



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Lionfish
Project Location: 307 E. Atlantic Avenue
Request: Class I Site Plan Modification
PCN: 12-43-46-16-01-092-0060
Board: Site Plan Review and Appearance Board
Meeting Date: December 18, 2019
Board Vote: Approved on a 6-0 vote

Board Action:

Approved (6-0 Price Patton absent)

Project Description:

The subject property is located on the north side of East Atlantic Avenue at SE 3rd Avenue within the Central Business District (CBD) and consists of Town of Delray Lt 6 & S 9.85 ft of E .27 ft of Lt 7 blk 92. The Main Street Vernacular style structure property contains a single-story commercial building originally constructed in 1955. Its current use is a restaurant.

The Class I Site Plan Modification consists of minor façade changes which includes the addition of nana doors along the front facade, which will not create any new openings to the storefront of the existing restaurant but will enclose the outdoor seating from inclement weather. The exterior brick cladding in whitewash finish.

Board Comments:

N/A

Public Comments:

N/A

Associated Actions:

N/A

Next Action: The SPRAB action is final unless appealed by the City Commission.



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

DEVELOPMENT SERVICES DEPARTMENT

100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: December 18, 2019

File No.: 2020-040 SPF-SPR-
CLI

Application Type: Class I Site Plan Modification

General Data:

Owner: Menin Development

Location: 307 E. Atlantic Avenue

PCN: 12-43-46-16-01-092-0060

Property Size: 0.12 Acres

FLUM: CC (Commercial Core)

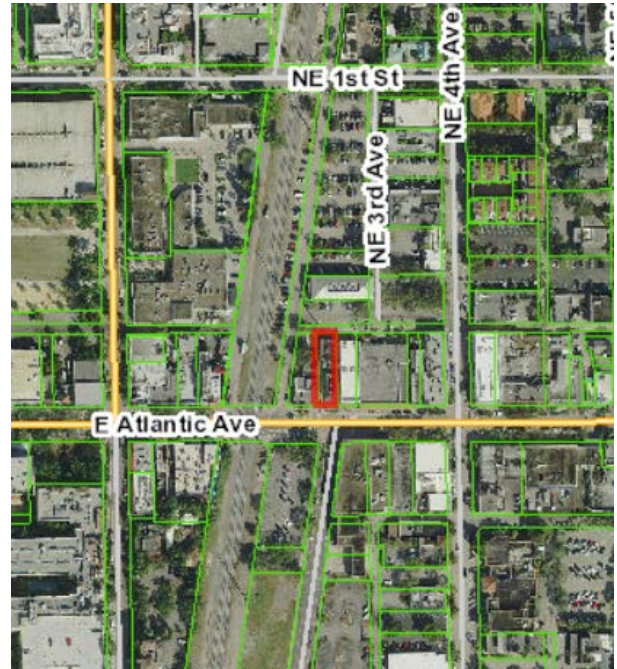
Zoning: CBD (Central Business District)

Adjacent Zoning:

- North: CBD
- South: CBD
- East: CBD
- West: CBD

Existing Land Use: Restaurant

Proposed Land Use: Restaurant



Item before the Board:

The action before the Board is for the consideration of a Class I Site Plan Modification for **307 E. Atlantic Ave** pursuant to LDR Section 2.4.5 (G), including:

- ☐ Architectural Elevations

Optional Board Motions for Action Items:

1. Move to continue with direction.
2. Move approval of the Class I (2020-040) Site Plan Modification, and Architectural Elevations for **307 E. Atlantic Avenue**, as amended, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Chapter 3 of the Land Development Regulations.
3. Move denial of the Class I (2020-040) Site Plan Modification, and Architectural Elevations for **307 E. Atlantic Avenue**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Chapter 3 of the Land Development Regulations.

Project Planner:
Jennifer Buce
buce@mydelraybeach.com
561-243-7138

Review Dates:
December 18, 2019

Attachments:
1. Building Elevations



Assessment and Summary:

The property consists of 0.12 acres and is currently zoned CBD (Central Business District). The project consists of minor architectural elevation changes with the addition of a Nana wall system which is a folding door system to the front façade (south elevation), new light fixtures and new paint finish on the wood cladding and brick wall. The proposed changes meet all applicable Land Development Regulations which include dimensional requirements, storefront glazing and streetscape.

Background:

The subject property is located east of the northeast corner of East Atlantic Avenue and NE 3rd Avenue within the Central Business District (CBD) and consists of Town of Delray Lt 6 & S 9.85 ft of E .27 ft of It 7 blk 92. The Main Street Vernacular style structure property contains a single-story commercial building originally constructed in 1955 that has been expanded upon and remodeled on several occasions. The building is approximately 4,600 square feet and was formerly occupied by various tenants including Aspen Jack's, McDougall's Neighborhood Bar, Loco's Only Bar, A-Train Blues & Jazz Café, Nacho Mama, Paddy McGee's and most recently Luige's Cold Fire Pizza.

At its meeting of May 27, 2009, the SPRAB approved an architectural elevation change which included the modification of the entrance and re-location of the existing storefront (approximately 10 feet back) to create a sidewalk café area while maintaining the existing roof structure, and installation of a new storefront system with new door, transom window, and a glazed folding partition for Nacho Mama's. Note: Nacho Mama never occupied the space.

On March 2, 2010, a Class I Site Plan Modification was submitted for architectural changes to the storefront for Paddy McGee's which included folding French doors and windows to be utilized as a service window for outdoor dining.

On June 12, 2019, a Class I Site Plan Modification was approved for the introduction of reclaimed wood cladding to the upper façade, replacement of the existing storefront and the over the counter window, bar rail with wood top and metal base, new light fixtures and the brick cladding to receive whitewash finish.

Now before the board is a Class I Site Plan Modification which includes minor changes to the façade by introducing nana doors along the front façade, new light fixtures, and new paint finish on wood cladding and whitewash finish on brick wall.

Project Description:

The subject request includes the addition of nana doors along the front facade, which will not create any new openings to the storefront of the existing restaurant but will enclose the outdoor seating from inclement weather. The applicant is also updating the light fixtures along the pathway of the sidewalk area and new paint finish on wood cladding and brick wall.

Site Plan Analysis:

The following items identified in the Land Development Regulations shall specifically be addressed by the Site Plan Review and Appearance Board (SPRAB) for final action on the site and development applications/requests, as presented.

LDR Section 4.4.13(D) – Dimensional Requirements by CBD Sub District

The following table indicates that the development proposal meets the requirement as they pertain to the Central Core sub-district of the CBD District. Pursuant to Table 4.4.13(C), the following dimensional requirements are applicable, East Atlantic Avenue is classified as a Primary Street.



	East Atlantic Avenue	
	Front Requirement	Provided
Setbacks	10' min./ 15' max.	13.8'
Building Frontage Required on Primary Streets	75% min./ 100%max	100%

Storefront and Glazing Area:

Pursuant to LDR Section 4.4.13(E)(4)(e) the storefront is a frontage type along the sidewalk level of the ground story, typically associated with commercial uses. Storefront Dimensions Table 4.4.13(l) provides the dimensional requirements for all elements contained in a storefront as indicated in the chart below:

Commercial Storefronts	Dimensional Requirements		Proposed
	Minimum	Maximum	East Atlantic Avenue
Building Setback	10 ft.	15 ft.	13.8'
Storefront Width	N/A	75'	38'-0 ½"
Storefront Base	9"	3'	10"
Glazing Height**	8 ft.	---	8'11"
Required Openings	80%	---	81%
Awning Projection	5'	-	N/A

Streetscape Standards:

Pursuant to LDR Section 4.4.13(E)(2)(a), the combination of public sidewalk (located within the right-of-way) and hardscape (located in front setback areas) shall provide a minimum streetscape area no less than 15 ft. in width, measured from the back of curb. The streetscape area is comprised of a curb zone, a pedestrian clear zone, and any remaining front setback area. The curb zone is at least four feet wide, measured from the back of curb, and accommodates street trees and public infrastructure needs such as utility poles, streetlights, street signs, parking meters, etc. The pedestrian clear zone must be at least six feet wide. The code requires that portion of the pedestrian clear zone located within the front setback area must be designed as an extension of the public sidewalk and shall match the public sidewalk in design and material, providing a seamless physical transition. Buildings with retail or commercial uses in the ground story shall detail and design any remaining front setback area within the 15-foot wide minimum streetscape area using a hardscape design. This portion may be used to accommodate outdoor dining areas, subject to Section 6.3. Landscaping comprised of plants in removable planters, palms, and/or ground planting may be installed adjacent to the building provided it does not obstruct views into storefront windows.

The streetscape is existing with a 6'8 3/8" curb zone and 7'7 3/8" remaining of pedestrian clear zone which (5' 113/4") is the front setback. Currently, there is no remaining room for a sidewalk café. The tables will need to remain within the folding doors for the dining area.

Architectural Elevations Analysis:

Pursuant to LDR Section 4.4.13(F), the CBD has seven permitted architectural styles, which are described and illustrated in the Central Business District Architectural Design Guidelines. Pursuant to LDR Section 4.6.18(E), the following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.



3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed minor façade changes to the 1955 Main Street Vernacular Style building are in conformity with good taste and design and will contribute to the image of East Atlantic Avenue and will bring a brightness and a new welcoming look to the existing restaurant in a highly trafficked area of the busy downtown area. The new folding wall system will not increase any storefront dimensional requirements as the brick walls and columns are existing which extend 3' into the setback. The new proposed gooseneck lighting on the cornice is decorative and did not affect the current photometrics. The exterior brick cladding in whitewash finish will attract strolling patrons throughout the day and night. Signage on the front will be approved administratively, while the proposed sign on the east elevation is scheduled for City Commission as a waiver request as it is not facing a dedicated street frontage. The surrounding area, which includes Johnnie Browns and Wings, will continue to benefit from the streetscape which will not be disrupted as only minor facades are being proposed.

Review by Others:

- At the meeting of December 9, 2019, the **DDA (Downtown Development Authority)** reviewed the development proposal.

Restaurant

Class I Modification Site Plan Application

Sign Permit Application

Sign Waiver Request

307 E Atlantic Avenue, Delray Beach, FL 33483

M E N I N



González Architects
Commercial

CELANO
design studio

CLIQUE
HOSPITALITY

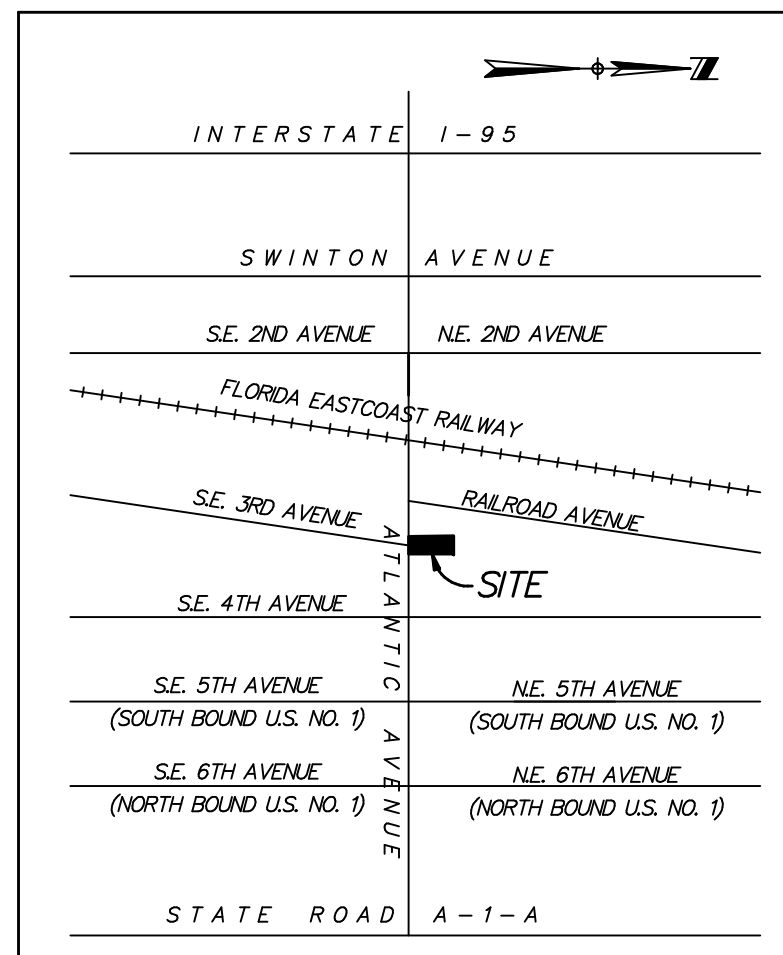
GONZALEZ ARCHITECTS

14 NE 1st Avenue, Suite 507
Miami, FL 33132
305.455.4216

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AA 0002305
AR 0008134



STREET VIEW



LOCATION MAP
NOT TO SCALE

ALTA/NSPS SURVEY

PARCEL CONTROL NO. 12-43-46-16-01-092-0060
SITE ADDRESS: 301 EAST ATLANTIC AVENUE
DELRAY BEACH, FLORIDA 33483

FLORIDA EAST COAST RAILWAY
100' RIGHT OF WAY

25' PLATTED RIGHT OF WAY
RAILROAD AVENUE

LOT 7, BLOCK 92
(PLAT BOOK 2, PAGE 21)

1 STORY BUILDING
OWNER: 301 EAST ATLANTIC LLC

1 STORY BUILDING
#307
LOT 6
BLOCK 92
(PLAT BOOK 2, PAGE 21)

1 STORY BUILDING
OWNER: 104 - 106 DELANCEY REALTY LLC
LOT 5, BLOCK 92
(PLAT BOOK 2, PAGE 21)

LEGEND:

- CL = CENTERLINE
- ND = NAIL & DISK #LB 353
- SSMH = SANITARY SEWER MANHOLE
- C.O. = SANITARY SEWER CLEAN OUT
- BFP = BACKFLOW PREVENTER
- W.M. = WATER METER
- L.P. = LIGHT POLE
- (HC) = HANDICAP PARKING SPACE (OFF SITE)
- (4) = REGULAR PARKING SPACE (OFF SITE)
- = OVERHEAD UTILITY LINES

FLOOD ZONE: X
COMMUNITY PANEL NO. 125102 0979
SUFFIX: F
EFFECTIVE DATE: OCTOBER 5, 2017

TITLE NOTES:

THIS SURVEY SHOWS ALL EASEMENTS AND RIGHTS OF WAY AS SHOWN ON SCHEDULE B-1 OF OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, TITLE COMMITMENT NUMBER 656309, DATED OCTOBER 24, 2018.

DESCRIPTION:

LOT 6 AND THE SOUTH 9.85 FEET OF THE EAST 0.27 FEET OF LOT 7, BLOCK 92, TOWN OF DELRAY, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 21, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

CERTIFIED TO:

MENIN DEVELOPMENT, INC., A FLORIDA CORPORATION
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
PATRICK G. KELLEY, P.A.
MCDONALD HOPKINS, LLC

MAP OF BOUNDARY SURVEY

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Paul D. Engle
PAUL D. ENGLE
SURVEYOR & MAPPER #5708

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

O'BRIEN, SUITER & O'BRIEN, INC.
LAND SURVEYORS

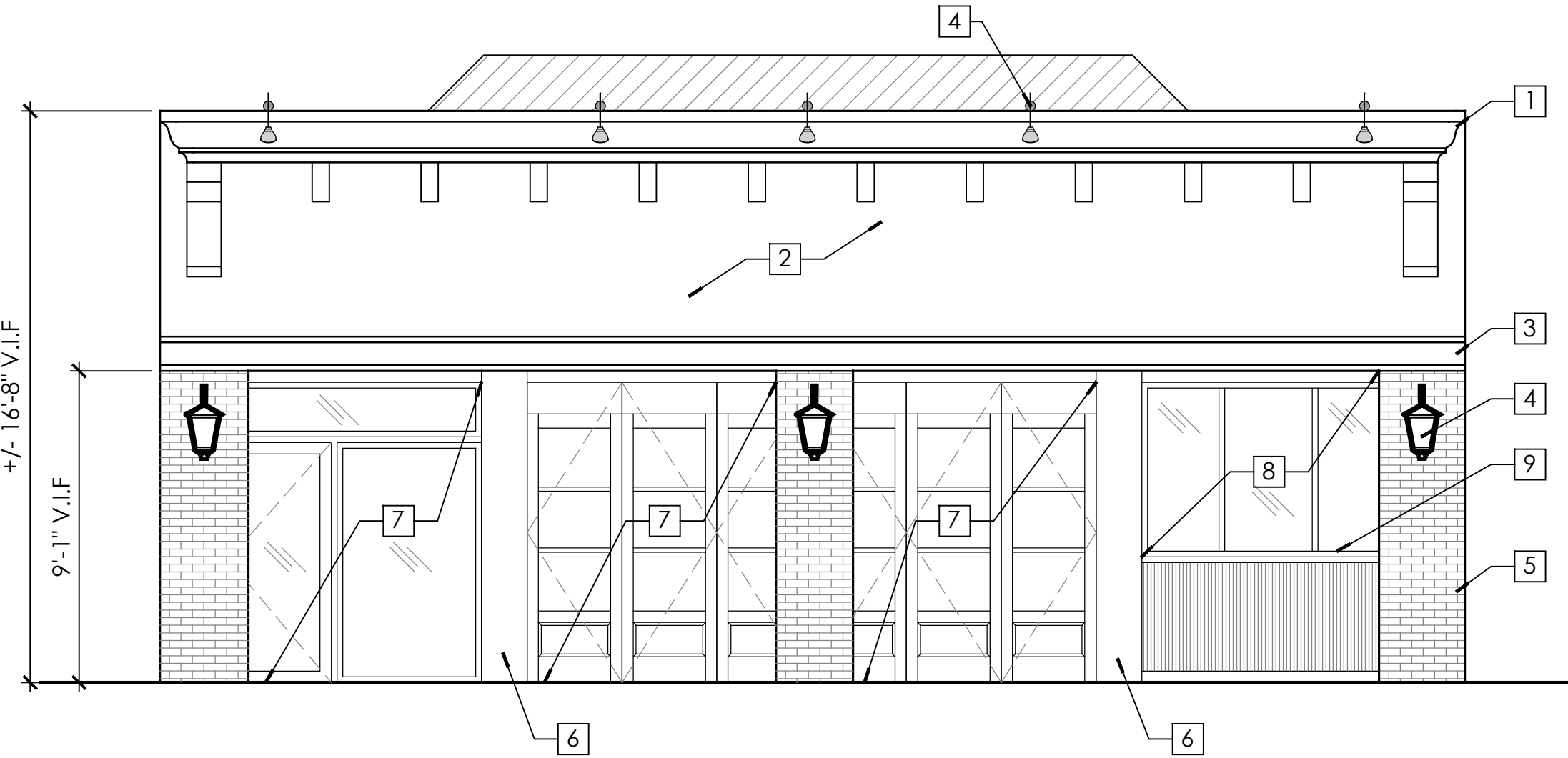
CERTIFICATE OF AUTHORIZATION #LB353
SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE
955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445
(561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY
NOVEMBER 6, 2018
FIELD BOOK
D.317

PAGE NO.
55

SCALE:
1" = 10'
ORDER NO.:
18-616b

Issued for Permit Revision

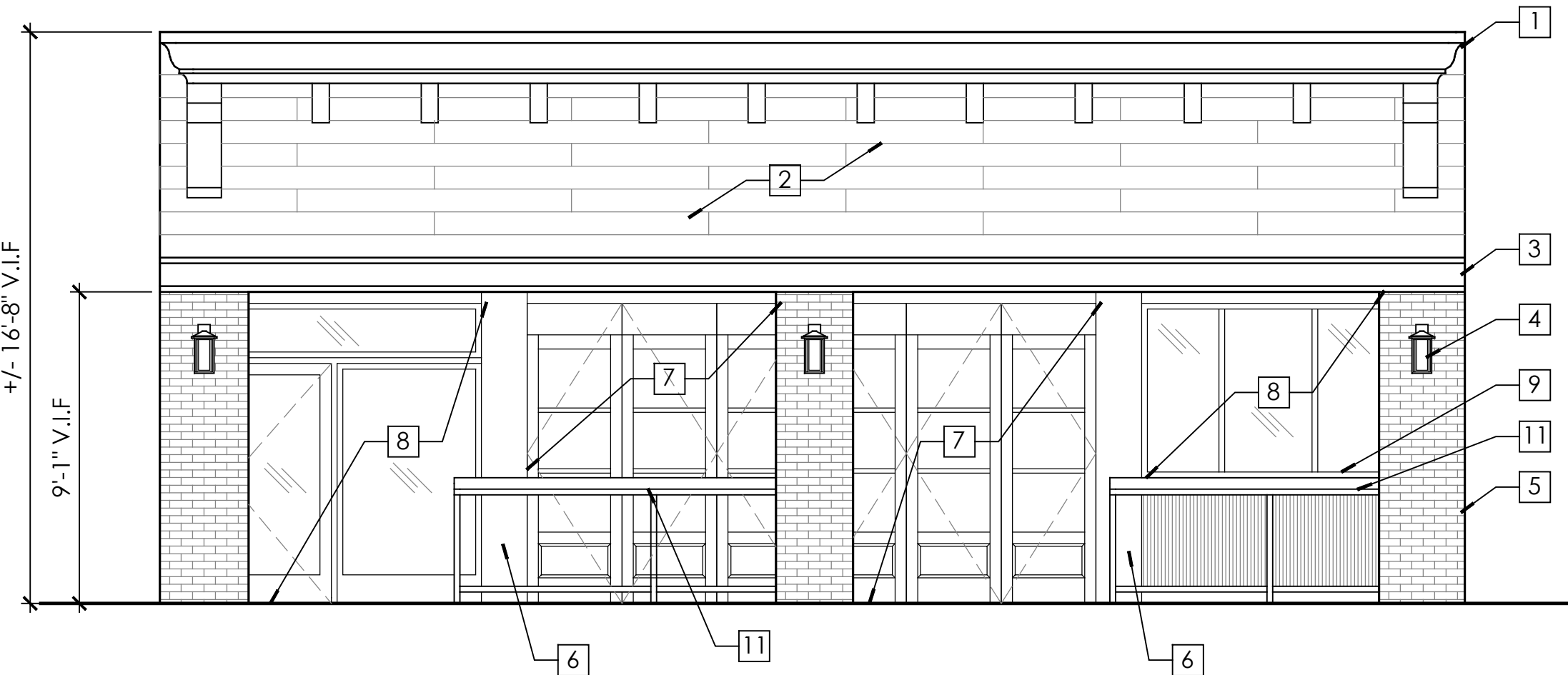


1 Existing Atlantic Ave Elevation and Rendering
1/4"=1'-0"



- Legend**
- 1 Existing cornice and decorative molding to remain and receive new paint finish.
 - 2 Existing upper facade wall to remain and receive new reclaimed wood cladding.
 - 3 Existing wood trim to remain and receive new paint finish.
 - 4 Existing exterior light fixtures to be replaced with new light fixtures.
 - 5 Existing Brick cladding to receive white wash finish.
 - 6 Existing stucco wall to receive new paint finish.
 - 7 Existing wood doors to remain and be refinish.
 - 8 Existing Storefront and over-the-counter window to be replaced with new exit compliant storefront.
 - 9 Existing counter bar to remain and be protected during construction.
 - 10 Existing flooring to be removed. Existing slab to be exposed. Repair floor surface where required.

2 Existing Notes

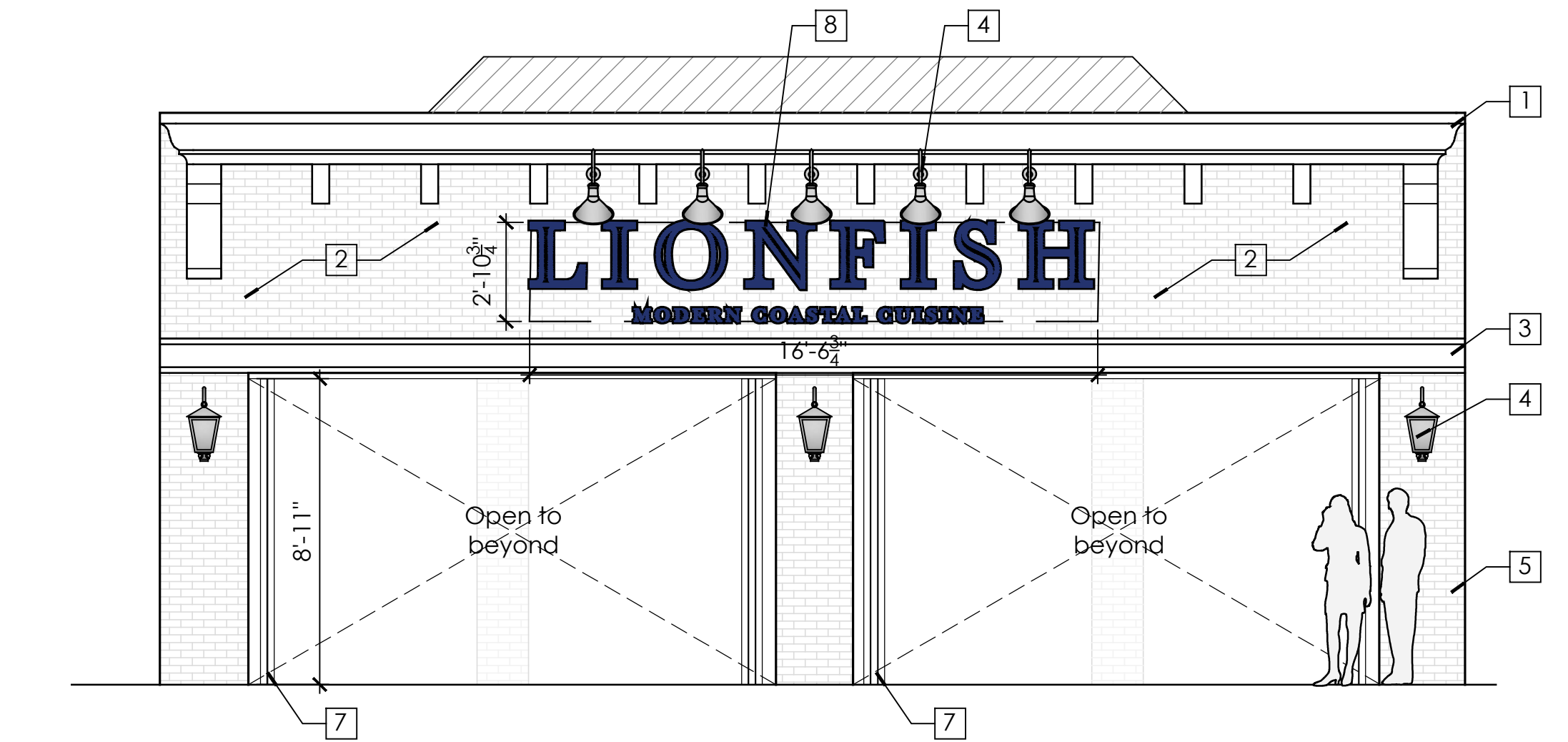


3 Previously Approved Atlantic Ave Elevation and Rendering
1/4"=1'-0"



- Legend**
- 1 Existing cornice and decorative molding to remain and receive new paint finish.
 - 2 Existing upper facade wall to remain and receive new reclaimed wood cladding.
 - 3 Existing wood trim to remain and receive new paint finish.
 - 4 New light fixtures.
 - 5 Existing Brick cladding to receive white wash finish.
 - 6 Existing stucco wall to receive new paint finish.
 - 7 Existing wood doors to remain and be refinish.
 - 8 New Exit compliant Storefront and over-the-counter window.
 - 9 Existing counter bar to remain and be protected during construction.
 - 10 Existing flooring to be removed. Existing slab to be exposed. Repair floor surface where required.
 - 11 New bar rail with wood top and metal base.

4 Previously Approved Notes



5 Proposed Atlantic Ave Elevation and Rendering
1/4"=1'-0"



- Legend**
- 1 New paint finish at existing to remain cornice and decorative molding.
 - 2 New exterior grade brick cladding at existing to remain upper facade wall.
 - 3 New paint finish at existing wood trim.
 - 4 New light fixtures.
 - 5 Existing brick cladding to receive white wash finish.
 - 6 New exterior grade brick cladding at existing columns and walls.
 - 7 New Nanawall (foldable storefront system) along front facade.
 - 8 New Signage.
 - 9 New leveled out flooring to match existing adjacent in the interior.

General Notes:
- Refer to Sheet A1.01a for the Frontage Type table information

6 Proposed Notes

M E N I N

Lionfish
Restaurant Renovation

307 E Atlantic Avenue
Delray Beach, FL 33483

González Architects
Commercial

MEP:
Hurst Engineers
308 Hillwood Avenue
Falls Church, VA 22046
703.534.7872
Food Service:
Legacy Food Service Design
376 East Warm Springs
Suite 125
Kissimmee, FL 34741
702.425.5550
Audio / Visual Consultant:
M Kalmanson AV
13100 Lure Valley Drive
Rancho Cucamonga, CA 91739
805.512.4744
Interior Design:
Celano Design, Inc.
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New York, NY 10001
212.741.5233

Registration Seal
AA 0002305
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14 NE 1st Avenue, Suite 507
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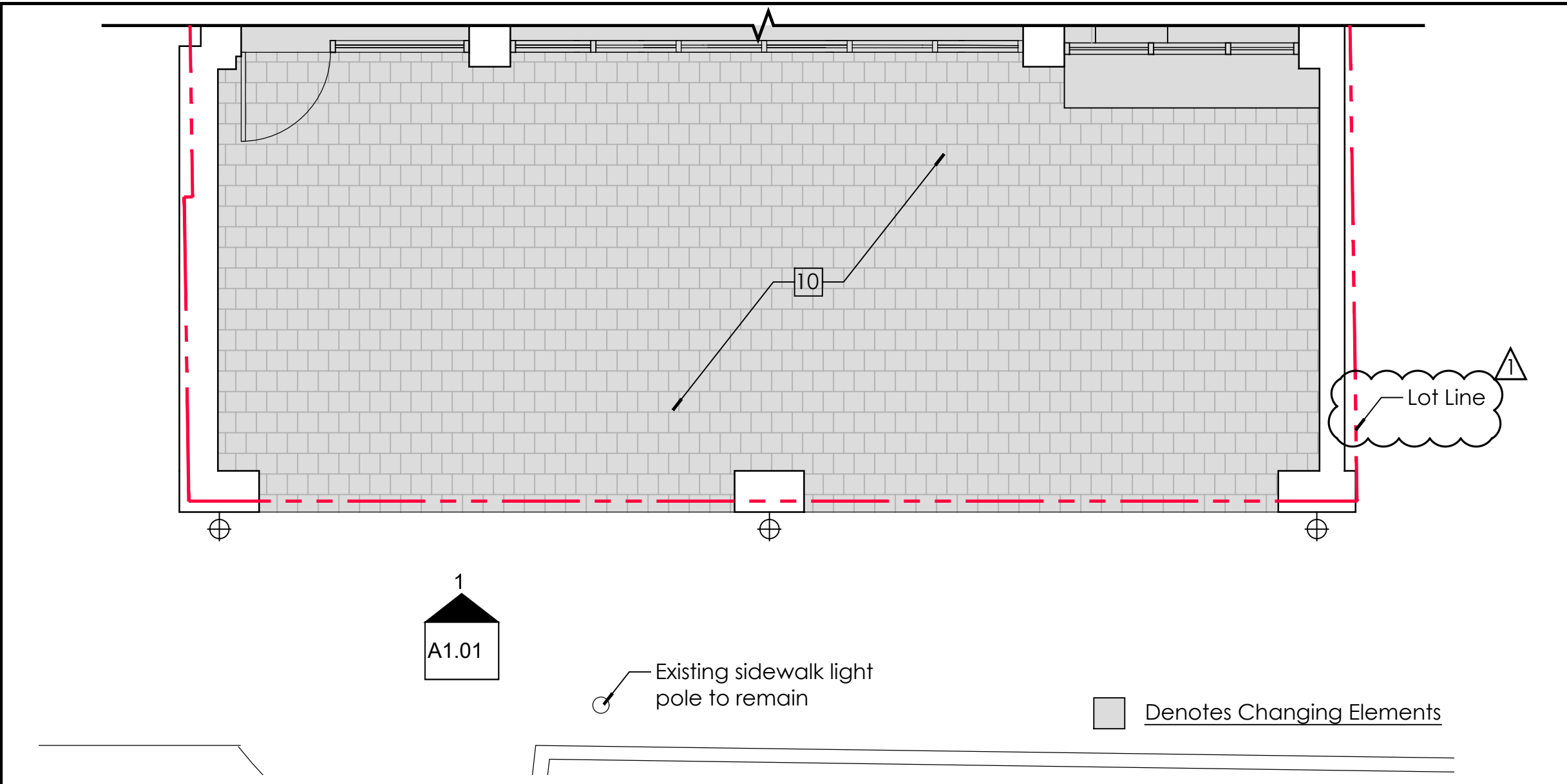
Issued/Revised		
No.	Date	Description
1	11-19-2019	Class Application - Revision 1

Existing, Previously
Approved and Proposed
Elevation and Rendering

Scale: As Noted
Date: October 08, 2019
Drawn By: ATX.M.PT.Q.MG.RD
Project No.: 19014
Drawing No.:

A1.01

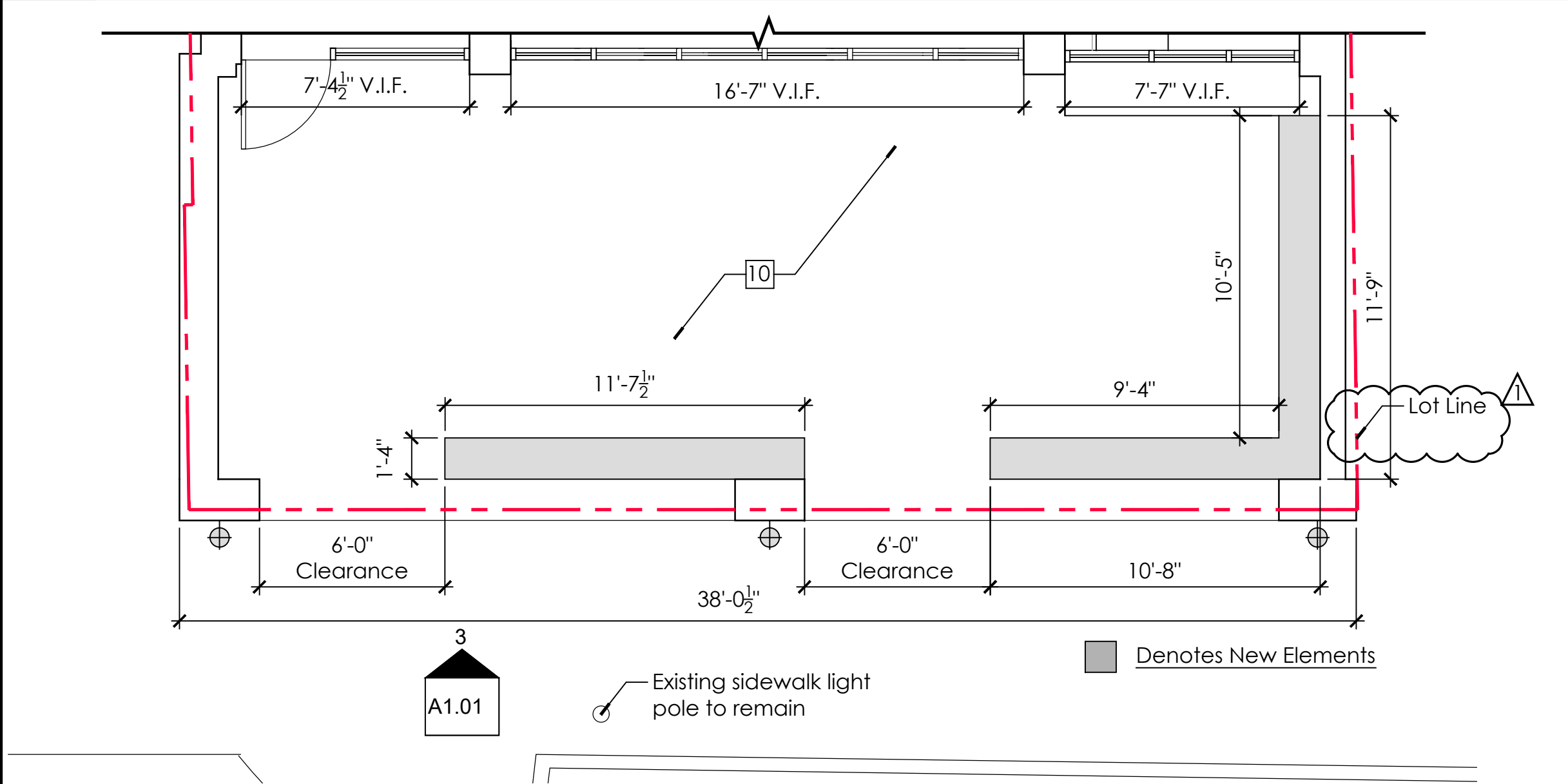
Issued for Permit Revision



1 Existing Floor Plan
1/4"=1'-0"

- Legend**
- Existing cornice and decorative molding to remain and receive new paint finish.
 - Existing upper facade wall to remain and receive new reclaimed wood cladding.
 - Existing wood trim to remain and receive new paint finish.
 - Existing exterior light fixtures to be replaced with new light fixtures.
 - Existing Brick cladding to receive white wash finish.
 - Existing stucco wall to receive new paint finish.
 - Existing wood doors to remain and be refinish.
 - Existing Storefront and over-the-counter window to be replaced with new exit compliant storefront.
 - Existing counter bar to remain and be protected during construction.
 - Existing flooring to be removed. Existing slab to be exposed. Repair floor surface where required.

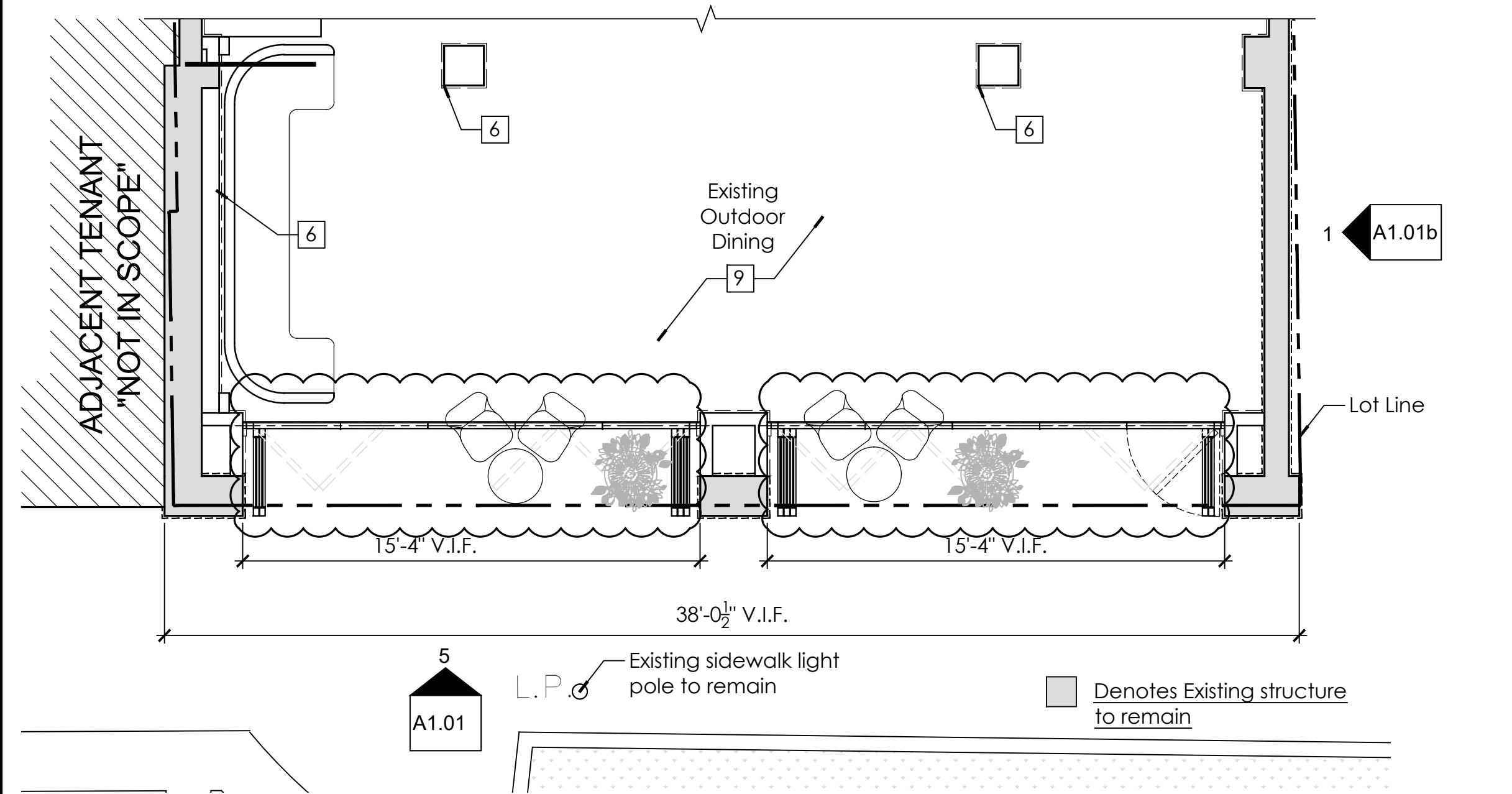
2 Existing Notes



3 Previously Approved Floor Plan
1/4"=1'-0"

- Legend**
- Existing cornice and decorative molding to remain and receive new paint finish.
 - Existing upper facade wall to remain and receive new reclaimed wood cladding.
 - Existing wood trim to remain and receive new paint finish.
 - New light fixtures.
 - Existing Brick cladding to receive white wash finish.
 - Existing stucco wall to receive new paint finish.
 - Existing wood doors to remain and be refinish.
 - New Exit compliant Storefront and over-the-counter window.
 - Existing counter bar to remain and be protected during construction.
 - Existing flooring to be removed. Existing slab to be exposed. Repair floor surface where required.
 - New bar rail with wood top and metal base.

4 Previously Approved Notes



5 Proposed Floor Plan
1/4"=1'-0"

- Legend**
- New paint finish at existing to remain cornice and decorative molding.
 - New exterior grade brick cladding at existing to remain upper facade wall.
 - New paint finish at existing wood trim.
 - New light fixtures.
 - Existing brick cladding to receive white wash finish.
 - New exterior grade brick cladding at existing columns and walls.
 - New Nanawall (foldable storefront system) along front facade.
 - New Signage.
 - New leveled-out flooring to match existing adjacent in the interior.

General Notes:
- Refer to Sheet A1.01b for the Streetscape Standards information.

6 Proposed Notes

Frontage Type: Storefront
LDR Table 4.4.13(i) - Dimensional Requirements for Storefronts

Description	Minimum	Maximum	Existing	Provided
A Building Setback	10 ft.	15ft.	ETR*	ETR*
B Store Width	N/A	75 ft.	38'-0 1/2"	38'-0 1/2"
C Storefront Base	9 in.	3ft.	9 in.	10"
D Glazing Height	8 ft.	-	8'-11" V.I.F.	8'-11" V.I.F.
E Required Openings	80%	-	ETR* (81%)	ETR* (81%)

Maximum Allowable Encroachment of Elements in All Districts

F Awning Projection	3ft.	-	N/A	N/A
G Projecting Sign	N/A	3ft.	N/A	N/A

*ETR: Existing To Remain

Following the Central Business District Guidelines, the existing building with the proposed changes falls under the Main Street Vernacular Style.

Required Opening:
100% of Facade = 38'-0 1/2"
Minimum of 80% required = 30'-0 1/2"
Provided Facade Opening = 30'-8" (81%)

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Issued/Revised
No. Date Description
11-19-2019 Class Application - Revision 1

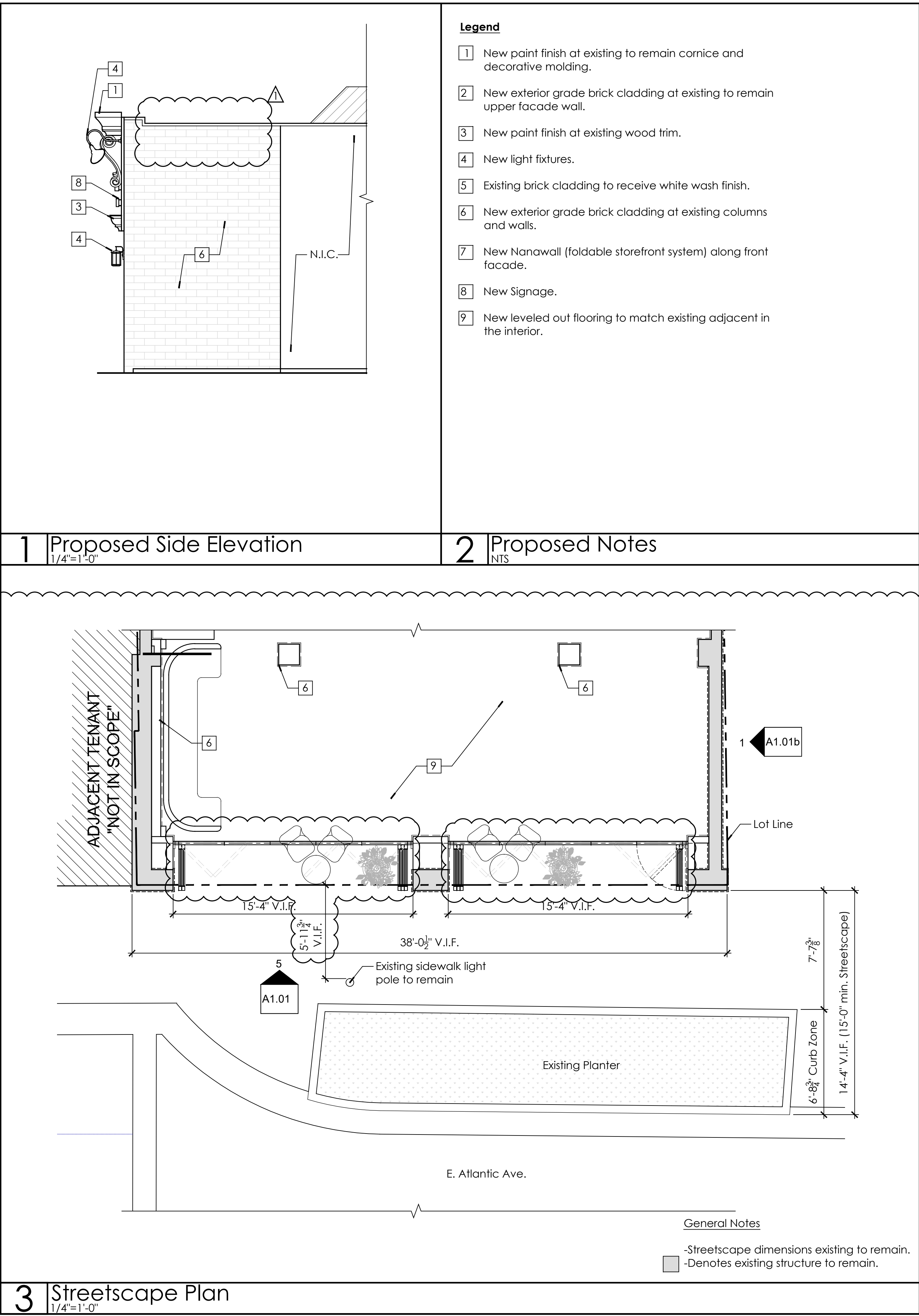
Drawing Title

Existing, Previously
Approved and Proposed
Plan and Notes

Scale As Noted
Date October 08, 2019
Drawn By ATX.M.PT.IQ.MQ.RD
Project No. 19014
Drawing No.

A1.01a

Issued for Permit Revision



M E N I N

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Issued/Revised		
No.	Date	Description
1	11-19-2019	Class I Application - Revision 1

Drawing Title

Proposed Side Elevation
and Streetscape Plan

Scale
Date
Drawn By
Project No.
Drawing No.

As Noted
October 08, 2019
ATX.M.PT.IQ.MQ.RD
19014

A1.01b



Elevation with folding doors open



Elevation with folding doors closed

M E N I N

Lionfish

Restaurant Renovation

307 E Atlantic Avenue
Delray Beach, FL 33483

González Architects
Commercial

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308 Hinwood Avenue
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Lighting Design:
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7144 SW 47 Street
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305.667.6100

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AA 0002303
AR 0008134

Address
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Miami, FL 33132
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Issued/Revised

No

Date

Description

Drawing Title

Exterior Modifications
along E Atlantic Ave

Scale

As Noted

Date

October 08, 2019

Drawn By

ATKM,FTJQ,MQ,RD

Project No.

19014

Drawing No.

A2.01



Lionfish

Restaurant Renovation

307 E Atlantic Avenue
Delray Beach, FL 33483



MEP:
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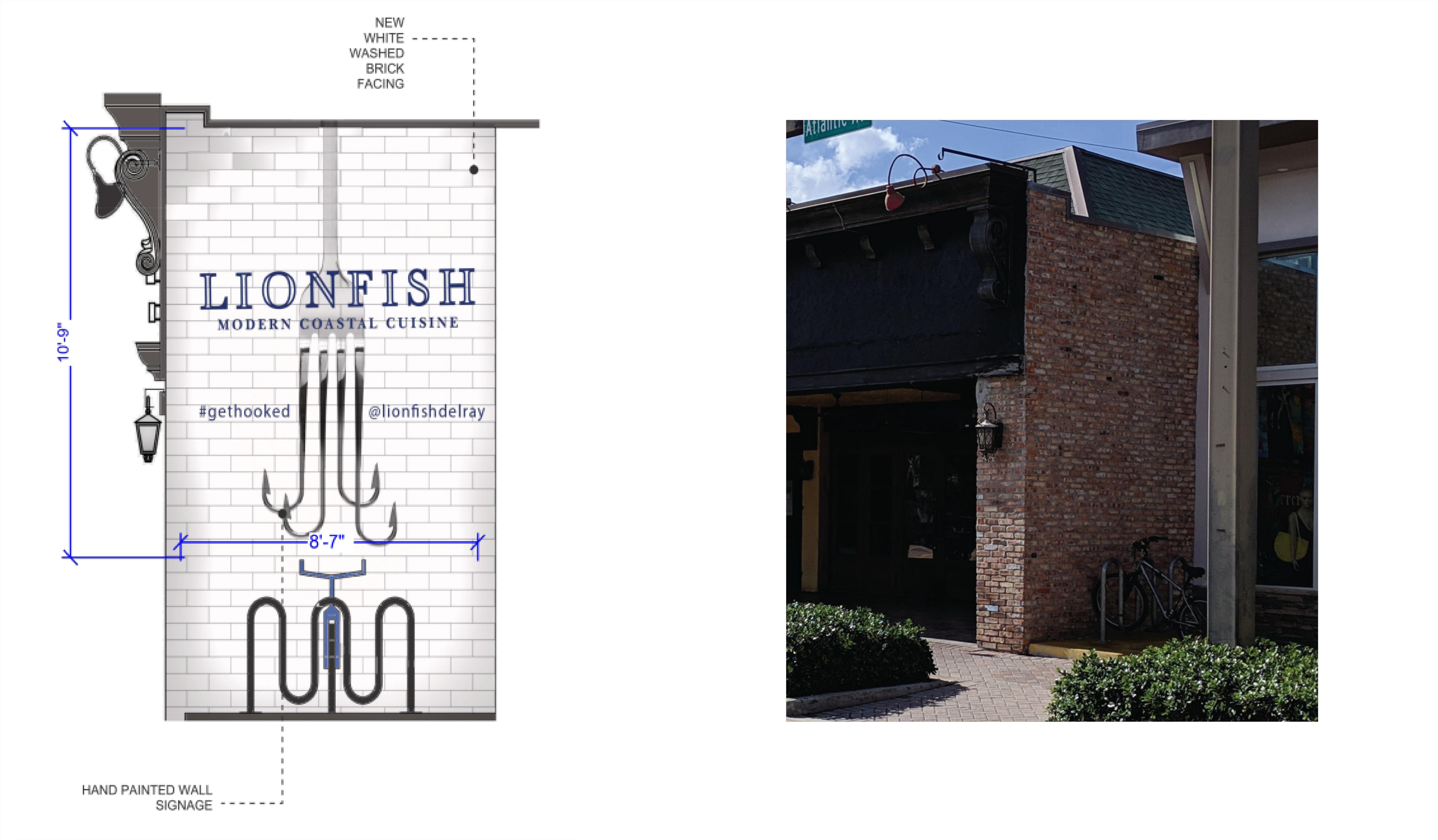
Registration Seal	Address
AA 0002303 AR 0008134	14 NE 1st Avenue, Suite 507 Miami, FL 33132 T +1 (305) 455 4216

Issued/Revised		
No	Date	Description

Drawing Title

Sign Permit
Application

Scale	As Noted
Date	October 08, 2019
Drawn By	ATKM,FTJ,MQ,RD
Project No.	19014
Drawing No.	



1 Side Elevation Signage (East Facing Exterior Wall) - Sign Waiver

M E N I N

Lionfish

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Delray Beach, FL 33483

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Issued/Revised

No

Date

Description

Drawing Title

Sign Waiver

Scale

As Noted

Date

October 08, 2019

Drawn By

ATKM,FTJQ,MQ,RD

Project No.

19014

Drawing No.

A2.03