



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: 100 Gleason (2020-029)
Project Location: 100 Gleason Street
Request: Class II Site Plan Modification
Board: Site Plan Review and Appearance Board
Meeting Date: December 11, 2019
Board Vote: Approved on a 5-2 vote

Board Action:

Approved with a 5-2 vote on the following request: Class II Site Plan Modification to allow Appurtenances to extend above the height limitations contained in Subsection (K). (Price Patton and John Brewer opposed)

Project Description:

The subject property is located on the southwest corner of the intersection of Gleason Street and Miramar Drive. The property is made up of 2 parcels and is approximately 0.20 acres. The parcels are in the Multiple Family Residential (RM) zoning district with a Future Land Use Map (FLUM) designation of MD.

The applicant proposes to construct a fee simple duplex that is 3 stories with a rooftop appurtenance that houses an elevator and stairwell to access the rooftop terrace above the 3rd story.

Per Section 4.4.6(E), single family and duplex uses and accessory uses thereto shall be allowed upon application to and approval by the Chief Building Official for structures which require a building permit, and which otherwise comply with applicable use restrictions. This provision allows these types of development to be reviewed and approved by the building permit process. In this case, the duplex features a rooftop appurtenance above the maximum building height of 35-feet. Appurtenances usually required to be placed above the roof level of a building and not intended for human occupancy may be allowed to extend above the height limitations contained in 4.3.4(K) but only when specifically approved by action of the Site Plan Review and Appearance Board (SPRAB). The project has an approved building permit and seeks a modification to allow the rooftop appurtenances, with the approval of the SPRAB.

As shown in the attached memorandum and staff report, the focus of the site plan modification is the appurtenance above the maximum height of 35-feet.

Board Comments:

The majority of the Board members were supportive of the application.

Public Comments:

There were several people from the public that expressed concerns with the rooftop appurtenance.

Associated Actions:

Building Permit plan set cannot be finalized until appurtenance request is approved.

Next Action:

The SPRAB action is final unless appealed by the City Commission.



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

MEMORANDUM

December 11, 2019

TO: Site Plan Review and Appearance Board (SPRAB)
FROM: Anthea Gianniotis, Development Services Director
THROUGH: Scott Pape, Principal Planner
DATE: December 3, 2019
SUBJECT: Class II Site Plan Modification for 100 Gleason Street (2020-029)

On November 20, 2019, the SPRAB considered a Class II Site Plan Modification for 100 Gleason Street for the modification of an approved duplex site plan to allow rooftop appurtenances that exceed the maximum height. The Board voted 5-0 to continue with direction (Carol Perez and Todd L'Herrou absent). Direction included reducing the massing of the appurtenance above the maximum height of 35 feet.

The Applicant has resubmitted plans that have the following changes in regard to the appurtenance.

- Appurtenance floor area reduced from 230 sf to 195 sf per unit.
- Appurtenance height reduced from 12 feet to 10 feet in height.
- Air Conditioner mechanicals relocated from within the appurtenance.
- Appurtenance setback increased by 4.25 feet along the western façade.
- Buttress stopped at the top of the Appurtenance roof parapet.



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

DEVELOPMENT SERVICES DEPARTMENT

100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: November 13, 2019: Postponed to November 20, 2019
File No.: 2020-029-SPF-SPR-CLII
Application Type: Class II Site Plan Modification for 100 Gleason Street.

General Data

Agent: Richard Jones Architecture
Applicant/Owner: John and Sally Deleonibus
Address: 100 Gleason Street
PCN: 12-43-46-16-14-004-0132 and 12-43-46-16-14-004-0133
Property Size: 8,908 sf
FLUM: Medium Density (MD)
Zoning: Multiple Family Residential (RM)
Adjacent Zoning:

- North: RM
- South: RM
- East: Single Family Residential (R-1-A)
- West: RM



Existing Land Use: Multiple Family Residential-Duplex
Proposed Land Use: Multiple Family Residential-Duplex

Item before the Board:

Consideration of a Class II Site Plan Modification application, pursuant to LDR Section 2.4.5 (G), for 100 Gleason Street for the modification of an approved duplex site plan to allow rooftop appurtenances that exceed the maximum height. The item includes the following:

- Required Action for LDR Section 4.3.4(J)(3)(b): Appurtenances may be allowed to extend above the height limitations contained in Subsection (K) when specifically approved by action of the Site Plan Review and Appearance Board.

Optional Board Motions for Action Item:

1. Move to continue with direction.
2. Move approval of the Class II Site Plan Modification (2020-029) to allow Appurtenances to extend above the height limitations contained in Subsection (K), for 100 Gleason Street, by finding that the request is consistent with the Comprehensive Plan and the Land Development Regulations, (as amended, if applicable).
3. Move denial of the Class II Site Plan Modification (2020-029) to allow Appurtenances to extend above the height limitations contained in Subsection (K), for 100 Gleason Street, by finding that the request is inconsistent with the Comprehensive Plan and does not meet the Land Development Regulations.

Project Planner:

Christine Stivers, Senior Planner;
Stiversc@mydelraybeach.com,
 (561) 243-7040

Review Dates:

SPRAB: November 13, 2019
 Postponement SPRAB Date: November 20, 2019

Attachments:

1. Site Plan
2. Elevations

**Background:**

The 0.20-acre property is located at the southwest corner of the intersection of Gleason Street and Miramar Drive, also known as 100 Gleason Street. The 2-lot subdivision is the east 89.6 feet of Lot 13 of the John B. Reid's Village Plat, PB 21, PG 95 of the records of Palm Beach County. The property has a zoning designation of Multiple Family Residential (RM) with a Future Land Use designation of Medium Density (MD).

The existing lot had a one-story duplex that was demolished in March of 2019. A building permit for a 35-foot high three-story duplex with an appurtenance was submitted and approved. In this case, the height was measured from the crown of road to top of roof per the Land Development Regulations prior to the adoption of Ordinance No 02-19. At that time, "Height" was defined as the vertical distance from grade (average mean of crown of road) to the highest finished roof surface of a flat roof or to the mean level between tie beams and ridge for gable, hip, or gambrel roofs. The maximum height set forth in the matrix is the maximum height for all structures within the respective zoning district.

Ordinance No. 02-19 amended Section 4.3.4 "Base District Development Standards" by amending paragraph 4.3.4(J) "Height", which measures height from the base flood elevation instead of crown of road, therefore, the applicant resubmitted plans to adjust the height of the duplex to reflect the height measurement change in the code per Ordinance No. 02-19.

Per Ordinance No. 02-19, building height is measured from one foot above the regulatory requirement for the elevation of structures (base flood elevation) as set forward by the requirements of the adopted Flood Insurance Rate Maps (FIRM) created by the Federal Emergency Management Agency (FEMA) and the Florida Building Code. The ordinance also allows the option to add one foot of freeboard to all buildings to create the starting elevation of "zero." In this case, the project has opted to include one foot of freeboard to the required building elevation; this creates the base building elevation point from which the 35-foot maximum height is measured. The previously approved plans height measurement, also a 35-foot maximum, begins at -3.6 feet which was taken at the average crown of road. Because of how Ordinance No. 02-19 defines the measurement of height, buildings constructed to the new ordinance height regulations will likely appear taller than previously constructed buildings with the same height limitation.

It is important to note, these requirements apply to all new construction for the purpose of increasing the long-term resiliency of the city. The issue before the board for consideration is not the new base building elevation, but the proposed added height (above the 35-ft. height limit) for an elevator/stair appurtenance. Per 4.3.4(J)(3)(b), Appurtenances on Buildings:

"Appurtenances usually required to be placed above the roof level of a building and not intended for human occupancy may be allowed to extend above the height limitations contained in 4.3.4(K) but only when specifically approved by action of the Site Plan Review and Appearance Board."

The appurtenance, in this case, is an elevator shaft and stairwell that provide access to the rooftop terraces above the 3rd story. In addition, the mechanicals are also housed within the enclosed area of the rooftop appurtenances.

Project Description and Assessment:

This application is for a 3-story duplex with rooftop appurtenances in the RM zoning district per the maximum height of 35-feet. Per Section 4.4.6(E), single family and duplex uses and accessory uses thereto shall be allowed upon application to and approval by the Chief Building Official for structures which require a building permit and which otherwise comply with applicable use restrictions. This provision allows these types of development to be reviewed and approved by the building permit process. The project has an approved building permit and seeks a modification to allow the rooftop appurtenances, with the approval of the SPRAB.

The applicant is proposing a rooftop appurtenance comprised of an elevator shaft and stairwell to provide access to the rooftop terraces above the 3rd story. In addition, some mechanical equipment is also housed within the enclosed area of the rooftop appurtenance. The overall floor area of the proposed appurtenance is approximately 230 sf, which extends 12 feet above the maximum building height. The habitable portion of the building is 35 feet tall, measured from the base building elevation to the top of the flat roof (per code). The overall building height is 47 feet measured from the base building elevation to the top of the appurtenance's parapet. Therefore, the appurtenance is 12 feet above the 35-foot maximum height.

Section 4.3.4(J)(3) includes the regulations on appurtenances as well as other items that may occur over the district height limitation. This section includes "exceptions to district height limitations," which lists items where the height limitation of Section 4.3.4(K) does not apply including free-standing antennas, chimneys, conveyors, cooling towers, flag poles, radio towers, silos, or television towers. However, any part of any such structure, or feature, shall not extend above the height of 64 feet unless specifically approved by



action of the City Commission.

Additionally, this section of the code includes the regulation of parapets. The regulations are as follows: Flat roofs shall be screened from adjacent properties and streets with decorative parapets. The maximum height of the parapet wall shall be six feet in height or sufficient height to screen all roof mounted equipment, whichever is greater, measured from the top of the roof deck to the top of the parapet wall. In the case of this application, the applicant could propose a parapet wall of at least 6 feet in height, above the rooftop, to screen roof mounted equipment that is currently located within the appurtenance area.

Section 4.3.4.(J)(3) was last updated in Ordinance No. 02-06, therefore, no revisions have been made to this section since 2006. Since that time, the use of elevators within residential units has increased as the population has aged, the number of stories has increased, and usable living space is not solely located on the first and second stories. In addition, the citywide interest in rooftop terraces has increased in a climate that permits almost year around outside activity. The SPRAB regularly reviews multiple family and townhouse projects within the CBD and RM zoning districts that incorporate appurtenances to provide rooftop access. Amendments to the code to facilitate the use of rooftop terraces in the downtown area have been recently adopted.

As the trend for elevators increases, land prices increase, lot sizes decrease, the desire to have multiple usable living spaces on all stories, including the use of rooftop terraces has risen. In this case, to mitigate some of the mass created by the proposed appurtenance, the mechanical equipment can be screened with a parapet wall rather than using an interior room and, it appears, that a portion of the stairwell could also be reduced in size while not losing its functionality.

LDR Section 4.3.4(K) Development Standards Matrix

Standard	Maximum	Provided
Maximum Building Height (RM)	35'	35'
Appurtenance Height	N/A	12'
Total Building Height		47'

Site Plan Analysis:

Pursuant to Section 2.4.5(G)(1)(b), approval of a modification to a site plan through a Class II application requires no review of Performance Standards found in Section 3.1.1 but requires action by the Board.

Review by Others:

The development proposal is not in a geographic area requiring review by the Pineapple Grove Main Street (PGMS), West Atlantic Redevelopment Coalition (WARC), Historic Preservation Board (HPB), Downtown Development Authority (DDA) or the Community Redevelopment Agency (CRA). Formal public notice is not required.



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100 GLEASON STREET
DELRAY BEACH

JOHN DELEONIBUS
100 GLEASON STREET
DELRAY BEACH, FL 33483

FLORIDA LICENSURE

AA26001617 | IB26001056

COMMISSION # 17-058

DESIGNER: RJ
DRAWN BY: GSI

PLAN REVIEW: RJ

SUBMITTALS:	
CLASS V	10.25.19
SPECIAL SITE	
PLAN	
SUBMITTAL	

REVISIONS:

THE EAST 89.6 FEET OF LOT 13, BLOCK D, JOHN B. REID'S VILLAGE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 21, PAGE 95, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

	Required	Provided
Front Setback (North)	25'-0"	25'-0"
Rear Setback (South)	15'-0"	15'-0 3/4"
Side Interior Setback (West)	15'-0"	15'-0 1/4"
Side Street Setback (East)	25'-0"	25'-0"

	PROVIDED	REQUIRED
Bldg Footprint =	2,680 SQ.FT.	
Impervious Area =		
Pervious Area =		
Total Site Area =	8,908 SQ.FT.	
Lot Coverage =	30%	40%
% Impervious =		
% Pervious =		
%Open Space =		25% Non-Vehicular

SITE PLAN

SP-1



Scale: 1"=10'





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100 GLEASON STREET
DELRAY BEACH

JOHN DELEONIBUS
100 GLEASON STREET
DELRAY BEACH, FL 33483

FLORIDA LICENSURE

AA26001617 | IB26001056

COMMISSION # 17-058

DESIGNER: RJ
DRAWN BY: GIL

PLAN REVIEW: RJ

SUBMITTALS:	
CLASS V	12.03.19
SPECIAL SITE	
PLAN	
SUBMITTAL	

REVISIONS:

LEGAL DESCRIPTION

THE EAST 89.6 FEET OF LOT 13, BLOCK D, JOHN B. REID'S VILLAGE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 21, PAGE 95, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

BUILDING SETBACKS

	Required	Provided
Front Setback (North)	25'-0"	25'-0"
Rear Setback (South)	15'-0"	15'-0 3/4"
Side Interior Setback (West)	15'-0"	15'-0 1/4"
Side Street Setback (East)	25'-0"	25'-0"

SITE DATA CHART

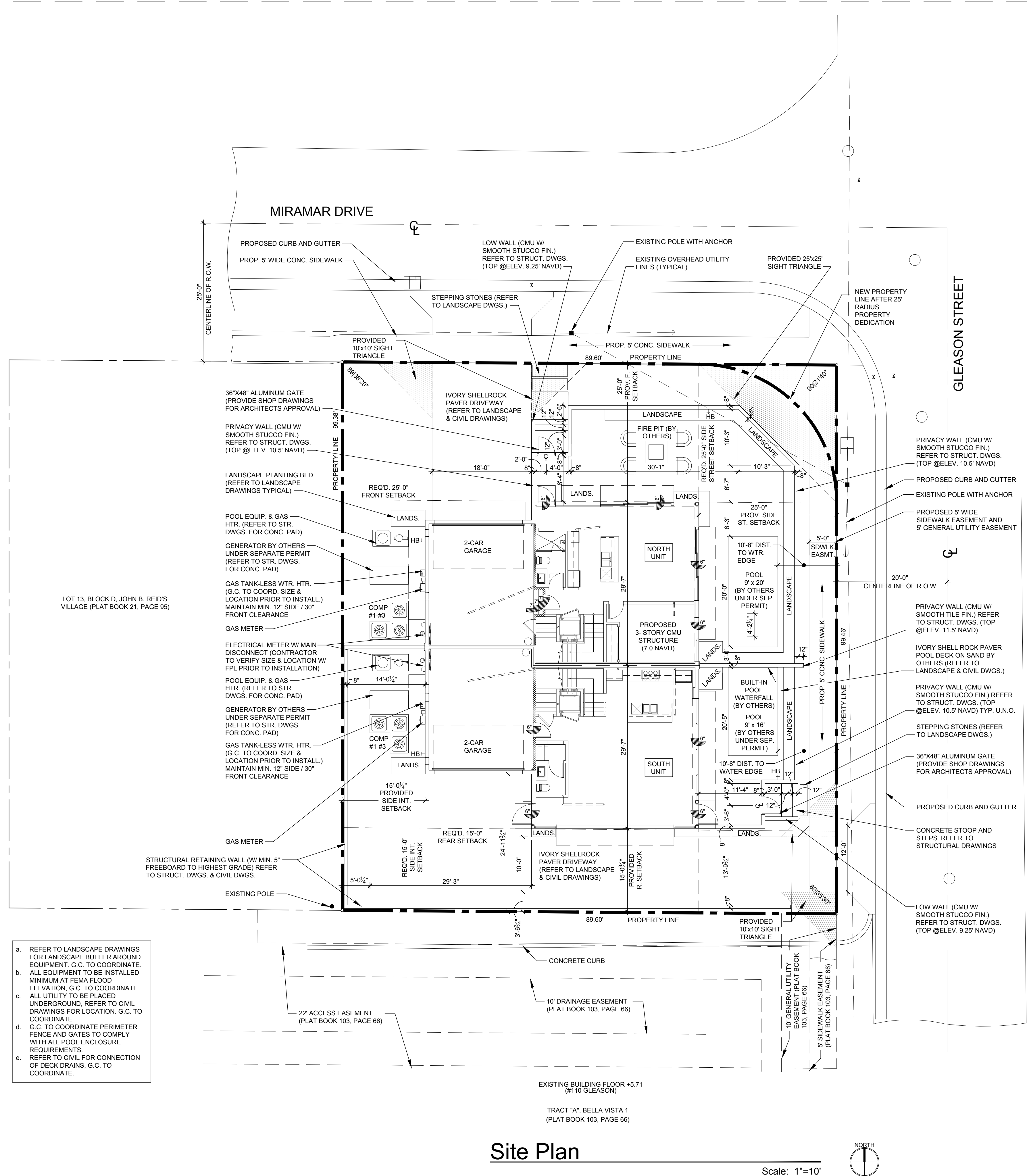
	PROVIDED	REQUIRED
Bldg Footprint =	2,680 SQ.FT.	
Impervious Area =		
Pervious Area =		
Total Site Area =	8,908 SQ.FT.	
Lot Coverage =	30%	40%
% Impervious =		
% Pervious =		
%Open Space =		25% Non-Vehicular

Lot Width =	89.60'		
Lot Depth =	99.46'		
Lot Frontage =	89.60'		
Building Height =	35'-0"	35'-0"	(FROM C. OF R.)

SITE PLAN

SP-1

RICHARD JONES ARCHITECTURE



KEY NOTES

1. 48" REFRIGERATOR/FREEZER (REFER TO I.D. DRAWINGS).

2. DOUBLE BOWL SINK w/ DISPOSAL (REFER TO I.D. DRAWINGS).

3. 48" GAS RANGE w/ HOOD (REFER TO I.D. DRAWINGS).

4. UNDER COUNTER MICROWAVE DRAWER (REFER TO ID DRAWINGS).

5. DISHWASHER (REFER TO ID DRAWINGS).

6. ELECTRIC CAR CHARGING STATION W/ DEDICATED CIRCUIT (G.C. TO COORD. W/ OWNER)

7. KITCHEN ISLAND w/ KNEE SPACE - COUNTER +36" A.F.F. (REFER TO I.D. DWGS.)

8. HOSE BIB (ALSO REFER TO SHEET SP-1 SITE PLAN FOR ADDITIONAL LOCATIONS).

9. WASHING MACHINE (REFER TO I.D. DRAWINGS).

10. DRYER - VENT TO EXTERIOR (REFER TO I.D. DRAWINGS).

11. UNDER COUNTER REFRIGERATOR (REFER TO I.D. DRAWINGS).

12. FLAT HEADER +8'-0" ABOVE FINISH FLOOR.

13. LAUNDRY SINK (REFER TO I.D. DRAWINGS).

14. LAVATORY (REFER TO I.D. DRAWINGS).

15. WATER CLOSET (REFER TO I.D. DRAWINGS).

16. MASONRY PARAPET +42" ABOVE FINISH ROOF DECK.

17. AIR HANDLER UNIT #1 W/ DUAL CONDENSATE OVERFLOW EMERG. SHUT OFF SENSORS.

18. AIR HANDLER UNIT #2 W/ DUAL CONDENSATE OVERFLOW EMERG. SHUT OFF SENSORS.

19. AIR HANDLER UNIT #3 W/ DUAL CONDENSATE OVERFLOW EMERG. SHUT OFF SENSORS.

20. FLOOR DRAIN. VERIFY LOCATION IN FIELD. SLOPE FLR. TO DRAIN

21. CONCRETE STEPS (REFER TO STRUCTURAL DRAWINGS).

22. R-11 INSULATION AND TYPE 'X' GYPSUM BOARD AT GARAGE CEILING.

23. R-11 INSULATION AT GARAGE WALL

24. TEMP. GLS. SHWR. ENCLOS. (W/ TEMP. GLS. DOOR WHERE APPLICABLE) SEE I.D. DRAWINGS.

25. INTERIOR STAIR WITH RAILING SYSTEM - SEE ENLARGED STAIR DETAILS SHEET A-7.1 (REFER TO I.D. DRAWINGS) PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL.

26. PANTRY BUILT-IN (BY OTHERS - REFER TO I.D. DRAWINGS).

27. BUILT-IN (BY OTHERS) SEE CABINET SHOP DRAWINGS FOR DIMENSIONS.

28. ELECTRICAL PANEL IN G.W.B BUILT OUT (REFER TO ELEC. SHEETS E-1 THRU E-4).

29. DASHED LINE INDICATES BALCONY ABOVE.

30. CANTILEVERED CONCRETE EYEBROW BELOW - SLOPE MAXIMUM 1/8" PER FOOT.

31. STRUCTURAL COLUMN (REFER TO STRUCTURAL DRAWINGS).

32. GAS METER.

33. 6" PEDESTAL TUB (REFER TO I.D. DRAWINGS).

34. SHOWER (REFER TO I.D. DRAWINGS).

35. WET BAR SINK (REFER TO I.D. DRAWINGS).

36. POURED CONCRETE COLUMN.

37. 42" H. ALUM. RAILING SYSTEM W/ 3/4" SQ. HORIZ. TUBING W/ RECESSED MOUNTED POSTS SILVER POWDER COATED (PROVIDE SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).

38. 12" VENTILATED WIRE SHELVING AND HANGING ROD.

39. 2" GARAGE DOOR RAIN RECESS (TYPICAL).

40. NOMINAL STORM DRAIN ROUTE AT THIS FLOOR LEVEL.

41. FIRE SPRINKLER RISER LOCATION.

42. TANK-LESS GAS WATER HEATER (G.C. TO SIZE ACCORDINGLY).

43. NOMINAL STORM DRAIN ROUTE IN CEILING PLENUM FROM FLOOR ABOVE (DASHED LINE).

44. COUNTER +36" A.F.F. (REFER TO INTERIOR DESIGNER DRAWINGS).

45. TERRACE / BALCONY WATER PROOFING & FLASHING SYSTEM - WATERPROOF CLEAR SEALER OVER TILE WITH THIN SET "LATI-GRETE" EPOXY GROUT OVER TREMCO 350/351 SYSTEM (OR EQUAL) SLOPE 1/8" PER FOOT (INSTALL PER MANUFACTURER'S SPECIFICATIONS) UNDERSIDE OF DECK MINIMUM 3" ICYNENE PRO SEAL INSULATION (AVG. R-19 INSULATION ENTIRE ASSEMBLY) WHERE TERRACE / BALCONY ENCLOSES A/C SPACE BELOW.

46. 42" H. TEMP. SAFETY GLASS RAILING SYSTEM W/ ALUM. FRAME (TO REJECT 4" SPHERE) SILVER POWDER COATED (PROV. SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).

47. ELEC. METER W/ MAIN DISC. (G.C. TO VERIFY LOCATION W/ FFL PRIOR TO INSTALLATION).

48. 28" H. ALUM. RAILING SYSTEM W/ 3/4" SQ. HORIZ. TUBING W/ RECESSED MOUNTED POSTS ON 14" H. CONC. LOW WALL (PROVIDE SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).

49. 22"x36" ACCESS PANEL (FOR EMERGENCY ACCESS TO ELEVATOR MOTOR).

50. SMART VENT FLOOD VENT BLOCKS (VENT MUST BE INSTALLED 0" TO 12" A.F.F. ENTIRE VENT MUST BE BELOW BASE FLOOD ELEVATION / DESIGN FLOOD ELEVATION).

51. 2" STRUCTURAL BUMP OUT.

52. NOMINAL ROUTE OF HVAC SUPPLY FROM AHU #1 ABOVE AT SECOND FLOOR.

53. 2-HOUR DEMISING WALL.

54. NOMINAL ROUTE OF HVAC SUPPLY FROM AHU #3 ABOVE AT APPURTENANCE FLOOR.

55. 13" HIGH MASONRY PARAPET.

56. ROOF DECK WATER DRAIN.

57. MASONRY KNEE WALL +42" ABOVE FINISH DECK.

58. MASONRY PRIVACY WALL +6'-4" ABOVE FINISH DECK.

59. FLUSH PANEL METAL GARAGE DOOR W/ PAINTED FINISH (PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.

60. MASONRY PRIVACY WALL +7'-2" ABV. FIN. DECK W/ COLOR COORD. ALUM. DRIP EDGE CAP.

61. ALUM. GATE (SEE SITE PLAN & DTL.) PROV. SHOP DWGS. FOR ARCH'S. REVIEW & APPROVAL.

62. PRE-FAB GAS FIRE (BY OTHERS) G.C. TO COORD. W/ OWNER (REFER TO I.D. DRAWINGS).

63. OPTIONAL FREE STANDING SPA (BY OTHERS) G.C. TO COORDINATE W/ OWNER.

64. TRACTION ELEVATOR (BY OTHERS).

65. CENTRAL VACUUM SYSTEM (BY OTHERS) G.C. TO COORDINATE W/ OWNER.

66. 4" WIDE x 2" HIGH EMERGENCY OVERFLOW SCUPPER.

67. DASHED LINE INDICATES EYEBROW ABOVE.

68. TERRACE / AMENITY DECK WATER DRAIN.

69. GENERATOR (BY OTHERS UNDER SEPARATE PERMIT) G.C. TO COORDINATE SIZING REQ'S.

70. EPOXY PAINT FINISH ON GARAGE FLOOR (G.C. TO COORDINATE W/ OWNER / I.D. DWGS.).

71. T.V. NICHE 4" INSET FROM FACE OF MASONRY WALL (G.C. TO COORD. SIZING W/ ELEC. SUB).

72. 48" ELECTRIC / INDUCTION RANGE w/ HOOD (REFER TO I.D. DRAWINGS).

73. GAS BARBECUE.

74. RAYNOR GLASS OVER HEAD DOOR (PROVIDE NOA AND SHOP DWGS. FOR ARCH'S. REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.

75. APPLIED PORCELAIN TILE OVER WATER PROOFING ON MASONRY WALL (G.C. TO COORDINATE FINISH SELECTION WITH OWNER) TYP. @2ND FLR. BALCONY END BUMP-OUTS.

76. FASCIA BOARD CONCEALED DRAPERY POCKET (REFER TO I.D. DRAWINGS).

77. STRUCT. COL. CLAD IN CLEAR ANODIZED ALUM. TO MATCH WINDOW (SEE STRUCT. DWGS.).

78. SHOWER SEAT +22" A.F.F. (REFER TO INTERIOR DRAWINGS).

NOTES

1. ALL FINISHES AND PAINT COLORS SHALL BE SELECTED BY INTERIOR DESIGNER.

2. 5/8" THICK DENS-SHIELD SHALL BE INSTALLED IN LIEU OF GYPSUM BD. @ ALL WET AREAS.

3. MIRRORS SHALL BE INSTALLED OVER ALL VANITIES. HEIGHT & WIDTH SHALL BE DETERMINED BY INTERIOR DESIGNER.

4. ALL EXPOSED GYP. BD. WALLS AND CEILING SHALL RECEIVE 2 COATS OF FLAT LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.

5. ALL INTERIOR WOOD, DOORS, BASE OR TRIM SHALL RECEIVE 2 COATS OF SEMI-GLOSS LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.

6. FINISH FOR CLOSETS SHALL BE SAME AS FINISH OF ROOM CLOSET IS IN (U.O.N.).

7. ALL KITCHEN, LAUNDRY ROOM, FINISHED BATHROOMS & POWDER ROOMS SHALL HAVE IMPERVIOUS FLOORING & BASE.

NOTE: ALL WINDOWS NOTED AS EGRESS WINDOWS SHALL COMPLY WITH F.B.C. SILL HEIGHT SHALL NOT EXCEED 44" A.F.F. MIN. OPG. HT. SHALL BE 24" AND MIN OPG. WIDTH SHALL BE 20" MIN. CLEAR OPEN AREA SHALL BE 5.7 SQ. FT. (5.0 SQ.FT. @ 1ST FLOOR)

WALL HATCH SCHEDULE

DENOTES SOUND ATTENUATION INSULATION WITHIN WALL

DENOTES R-11 BATT INSULATION WITHIN WALL

NORTH UNIT BUILDING AREA CALCULATIONS

GROUND FLOOR A/C	886 SQ.FT.
SECOND FLOOR A/C	1,322 SQ.FT.
THIRD FLOOR A/C	694 SQ.FT.
APPURTENANCE A/C	145 SQ.FT.
TOTAL A/C	3,047 SQ.FT.

GARAGE

BALCONIES

TERRACE

TOTAL BUILDING FLOOR AREA

452 SQ.FT.

560 SQ.FT.

472 SQ.FT.

4,531 SQ.FT.

SOUTH UNIT BUILDING AREA CALCULATIONS

GROUND FLOOR A/C	889 SQ.FT.
SECOND FLOOR A/C	1,324 SQ.FT.
THIRD FLOOR A/C	680 SQ.FT.
APPURTENANCE A/C	175 SQ.FT.
TOTAL A/C	3,068 SQ.FT.

GARAGE

BALCONIES

TERRACE

TOTAL BUILDING FLOOR AREA

452 SQ.FT.

565 SQ.FT.

427 SQ.FT.

4,512 SQ.FT.

The Ground Floor Plan illustrates a symmetrical building layout with North and South Units. The North Unit (top half) includes a Foyer, Bath, Club Room, Bedroom, Kitchen, Dining, and Great Room. The South Unit (bottom half) includes a Foyer, Bath, Club Room, Bedroom, Kitchen, Dining, and Great Room. Two 2-Car Garages are located in the center, each with a 2-hour demising wall. The plan shows various rooms, corridors, and structural elements like columns and walls. Dimensions and elevations are provided for key areas. Notes include: (2) VENT BLOCKS STACKED VERTICALLY, 443 S.F. AREA SERVED BY (3) FLOOD VENT BLOCKS, 418 S.F. AREA SERVED BY (3) FLOOD VENT BLOCKS, and 418 S.F. AREA SERVED BY (3) FLOOD VENT BLOCKS. The plan also shows the location of various mechanical units and structural columns.

Ground Floor Plan

Scale: 1/4"=1'-0"

RICHARD JONES
ARCHITECTURE

10 S.E. FIRST AVENUE | SUITE 102
DELRAY BEACH, FLORIDA 33444
V 561.274.9186 | F 561.274.9196
AA26001617 | IB26001056

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100 GLEASON STREET
DELRAY BEACH

JOHN DELEONIBUS
100 GLEASON STREET
DELRAY BEACH, FL 33483

FLORIDA

LICENSURE

AA26001617 | IB26001056

COMMISSION # 17-058

DESIGNER: RJ

DRAWN BY: Gsj

PLAN REVIEW: RJ

SUBMITTALS:

CLASS V

SPECIAL SITE

PLAN

SUBMITTAL

12.03.19

REVISIONS:

GROUND FLOOR PLAN

A-1.1

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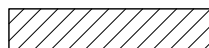

KEY NOTES

- 48" REFRIGERATOR/FREEZER (REFER TO I.D. DRAWINGS).
- DOUBLE BOWL SINK w/ DISPOSAL (REFER TO I.D. DRAWINGS).
- 48" GAS RANGE w/ HOOD (REFER TO I.D. DRAWINGS).
- UNDER COUNTER MICROWAVE DRAWER (REFER TO ID DRAWINGS).
- DISHWASHER (REFER TO ID DRAWINGS).
- ELECTRIC CAR CHARGING STATION W/ DEDICATED CIRCUIT (G.C. TO COORD. W/ OWNER).
- KITCHEN ISLAND w/ KNEE SPACE - COUNTER +36" A.F.F. (REFER TO I.D. DWGS.).
- HOSE BIB (ALSO REFER TO SHEET SP-1 SITE PLAN FOR ADDITIONAL LOCATIONS).
- WASHING MACHINE (REFER TO I.D. DRAWINGS).
- DRYER - VENT TO EXTERIOR (REFER TO I.D. DRAWINGS).
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- LAVATORY (REFER TO I.D. DRAWINGS).
- WATER CLOSET (REFER TO I.D. DRAWINGS).
- MASONRY PARAPET +42" ABOVE FINISH ROOF DECK.
- AIR HANDLER UNIT #1 W/ DUAL CONDENSATE OVERFLOW EMERG. SHUT OFF SENSORS.
- AIR HANDLER UNIT #2 W/ DUAL CONDENSATE OVERFLOW EMERG. SHUT OFF SENSORS.
- AIR HANDLER UNIT #3 W/ DUAL CONDENSATE OVERFLOW EMERG. SHUT OFF SENSORS.
- FLOOR DRAIN. VERIFY LOCATION IN FIELD. SLOPE FLR. TO DRAIN.
- CONCRETE STEPS (REFER TO STRUCTURAL DRAWINGS).
- R-11 INSULATION AND TYPE 'X' GYPSUM BOARD AT GARAGE CEILING.
- R-11 INSULATION AT GARAGE WALL.
- TEMP. GLS. SHWR. ENCLDS. W/ TEMP. GLS. DOOR WHERE APPLICABLE) SEE I.D. DRAWINGS.
- INTERIOR STAIR WITH RAILING SYSTEM - SEE ENLARGED STAIR DETAILS SHEET A-7.1 (REFER TO I.D. DRAWINGS) PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL.
- PANTRY BUILT-IN (BY OTHERS - REFER TO I.D. DRAWINGS).
- BUILT-IN (BY OTHERS) SEE CABINET SHOP DRAWINGS FOR DIMENSIONS.
- ELECTRICAL PANEL IN G.W.B BUILT OUT (REFER TO ELEC. SHEETS E-1 THRU E-4).
- DASHED LINE INDICATES BALCONY ABOVE.
- CANTILEVERED CONCRETE EYEBROW BELOW - SLOPE MAXIMUM 1/8" PER FOOT.
- STRUCTURAL COLUMN (REFER TO STRUCTURAL DRAWINGS).
- GAS METER.
- 6" PEDESTAL TUB (REFER TO I.D. DRAWINGS).
- SHOWER (REFER TO I.D. DRAWINGS).
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- POURED CONCRETE COLUMN.
- 42" H. ALUM. RAILING SYSTEM W/ 3/4" SQ. HORIZ. TUBING W/ RECESSED MOUNTED POSTS SILVER POWDER COATED (PROVIDE SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).
- 12" VENTILATED WIRE SHELVING AND HANGING ROD.
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- TANKLESS GAS WATER HEATER (G.C. TO SIZE ACCORDINGLY).
- NOMINAL STORM DRAIN ROUTE IN CEILING PLENUM FROM FLOOR ABOVE (DASHED LINE).
- COUNTER +36" A.F.F. (REFER TO INTERIOR DESIGNER DRAWINGS).
- TERRACE / BALCONY WATER PROOFING & FLASHING SYSTEM - WATERPROOF CLEAR SEALER OVER TILE WITH THIN SET "LATOCRETE" EPOXY GROUT OVER TREMCO 350/351 SYSTEM (OR EQUAL) SLOPE MINIMUM 1/8" PER FOOT (INSTALL PER MANUFACTURER'S SPECIFICATIONS) UNDERSIDE OF DECK MINIMUM 3" ICYNENE PRO SEAL INSULATION (AVG. R-19 INSULATION ENTIRE ASSEMBLY) WHERE TERRACE / BALCONY ENCLOSES A/C SPACE BELOW.
- 42" H. TEMP. SAFETY GLASS RAILING SYSTEM W/ ALUM. FRAME (TO REJECT 4" SPHERE) SILVER POWDER COATED (PROV. SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).
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- 22"x36" ACCESS PANEL (FOR EMERGENCY ACCESS TO ELEVATOR MOTOR).
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- 2" STRUCTURAL BUMP OUT.
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- 2-HOUR DEMISING WALL.
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- 13" HIGH MASONRY PARAPET.
- ROOF DECK WATER DRAIN.
- MASONRY KNEE WALL +42" ABOVE FINISH DECK.
- MASONRY PRIVACY WALL +6'-4" ABOVE FINISH DECK.
- FLUSH PANEL METAL GARAGE DOOR W/ PAINTED FINISH (PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.
- MASONRY PRIVACY WALL +7'-2" ABV. FIN. DECK W/ COLOR COORD. ALUM. DRIP EDGE CAP.
- ALUM. GATE (SEE SITE PLAN & DTL.) PROV. SHOP DWGS. FOR ARCHS. REVIEW & APPROVAL.
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- TRACTION ELEVATOR (BY OTHERS).
- CENTRAL VACUUM SYSTEM (BY OTHERS) G.C. TO COORDINATE W/ OWNER.
- 4" WIDE x 2" HIGH EMERGENCY OVERFLOW SCUPPER.
- DASHED LINE INDICATES EYEBROW ABOVE.
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- GENERATOR (BY OTHERS UNDER SEPARATE PERMIT) G.C. TO COORDINATE SIZING REQ'S.
- EPOXY PAINT FINISH ON GARAGE FLOOR (G.C. TO COORDINATE W/ OWNER / I.D. DWGS.).
- T.V. NICHE 4" INSET FROM FACE OF MASONRY WALL (G.C. TO COORD. SIZING W/ ELEC. SUB).
- 48" ELECTRIC / INDUCTION RANGE w/ HOOD (REFER TO I.D. DRAWINGS).
- GAS BARBECUE.
- RAYNOR GLASS OVER HEAD DOOR (PROVIDE NOA AND SHOP DWGS. FOR ARCHS. REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.
- APPLIED PORCELAIN TILE OVER WATER PROOFING ON MASONRY WALL (G.C. TO COORDINATE FINISH SELECTION WITH OWNER) TYP. @2ND FLR. BALCONY END BUMP-OUTS.
- FASCIA BOARD CONCEALED DRAPERY POCKET (REFER TO I.D. DRAWINGS).
- STRUCT. COL. CLAD IN CLEAR ANODIZED ALUM. TO MATCH WINDOW (SEE STRUCT. DWGS.).
- SHOWER SEAT +22" A.F.F. (REFER TO INTERIOR DRAWINGS).

NOTES

- ALL FINISHES AND PAINT COLORS SHALL BE SELECTED BY INTERIOR DESIGNER.
 - 5/8" THICK DENS-SHIELD SHALL BE INSTALLED IN LIEU OF GYPSUM BD. @ ALL WET AREAS.
 - MIRRORS SHALL BE INSTALLED OVER ALL VANITIES. HEIGHT & WIDTH SHALL BE DETERMINED BY INTERIOR DESIGNER.
 - ALL EXPOSED GYP. BD. WALLS AND CEILING SHALL RECEIVE 2 COATS OF FLAT LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.
 - ALL INTERIOR WOOD, DOORS, BASE OR TRIM SHALL RECEIVE 2 COATS OF SEMI-GLOSS LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.
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 - ALL KITCHEN, LAUNDRY ROOM, FINISHED BATHROOMS & POWDER ROOMS SHALL HAVE IMPERVIOUS FLOORING & BASE.
- NOTE: ALL WINDOWS NOTED AS EGRESS WINDOWS SHALL COMPLY WITH F.B.C. SILL HEIGHT SHALL NOT EXCEED 44" A.F.F. MIN. OPG. HT. SHALL BE 24" AND MIN OPG. WIDTH SHALL BE 20" MIN. CLEAR OPEN AREA SHALL BE 5.7 SQ. FT. (5.0 SQ.FT. @ 1ST FLOOR)

WALL HATCH SCHEDULE

	DENOTES SOUND ATTENUATION INSULATION WITHIN WALL
	DENOTES R-11 BATT INSULATION WITHIN WALL

NORTH UNIT BUILDING AREA CALCULATIONS

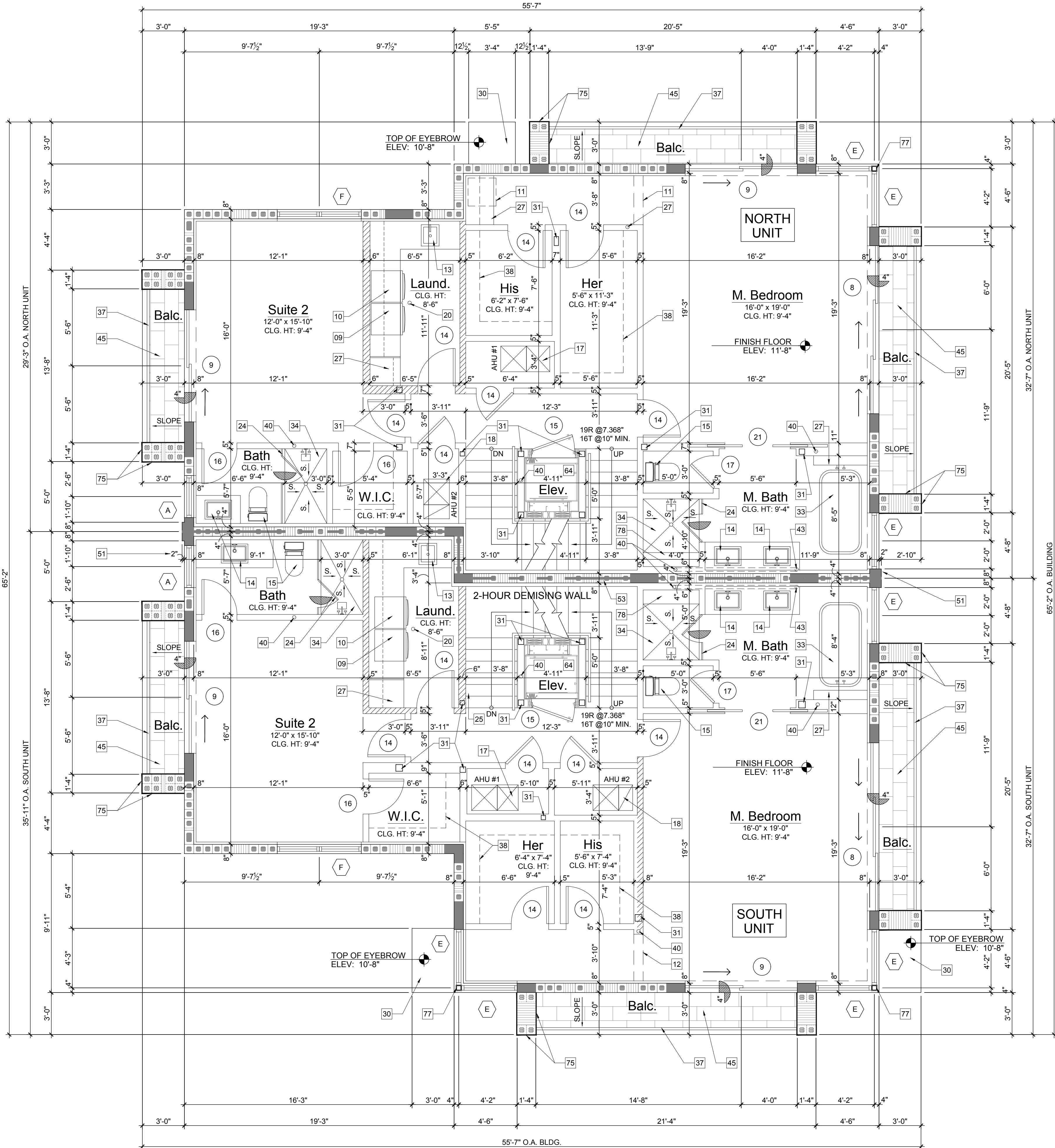
GROUND FLOOR A/C	886 SQ.FT.
SECOND FLOOR A/C	1,322 SQ.FT.
THIRD FLOOR A/C	694 SQ.FT.
APPURTENANCE A/C	145 SQ.FT.
TOTAL A/C	3,047 SQ.FT.

GARAGE	452 SQ.FT.
BALCONIES	560 SQ.FT.
TERRACE	472 SQ.FT.
TOTAL BUILDING FLOOR AREA	4,531 SQ.FT.

SOUTH UNIT BUILDING AREA CALCULATIONS

GROUND FLOOR A/C	889 SQ.FT.
SECOND FLOOR A/C	1,324 SQ.FT.
THIRD FLOOR A/C	680 SQ.FT.
APPURTENANCE A/C	175 SQ.FT.
TOTAL A/C	3,068 SQ.FT.

GARAGE	452 SQ.FT.
BALCONIES	565 SQ.FT.
TERRACE	427 SQ.FT.
TOTAL BUILDING FLOOR AREA	4,512 SQ.FT.



Second Floor Plan

Scale: 1/4"=1'-0"



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JOHN DELEONIBUS
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COMMISSION # 17-058
DESIGNER: RJ
DRAWN BY: Gsj
PLAN REVIEW: RJ

SUBMITTALS:
CLASS V
SPECIAL SITE
PLAN
SUBMITTAL
12.03.19

REVISIONS:

SECOND
FLOOR
PLAN

A-1.2

RICHARD JONES ARCHITECTURE

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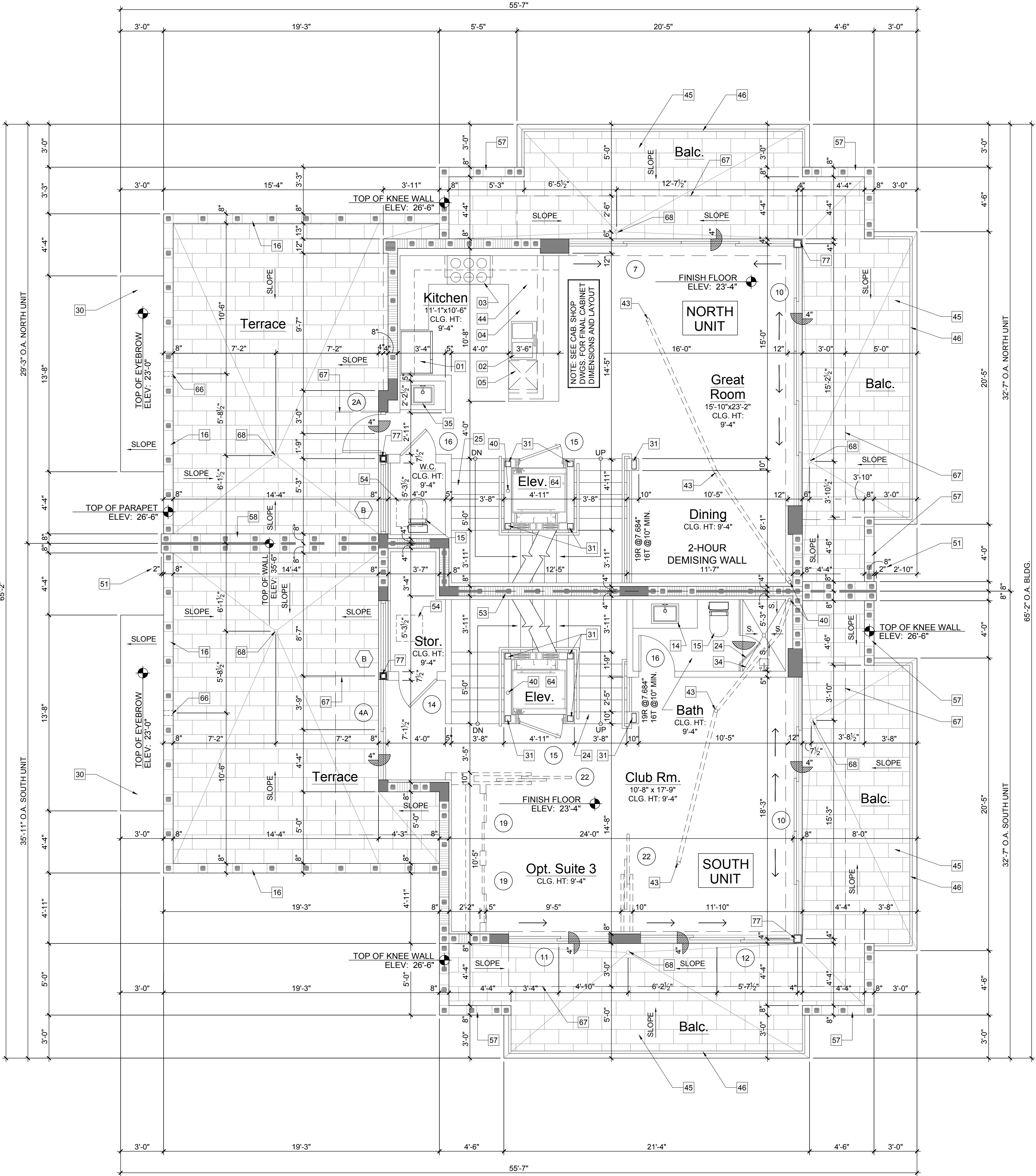
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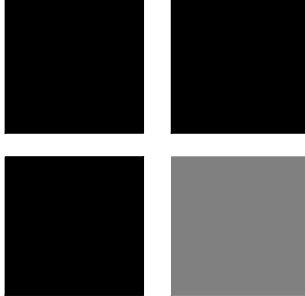


Third Floor Plan

Scale: 1/4"=1'-0"



RICHARD JONES



ARCHITECTURE

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JOHN DELEONIBUS
100 GLEASON STREET
DELRAY BEACH, FL 33483

FLORIDA LICENSURE

AA26001617 | IB26001056

COMMISSION # 17-058
DESIGNER: RJ
DRAWN BY: Gsj
PLAN REVIEW: RJ

SUBMITTALS:
CLASS V
SPECIAL SITE
PLAN
SUBMITTAL
12.03.19

REVISIONS:

THIRD
FLOOR
PLAN

A-1.3

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29. DASHED LINE INDICATES BALCONY ABOVE.

30. CANTILEVERED CONCRETE EYEBROW BELOW - SLOPE MAXIMUM 1/8" PER FOOT.

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32. GAS METER.

33. 6" PEDESTAL TUB (REFER TO I.D. DRAWINGS).

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43. NOMINAL STORM DRAIN ROUTE IN CEILING PLENUM FROM FLOOR ABOVE (DASHED LINE).

44. COUNTER +36" A.F.F. (REFER TO INTERIOR DESIGNER DRAWINGS).

45. TERRACE / BALCONY WATER PROOFING & FLASHING SYSTEM - WATERPROOF CLEAR SEALER OVER TILE WITH THIN SET "LATIURETE" EPOXY GROUT OVER TREMCO 350/351 SYSTEM (OR EQUAL) SLOPE MINIMUM 1/8" PER FOOT (INSTALL PER MANUFACTURER'S SPECIFICATIONS) UNDERSIDE OF DECK MINIMUM 3" ICYNENE PRO SEAL INSULATION (AVG. R-19 INSULATION ENTIRE ASSEMBLY) WHERE TERRACE / BALCONY ENCLOSES A/C SPACE BELOW.

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56. ROOF DECK WATER DRAIN.

57. MASONRY KNEE WALL +42" ABOVE FINISH DECK.

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59. FLUSH PANEL METAL GARAGE DOOR W/ PAINTED FINISH (PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.

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67. DASHED LINE INDICATES EYEBROW ABOVE.

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74. RAYNOR GLASS OVER HEAD DOOR (PROVIDE NOA AND SHOP DWGS. FOR ARCH'S. REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.

75. APPLIED PORCELAIN TILE OVER WATER PROOFING ON MASONRY WALL (G.C. TO COORDINATE FINISH SELECTION WITH OWNER) TYP. @2ND FLR. BALCONY END BUMP-OUTS.

76. FASCIA BOARD CONCEALED DRAPERY POCKET (REFER TO I.D. DRAWINGS).

77. STRUCT. COL. CLAD IN CLEAR ANODIZED ALUM. TO MATCH WINDOW (SEE STRUCT. DWGS.).

78. SHOWER SEAT +22" A.F.F. (REFER TO INTERIOR DRAWINGS).

NOTES

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5. ALL INTERIOR WOOD, DOORS, BASE OR TRIM SHALL RECEIVE 2 COATS OF SEMI-GLOSS LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.

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WALL HATCH SCHEDULE

DENOTES SOUND ATTENUATION INSULATION WITHIN WALL.

DENOTES R-11 BATT INSULATION WITHIN WALL.

NORTH UNIT BUILDING AREA CALCULATIONS

GROUND FLOOR A/C	886 SQ.FT.
SECOND FLOOR A/C	1,322 SQ.FT.
THIRD FLOOR A/C	694 SQ.FT.
APPURTENANCE A/C	145 SQ.FT.
TOTAL A/C	3,047 SQ.FT.

SOUTH UNIT BUILDING AREA CALCULATIONS

GROUND FLOOR A/C	889 SQ.FT.
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THIRD FLOOR A/C	680 SQ.FT.
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TOTAL A/C	3,068 SQ.FT.

GARAGE	452 SQ.FT.
BALCONIES	560 SQ.FT.
TERRACE	472 SQ.FT.
TOTAL BUILDING FLOOR AREA	4,531 SQ.FT.

GARAGE	452 SQ.FT.
BALCONIES	565 SQ.FT.
TERRACE	427 SQ.FT.
TOTAL BUILDING FLOOR AREA	4,512 SQ.FT.

The figure is a detailed architectural drawing of a roof terrace plan, labeled 'Roof Terrace Plan #1'. It shows two main units: the 'NORTH UNIT' and the 'SOUTH UNIT', each with its own mechanical room ('Mech. NORTH UNIT' and 'Mech. SOUTH UNIT'). The plan includes various structural elements such as walls, columns, and beams, along with mechanical equipment like air handlers ('AHU #3') and elevators ('Elev.'). Dimensions are provided for various sections, including overall unit dimensions (e.g., 32'-3" for the North Unit, 32'-7" for the South Unit) and individual component sizes. Elevation points are marked, such as 'TOP OF KNEE WALL ELEV: 38'-6"' and 'T.O. ROOF @ LOW POINT ELEV: 35'-0"'. The plan also shows outdoor areas like terraces and balconies, with slopes indicated for drainage. A north arrow is located in the bottom right corner.

Roof Terrace Plan #1

Scale: 1/4"=1'-0"

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PLAN REVIEW: RJ

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CLASS V 12.03.19
SPECIAL SITE PLAN
SUBMITTAL

REVISIONS:

ROOF
TERRACE
PLAN

A-1.4

RICHARD JONES ARCHITECTURE

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2. DOUBLE BOWL SINK w/ DISPOSAL (REFER TO I.D. DRAWINGS).

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GARAGE

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Roof Terrace Plan #2

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CLASS V
SPECIAL SITE
PLAN
SUBMITTAL
12.03.19

REVISIONS:

ROOF
TERRACE
PLAN

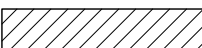

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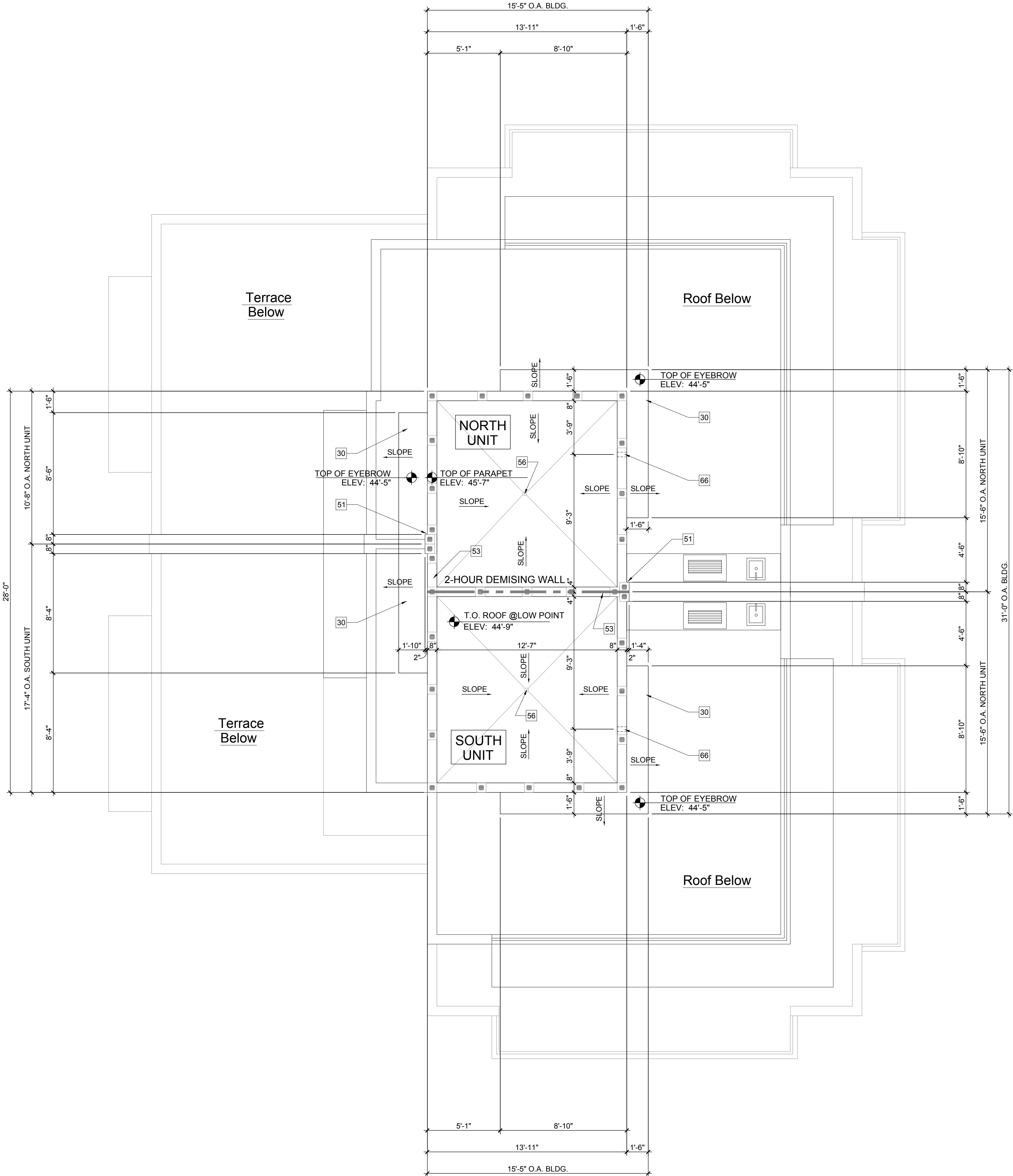
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35.	WET BAR SINK (REFER TO I.D. DRAWINGS).
36.	POURED CONCRETE COLUMN.
37.	42" H. ALUM. RAILING SYSTEM W/ 3/4" SQ. HORIZ. TUBING W/ RECESSED MOUNTED POSTS SILVER POWDER COATED (PROVIDE SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).
38.	12" VENTILATED WIRE SHELVING AND HANGING ROD.
39.	2" GARAGE DOOR RAIN RECESS (TYPICAL).
40.	NOMINAL STORM DRAIN ROUTE AT THIS FLOOR LEVEL.
41.	FIRE SPRINKLER RISER LOCATION.
42.	TANK-LESS GAS WATER HEATER (G.C. TO SIZE ACCORDINGLY).
43.	NOMINAL STORM DRAIN ROUTE IN CEILING PLENUM FROM FLOOR ABOVE (DASHED LINE).
44.	COUNTER +36" A.F.F. (REFER TO INTERIOR DESIGNER DRAWINGS).
45.	TERRACE / BALCONY WATER PROOFING & FLASHING SYSTEM - WATERPROOF CLEAR SEALER OVER TILE WITH THIN SET "LATI-CRETE" EPOXY GROUT OVER TREMCO 350/351 SYSTEM (OR EQUAL) SLOPE MINIMUM 1/8" PER FOOT (INSTALL PER MANUFACTURER'S SPECIFICATIONS) UNDERSIDE OF DECK MINIMUM 3" ICYNENE PRO SEAL INSULATION (AVG. R-19 INSULATION ENTIRE ASSEMBLY) WHERE TERRACE / BALCONY ENCLOSES A/C SPACE BELOW.
46.	42" H. TEMP. SAFETY GLASS RAILING SYSTEM W/ ALUM. FRAME (TO REJECT 4" SPHERE) SILVER POWDER COATED (PROV. SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).
47.	ELEC. METER W/ MAIN DISC. (G.C. TO VERIFY LOCATION W/ FFL PRIOR TO INSTALLATION).
48.	28" H. ALUM. RAILING SYSTEM W/ 3/4" SQ. HORIZ. TUBING W/ RECESSED MOUNTED POSTS ON 14" H. CONC. LOW WALL (PROVIDE SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).
49.	22"x36" ACCESS PANEL (FOR EMERGENCY ACCESS TO ELEVATOR MOTOR).
50.	SMART VENT FLOOD VENT BLOCKS (VENT MUST BE INSTALLED 0" TO 12" A.F.F. ENTIRE VENT MUST BE BELOW BASE FLOOD ELEVATION / DESIGN FLOOD ELEVATION).
51.	2" STRUCTURAL BUMP OUT.
52.	NOMINAL ROUTE OF HVAC SUPPLY FROM AHU #1 ABOVE AT SECOND FLOOR.
53.	2-HOUR DEMISING WALL.
54.	NOMINAL ROUTE OF HVAC SUPPLY FROM AHU #3 ABOVE AT APPURTENANCE FLOOR.
55.	13" HIGH MASONRY PARAPET.
56.	ROOF DECK WATER DRAIN.
57.	MASONRY KNEE WALL +42" ABOVE FINISH DECK.
58.	MASONRY PRIVACY WALL +6'-4" ABOVE FINISH DECK.
59.	FLUSH PANEL METAL GARAGE DOOR W/ PAINTED FINISH (PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.
60.	MASONRY PRIVACY WALL +7'-2" ABV. FIN. DECK W/ COLOR COORD. ALUM. DRIP EDGE CAP.
61.	ALUM. GATE (SEE SITE PLAN & DTL.) PROV. SHOP DWGS. FOR ARCH'S. REVIEW & APPROVAL.
62.	PRE-FAB GAS FIRE PIT (BY OTHERS) G.C. TO COORD. W/ OWNER (REFER TO I.D. DRAWINGS).
63.	OPTIONAL FREE STANDING SPA (BY OTHERS) G.C. TO COORDINATE W/ OWNER.
64.	TRACTION ELEVATOR (BY OTHERS).
65.	CENTRAL VACUUM SYSTEM (BY OTHERS) G.C. TO COORDINATE W/ OWNER.
66.	4" WIDE x 2" HIGH EMERGENCY OVERFLOW SCUPPER.
67.	DASHED LINE INDICATES EYEBROW ABOVE.
68.	TERRACE / AMENITY DECK WATER DRAIN.
69.	GENERATOR (BY OTHERS UNDER SEPARATE PERMIT) G.C. TO COORDINATE SIZING REQ'S.
70.	EPOXY PAINT FINISH ON GARAGE FLOOR (G.C. TO COORDINATE W/ OWNER / I.D. DWGS.).
71.	T.V. NICHE 4" INSET FROM FACE OF MASONRY WALL (G.C. TO COORD. SIZING W/ ELEC. SUB).
72.	48" ELECTRIC / INDUCTION RANGE w/ HOOD (REFER TO I.D. DRAWINGS).
73.	GAS BARBECUE.
74.	RAYNOR GLASS OVER HEAD DOOR (PROVIDE NOA AND SHOP DWGS. FOR ARCH'S. REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.
75.	APPLIED PORCELAIN TILE OVER WATER PROOFING ON MASONRY WALL (G.C. TO COORDINATE FINISH SELECTION WITH OWNER) TYP. @2ND FLR. BALCONY END BUMP-OUTS.
76.	FASCIA BOARD CONCEALED DRAPERY POCKET (REFER TO I.D. DRAWINGS).
77.	STRUCT. COL. CLAD IN CLEAR ANODIZED ALUM. TO MATCH WINDOW (SEE STRUCT. DWGS.).
78.	SHOWER SEAT +22" A.F.F. (REFER TO INTERIOR DRAWINGS).

NOTES	
1.	ALL FINISHES AND PAINT COLORS SHALL BE SELECTED BY INTERIOR DESIGNER.
2.	5/8" THICK DENS-SHIELD SHALL BE INSTALLED IN LIEU OF GYPSUM BD. @ ALL WET AREAS.
3.	MIRRORS SHALL BE INSTALLED OVER ALL VANITIES. HEIGHT & WIDTH SHALL BE DETERMINED BY INTERIOR DESIGNER.
4.	ALL EXPOSED GYP. BD. WALLS AND CEILING SHALL RECEIVE 2 COATS OF FLAT LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.
5.	ALL INTERIOR WOOD, DOORS, BASE OR TRIM SHALL RECEIVE 2 COATS OF SEMI-GLOSS LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.
6.	FINISH FOR CLOSETS SHALL BE SAME AS FINISH OF ROOM CLOSET IS IN (U.O.N.).
7.	ALL KITCHEN, LAUNDRY ROOM, FINISHED BATHROOMS & POWDER ROOMS SHALL HAVE IMPERVIOUS FLOORING & BASE.
NOTE: ALL WINDOWS NOTED AS EGRESS WINDOWS SHALL COMPLY WITH F.B.C. SILL HEIGHT SHALL NOT EXCEED 44" A.F.F. MIN. OPG. HT. SHALL BE 24" AND MIN OPG. WIDTH SHALL BE 20". MIN. CLEAR OPEN AREA SHALL BE 5.7 SQ. FT. (5.0 SQ FT. @ 1ST FLOOR)	


WALL HATCH SCHEDULE	
	DENOTES SOUND ATTENUATION INSULATION WITHIN WALL
	DENOTES R-11 BATT INSULATION WITHIN WALL
NORTH UNIT BUILDING AREA CALCULATIONS	
GROUND FLOOR A/C	886 SQ.FT.
SECOND FLOOR A/C	1,322 SQ.FT.
THIRD FLOOR A/C	694 SQ.FT.
APPURTENANCE A/C	145 SQ.FT.
TOTAL A/C	3,047 SQ.FT.
GARAGE	452 SQ.FT.
BALCONIES	560 SQ.FT.
TERRACE	472 SQ.FT.
TOTAL BUILDING FLOOR AREA	4,531 SQ.FT.
SOUTH UNIT BUILDING AREA CALCULATIONS	
GROUND FLOOR A/C	889 SQ.FT.
SECOND FLOOR A/C	1,324 SQ.FT.
THIRD FLOOR A/C	680 SQ.FT.
APPURTENANCE A/C	175 SQ.FT.
TOTAL A/C	3,068 SQ.FT.
GARAGE	452 SQ.FT.
BALCONIES	565 SQ.FT.
TERRACE	427 SQ.FT.
TOTAL BUILDING FLOOR AREA	4,612 SQ.FT.

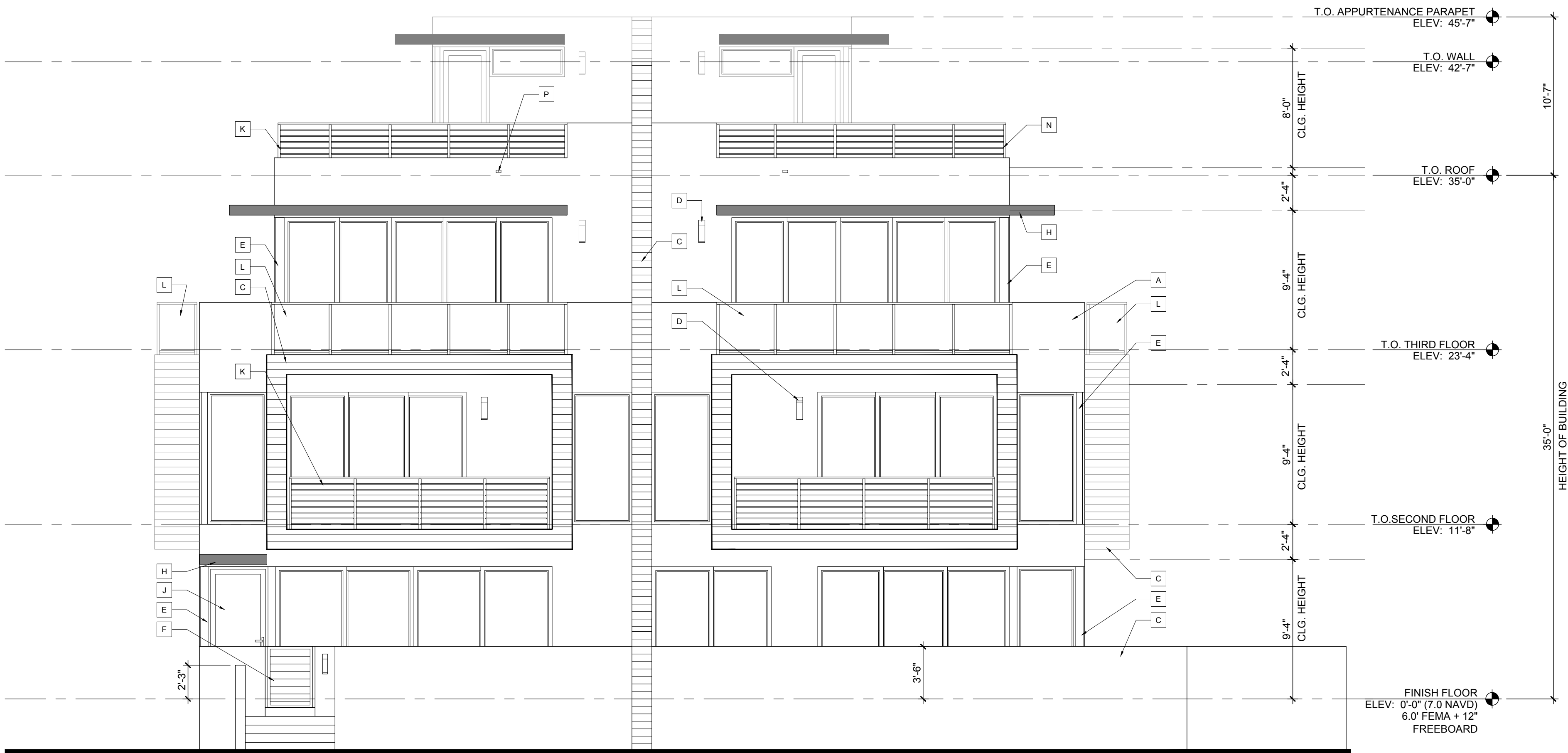


Upper Roof Plan

Scale: 1/4"=1'-0"

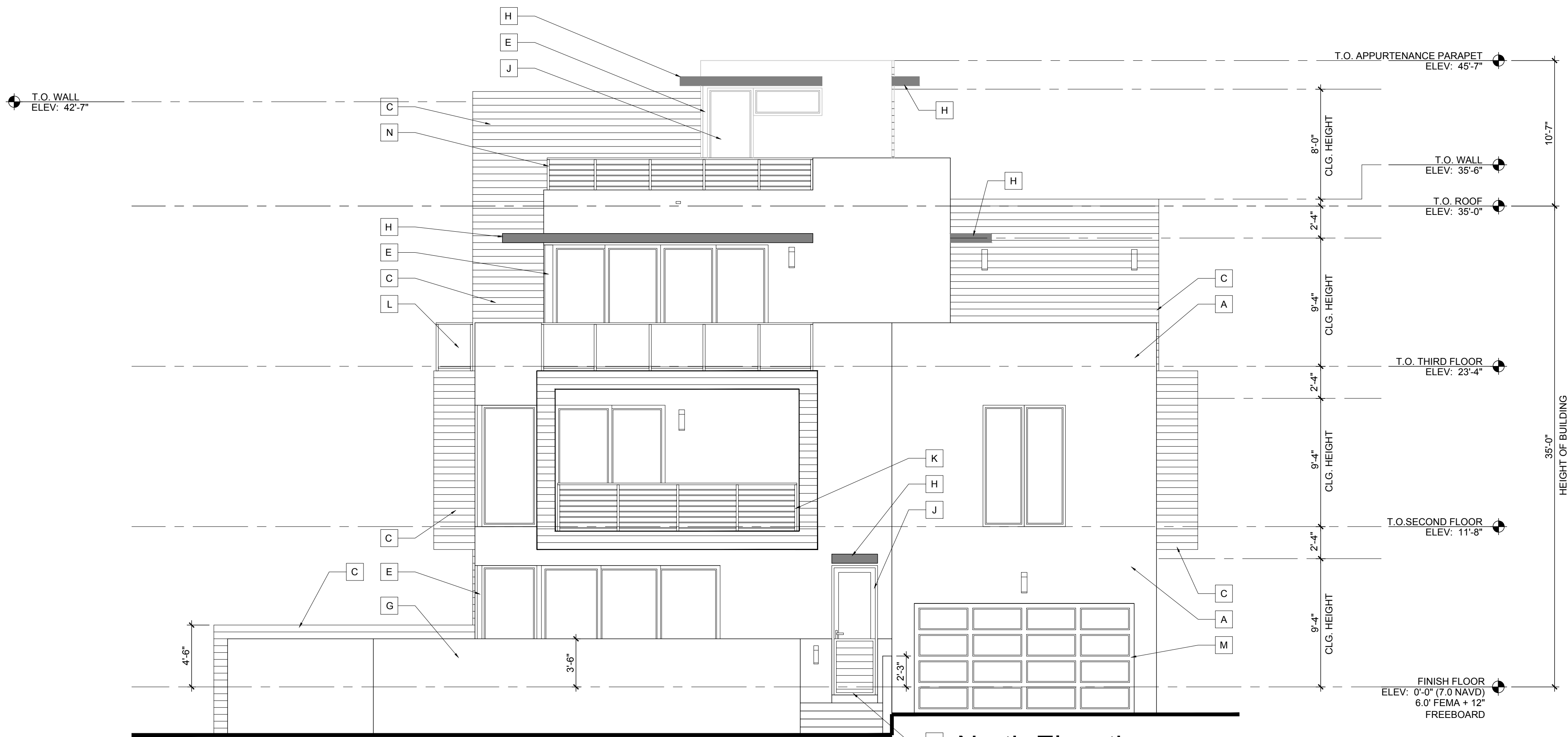


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FLÓRIDA	LICENSURE
AA26001617 IB26001056	
COMMISSION #	17-058
DESIGNER:	RJ
DRAWN BY:	Gsj
PLAN REVIEW:	RJ
SUBMITTALS: CLASS V SPECIAL SITE PLAN SUBMITTAL	12.03.19
REVISIONS:	
UPPER ROOF PLAN	
A-2	



East Elevation

Scale: 3/16"=1'-0"



North Elevation

Scale: 3/16"=1'-0"

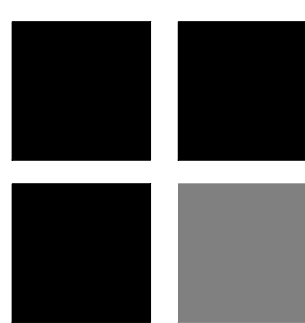
ELEVATION NOTES

A	SMOOTH STUCCO FINISH
B	FLUSH PANEL METAL GARAGE DOOR W/ 3/4" SQ. HORIZONTAL TUBING W/ RECESSED MOUNTED POSTS (TO REJECT 4" DIA. SPHERE) PROV. SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL
C	APPLIED PORCELAIN TILE OVER WATER PROOFING ON MASONRY WALL (G.C. TO COORDINATE FINISH SELECTION WITH OWNER).
D	LIGHT FIXTURE (TO BE SELECTED BY OWNER)
E	STRUCTURAL STEEL COLUMN WRAPPED IN BREAK METAL TO MATCH WINDOW/DOOR FRAME
F	ALUMINUM GATES BY SOUTH FLORIDA ALUMINUM (OR EQUAL) REFER TO FLOOR PLAN & DETAILS
G	MASONRY GARDEN WALL W/ SMOOTH STUCCO FINISH (REFER TO STRUCTURAL DRAWINGS)
H	CONCRETE ROOF/EYEBROW (REFER TO STRUCTURAL DRAWINGS)
J	IMPACT RESISTANT WINDOW AND DOOR PROVIDE SHOP DRAWINGS FOR ARCHITECT'S APPROVAL
K	42" HIGH ALUMINUM RAILING SYSTEM W/ 3/4" SQ. HORIZONTAL TUBING W/ RECESSED MOUNTED POSTS (TO REJECT 4" DIA. SPHERE) PROV. SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL
L	42" HIGH TEMPERED SAFETY GLASS RAILING SYSTEM W/ ALUMINUM FRAME (TO REJECT 4" DIAMETER SPHERE) PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW AND APPROVAL
M	RAYNOR GLASS / METAL GARAGE DOOR W/ CLEAR ANODIZED FINISH - SEE DOOR SCHEDULE (PROVIDE NOA & SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL)
N	28" H. ALUM. RAILING SYSTEM W/ 3/4" SQ. HORIZ. TUBING W/ RECESSED MOUNTED POSTS ON 14" H. CONC. LOW WALL (PROVIDE SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).
P	EMERGENCY OVERFLOW SCUPPER (REFER TO DETAIL 2 SHEET A-7.3)

BUILDING COLORS

WALLS - SHERWIN WILLIAMS PURE WHITE 7005
EYEBROWS - SHERWIN WILLIAMS SKYLINE STEEL 1015
DOORS AND WINDOWS - CLEAR ANODIZED
RAILING - SILVER POWDER COATED

RICHARD JONES



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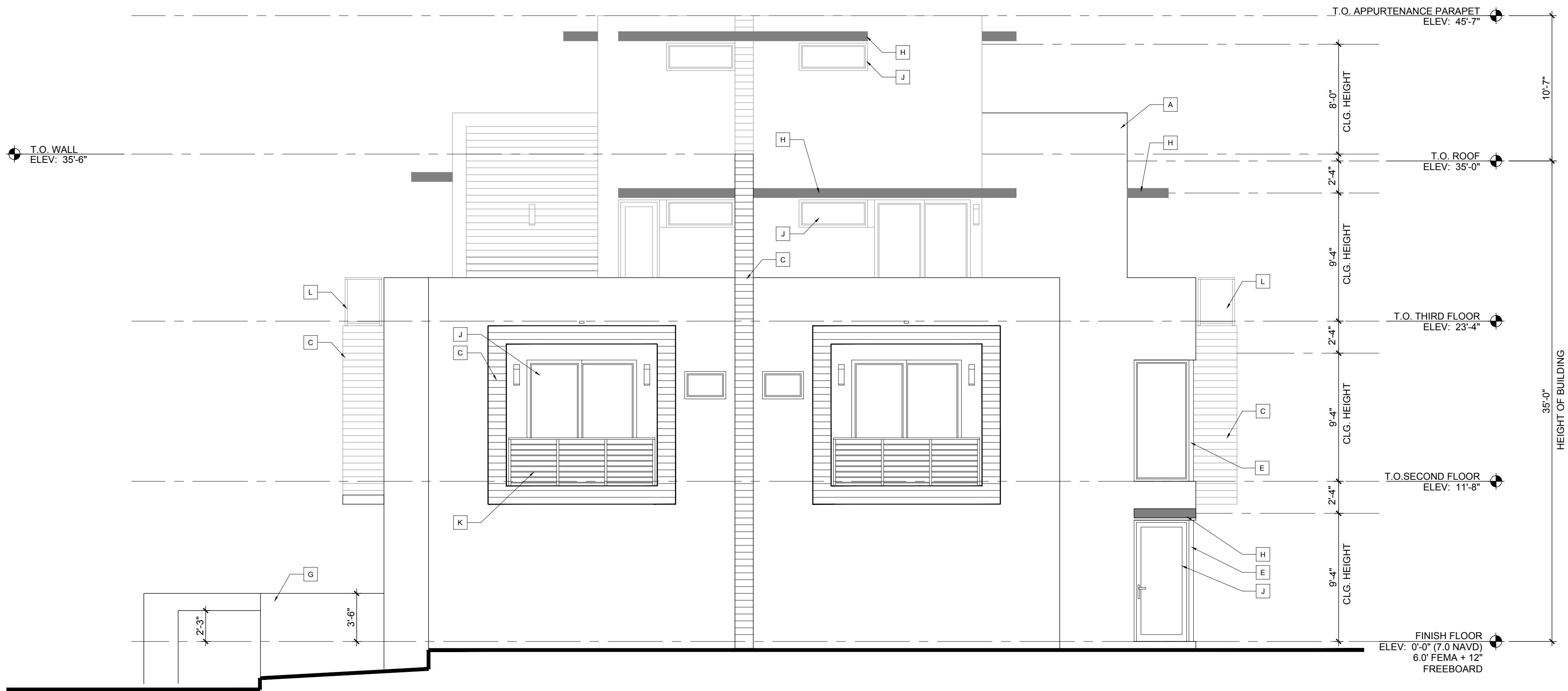
COMMISSION # 17-058
DESIGNER: RJ
DRAWN BY: Gsj
PLAN REVIEW: RJ

SUBMITTALS:
CLASS V
SPECIAL SITE
PLAN
SUBMITTAL
12.03.19

REVISIONS:

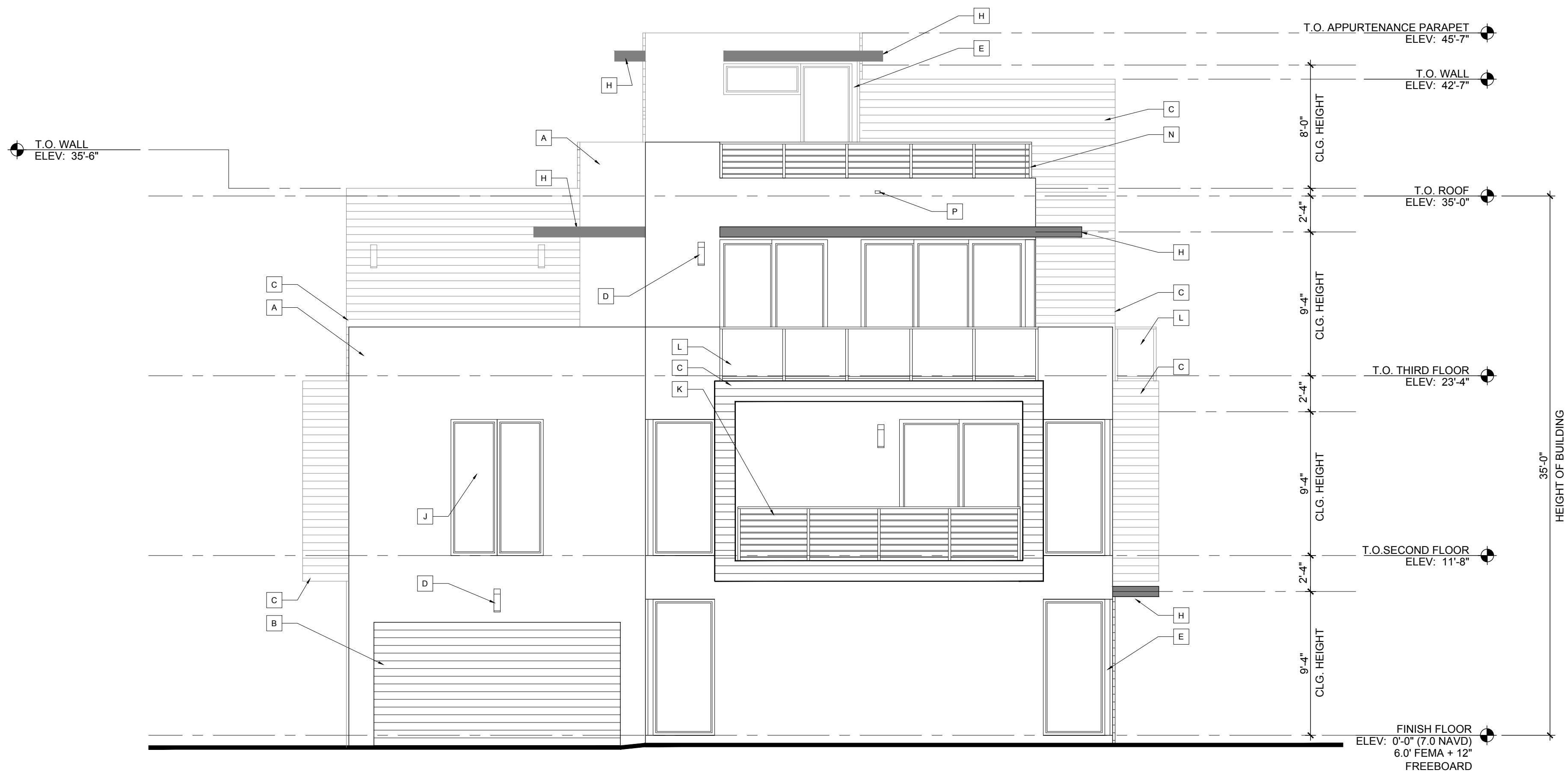
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RICHARD JONES ARCHITECTURE



West Elevation


Scale: 3/16"=1'-0"



South Elevation

Scale: 3/16"=1'-0"

ELEVATION NOTES	
A	SMOOTH STUCCO FINISH
B	FLUSH PANEL METAL GARAGE DOOR W/ SILVER FINISH - SEE DOOR SCHEDULE (PROVIDE NOA & SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL)
C	APPLIED PORCELAIN TILE OVER WATER PROOFING ON MASONRY WALL (G.C. TO COORDINATE FINISH SELECTION WITH OWNER).
D	LIGHT FIXTURE (TO BE SELECTED BY OWNER)
E	STRUCTURAL STEEL COLUMN WRAPPED IN BREAK METAL TO MATCH WINDOW/DOOR FRAME
F	ALUMINUM GATES BY SOUTH FLORIDA ALUMINUM (OR EQUAL) REFER TO FLOOR PLAN & DETAILS
G	MASONRY GARDEN WALL W/ SMOOTH STUCCO FINISH (REFER TO STRUCTURAL DRAWINGS)
H	CONCRETE ROOF/EYEBROW (REFER TO STRUCTURAL DRAWINGS)
J	IMPACT RESISTANT WINDOW AND DOOR PROVIDE SHOP DRAWINGS FOR ARCHITECT'S APPROVAL
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P	EMERGENCY OVERFLOW SCUPPER (REFER TO DETAIL 2 SHEET A-7.3)
BUILDING COLORS	
WALLS - SHERWIN WILLIAMS PURE WHITE 7005	
EYEBROWS - SHERWIN WILLIAMS SKYLINE STEEL 1015	
DOORS AND WINDOWS - CLEAR ANODIZED	
RAILING - SILVER POWDER COATED	



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SUBMITTALS:
CLASS V 12.03.19
SPECIAL SITE
PLAN
SUBMITTAL

WEST AND
SOUTH
ELEVATION

A-3.2



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PLAN REVIEW: RJ

SUBMITTALS:
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SPECIAL SITE
PLAN
SUBMITTAL

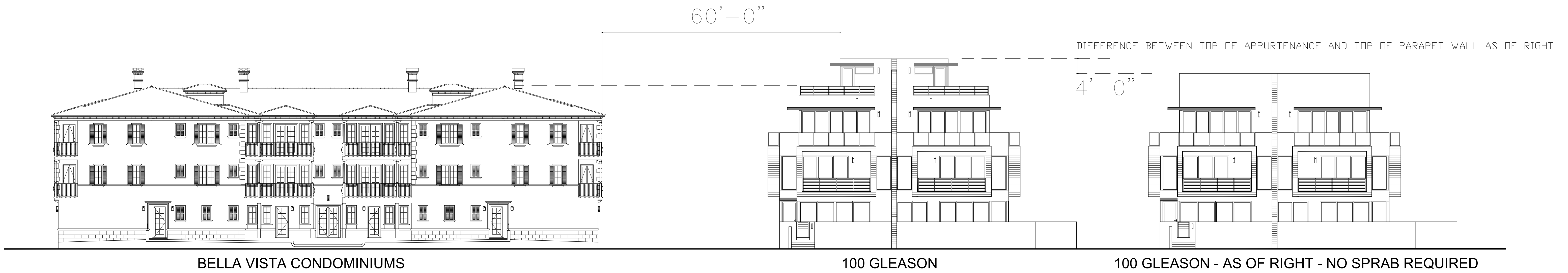
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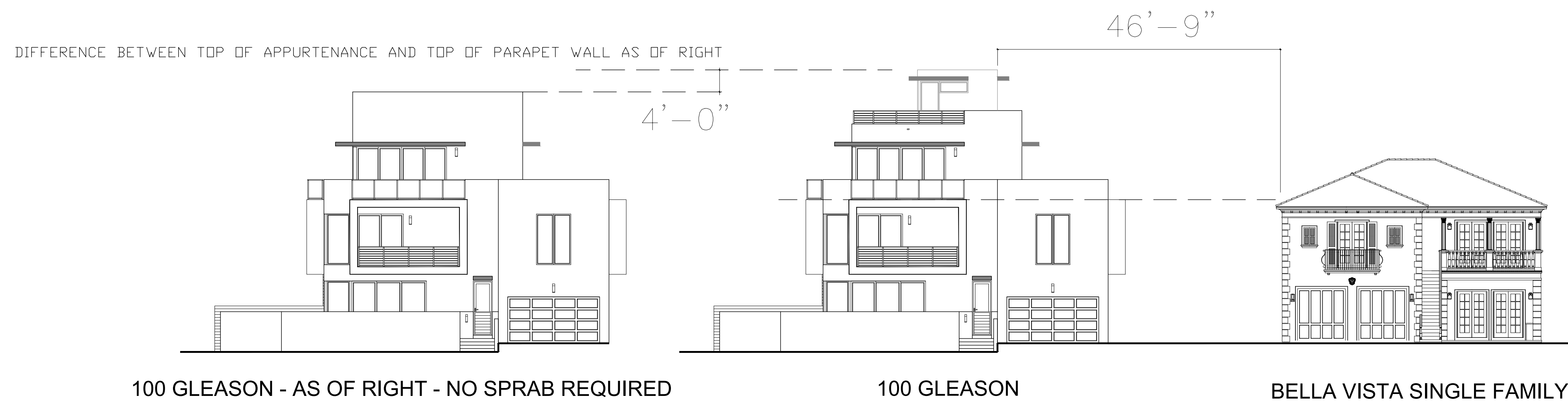
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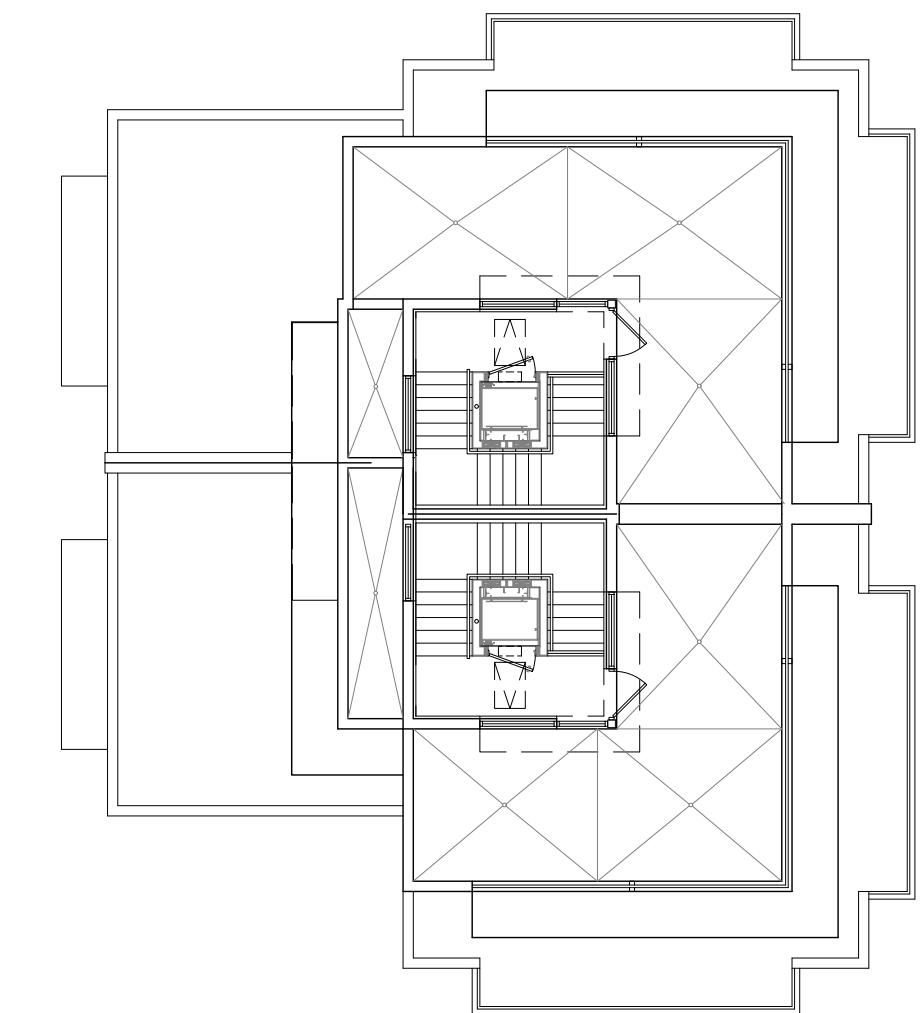
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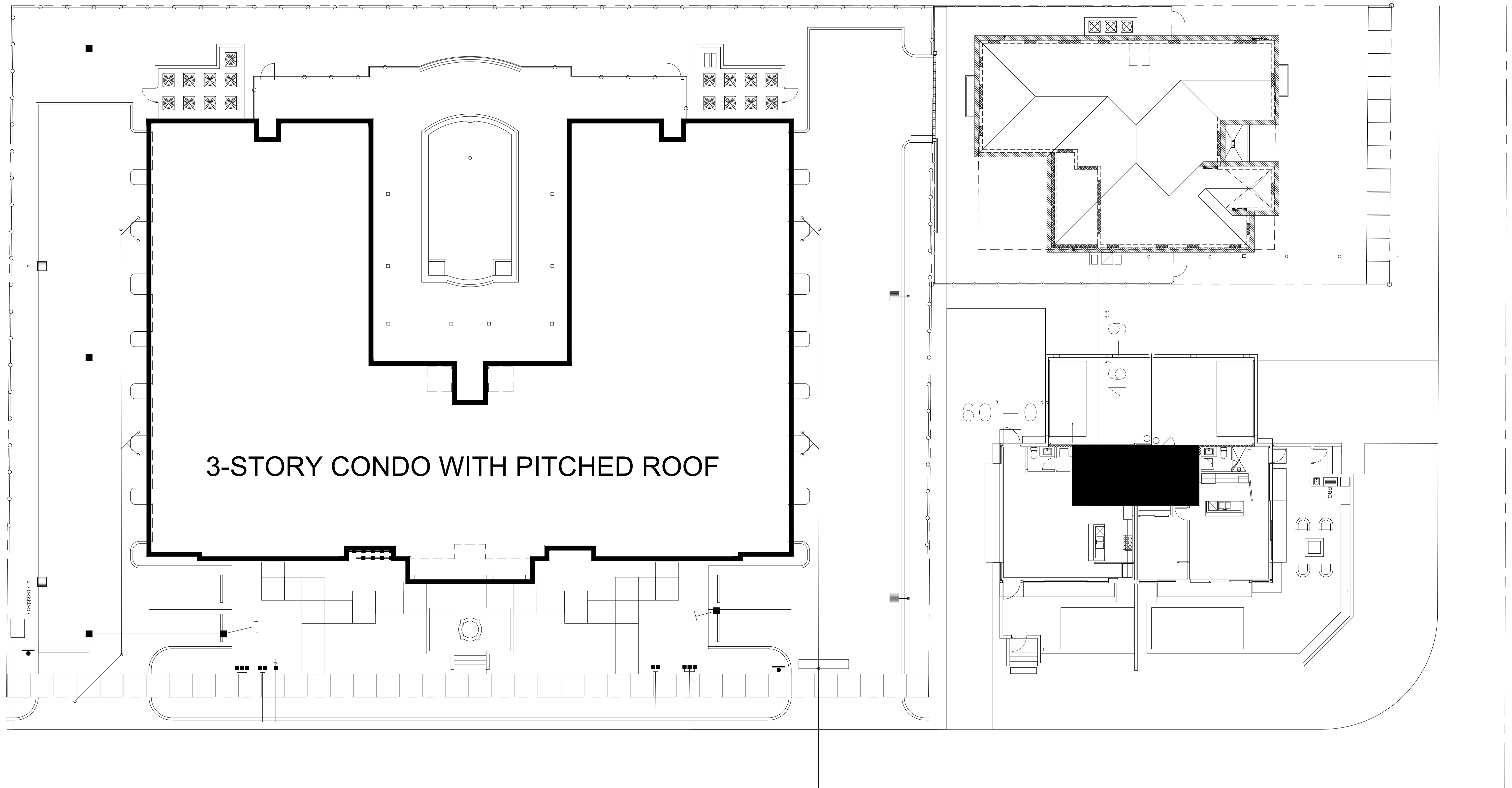
GLEASON STREETSCAPE



MIRAMAR STREETSCAPE



APPURTENANCE FLOOR AREA REDUCED TO BARE MINIMUM 195 SQ. FT. PER UNIT
APPURTENANCE HEIGHT REDUCED TO BARE MINIMUM 10'-0"
AIR CONDITIONER MOVED TO 3RD FLOOR
EYE BROWS REDUCED 12"
SETBACK TO WEST INCREASED BY 4'-3" TO 46'-9"
BUTTRESS STOPPED AT TOP OF PARAPET



100 GLEASON APPURTENANCE LOCATION TO ADJACENT STRUCTURES