-HP100-182-PS11 MH: 21'	100	7487	0.500
	1	CH1	Existing	100 HPS CobraHead MH: 25'	116.21	7414	1.000
	1	SCLED	Spring City	(2)DLR-LE040_EVX-X2-40-CR4-GR18-HS MH: 21'	40	3118	0.720
[LAMP]							
						2700 K	
						2700 K	
						100W HPS - 9,500 Lumens	
						(1) 100W HPS ED-23A1/2 Clear	
						72 white LEDs	

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Atlantic Avenue	Illuminance	Fc	0.42	1.1	0.1	4.20	11.00
Exterior Calcs	Illuminance	Fc	2.88	11.0	0.0	N.A.	N.A.
Southeast St	Illuminance	Fc	1.10	5.2	0.1	11.00	52.00

