



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Chick Fil A
Project Location: 1800 S Federal Hwy
Request: Class I Site Plan Modification
PCN: 12-43-46-28-96-000-0020
Board: Site Plan Review and Appearance Board
Meeting Date: December 18, 2019
Board Vote: Approved (6-0 Price Patton absent)

Board Action:

Approved (6-0 Price Patton absent) with the condition the canopy color match a color of the existing building scheme.

Project Description:

The subject property is located on the southwest corner of Federal Highway and Linton Boulevard (1800 S. Federal Hwy) within the Planned Commercial (PC) District and consists of LINTON FEDERAL PL LT 2. The single-story commercial building was constructed in 2013 and is approximately 3,470 square feet and is occupied by a fast food restaurant, Chick Fil-A.

The proposed canopies are 9' 6" in height and are made of steel columns with concrete footings; the canopies are jet black matte and lane high glass. There are LED canopy lighting and fans proposed underneath. The canopy on the north side is 24'2" x 54' and the on the south elevation 9'10" x 75'. The canopies are to be installed to provide protection to the Chick Fil A employees from weather conditions as they serve customers in the drive-through lanes. The canopies are to be installed with little disruption to the existing building and landscaping. However, on the north elevation it appears that after a site visit and review of the certified landscape plans of record two Alexander Palms, two Fox Tail Palms and one Cassia Tree could be affected by the installation of the canopy. The applicant will need to relocate the trees or replace them on site. This can be done through a landscape permit as well as provide a sketch of the changes for the landscape record on file.

Board Comments:

N/A

Public Comments:

N/A

Associated Actions:

N/A

Next Action: The SPRAB action is final unless appealed by the City Commission.



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

DEVELOPMENT SERVICES DEPARTMENT

100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: December 18, 2019

File No.: 2020-045 SPF-SPR-CLI

Application Type: Class I Site Plan Modification

General Data:

Owner: Chick Fil A Inc

Agent: Kat Alvarez

Location: 1800 S. Federal Hwy

PCN: 12-43-46-28-96-000-0020

Property Size: 0.82 Acres

FLUM: GC (General Commercial)

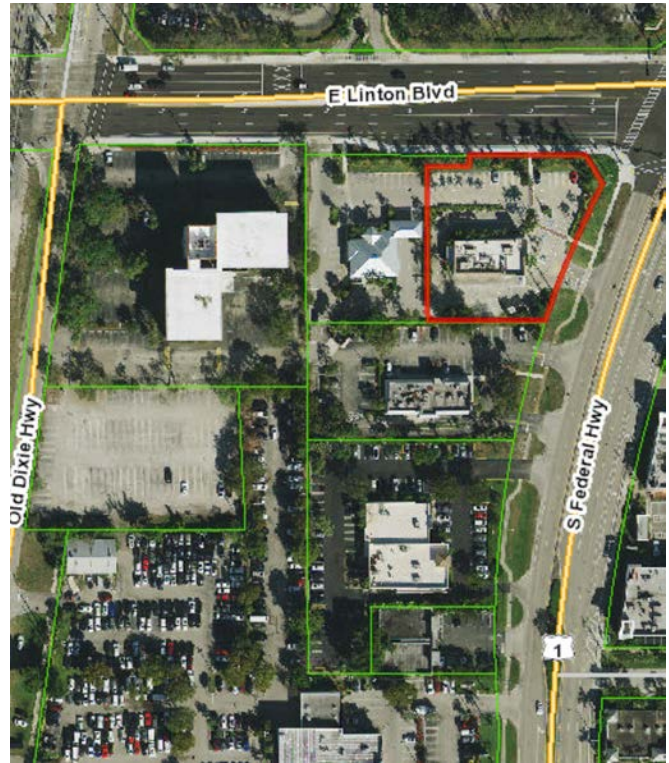
Zoning: PC (Planned Commercial)

Adjacent Zoning:

- North: PC
- South: PC
- East: SAD (Special Activities District)
- West: PC

Existing Land Use: Restaurant

Proposed Land Use: Restaurant



Item before the Board:

The action before the Board is for the consideration of a Class I Site Plan Modification for 1800 S. Federal Hwy pursuant to LDR Section 2.4.5 (G), including:

- ☐ Architectural Elevations

Optional Board Motions for Action Items:

1. Move to continue with direction.
2. Move approval of the Class I (2020-045) Site Plan Modification, and Architectural Elevations for 1800 S. Federal Hwy Avenue, as amended, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Chapter 3 of the Land Development Regulations.
3. Move denial of the Class I (2020-045) Site Plan Modification, and Architectural Elevations for 1800 S. Federal Hwy, by finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Chapter 3 of the Land Development Regulations.

Project Planner:
Jennifer Buce
buce@mydelraybeach.com
561-243-7138

Review Dates:
December 18, 2019

Attachments:
1. Building Elevations



Note:

That any conflicts between the proposed canopy and landscaping be resolved in accordance with direction by the City's Senior Landscape Planner.

Assessment and Summary:

The property consists of 0.82 acres and is currently zoned PC (Planned Commercial). The project consists of minor architectural changes with the addition of canopies over the drive thru lanes on the north and south elevations.

Background:

The subject property is located on the southwest corner of Federal Highway and Linton Boulevard (1800 S. Federal Hwy) within the Planned Commercial (PC) District and consists of LINTON FEDERAL PL LT 2. The single-story commercial building was constructed in 2013 and is approximately 3,470 square feet and is occupied by a fast food restaurant, Chick Fil-A.

In 2013, the Site Plan Review and Appearance Board approved the construction of a new Chick Fil a with a two-lane drive thru, associated parking and landscaping.

Now before the board is a Class I Site Plan Modification which includes minor architectural changes with the addition of canopies over the drive thru lanes on the north and south elevations.

Project Description:

The subject request includes the installation of two canopies over the existing drive thru on the north and south elevations for the protection of the employees from the weather elements.

Site Plan Analysis:

The following items identified in the Land Development Regulations shall specifically be addressed by the Site Plan Review and Appearance Board (SPRAB) for final action on the site and development applications/requests, as presented.

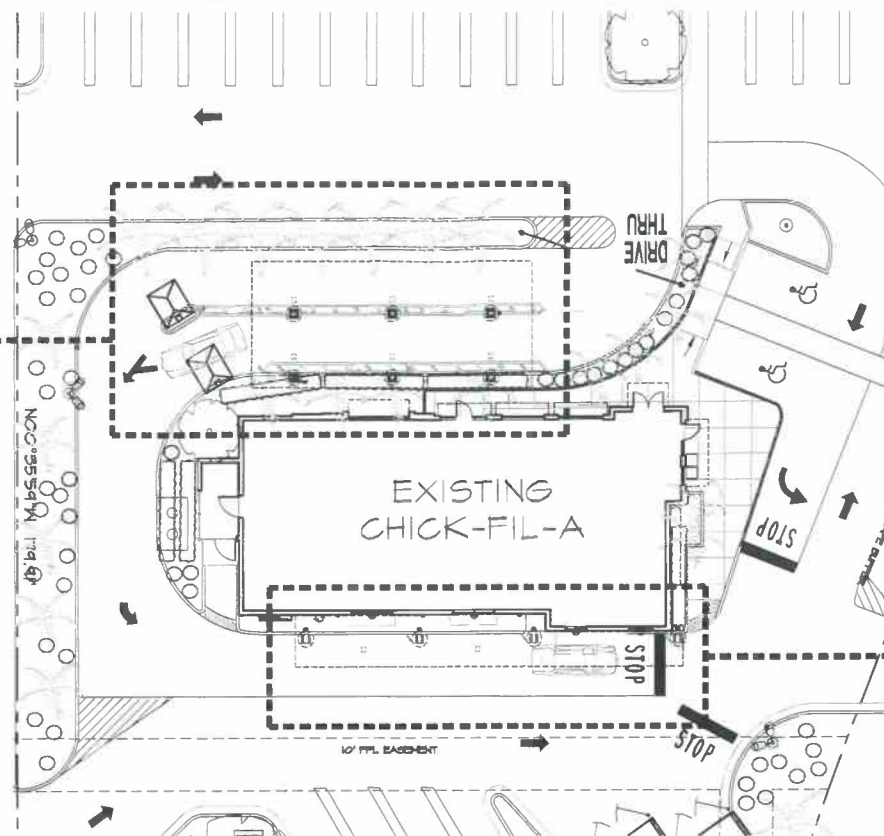
Architectural Elevations Analysis:

Pursuant to LDR Section 4.6.18(E), Criteria for Board Action, the following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste; good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed canopies are 9' 6" in height and are made of steel columns with concrete footings; the canopies are jet black matte and lane high glass. There are LED canopy lighting and fans proposed underneath. The canopy on the north side is 24'2" x 54' and the on the south elevation 9'10" x 75'. The canopies are to be installed to provide protection to the Chick Fil A employees from weather conditions as they serve customers in the drive-through lanes. The canopies are to be installed with little disruption to the existing building and landscaping. However, on the north elevation it appears that after a site visit and review of the certified landscape plans of record two Alexander Palms, two Fox Tail Palms and one Cassia Tree could be affected by the installation of the canopy. The applicant will need to relocate the trees or replace them on site. This can be done through a landscape permit as well as provide a sketch of the changes for the landscape record on file.

The introduction of the LED canopy lighting requires a spot photometric which has been submitted and meets the requirements for Canopies, Drive-Thru and Overhangs which is 3.0 to 30.0.



FACE TO FACE CANOPY (DUAL LANE), 9'-6" CLEAR ABOVE PAVEMENT
FOR REFERENCE ONLY



MEAL DELIVERY CANOPY, 9'-6" CLEAR ABOVE PAVEMENT
FOR REFERENCE ONLY

MATERIAL SAMPLES

CANOPY DECK - UNDERSIDE FACE



COMPANY: LANE SUPPLY, INC.
COLOR: LANE HIGH GLOSS WHITE

CANOPY ROOF



COMPANY: LANE SUPPLY, INC.
COLOR: JET MATTE BLACK

CANOPY LIGHT



LED CANOPY LIGHT - LEGACY (CRUS)
MODEL: LIGHT OUTPUT - CRUS
COLOR: COOL WHITE

INDUSTRIAL MOUNTED
WORKSTATION FAN



TP1 CORPORATION
MODEL: U-10-TE
FAN SIZE: 10"



MEAL DELIVERY CANOPY, 9'-6" CLEAR ABOVE PAVEMENT - UNDER CANOPY VIEW.
FOR REFERENCE ONLY



FACE TO FACE CANOPY (DUAL LANE), 9'-6" CLEAR ABOVE PAVEMENT - UNDER CANOPY VIEW.
FOR REFERENCE ONLY



Chick-fil-A
5200 BUFFINGTON ROAD
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(404) 765-8000

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davidaudokw@cor.net

REFERENCE ONLY

Revision Schedule				
Rev	Date	By	Description	

Project Name: CANOPY PROGRAM

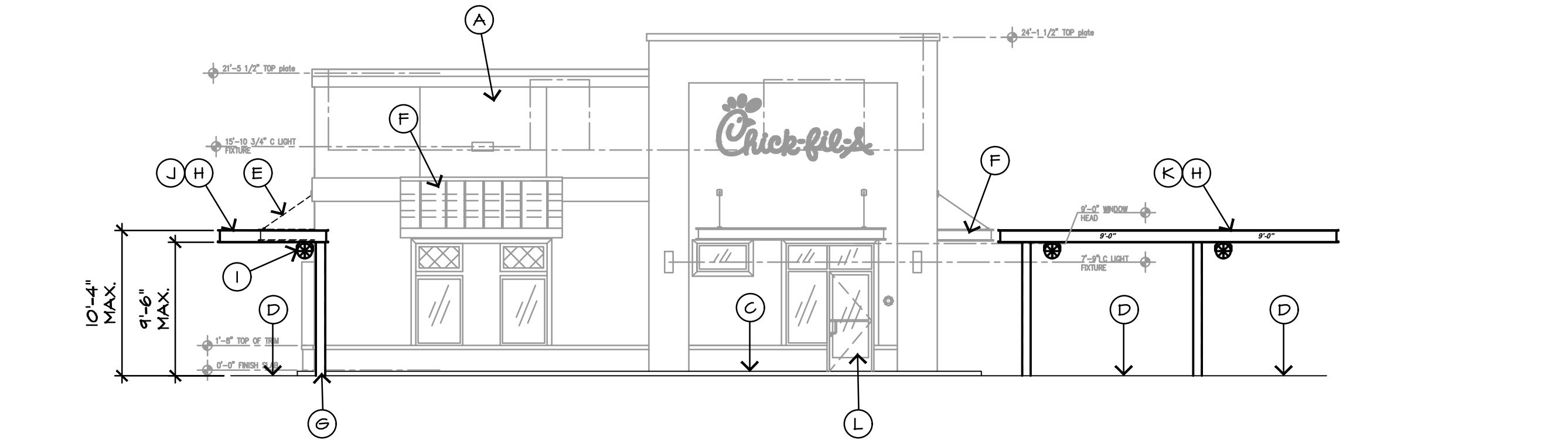
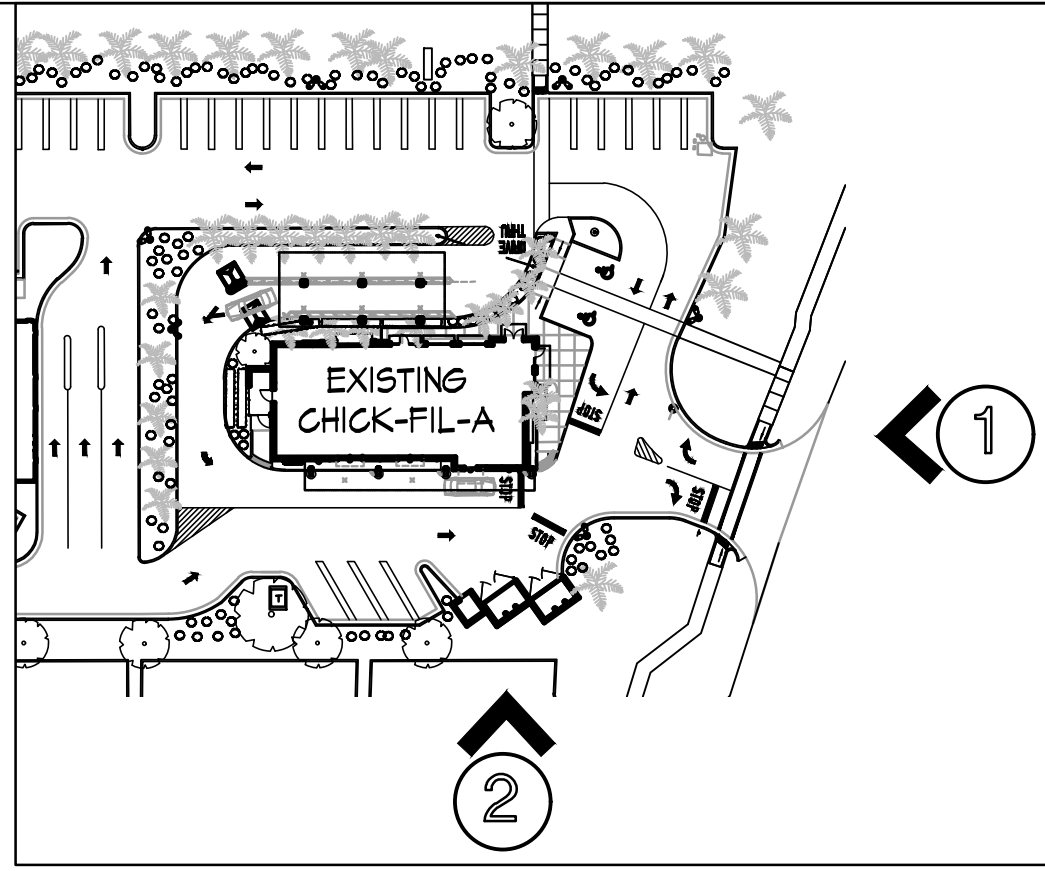
**CHICK-FIL-A
STORE #3146**

1800 S FEDERAL HWY
DELRAY BEACH, FL 33483

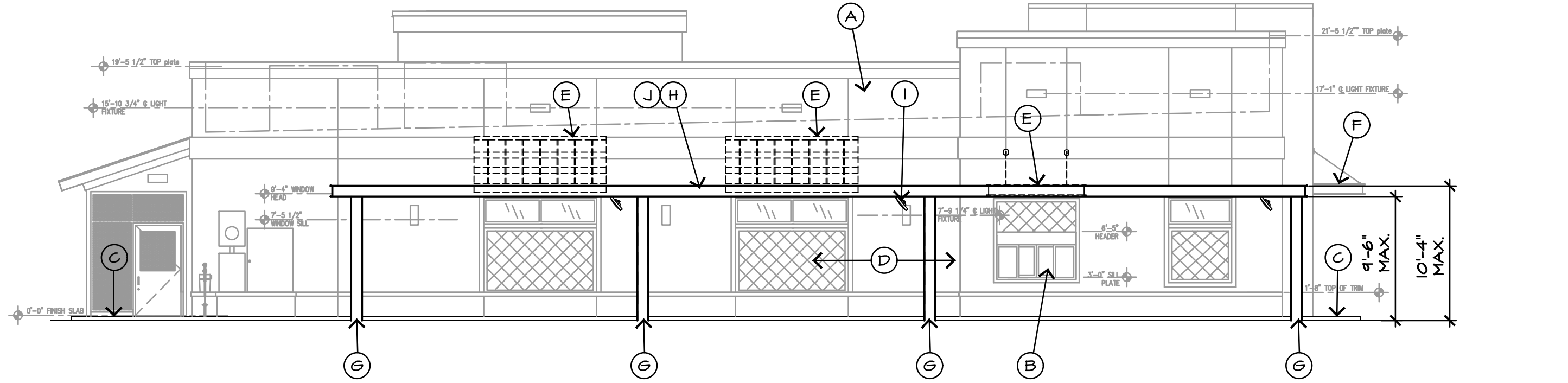
Issue Date	8-27-19
Drawn By	JM:JH
Job Number	18011

Sheet Title	Products & Materials
Scale	As indicated

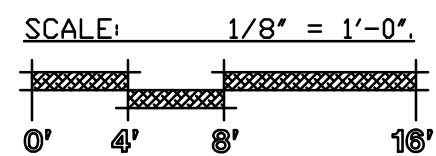
Sheet Number	G-1
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1 FRONT ELEVATION (EAST) - MEAL DELIVERY CANOPY
SCALE: 1/8" = 1'-0" SEE STRUCT. DRAWINGS

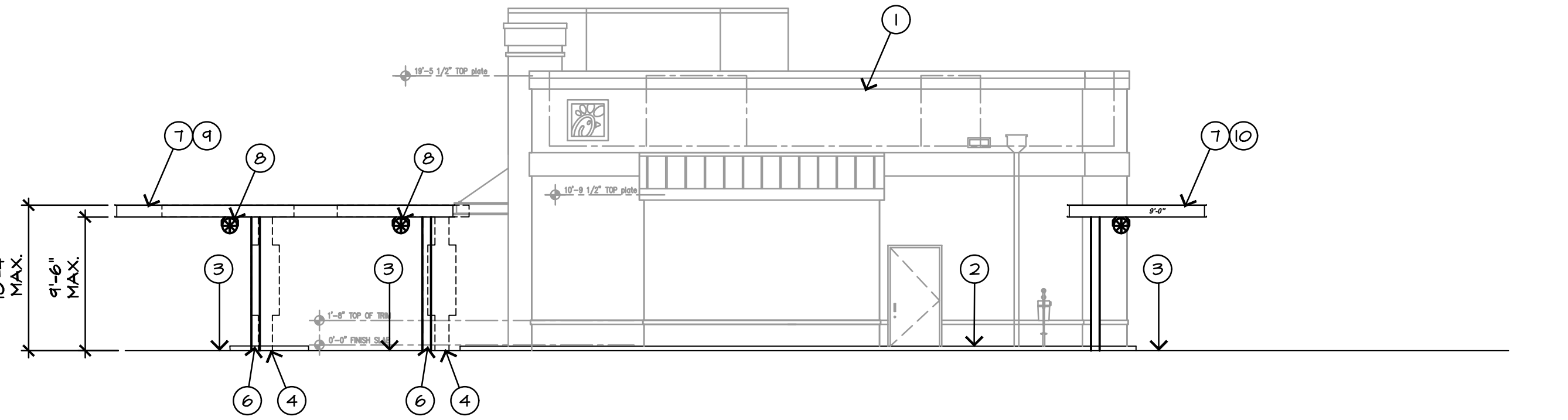
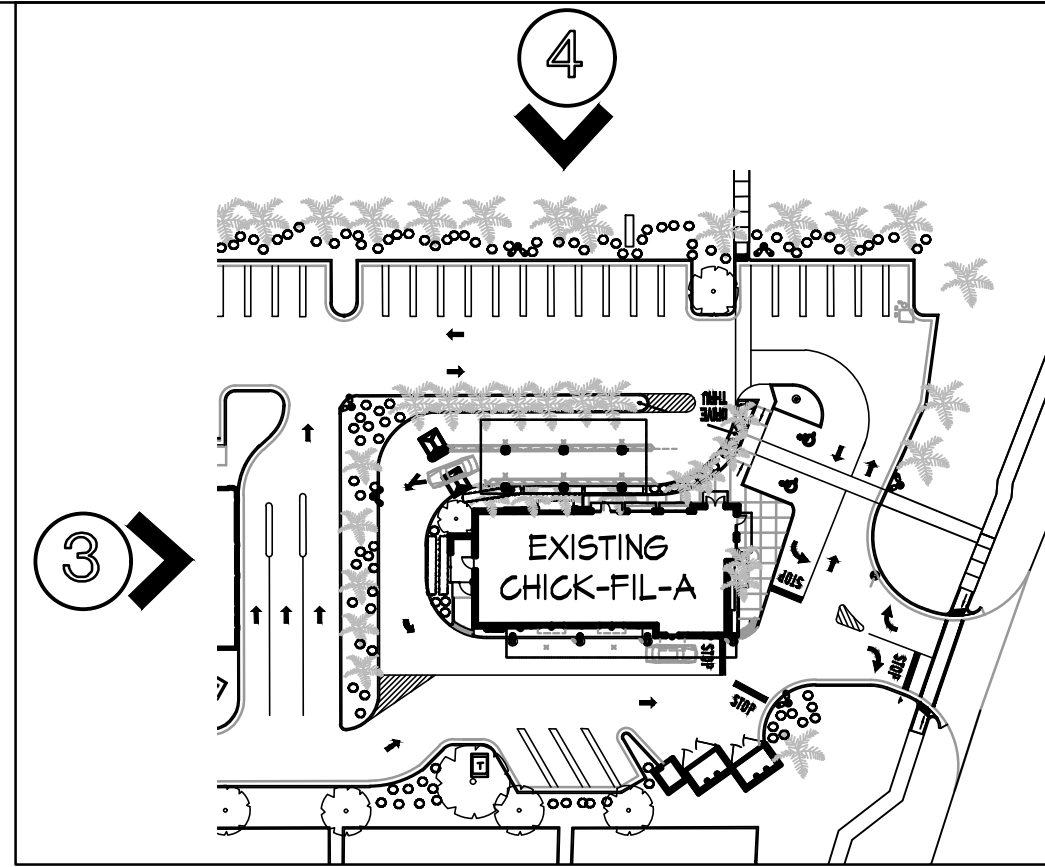


2 DRIVE THRU ELEVATION (SOUTH) - MEAL DELIVERY CANOPY
SCALE: 1/8" = 1'-0" SEE STRUCT. DRAWINGS

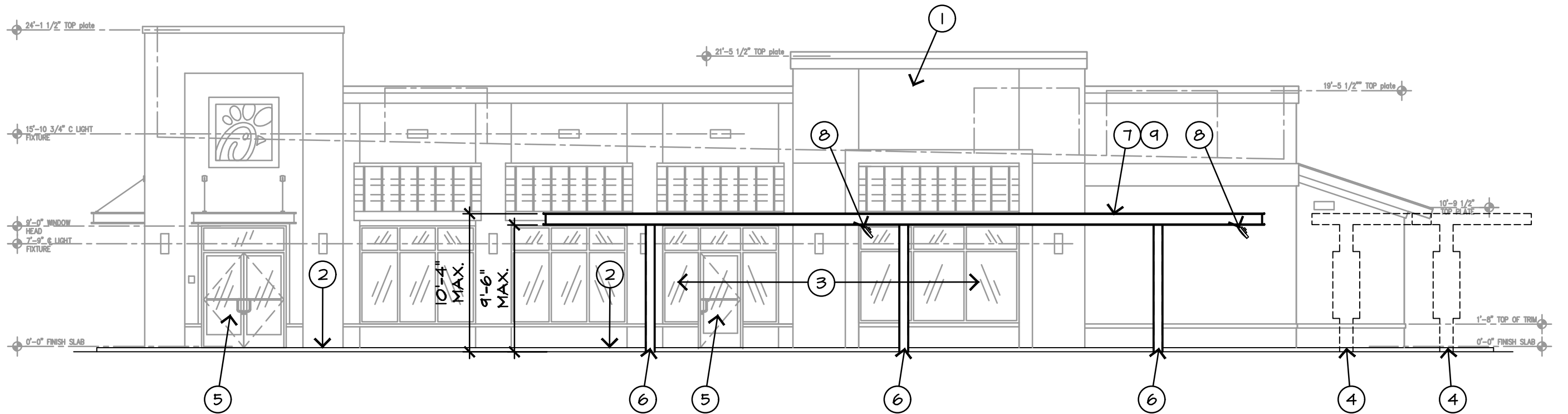


CONSTRUCTION NOTES - MEAL DELIVERY

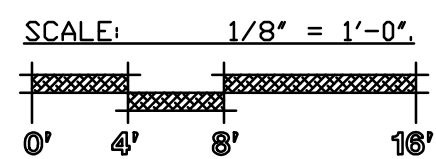
- A. EXISTING BUILDING AND FINISHES TO REMAIN. NO WORK IN THIS AREA.
- B. MEAL DELIVERY PICK UP WINDOW. NO CHANGE.
- C. EXISTING CONCRETE WALKWAY TO REMAIN.
- D. EXISTING DRIVE THRU LANE TO REMAIN.
- E. EXISTING AWNING TO BE REMOVED.
- F. EXISTING AWNING TO REMAIN. NO CHANGE.
- G. NEW CANOPY STEEL SUPPORT COLUMN. SEE STRUCTURAL DRAWINGS FOR MORE DETAIL. COLOR: JET MATTE BLACK.
- H. NEW CANOPY DECK. UNDERSIDE TO BE COLOR: LANE HIGH GLOSS WHITE. ROOF TO BE COLOR: JET MATTE BLACK.
- I. NEW CANOPY INDUSTRIAL MOUNTED 18" FAN. TPI CORPORATION MODEL: U-18-TE.
- J. NEW MEAL DELIVERY CANOPY METAL SHADE. COLOR: JET MATTE BLACK
- K. NEW FACE TO FACE CANOPY.
- L. EXISTING ENTRY.



3 REAR ELEVATION (WEST) - FACE TO FACE
SCALE: 1/8" = 1'-0" SEE STRUCT. DRAWINGS

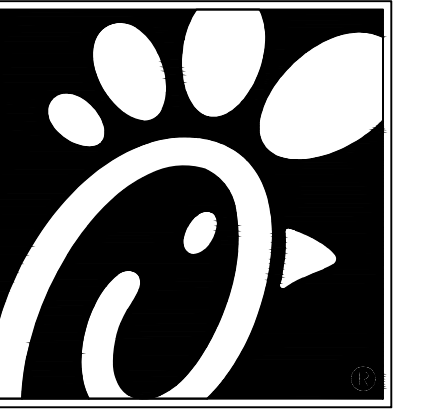


4 SIDE ENTRY ELEVATION (NORTH) - FACE TO FACE CANOPY
SCALE: 1/8" = 1'-0" SEE STRUCT. DRAWINGS



CONSTRUCTION NOTES - FACE TO FACE

- 1. EXISTING BUILDING AND FINISHES TO REMAIN. NO WORK IN THIS AREA.
- 2. EXISTING CONCRETE WALKWAY TO REMAIN.
- 3. EXISTING DRIVE THRU LANE TO REMAIN.
- 4. EXISTING ORDER POINT AND MENU BOARD TO REMAIN.
- 5. EXISTING ENTRY.
- 6. NEW CANOPY STEEL SUPPORT COLUMN. SEE STRUCTURAL DRAWINGS FOR MORE DETAIL. COLOR: JET MATTE BLACK.
- 7. NEW CANOPY DECK. UNDERSIDE TO BE COLOR: LANE HIGH GLOSS WHITE. ROOF TO BE COLOR: JET MATTE BLACK.
- 8. NEW CANOPY INDUSTRIAL MOUNTED 18" FAN. TPI CORPORATION MODEL: U-18-TE.
- 9. NEW FACE TO FACE CANOPY METAL SHADE. COLOR: JET MATTE BLACK.
- 10. NEW MEAL DELIVERY CANOPY.



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Revision Schedule

Rev	Date	By	Description

Project Name: CANOPY PROGRAM

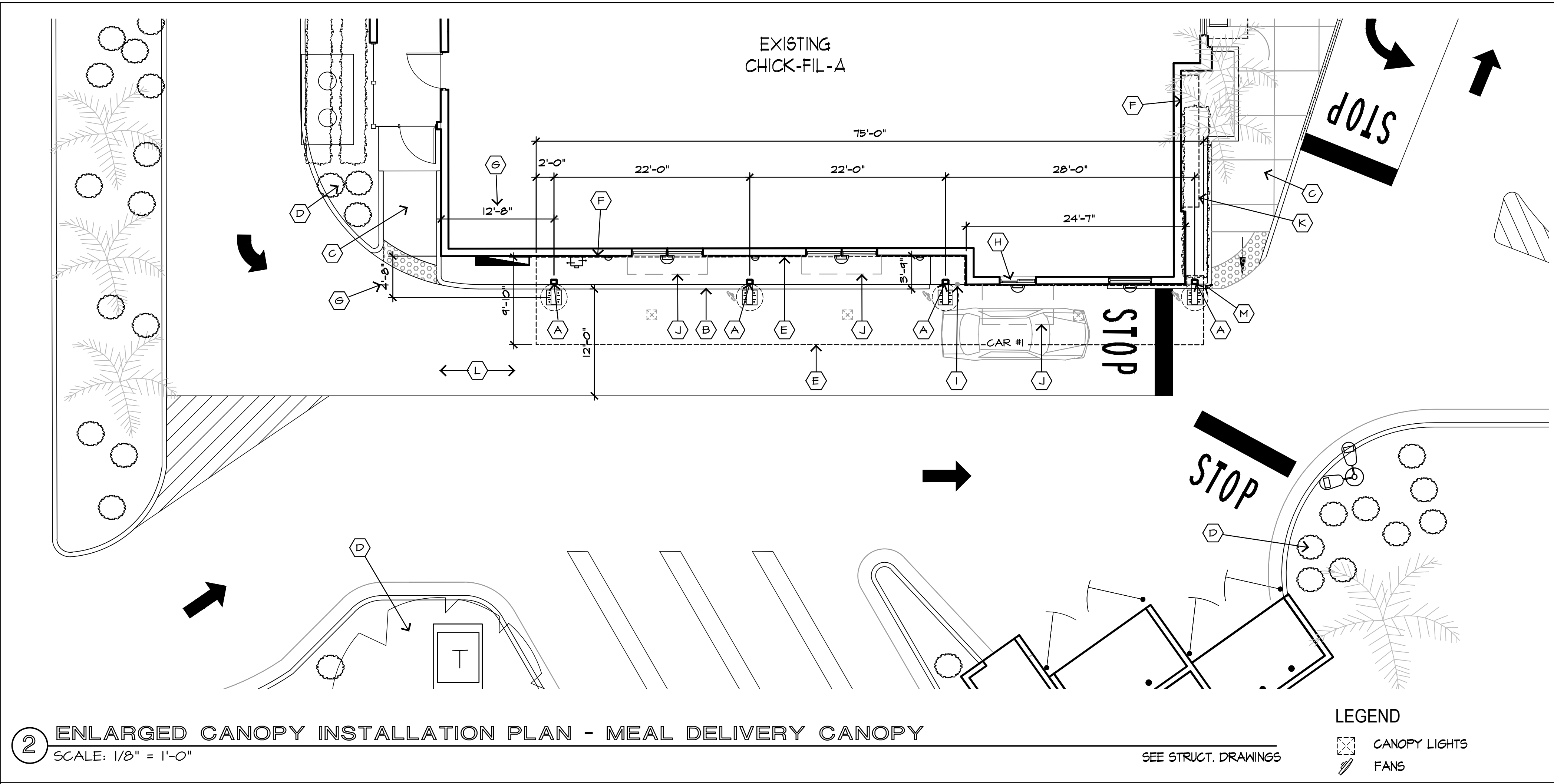
CHICK-FIL-A
STORE #3146

1800 S FEDERAL HWY
DELRAY BEACH, FL 33483

Issue Date: 6-27-19
Drawn By: JM/JH
Job Number: 18011

Sheet Title:
Elevations
Scale: As indicated

Sheet Number:
A-3



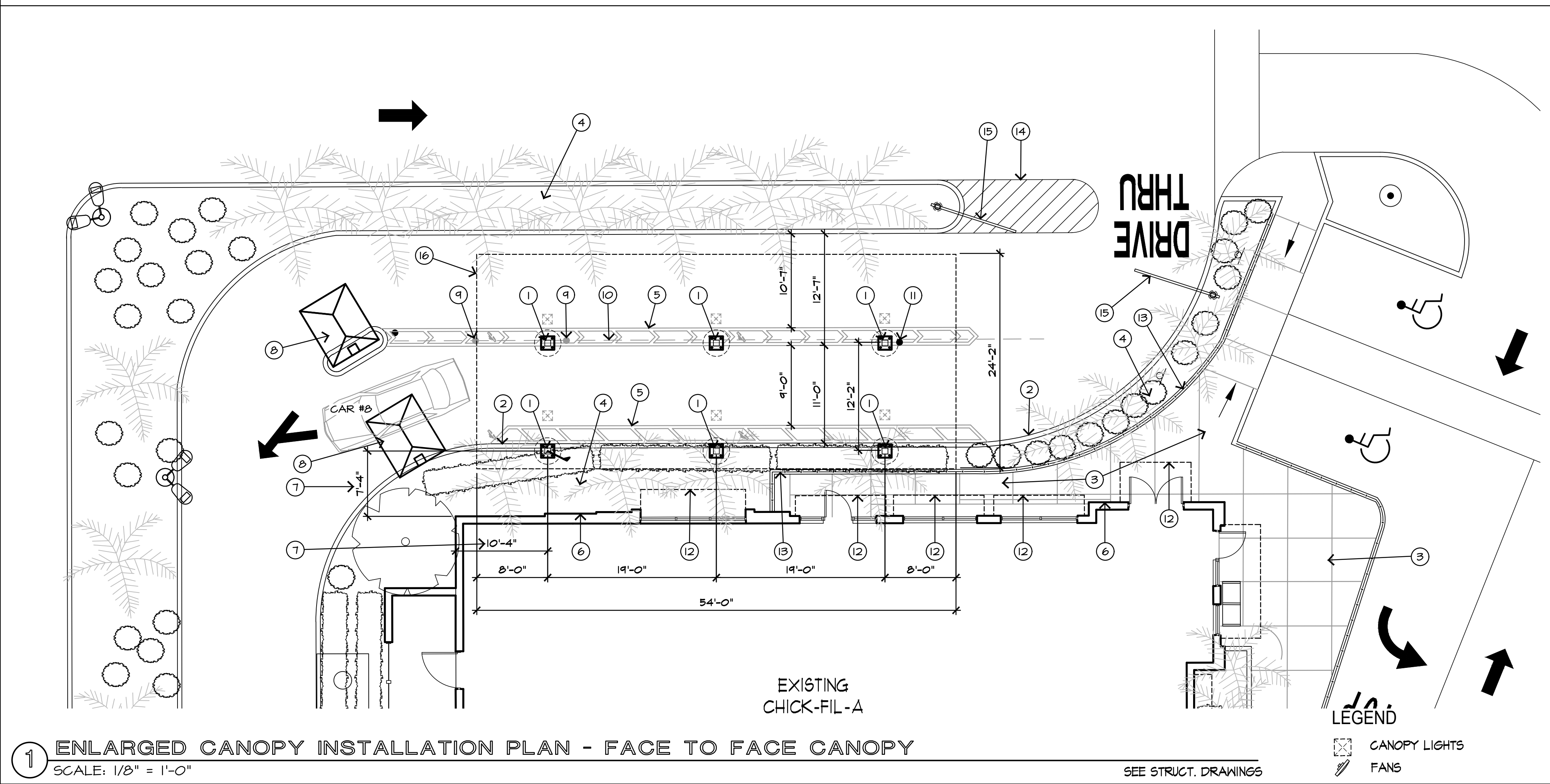
2 ENLARGED CANOPY INSTALLATION PLAN - MEAL DELIVERY CANOPY
SCALE: 1/8" = 1'-0"

SEE STRUCT. DRAWINGS

LEGEND

- CANOPY LIGHTS
- FANS

CONSTRUCTION NOTES - MEAL DELIVERY	
<p>A. NEW SHADE CANOPY STEEL SUPPORT COLUMN WITH CONCRETE FOOTING BELOW. SEE STRUCTURAL DRAWINGS FOR MORE DETAIL. EXISTING CONCRETE / LANDSCAPING TO BE REPAIRED AS REQUIRED FOR FLUSH CONDITION WITH EXISTING.</p> <p>B. EXISTING CONCRETE CURB TO REMAIN. ANY DAMAGE TO EXISTING CURB SHALL BE REPAIRED AND/OR REPLACED AS TO LIKE CONDITION.</p> <p>C. EXISTING CONCRETE WALKWAY TO REMAIN.</p> <p>D. EXISTING LANDSCAPING AREA TO REMAIN.</p> <p>E. OUTLINE OF PROPOSED OVERHEAD CANOPY.</p> <p>F. EDGE OF EXISTING BUILDING. NO CHANGE.</p> <p>G. XY DIMENSION SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. GC TO FIELD VERIFY EXACT LOCATION AND NOTIFY CHICK-FIL-A PROJECT TEAM IF CANOPY LOCATION CHANGES AND IMPACTS OTHER CONSTRUCTION RELATED CONDITIONS.</p> <p>H. MEAL DELIVERY PICK UP WINDOW. NO CHANGE.</p> <p>I. EXISTING BOLLARD TO BE REMOVED.</p> <p>J. EXISTING AWNING TO BE REMOVED. GC TO REPAIR AS REQUIRED FOR FLUSH CONDITION WITH EXISTING.</p> <p>K. EXISTING AWNING TO REMAIN. NO CHANGE.</p> <p>L. EXISTING DRIVE THRU LANE TO REMAIN.</p> <p>M. DEMO / MODIFY / NEW CURB AS REQUIRED TO ACCOMMODATE NEW CANOPY COLUMN - TO MATCH EXISTING. PROVIDE A FLUSH TRANSITION BETWEEN NEW AND EXISTING CURB.</p>	
NOTES:	REFERENCE:
<p>* GC TO CONFIRM SIZE, DEPTH AND LOCATION OF UTILITIES PRIOR TO CONSTRUCTION.</p>	<p>SCALE: 1/8" = 1'-0"</p> <p>0' 4' 8' 16'</p> <p>NORTH</p>



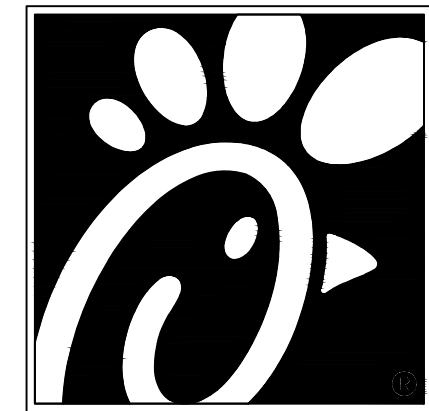
1 ENLARGED CANOPY INSTALLATION PLAN - FACE TO FACE CANOPY
SCALE: 1/8" = 1'-0"

SEE STRUCT. DRAWINGS

LEGEND

- CANOPY LIGHTS
- FANS

CONSTRUCTION NOTES - FACE TO FACE	
<p>1. NEW SHADE CANOPY STEEL SUPPORT COLUMN WITH CONCRETE FOOTING BELOW. SEE STRUCTURAL DRAWINGS FOR MORE DETAIL. EXISTING CONCRETE / LANDSCAPING TO BE REPAIRED AS REQUIRED FOR FLUSH CONDITION WITH EXISTING.</p> <p>2. EXISTING CONCRETE CURB TO REMAIN. ANY DAMAGE TO EXISTING CURB SHALL BE REPAIRED AND/OR REPLACED AS TO LIKE CONDITION.</p> <p>3. EXISTING CONCRETE WALKWAY TO REMAIN.</p> <p>4. EXISTING LANDSCAPING AREA TO REMAIN.</p> <p>5. NEW 24" WIDE TEAM MEMBER DEMARCATION. USE TRAFFIC RATED PAINT.</p> <p>6. EDGE OF EXISTING BUILDING. NO CHANGE.</p> <p>7. XY DIMENSION SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. GC TO FIELD VERIFY EXACT LOCATION AND NOTIFY CHICK-FIL-A PROJECT TEAM IF CANOPY LOCATION CHANGES AND IMPACTS OTHER CONSTRUCTION RELATED CONDITIONS.</p> <p>8. EXISTING DRIVE THRU ORDER POINT.</p> <p>9. EXISTING BOLLARD TO BE REMOVED.</p> <p>10. EXISTING STRIPING TO BE REMOVED.</p> <p>11. LOCATION OF NEW BOLLARD. PER CHICK-FIL-A STANDARDS DESIGN INSTALL 24" FROM FACE OF CLEARANCE BAR AND/OR LAST CANOPY COLUMN AS SHOWN ON DRAWINGS. EXISTING CONCRETE / LANDSCAPING TO BE REPAIRED AS REQUIRED FOR FLUSH CONDITION WITH EXISTING.</p> <p>12. EXISTING AWNING TO REMAIN.</p> <p>13. EXISTING RAILING TO REMAIN.</p> <p>14. EXISTING STRIPING TO REMAIN.</p> <p>15. EXISTING CLEARANCE BAR TO REMAIN. NO CHANGE.</p> <p>16. OUTLINE OF PROPOSED OVERHEAD CANOPY.</p>	
NOTES:	REFERENCE:
<p>* GC TO CONFIRM SIZE, DEPTH AND LOCATION OF UTILITIES PRIOR TO CONSTRUCTION.</p>	<p>SCALE: 1/8" = 1'-0"</p> <p>0' 4' 8' 16'</p> <p>NORTH</p>



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Revision Schedule

Rev	Date	By	Description

CANOPY PROGRAM
CHICK-FIL-A
STORE #3146
1800 S FEDERAL HWY
DELRAY BEACH, FL 33483

Issue Date: 6-27-19

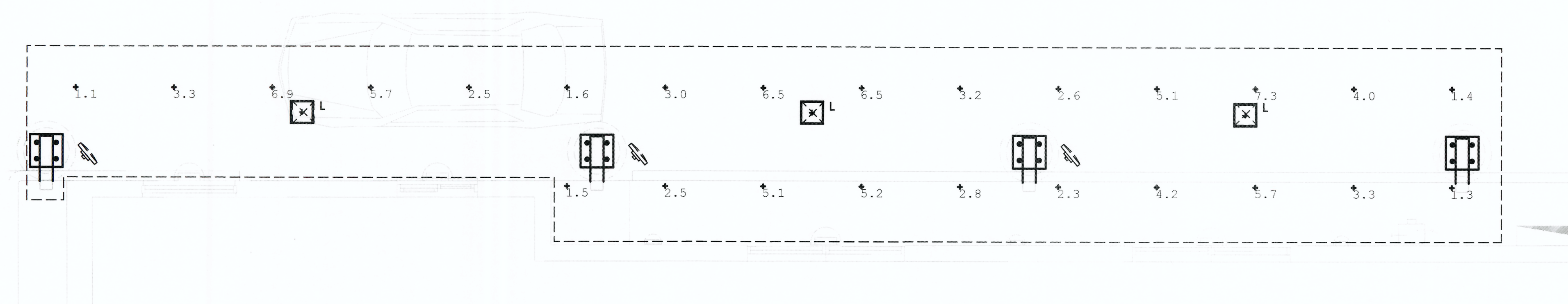
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Job Number: 18011

Sheet Title:
Enlarged Canopy
Plan

Scale: As indicated

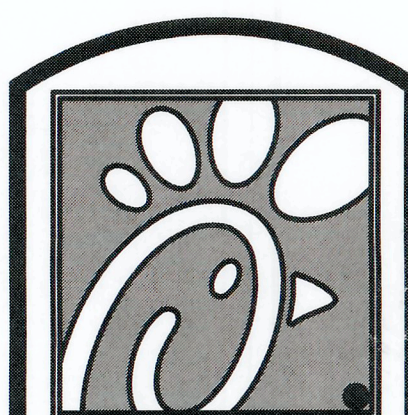
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Luminaire Schedule					
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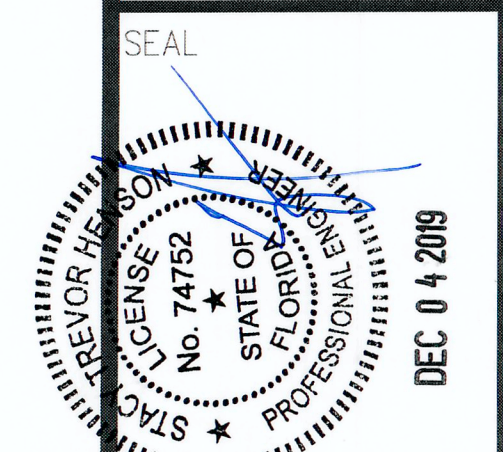
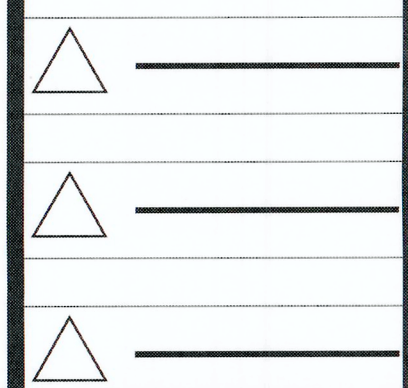
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Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Delivery Canopy	Illuminance	Fc	3.78	7.3	1.1	3.44	6.64
Order Canopy	Illuminance	Fc	5.98	9.9	2.9	2.06	3.41



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Mark	Date	By
1	12/03/19	BEM

PERMIT COMMENTS

**INTERPLAN** LLC

ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT

AA 003420
CA 8660

604 COURTLAND STREET
SUITE 100
ORLANDO, FLORIDA 32804
PH 407.645.5008
FX 407.629.9124

STORE
CANOPY ROLLOUT
PROGRAM
FSU 3146
1800 S FEDERAL
HIGHWAY
DELRAY BEACH FL
33483

SHEET TITLE
PHOTOMETRIC
CANOPY PLANS

VERSION: V7.025
ISSUE DATE: 01.2019

Job No. : 19.0026
Store : 3146
Date : 01.2019
Drawn By : BEM
Checked By: SN

Sheet 1



