



## *Development Services Department*

### **BOARD ACTION REPORT – APPEALABLE ITEM**

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**Project Name:** AutoNation Land Rover Jaguar of Delray Beach

**Project Location:** 1111 W. Linton Boulevard

**Request:** Class IV Site Plan Modification

**Board:** Site Plan Review and Appearance Board

**Meeting Date:** October 16, 2019

#### **Board Action:**

At its meeting of September 25, 2019, the Site Plan Review and Appearance Board (SPRAB) considered and postponed action on the Class IV Site Plan Modification for AutoNation Land Rover Jaguar of Delray Beach and provided the applicant direction on changes to be made. The Board had concerns regarding the proposed landscape plan pertaining to the proposed landscaping material, locations, and design.

The request was revised by the applicant as directed by the Board and reconsidered at its meeting of October 16, 2019. The Board voted to approve (7-0) the Class IV Site Plan Modification with the condition to include the relocation of the Oak tree (located west of the driveway along Linton Blvd) to the location further west on the south frontage.

#### **Project Description:**

The subject property is located at the northeast corner of Linton Boulevard and Wallace Drive (1001 and 1111 Linton Boulevard) and is zoned Automotive Commercial (AC) with a Future Land Use designation of General Commercial (GC).

A Class IV Site Plan Modification application was submitted for the redevelopment of the western portion of the property, which is currently occupied by Chevrolet. The request consists of demolishing the existing two buildings and the construction of a full-service automotive dealership. The proposed two-story 59,214 sf. building includes a 7,050 sf. of indoor display area and 52,164 sf. of sale and administration offices, service/repair shops, indoor detail and carwash garages, and a parts department. A replat is currently under review pending City Commission action to subdivide the 20.40 acre site into two lots: the western portion (proposed Parcel 1), associated with this application for AutoNation Land Rover and Jaguar, will include 7.36 acres, and the eastern portion (proposed Parcel 2), currently occupied by Mercedes Benz, will include 13.04 acres. A Cross Access Easement Agreement between the two proposed parcels will be provided through a separate agreement. The proposed improvements include surface parking, including 525 spaces, and landscaped areas. The site will have access from W. Linton Blvd. and Wallace Drive.

The development proposal includes the consideration of a special action subject to SPRAB consideration. The west elevation includes a service bay door that faces a public street, Wallace Drive, which is not allowed by code unless it is demonstrated to the SPRAB that it is not feasible to comply with this restriction.

#### **Board Comments:**

The Board comments were supportive.

#### **Public Comments:**

No members of the public spoke for or against the project.

#### **Associated Actions:**

No associated actions.

#### **Next Action:**

The SPRAB action is final unless appealed by the City Commission.



# SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

## DEVELOPMENT SERVICES DEPARTMENT

100 NW 1<sup>ST</sup> AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

### SITE PLAN REVIEW AND APPEARANCE BOARD

#### MEMORANDUM STAFF REPORT

Meeting: October 16, 2019

File No.: 2019-120-SPF-SPR-CLIV

Application Type: Class IV Site Plan Modification for AutoNation Land Rover Jaguar of Delray Beach.

#### Item before the Board:

Reconsideration of a Class IV Site Plan Modification application, pursuant to LDR Section 2.4.5 (G), for the AutoNation Land Rover Jaguar of Delray Beach at 1111 W. Linton Blvd. for the redevelopment of the existing property into a new 59,214 sf. full-service automotive dealership. The item includes the following:

- Site Plan;
- Landscape Plan;
- Architectural Elevations, and;
- Special Action for LDR Section 4.4.10(G)(4), Locational Restrictions for Service Bay Doors Facing a Public Street.

#### Optional Board Motions for Action Item:

1. Move to continue with direction.
2. Move approval of the Class IV Site Plan Modification (2019-120) for site plan, landscape plan, architectural elevation changes, and special action for LDR Section 4.4.10(G)(4) Locational Restrictions, for AutoNation Land Rover Jaguar of Delray Beach, by finding that the request is consistent with the Comprehensive Plan and Land Development Regulations, (as amended, if applicable).
3. Move denial of the Class IV Site Plan Modification (2019-120) for site plan, landscape plan, and architectural elevation changes, and special action for LDR Section 4.4.10(G)(4) Locational Restrictions, for AutoNation Land Rover Jaguar of Delray Beach, by finding that the request is inconsistent with the Comprehensive Plan and does not meet the Land Development Regulations.

#### \*Notes:

1. Prior to building permit issuance, the AutoNation Land Rover Jaguar of Delray Beach Replat and the Cross-Access Easement Agreement under review shall be recorded.
2. Prior to building permit issuance, a Tree Mitigation fee in the amount of \$23,000 must be remitted.
3. Receipt of a letter Palm Beach County Traffic Division indicating that the project meets the Traffic Performance Standards of Palm Beach County is required prior to site plan certification.

*\*If the request is approved, the items listed under the Notes section must be addressed as applicable.*

#### Background:

At its meeting of September 25, 2019, the Site Plan Review and Appearance Board (SPRAB) considered and postponed action on the Class IV Site Plan Modification for AutoNation Land Rover Jaguar of Delray Beach and provided the applicant direction on changes to be made. The Board had the following observations/concerns regarding the proposed landscape plan:

- Concerns regarding the height and the proposed location of existing trees to be relocated on site along Linton Blvd.
- Direction to redesign the landscape area along Linton Blvd. to include a more robust, attractive design was presented as the property location serves as a gateway to the City.
- Concerns with the shade tree spacing requirement per LDR Section 4.6.16(H)(3)(a), along the perimeter landscape facing Linton Blvd were expressed.
- Redesign the landscape plan to include additional foundation planting around the building was discussed.

#### Project Planner:

Debora Slaski, Planner: [SlaskiD@mydelraybeach.com](mailto:SlaskiD@mydelraybeach.com),  
(561) 243-7348

#### Review Dates:

SPRAB: October 16, 2019



### Landscape Analysis:

The proposed Landscape Plan was redesigned as directed by the SPRAB. The revised landscape plan has been submitted and evaluated by the Senior Landscape Planner and found to be in compliance. The revised areas are identified on the plans (L-4 and L-5); the remaining areas were not modified. The following is a narrative of the proposed changes.

- The existing Magnolia trees proposed to be relocated on-site were moved from the southern property line perimeter to the interior landscape areas around the detention pond.
- The perimeter landscape buffer facing Linton Blvd. was redesigned to include seven 20 ft. greywood Royal Palms, planted 30 ft. on center/apart from each other. Three 18 ft. overall height Live Oak trees were added between the proposed Royal Palms along the perimeter landscape buffer facing Linton Blvd.
- The proposed landscape tiers along Linton Blvd. were redesigned to increase the number of shrubs, ground covers, and to introduce additional pockets of seasonal color.
- To soften the blank walls along the north elevation of the building, two additional trees (Crape Myrtle and Silver Buttonwood) were added to the foundation plantings in front building, and the proposed hedge (Podocarpus) was increased to 5 to 6 ft. high.

No modifications were proposed to the proposed architectural elevations and site plan.

### Attachments:

- Proposed Site Plan, Architectural Elevations, Engineering Plans and Original and Newly Revised Landscape Plan.
- SPRAB Staff Report September 25, 2019



# SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

## DEVELOPMENT SERVICES DEPARTMENT

100 NW 1<sup>ST</sup> AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

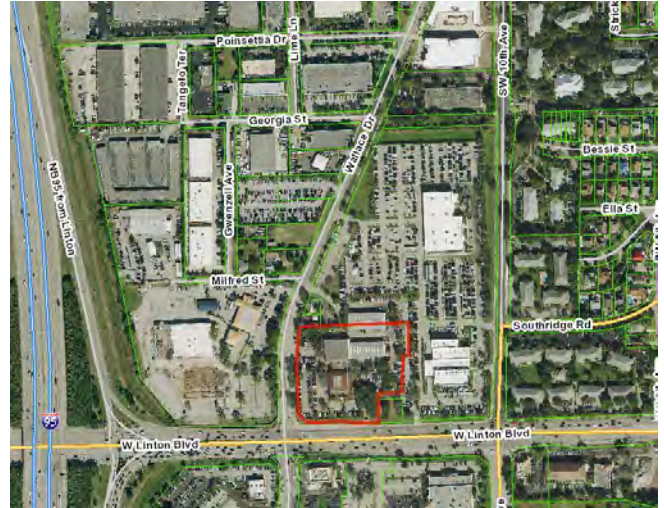
### SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: September 25, 2019    File No.: 2019-120-SPF-SPR-CLIV    Application Type: Class IV Site Plan Modification for AutoNation Land Rover Jaguar of Delray Beach.

#### General Data

Agent: Thomas Engineering Group, LLC  
Applicant/Owner: Wallace Dodge LLC & Wallace Nissan LLC  
Address: 1111 W. Linton Boulevard  
PCN: 12-43-46-20-48-001-0000  
Property Size: Western 7.36 Acres of 20.5 Acre Site  
FLUM: General Commercial (GC)  
Zoning: Automotive Commercial (AC)  
Adjacent Zoning:

- North: Light Industrial (LI)
- South: Planned Commercial (PC)
- East: AC
- West: AC and Mixed Industrial and Commercial (MIC)



Existing Land Use: Full-Service Automotive Dealership (Chevrolet)  
Proposed Land Use: Full-Service Automotive Dealership (Land Rover and Jaguar)

#### Item before the Board:

Consideration of a Class IV Site Plan Modification application, pursuant to LDR Section 2.4.5 (G), for the AutoNation Land Rover Jaguar of Delray Beach at 1111 W. Linton Blvd. for the redevelopment of the existing property into a new 59,214 sf. full-service automotive dealership. The item includes the following:

- Site Plan;
- Landscape Plan;
- Architectural Elevations, and;
- Special Action for LDR Section 4.4.10(G)(4), Locational Restrictions for Service Bay Doors Facing a Public Street.

#### Optional Board Motions for Action Item:

1. Move to continue with direction.
2. Move approval of the Class IV Site Plan Modification (2019-120) for site plan, landscape plan, architectural elevation changes, and special action for LDR Section 4.4.10(G)(4) Locational Restrictions, for AutoNation Land Rover Jaguar of Delray Beach, by finding that the request is consistent with the Comprehensive Plan and Land Development Regulations, (as amended, if applicable).
3. Move denial of the Class IV Site Plan Modification (2019-120) for site plan, landscape plan, and architectural elevation changes, and special action for LDR Section 4.4.10(G)(4) Locational Restrictions, for AutoNation Land Rover Jaguar of Delray Beach, by finding that the request is inconsistent with the Comprehensive Plan and does not meet the Land Development Regulations.

Project Planner:  
Debora Slaski, Planner:  
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(561) 243-7348

Review Dates:  
SPRAB: September 25, 2019

Attachments:  
1. Site Plans  
2. Elevations  
3. Landscape Plan





\*Notes:

1. Prior to building permit issuance, the AutoNation Land Rover Jaguar of Delray Beach Replat and the Cross-Access Easement Agreement under review shall be recorded.
2. Prior to building permit issuance, a Tree Mitigation fee in the amount of \$23,000 must be remitted.
3. Receipt of a letter Palm Beach County Traffic Division indicating that the project meets the Traffic Performance Standards of Palm Beach County is required prior to site plan certification.

*\*If the request is approved, the items listed under the Notes section must be addressed as applicable.*

Background:

The 20.5 acre property consists of Tract C, Wallace Dodge, (PBC Records Plat Book 72 Page 54) together with Tracks D and E, Wallace Dodge replat (PBC Records Plat Book 74 Page 9), together with Parcel A, Bill Wallace Nissan (PBC Records Plat Book 56 Page 91) together with a portion of Lot 47 and a portion of the south 25 feet of Princess Boulevard, Sand's O'Sea (PBC Records Plat Book 21 Page 27). The subject property is located at the northeast corner of Linton Boulevard and Wallace Drive (1001 and 1111 Linton Boulevard) and is zoned Automotive Commercial (AC) with a Future Land Use designation of General Commercial (GC).

The following is the annexation, zoning, and land use history that relate to the property:

The property was annexed into the City in 1969 with the General Commercial (C-2) zoning designation. As part of the citywide rezoning and adoption of the Land Development Regulations in October 1990, the property was rezoned from Specialized Commercial (SC) to Planned Commercial (PC). In 1993, the City Commission rezoned the property from PC to Automotive Commercial (AC) as part of a corrective rezoning. The site encompasses 20.5 acres and extends from Wallace Drive to SW 10th Avenue. The development accommodated two automobile dealerships: Nissan and Dodge. The Dodge dealership which occupied the eastern half of the site, has been redeveloped and replaced with the Mercedes Benz dealership. A Site Plan Modification was approved on July 13, 2016, by the Site Plan Review and Appearance Board for the Mercedes Benz site for the construction of an on-site carwash facility associated with the full-service automotive dealership. The Nissan dealership was constructed in 1987 and occupied the western portion of the site. The Nissan Dealership relocated to South Federal Highway and the site was subsequently occupied by Chevrolet of Delray. This application focuses on the redevelopment of the western 7.36 acres of the site which is the location of the Chevrolet dealership site.

Project Description and Assessment:

A Class IV Site Plan Modification application was submitted for the redevelopment of the western portion of the property, which is currently occupied by Chevrolet. The request consists of demolishing the existing two buildings and the construction of a full-service automotive dealership. The proposed two-story 59,214 sf. building includes a 7,050 sf. of indoor display area and 52,164 sf. of sale and administration offices, service/repair shops, indoor detail and carwash garages, and a parts department. A replat is currently under review pending City Commission action to subdivide the 20.40 acre site into two lots: the western portion (proposed Parcel 1), associated with this application for AutoNation Land Rover and Jaguar, will include 7.36 acres, and the eastern portion (proposed Parcel 2), currently occupied by Mercedes Benz, will include 13.04 acres. A Cross Access Easement Agreement between the two proposed parcels will be provided through a separate agreement. The proposed improvements include surface parking, including 525 spaces, and landscaped areas. The site will have access from W. Linton Blvd. and Wallace Drive.

The proposed two-story building has a contemporary style of architecture. The linear building articulates recessed openings along the elevations that have frontage along Linton Boulevard and Wallace Drive to provide full view into the showroom. The primary entrance along the south facade is recessed from the building face creating a distinct fenestration within the solid mass. The exterior material finish consists of gray metal panels with a differentiation in color shade, pattern and material finish.

The development proposal includes the consideration of a special action subject to SPRAB action. The west elevation includes a service bay door that faces a public street, Wallace Drive, which is not allowed by code unless it is demonstrated to the SPRAB that it is not feasible to comply with this restriction. Action pertaining to this item is included in the motion.

Site Plan Analysis:

The following items identified in the Land Development Regulations shall specifically be addressed by the Site Plan Review and Appearance Board (SPRAB) for final action on the site and development applications/requests, as presented.



**LDR Section 4.3.4(K) Development Standards Matrix**

The following table demonstrates that the proposal complies with LDR Section 4.3.4(K) and Section 4.4.10 as it pertains to the AC Zoning District:

	Required	*Provided
Minimum Lot Size	1.5 acres	7.36 acres
Minimum Lot Width	<b>125'</b>	471.08'
Minimum Lot Depth	<b>200'</b>	660.78'
Minimum Lot Frontage	<b>125'</b>	471.08'
Setbacks*:		
Min. Front (S-W. Linton Blvd.)	<b>15'</b>	93.42'
Min. Side Street (W-Wallace Drive)	<b>15'</b>	77.84'
Min. Side Interior (E-Parcel 1)	10'	126.68'
Min. Rear (N-Parcel 1)	<b>10'</b>	465.57'
Maximum Building Height	<b>48'</b>	30.9'
Minimum Open Space	25%	25.8%
Maximum Lot Coverage	75%	14.6%
*Based on pending Autonation Landrover Jaguar of Delray Beach Replat to subdivide the 20.40 acres site into two properties as indicated under the Project Description section of this report.		

**LDR Article 4.4.10 – Automotive District Regulations:**

**Principal Uses and Structures Permitted:** Per LDR Section 4.4.10(B), full service automotive dealerships are a permitted use. Full-service dealerships are defined **as, “the provision of all services necessary to accommodate the sale and service of new automobiles including franchise sales. At a minimum, all of the following must be accommodated at the dealership site in order to qualify as a full-service automotive dealership; franchise auto sales, auto repair, and auto service.”**

The proposed development meets the definition of a full-service automotive dealership. The development includes a showroom, offices, parts department, service garage, detail garage, indoor carwash bay, and on-site inventory storage and merchandise area.

**Accessory Uses and Structures Permitted:** Per LDR Section 4.4.10(C), full-service automotive dealerships are permitted to have a repair shop and garage as well as body shops. The proposed development includes these uses or elements of these uses noted above.

**Supplemental District Regulations:** This section includes supplemental district regulations specific to the AC zoning district per LDR Section 4.4.10(G).

**Outside Display:** The applicant proposes to include outdoor display areas for inventory. This standard for full-service automotive dealerships is found in other dealerships located in AC the zoning district. Outdoor display areas are located around the perimeter of the site facing Wallace Drive and Linton Boulevard. Per LDR Section 4.4.10(G)(a), these display areas are required to be screened within a five-foot minimum width landscape strip when located adjacent to nonresidential zoning and shall include a three-foot hedge or berm and trees planted at 40 feet on center. A variety of shrubs and tree species are proposed as the perimeter hedge along with additional landscaping to comply with this requirement.

**Bullpen Area:** Bullpen areas are defined as parking areas that allow vehicles to be stored on an approved parking surface without reference to parking stalls, stall striping, or wheel stops. Per LDR Section 4.4.10(G)(2), bullpen parking may be used for employee parking areas. The proposed development includes a bullpen area at the rear (north) of the site, which accommodates employee parking and storage of inventory. A total of 324 tandem spaces are proposed which includes 34 spaces designated for employee and 290 spaces designated for storage of inventory.

**Customer and Employee Parking Areas:** The proposed parking scheme meets the parking standards. **Refer to “Off-Street Parking” within this report for further details.**

**Locational Restrictions:** Per LDR Section 4.4.10(G)(4), service bay doors shall not be oriented toward any adjacent residentially zoned property or toward adjacent public streets unless it is demonstrated to the Board that it is not feasible to comply with this requirement.



The applicant proposes bay doors with access to the service shop along the west and east elevation. The proposal conflicts with this restriction as the west elevation faces Wallace Drive. The intent of the subject requirement is to limit visibility and exposure of service type uses from a public street. The applicant states that *“due to the nature of work and safety concerns within the service area of car dealerships, the service areas are designed so that they have straight drive lanes without bends. Based on the criteria, the service drive would need to be oriented either north-south or east-west through the building. Since Linton is the primary façade and Wallace Drive the secondary roadway, the project was designed with an east-west orientation which requires a service bay door to face the secondary roadway. The service drive door has been shifted to the south so that it is further offset from Wallace Drive access driveway to allow better screening with landscape to mitigate the door placement. Hence, we believe this is the most feasible alternative for the design of the automotive dealership.”* Approval of the proposal would include acceptance by the Site Plan Review and Appearance Board that the justification provided by the applicant demonstrated that it not feasible to comply with this restriction.

**Use and Operating Restrictions:** The development is required to comply with restrictions regarding the daily operations of the use as listed in LDR Section 4.4.10(G)(5), which pertains to the operations and use of the outdoor display and storage areas, signage placed on vehicles, on-site marketing and advertising of the business/inventory, and prohibition of the use of residential streets for vehicle testing.

**Lighting Restrictions:** Per LDR Section 4.4.10(G)(6), exterior lighting fixtures shall not exceed 25 feet in height and shall be directed away from adjacent properties. These fixtures shall be sharp cutoff luminaries, shall confine the light to the site only. When measured **10' inside any property line, a maximum of 100 foot-candles** is permitted within display areas and 40 foot-candles within all other areas. After 11:00 p.m., the illumination in display areas shall be reduced to 50 foot-candles. The proposed photometric plan meets these requirements. The proposed pole mounted lights are 25 feet, and the maximum foot candle (FC) measurement is 57.0 FC within the display areas and a maximum of 13.9 FC within other locations. A note on the photometric plan was included stating that “site illumination is reduced to less than 50 foot-candles after 11:00pm.”

**Supplemental District Regulations:**

**Commercial and Industrial Uses to Operate Within a Building:** Per LDR Section 4.6.6, all commercial uses shall operate within a completely enclosed building rather than outside, with the exception of the following allowable usage areas: off-street parking, refuse and service area, signage, loading and unloading, outside storage permitted by zoning district, and retail displays. All activities except for those permitted by the Code will be conducted inside the proposed structure.

This section also requires dumpsters to be enclosed on three sides and have solid gates on the fourth side that screen the dumpster from view. The applicant has provided a drawing that demonstrates compliance with this requirement and includes an eight-foot masonry wall enclosure with a solid, metal gate on the fourth side.

**Parking Requirements:** Pursuant to LDR section 4.6.9(C)(3)(f), vehicle sales and rental, shall provide 4 spaces per 1,000 sq. ft. of total building(s) area, except indoor display areas. Required parking spaces shall be designated for employee, customer and/or service use at the standard of at least 1.5 spaces per service bay and 2 spaces per 1,000 sq. ft. of floor area (less indoor display area). Any remaining spaces may be used for display purposes. The proposed full-service dealership is required to provide 209 parking spaces and 525 spaces are provided on-site, which accounts for 70 spaces designated for customers, 34 spaces for employees, 43 spaces for service use, 63 spaces for display and the remaining 316 for vehicle inventory/storage. The following is a parking breakdown which identifies compliance with the minimum number of parking spaces required:

Required Parking				
Required Parking	Square Feet	Bays	Calculation	Total
Gross Floor Area	59,214	---		
Gross Floor Area (less 7,050 of indoor display)	52,164	---	4 spaces / 1,000 sf	209

Required Parking Designation for Employee, Customer and/or Service Use				
	Square Feet	Bays	Calculation	Total
Gross Floor area (less indoor display)	52,164	---	2 spaces / 1,000 sf	104
Service Bays (includes Detailing)	---	28	1.5 spaces / service bay	42
Remaining (may be used for display)				63
Total Required				209
Total Provided				525



Off-Street Loading: Per LDR Section 4.6.10(C), areas designated for the off-loading of vehicles or for loading and deliveries shall be located to the rear of buildings and shall be located so as to contain noise on-site. These areas shall not be located closer than 100 feet from any residentially-zoned lot, and shall be appropriately designated, marked, and signed. Automotive sales and services should provide two berths for 15,000 sf to 40,000 sf of gross floor area and 1 berth for every 10,000 sf, thereafter. The proposed 59,214 sf automotive sales and service dealership is required to provide four (4) berths. The proposal provides one off-street loading space on the northwest side of the property, adjacent to the nonconforming single-family residential property (located in the AC zoning district). Per LDR Section 4.6.10(B), the body approving the site plan associated with the proposed development shall determine the adequacy of the provisions which are made for (un)loading. In making such a determination, the standards and guidelines of this Section shall be considered. The final determination may result in accommodations in excess of or less than such guidelines, or in the waiving of any such accommodations. To justify the deficiency in the number of berths proposed, the applicant stated that the property owner *"indicated that they expect to have one (1) weekly car carrier delivery of vehicles and two (2) to (3) tractor trailer deliveries for parts and supplies weekly. Since the deliveries typically do not occur during the same times of the day, the one (1) loading space is more than sufficient to meet the needs of the proposed use. Based on this, we respectfully request approval to deviate from the land development code."* Approval of the proposal would include acceptance by the Site Plan Review and Appearance Board that it is adequate for the subject development to provide one berth, instead of four as required by code, for off-street loading.

The property to the west is a nonconforming single-family dwelling unit located in the AC zoning district. Efforts to mitigate the negative effect of the loading area should be considered. The applicant proposes a continuous hedge measuring 4 ½ feet in height at the time of installation along the perimeter of the residential property, and canopy trees, measuring 16 feet in height, are proposed every 10 feet adjacent the loading area as an additional buffer. Currently, there is a privacy wooden fence (approximately 6 ft. high) located along the perimeter of the residential use property.

#### Landscape Analysis:

Pursuant to LDR section 4.6.16(C)(1)(a), prior to the issuance of a building permit for a structure or a paving permit, compliance with the requirements of Section 4.6.16 shall be assured through the review and approval of a landscape plan submitted pursuant to Section 2.4.3(C). The plan provides for parking lot islands, perimeter and building foundation landscaping. The subject proposal is required to comply with the landscape standards. A proposed landscape plan has been submitted and evaluated by the Senior Landscape Planner and found to be in compliance.

The proposed landscaping consists of a variety of trees, shrubs, and ground covers including but not limited to: Buttonwood trees, Silver Buttonwood trees, East Palatka trees, Southern Live Oak trees, Orange Ginger trees, Southern Magnolia, Winin Palm, Cocoplum shrub, Wax Myrtle, Fire Bush shrub, Southern Wax Jasmine shrub, and others.

Landscape Islands and Barrier: Per LDR Section 4.6.16(H)(3)(i), landscape islands which contain a minimum of 135 square feet of planting area, with a minimum dimension of 9 feet, exclusive of the required curb, shall be placed at intervals of no less than one landscaped island for every 13 standard parking spaces. Per LDR Section 4.6.16(H)(3)(d), a landscape barrier shall be located between the common lot line and the off-street parking area or other vehicular use area in a planting strip of not less than five feet in width that is free of any vehicular encroachment, including car overhang.

Per LDR Section 4.4.10(G)(2), landscaping strips and landscaped islands internal to the bullpen parking area are not required; however, the ten percent interior landscaping requirement shall be met by transferring the required landscaping to the perimeter of the site and/or bullpen area. The transferred landscaped areas have been designed and located so as to mitigate and buffer the impact of the aggregated car storage area.

The proposed parking and vehicular areas comply with the landscape isle and barrier requirements. A cross access agreement will be processed with the required plat application to address the existing common ingress and egress between the two properties to be platted as Parcel 1 and Parcel 2.

Vegetation Removal: The Landscape Plan proposes to remove, relocate and maintain a portion of the existing tree species on site. The city evaluates tree removal based upon the condition, location, and size of the species. The applicant has provided a report evaluating the existing trees on the site, determining which trees based on city standards are viable and, would survive relocation. The report with further information on tree conditions and action is included on Landscape Plan sheet L-5. Pursuant to Section 4.6.19(E)(5)(d), where the property cannot accommodate tree replacement on a caliper inch-per-inch basis, an in-lieu of fee shall be



deposited into the Tree Trust Fund for those trees with a condition rating 50 percent or greater. Based upon the code standards, to mitigate the loss of trees on the site, the applicant is required to pay \$23,000 into the **City's Tree Trust fund**. A note stating the compliance with this requirement is listed under the notes section of this report.

#### Architectural Elevations Analysis

Pursuant to LDR Section 4.6.18(E), Criteria for Board Action, the following criteria shall be considered by the Site Plan Review and Appearance Board (SPRAB) in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed two-story building architectural design is of a contemporary style. The building design incorporates a horizontal composition including the volume and the openings within it. The recessed openings along the elevations facing Linton Boulevard and Wallace Drive provide full view into the showroom. The primary entrance along the south facade is recessed from the building face creating a distinct fenestration in the middle of the front façade; this feature proportionally divides the building front into two volumes connected internally. The exterior material finish consists of gray metal panels with a differentiation in color shade, pattern and material finish. The continuous roofline includes a parapet on the south and west elevation which screens the roof equipment from being visible from the adjacent public streets; a metal screen is proposed on the north and east (interior elevations) to also screen the roof equipment.

#### Findings Analysis:

Pursuant to LDR Section 3.1.1, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These analysis of findings relate to the following four areas.

FUTURE LAND USE MAP: The use or structures must be allowed in the zoning district and the zoning district must be consistent with the land use designation.

The subject property has a Future Land Use Map designation of General Commercial (GC) and is zoned Automotive Commercial (AC). Pursuant to LDR Section 4.4.10(B), full-service automotive dealerships are allowed as a permitted use in the AC zoning district.

CONCURRENCY: Facilities which are provided by, or through, the City shall be provided to new development concurrent with issuance of a Certificate of Occupancy. These facilities shall be provided pursuant to levels of service established within the Comprehensive Plan.

Refer to Appendix A, as it relates to water, sewer, streets and traffic, parks and recreation, and solid waste.

CONSISTENCY: Compliance with performance standards set forth in Chapter 3 and required findings in Section 2.4.5(F)(5) for the request shall be the basis upon which a finding of overall consistency is to be made. Other objectives and policies found in the adopted Comprehensive Plan may be used in making a finding of overall consistency.

Refer to Appendix B as it relates to Development Standards for Site Plan Actions.

COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS (LDRs): Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.





Refer to the Site Plan Analysis section of this report, regarding compliance with the LDRs.

LDR Section 2.4.5(F) (5) - Compatibility (Site Plan Findings): the approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

The following table indicates the zoning and land use of the properties surrounding the subject parcel:

	<u>Zoning Designation:</u>	<u>Use:</u>
North	Automotive Commercial (AC)	Full-Service Dealership/ Mercedes Benz
South	Planned Commercial (PC)	Shopping Center
East	Automotive Commercial (AC)	Full-Service Dealership/ Mercedes
West	AC/ Mixed Industrial and Commercial (MIC)	Automobile Paint, Body and Repair Shop/ Nonconforming Single-Family Residencies

The adjacent zoning districts are compatible with the AC zoning district and the proposed land use of a full-service automotive dealership. However, there are two nonconforming single-family residential properties (located in the AC zoning district) adjacent to the subject site: one is located to the west separated by Wallace Drive and the other property is abutting the west property line without a physical separator. Additional measures were included in the development proposal to buffer the potential negative effects of the proposed loading area adjacent to the nonconforming single-family residential property. In addition, the proposed redevelopment is not changing the land use of the property. The subject property has been utilized as a full-service automotive dealership for over three decades as indicated in the background section of this report.

Comprehensive Plan Policies: A review of the goals, objectives and policies of the adopted Comprehensive Plan was conducted, and the following applicable objectives or policies were noted.

Future Land Use Element Objective A-1: Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.

There are no unique conditions in terms of soil, topography or physical considerations to the land that would be negatively impacted by its redevelopment. The adjacent zoning districts are compatible with the AC zoning designation of the property. As stated above, additional measures were included with the proposal to buffer the potential negative effects of the proposed loading area adjacent to the nonconforming single-family residential property (located in the AC zoning district). The proposed redevelopment is not changing the existing land use of the property and can be considered compatible in size and intensity as the existing, established full-service automotive dealership (Chevrolet). Policy A-2.4, controls which areas are not allowed for the location or expansion of automotive dealerships. The proposed site is not within the applicable areas. This policy also indicates location which shall be directed for the use of that automotive dealerships which includes the north side of Linton Blvd, between 1-95 and SW 10<sup>th</sup> Avenue, and Wallace Drive is

Future Land Use Element Objective A-2: To reduce, and eventually eliminate, uses which are inconsistent with predominant adjacent land uses, and to insure compatibility of future development.

Policy A-2, controls the permitted areas for the location or expansion of automotive dealerships. The proposed site is not located within these restricted areas. This policy also indicates locations that shall be directed for the development of automotive dealerships; The subject site, located on the north side of Linton Blvd, between 1-95 and SW 10<sup>th</sup> Avenue, and Wallace Drive, is listed as a location that shall be directed to accommodate automotive dealerships.

Review by Others:

The development proposal is not in a geographic area requiring review by the Pineapple Grove Main Street (PGMS), West Atlantic Redevelopment Coalition (WARC), Historic Preservation Board (HPB), Downtown Development Authority (DDA) or the Community Redevelopment Agency (CRA). Formal public notice is not required as there is no information on neighborhood associations nearby that have requested to receive development application notices. Any letters of objection and/or support for this project received subsequent to publication of this report will be presented at the board meeting.



APPENDIX "A"-CONCURRENCY FINDINGS:

Pursuant to LDR Section 3.1.1(B) Concurrency as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer:

- Water service will be provided by an existing 10" watermain existing on site.
- Sewer service **will be provided by an existing 8" line** existing on site.

Pursuant to the Comprehensive Plan, treatment capacity is available **at the City's Water Treatment Plant** and the South Central County Waste Water Treatment Plant for the City at build-out.

Streets and Traffic: A traffic study has been submitted that indicates that the new full-service automotive dealership will generate 783 new net daily trips, an increase of 47 net AM peak hour trips and an increase of 64 net PM peak hour trips. A letter from the Palm Beach County Traffic Division indicating that the project meets the Traffic Performance Standards of Palm Beach County is required prior to certification.

Parks and Recreation Facilities: Park dedication requirements do not apply for non-residential uses. Thus, the proposed development will not have any impact with respect to this standard.

Solid Waste: The proposed 59,214 automobile dealership will generate 272 tons of solid waste per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2047.

Drainage: Drainage will be accommodated on site via an existing retention area and new and existing exfiltration trenches.



**APPENDIX "B" - STANDARDS FOR SITE PLAN ACTIONS Sec. 3.2.3 (A) through (J)**

- A. Building design, landscaping and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.
- ☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent
- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.
- ☒ Not applicable  
☐ Meets intent of standard  
☐ Does not meet intent
- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.
- ☒ Not applicable  
☐ Meets intent of standard  
☐ Does not meet intent
- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.
- ☒ Not applicable  
☐ Meets intent of standard  
☐ Does not meet intent
- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.
- ☒ Not applicable  
☐ Meets intent of standard  
☐ Does not meet intent
- F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.
- ☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent
- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.
- ☒ Not applicable  
☐ Meets intent of standard  
☐ Does not meet intent



- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.
- ☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent
- I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.
- ☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent
- J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.
- ☒ Not applicable  
☐ Meets intent of standard  
☐ Does not meet intent

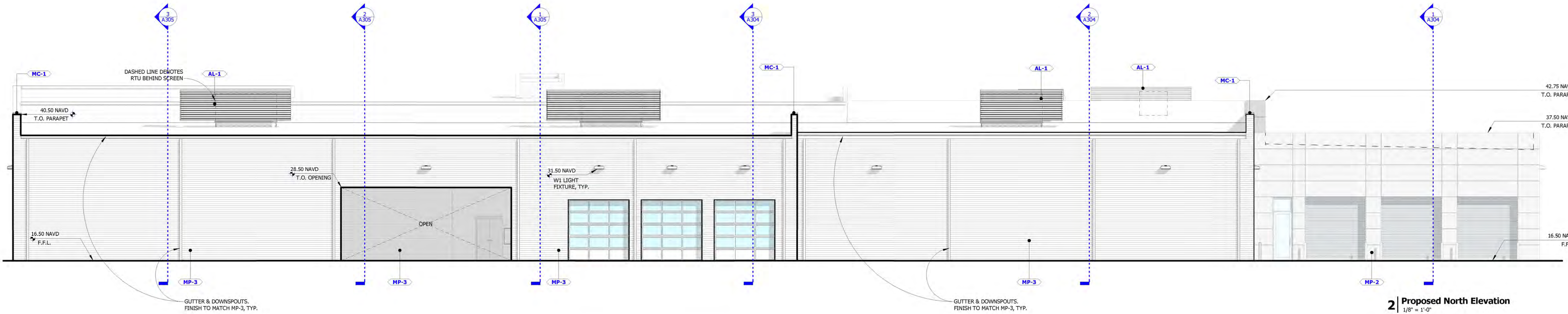
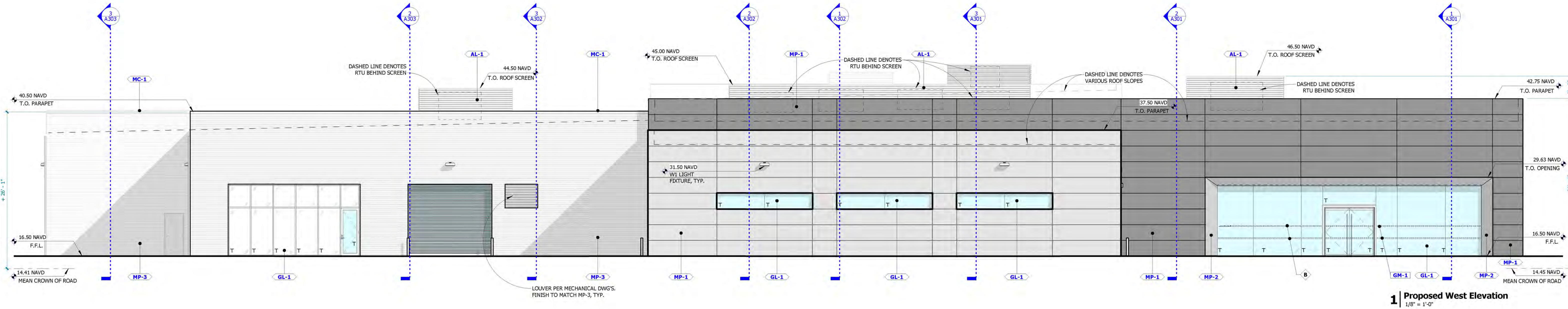






MATERIAL LEGEND					
CODE	MATERIAL	MANUFACTURER	PRODUCT	SERIES/SIZE	COLOR / FINISH
MP-1	METAL PANEL - ACM	3A COMPOSITES	ALUCOBOND PE	---	JLR SUNSHINE GREY METALLIC
MP-2	METAL PANEL - ACM	3A COMPOSITES	ALUCOBOND PE	---	JLR CHAMPAGNE METALLIC 194A2046CR
MP-3	CORRUGATED PANEL	BERRIDGE MANUFACTURING	FASCIA PANEL SYSTEM	HR-16	SILVER (TO MATCH RAL9006)
MC-1	METAL COPING	OMG ROOFING PRODUCTS	TITANIUM	A-32	SILVER (TO MATCH RAL9006)
GL-1	INSULATED GLAZING	VITRO ARCHITECTURAL GLASS	STARPHIRE	1-1/4" IMPACT	CLEAR
AL-1	ARCHITECTURAL LOUVER SCREEN	ROOF SCREEN MANUFACTURING	VISIONGUARD	L10	SILVER (TO MATCH RAL9006)

- PROPOSED ELEVATION LEGEND**
- SYMBOLS / TAGS**
- 0' - 0"
  - N.A.V.D. ELEVATION (U.N.O.)
  - SPOT ELEVATION SYMBOL
  - EIFS-1
  - ELEVATION MATERIAL TAG, SEE FINISH SCHEDULE
  - DOT ON END OF LEADER INDICATES MATERIAL BEING REFERENCED / TAGGED
  - GLASS WATERMARK SYMBOL (ENLARGED FOR CLARITY)
  - SYMBOL FOR FINISH / MATERIAL ALIGNMENT "AL" = ALIGN
  - ARROWS ON END OF LEADER INDICATES FINISH / MATERIAL BEING REFERENCE TO ALIGN, G.C. TO COORD.



SPARC+  
ARCHITECTURE  
STUDIOS

**Client :**

**AUTONATION**  
200 SW 1ST AVE, SUITE 1400  
FT. LAUDERDALE, FL 33301

**Project Information :**

Project Number : 180628  
Drawn By : JC  
Checked By : BY  
Approved By : ARCH

**Jaguar Land Rover Delray Beach**  
1111 Linton Blvd.  
Delray Beach, FL 33444

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Row	Date	Comments
1	10/10/18	City Review
2	05/24/19	City Review 2

Signed & Sealed :

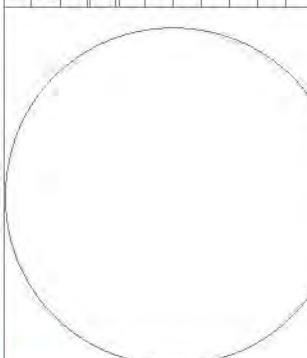
Sheet Title :  
**Exterior Elevations - Cont.**

Sheet Number :  
**A202**

released for construction



Rev	Date	Comments
01	10/10/18	CITY REVIEW
02	05/24/19	CITY REVIEW 2



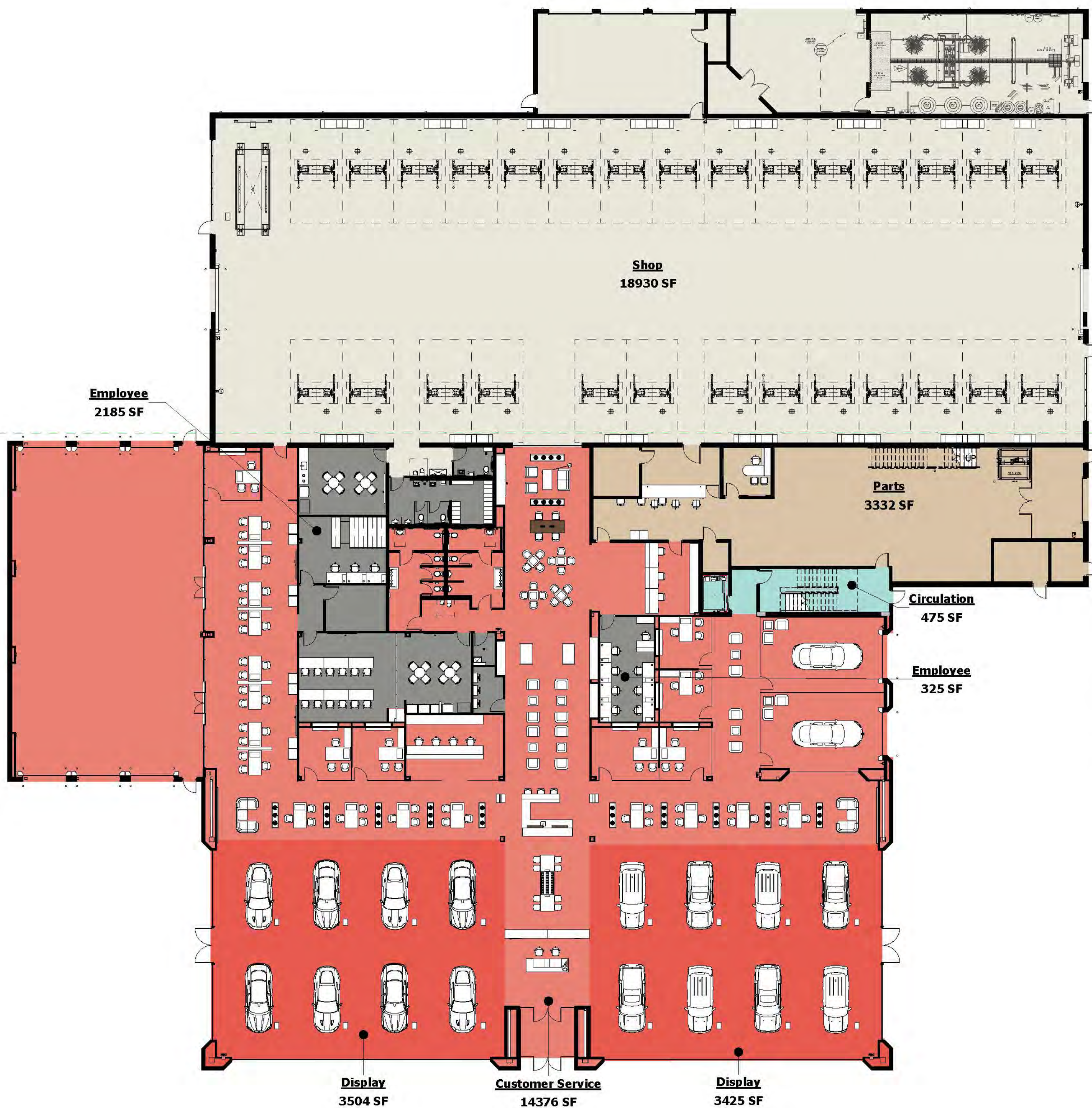
Signed & Sealed :

Sheet Title :

**Proposed Area Plans**

Sheet Number :

**G006**

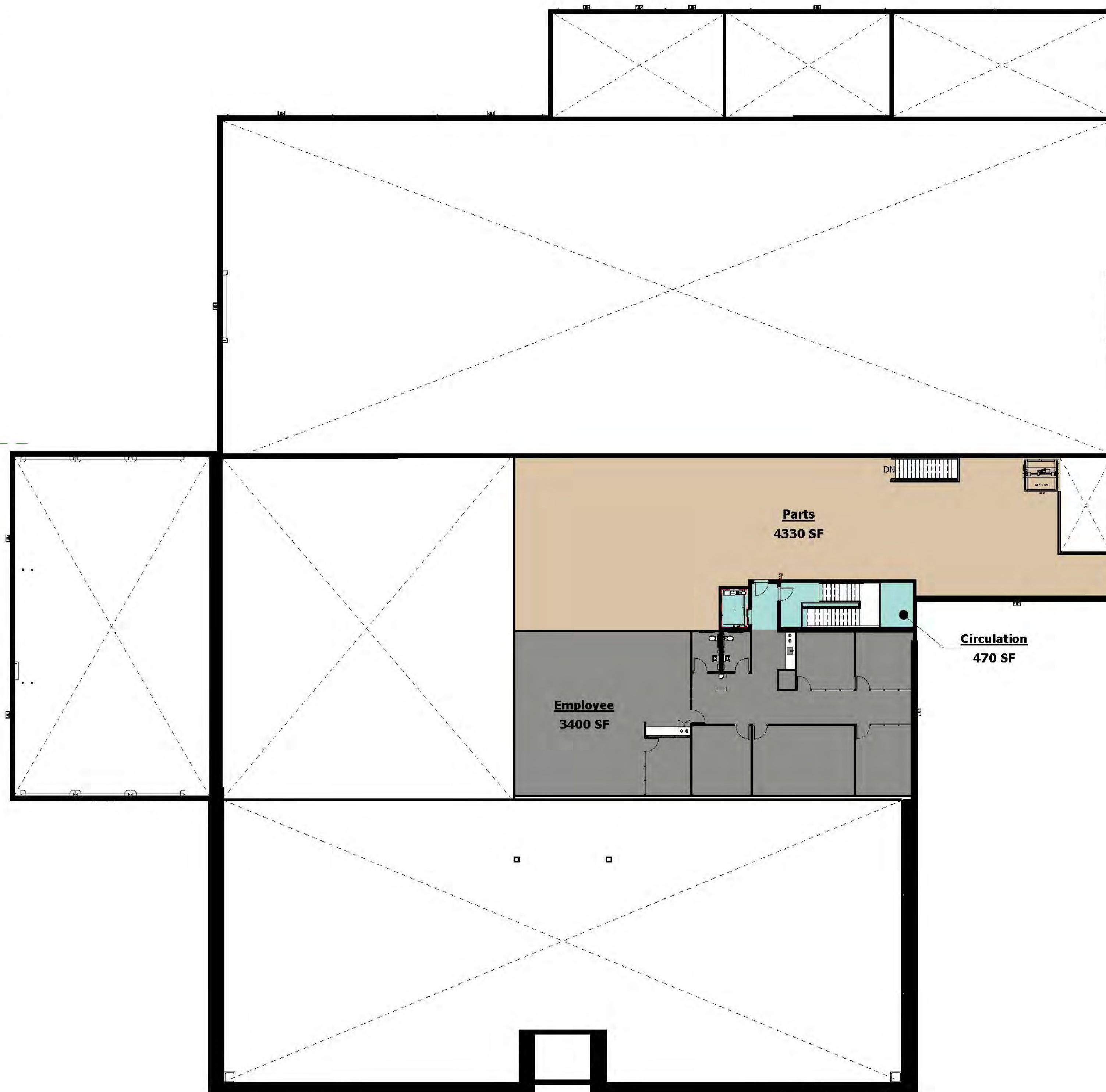


MN

**1 | Proposed First Floor Area Plan**  
1/16" = 1'-0"

**Building Area Legend**

Circulation	- 1,136 SF
Customer Service	- 14,166 SF
Display	- 7,050 SF
Employee	- 9,946 SF
Parts	- 7,908 SF
Shop	- 19,008 SF
Calc	AREA TOTAL - 59,214 SF



MN

**2 | Proposed Second Floor Area Plan**  
1/16" = 1'-0"

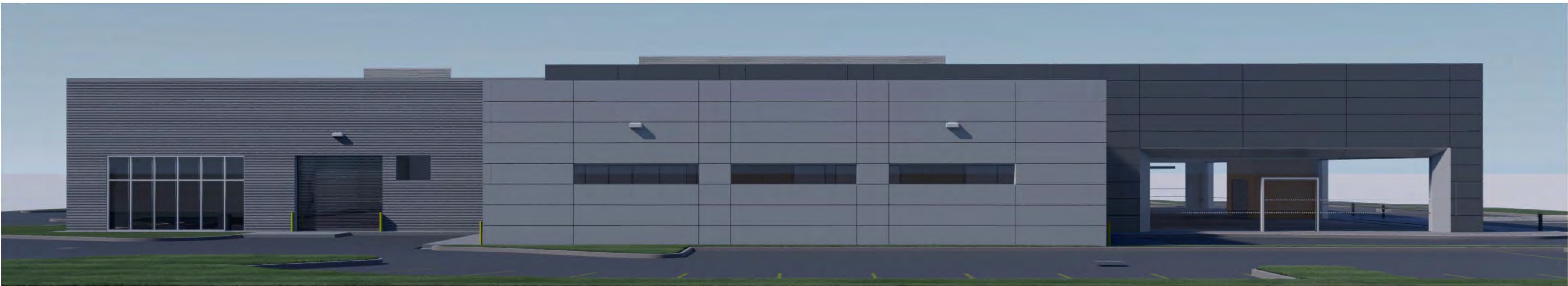




PROPOSED NORTH ELEVATION



PROPOSED EAST ELEVATION

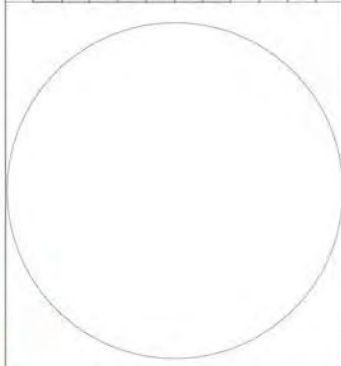


PROPOSED WEST ELEVATION

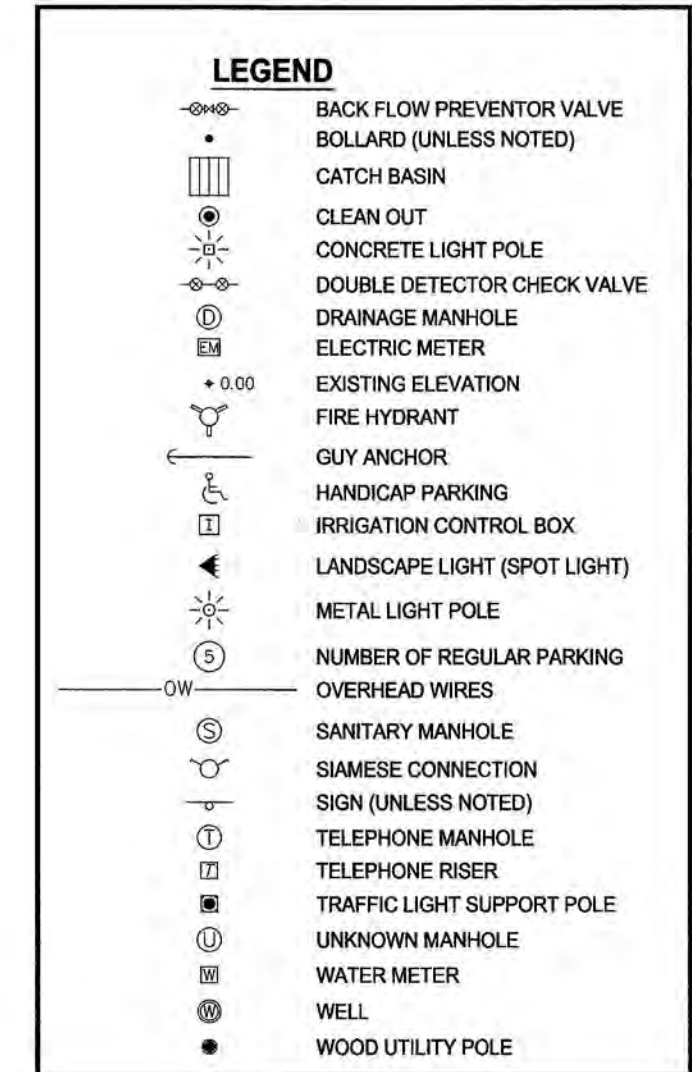


PROPOSED SOUTH ELEVATION

Rev	Date	Comments













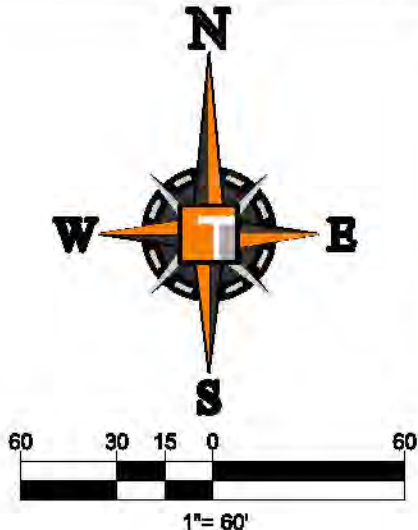
E = EMPLOYEES  
I = INVENTORY  
C = CUSTOMER  
D = DISPLAY  
S = SERVICE



**LOCATION MAP**  
NOT TO SCALE



**1/2 MILE RADIUS MAP**  
**NOT TO SCALE**



BEGIN AT THE NORTHWEST CORNER OF SAID PARCEL A'; THENCE N89°50'52"E ALONG THE NORTH LINE OF SAID PARCEL A', 85.14 FEET TO THE EASTERLY WEST LINE OF SAID TRACT D'; THENCE N00°09'08"W, 50.00 FEET; THENCE N60°13'52"E, 59.79 FEET (THE PREVIOUS TWO CALLS BEING ALONG THE EASTERLY WEST LINE OF SAID TRACT D'); THENCE N89°50'08"W, 51.60 FEET TO THE WEST LINE OF SAID TRACT D'; THENCE N24°45'29"E ALONG THE WEST LINE OF SAID TRACT D' TO, 359.04 FEET; THENCE S65°27'26"E, 74.22 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE TO THE NORTH, HAVING A RADIUS OF 50.67 FEET AND A CENTRAL ANGLE OF 24°26'37"; THENCE S00°EASTERLY ALONG SAID ARC A DISTANCE OF 21.62 FEET TO A POINT OF TANGENCY; THENCE S89°54'03"E, 155.99 FEET; THENCE S00°16'39"E, 409.82 FEET; THENCE S89°43'21"E, 5.36 FEET; THENCE S00°16'39"E, 406.86 FEET TO THE NORTH RIGHT-OF-WAY LINE OF LINTON BOULEVARD, AS RECORDED IN OFFICIAL RECORDS BOOK 30076, PAGE 1959, OF THE PUBLIC RECORDS IN PALM BEACH COUNTY, FLORIDA; THENCE S89°08'04"E ALONG THE SOUTH NORTH-RIGHT-OF-WAY LINE OF LINTON BOULEVARD, 35.94 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE TO THE RIGHT-OF-WAY OF LINTON BOULEVARD; THENCE S89°42'36"E ALONG THE NORTH LINE OF THE SOUTH 30 FEET OF SAID LOT 47 FOR THE RIGHT-OF-WAY OF LINTON BOULEVARD, 87.73 FEET; THENCE S89°26'12"W, 82.99 FEET; THENCE N78°03'37"W, 56.17 FEET; THENCE N88°53'57"W, 163.57 FEET; THENCE N44°15'11"W, 46.68 FEET (THE PREVIOUS FOUR CALLS BEING ALONG THE SAID NORTH-RIGHT-OF-WAY LINE OF LINTON BOULEVARD PER OFFICIAL RECORDS BOOK 30076, PAGE 1959, PALM BEACH COUNTY RECORDS) TO THE WEST LINE OF SAID PARCEL A'; N00°17'24"W, 180.64 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE TO THE EAST HAVING A RADIUS OF 724.00 FEET AND A CENTRAL ANGLE OF 14°46'47"; THENCE NORTHERLY ALONG THE SAID ARC A DISTANCE OF 186.76 FEET (THE PREVIOUS TWO CALLS BEING ALONG THE WEST LINE OF SAID PARCEL A') TO THE POINT OF BEGINNING.

NEW CAR SALES & SERVICE  
NEW CAR SALES & SERVICE  
GC (GENERAL COMMERCIAL)  
AC (AUTOMOTIVE COMMERCIAL)  
IIB - FULLY SPRINKLED  
BUSINESS GROUP B - MOTOR VEHICLE SHOWROOM  
STORAGE GROUP S1 - MOTOR VEHICLE REPAIR  
CITY OF DELRAY BEACH

	REQUIREMENT	EXISTING MERCEDES	PROPOSED LAND ROVER JAGUAR
FRONTAGE (MINIMUM)	125'	361'	455.74'
WIDTH (MINIMUM)	125'	361'	455.74'
DEPTH (MINIMUM)	200'	1,272.93'	818.13'
AREA (MINIMUM)	1.5 ACRES	13.044 ACRES (568,198)	7.367 ACRES (319,620)
LOT COVERAGE	NONE	11.7% (66,380 S.F)	14.6% (46,551 SF)
OPEN SPACE (MINIMUM)	25%	25.8%	29.5%
HEIGHT (MAXIMUM)	48'	25'-0"	26' -0"
SETBACK (MAXIMUM):			
FRONT	15'	136.83'	93.42'
SIDE STREET	15'	79.40'	77.43'
REAR	10'	319.83'	465.57'
SIDE INTERIOR	15'	117.93'	126.68'

SITE DATA (LAND ROVER / JAGUAR)			ZONING DISTRICT: AC	
NET SITE AREA			319,820 SF	7.34 ACRES
SITE AREA CALCULATIONS			SF	% OF NET LAND AREA
PERVIOUS AREA (LANDSCAPED + OPEN SPACE)			82,380 SF	26.8
IMPERVIOUS AREA (PAVEMENT + BLDG. FOOTPRINT / SIDEWALKS)			237,240 SF	74.2
BUILDING AREA	PROPOSED SHOWROOM & SERVICE BLDG. (GROUND FLOOR + MEZZANINE)		59,214 SF	-
	TOTAL		59,214 SF	-
LANDSCAPE OPEN SPACE	REQUIRED = 25% OF SITE AREA (319,820)		79,905 SF	25.0
	PROVIDED	INTERIOR	34,886 SF	10.9
		PERIMETER BUFFER	47,694 SF	14.9
	TOTAL		82,380 SF	25.8
	BULLPEN LANDSCAPE REQUIRED; 10% OF BULLPEN PAVED AREA (75,852 SF) TRANSFERRED TO PERIMETER BUFFER		0 SF	0.0
GROUND COVERAGE	BUILDING	PROPOSED SHOWROOM & SERVICE	46,468 SF	14.5
		TOTAL BUILDING COVERAGE	46,468 SF	14.5
	LANDSCAPE		82,380 SF	25.8
	PAVEMENT		190,772 SF	59.7
	TOTAL		319,820 SF	100.0

SITE DATA (MERCEDES)			ZONING DISTRICT: AC	
NET SITE AREA			568,198 SF	13.04 ACRES
SITE AREA CALCULATIONS			SF	% OF NET LAND AREA
PERVIOUS AREA (LANDSCAPED + OPEN SPACE)			167,788 SF	29.5
IMPERVIOUS AREA (PAVEMENT + BLDG. FOOTPRINT / SIDEWALKS)			400,410 SF	70.5
BUILDING AREA	EXISTING BUILDINGS TO REMAIN (GROUND FLOOR + MEZZANINE)		72,318 SF	-
	TOTAL		72,318 SF	-
LANDSCAPE OPEN SPACE	REQUIRED = 25% OF SITE AREA (567,991)		142,050 SF	25.0
	PROVIDED	INTERIOR	147,801 SF	25.9
		PERIMETER BUFFER	20,187 SF	3.6
	TOTAL		167,788 SF	29.5
	BULLPEN LANDSCAPE REQUIRED; 10% OF BULLPEN PAVED AREA (143,970 S.F) TRANSFERRED TO PERIMETER BUFFER		0 SF	0.0
GROUND COVERAGE	BUILDING	EXISTING BLDG. TO REMAIN	66,380 SF	11.7
		TOTAL BUILDING COVERAGE	66,380 SF	11.7
	LANDSCAPE		167,788 SF	29.5
	PAVEMENT		334,358 SF	58.8
	TOTAL		568,198 SF	100.0

LAND ROVER JAGUAR REQUIRED PARKING (59,214 SF GROSS FLOOR AREA)						
	SQUARE FEET	BAYS	CALCULATION	REQUIRED	PROVIDED	SYMBOL
TOTAL PARKING: GROSS FLOOR AREA (LESS 7,050 SF OF INDOOR DISPLAY)	52,164	—	4 SPACES / 1,000 SF	209	525	
REQUIRED PARKING DESIGNATION FOR EMPLOYEE, CUSTOMER AND/OR SERVICE USE						
GROSS FLOOR AREA (LESS 7,050 SF OF INDOOR DISPLAY)	52,164	—	2 SPACES / 1,000 SF	104	70* 34*	C E
SERVICE BAYS (INCLUDES DETAILING)	-----	28	1.5 SPACES / SERVICE BAY	42	42	S
REMAINING (MAY BE USED FOR DISPLAY/INVENTORY)	-----	—		63	63 316	D I

LAND ROVER JAGUAR REQUIRED PARKING (72,318 SF GROSS FLOOR AREA)						
	SQUARE FEET	BAYS	CALCULATION	REQUIRED	PROVIDED	SYMBOL
TOTAL PARKING: GROSS FLOOR AREA (LESS 8,649 SF OF INDOOR DISPLAY)	63,669	—	4 SPACES / 1,000 SF	255	862	
REQUIRED PARKING DESIGNATION FOR EMPLOYEE, CUSTOMER AND/OR SERVICE USE						
GROSS FLOOR AREA (LESS 8,649 SF OF INDOOR DISPLAY)	63,669	—	2 SPACES / 1,000 SF	127	85* 42*	C E
SERVICE BAYS (INCLUDES DETAILING)	—	51	1.5 SPACES / SERVICE BAY	77	77	S
REMAINING (MAY BE USED FOR DISPLAY/INVENTORY)	—	—		51	64 594	D I

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4950 W. KENNEDY BLVD.  
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JUPITER, FL 33498  
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125 W. INDIANTOWN RD.  
SUITE 208  
JUPITER, FL 33498  
P: 561-263-1503

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[illegible]

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SPRAB SUBMITTAL

PROJECT No.:	F170121
DRAWN BY:	CAD
CHECKED BY:	MAT
DATE:	08-18-19
CAD I.D.:	F170121-SITE PLAN OVERALL

PROJECT:

**LAND ROVER/ JAGUAR  
OF DELRAY BEACH  
1111 W. LINTON BLVD.  
DELRAY BEACH**

---

— FOR —

**AUTONATION**

**THOMAS**  
ENGINEERING GROUP

---

6300 NW 31ST AVENUE  
FORT LAUDERDALE, FL 33309  
PH: (954) 202-7000  
FX: (954) 202-7070  
[www.ThomasEngineeringGroup.com](http://www.ThomasEngineeringGroup.com)

**MICHAEL A. TROXELL**

---

**PROFESSIONAL ENGINEER**  
August 16, 2019  
FLORIDA LICENSE No. 50572  
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

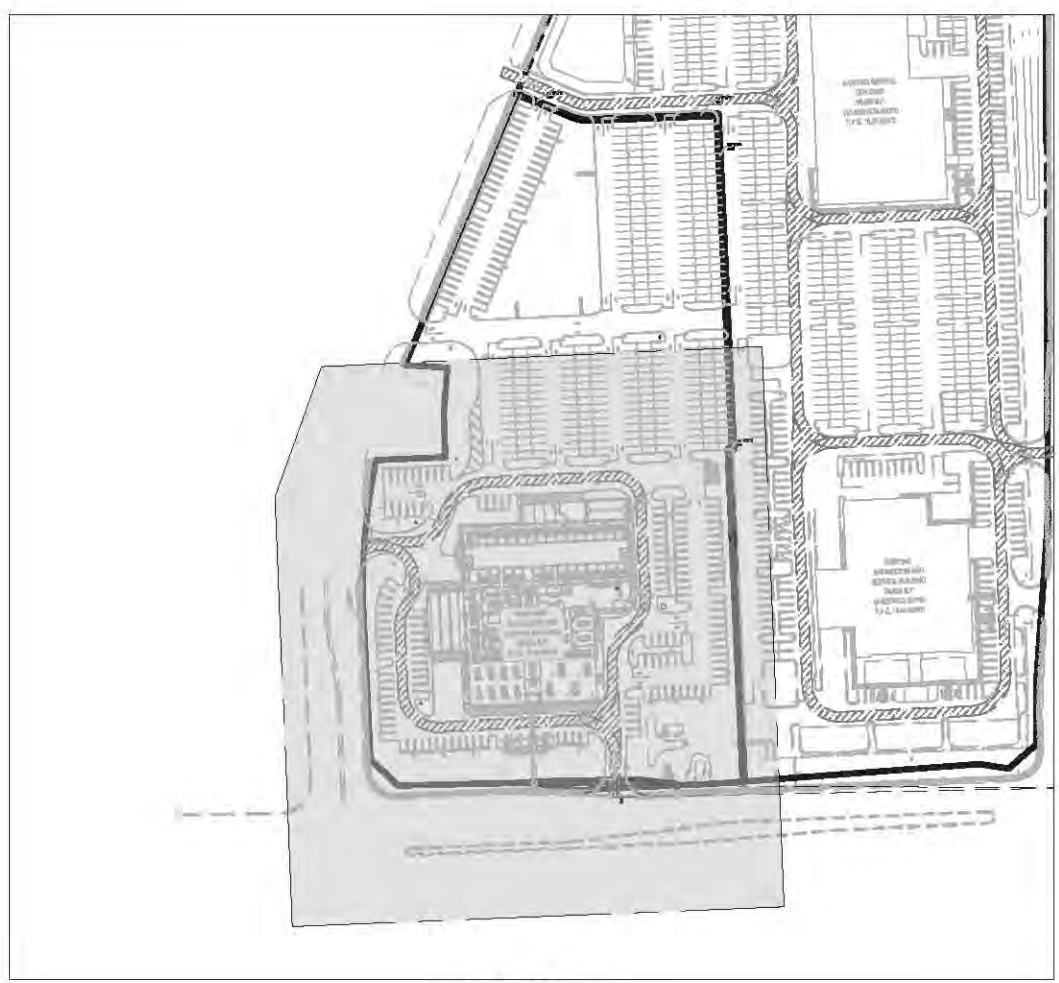
**SHEET TITLE:**

### OVERALL SITE PLAN

**SHEET NUMBER**

# SP-01





**NOTE:**  
CONTRACTOR TO USE CAUTION WHILE REMOVING CURB  
AND GUTTER SECTION NOT TO DAMAGE EXISTING  
ASPHALTIC CONCRETE PAVEMENT, OTHERWISE MILLING  
AND RESURFACING OF THE AFFECTED LANE WILL BE  
REQUIRED.

ELEVATIONS ARE BASED ON  
NORTH AMERICAN VERTICAL  
DATUM (NAVD) OF 1988.



Figure 1 shows a horizontal bar with segments labeled 30, 15, 7.5, 0, and 30. Below the bar is a scale bar indicating 1" = 30'.

PROP. LIGHT  
POLE

E = EMPLOYEES  
I = INVENTORY  
C = CUSTOMER  
D = DISPLAY  
S = SERVICE

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TAMPA, FL 33609  
P. 854-202-7000

■ 4500 W. KENNEDY BLVD.  
TAMPA FL 33606  
P. 813-979-4100

■ 725 W INDIANATOWN RD  
JUPITER, FL 33458  
P. 888-203-7603

USE: AS APPLICABLE, DESIGN AND CONSTRUCTION OF THIS FIRM OR ITS AFFILIATES IS LIMITED TO 60,000 SQ. FT. PER PROJECT PER YEAR. SEE WEBSITE FOR DETAILS.

[illegible]

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SPRAB SUBMITTAL

PROJECT No.:	F170121
DRAWN BY:	CAD
CHECKED BY:	MAT
DATE:	08-16-19
CAD I.D.:	F170121-SITE PLAN LR.

PROJECT:

**LAND ROVER/ JAGUAR  
OF DELRAY BEACH  
1111 W. LINTON BLVD.  
DELRAY BEACH**

— FOR —

**AUTONATION**

DELRAY BEACH  
FLORIDA

**THOMAS**  
ENGINEERING GROUP

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FORT LAUDERDALE, FL 33309  
PH: (954) 202-7000  
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MICHAEL A. TROXELL

**PROFESSIONAL ENGINEER**  
August 16, 2019  
FLORIDA LICENSE No. 50572  
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

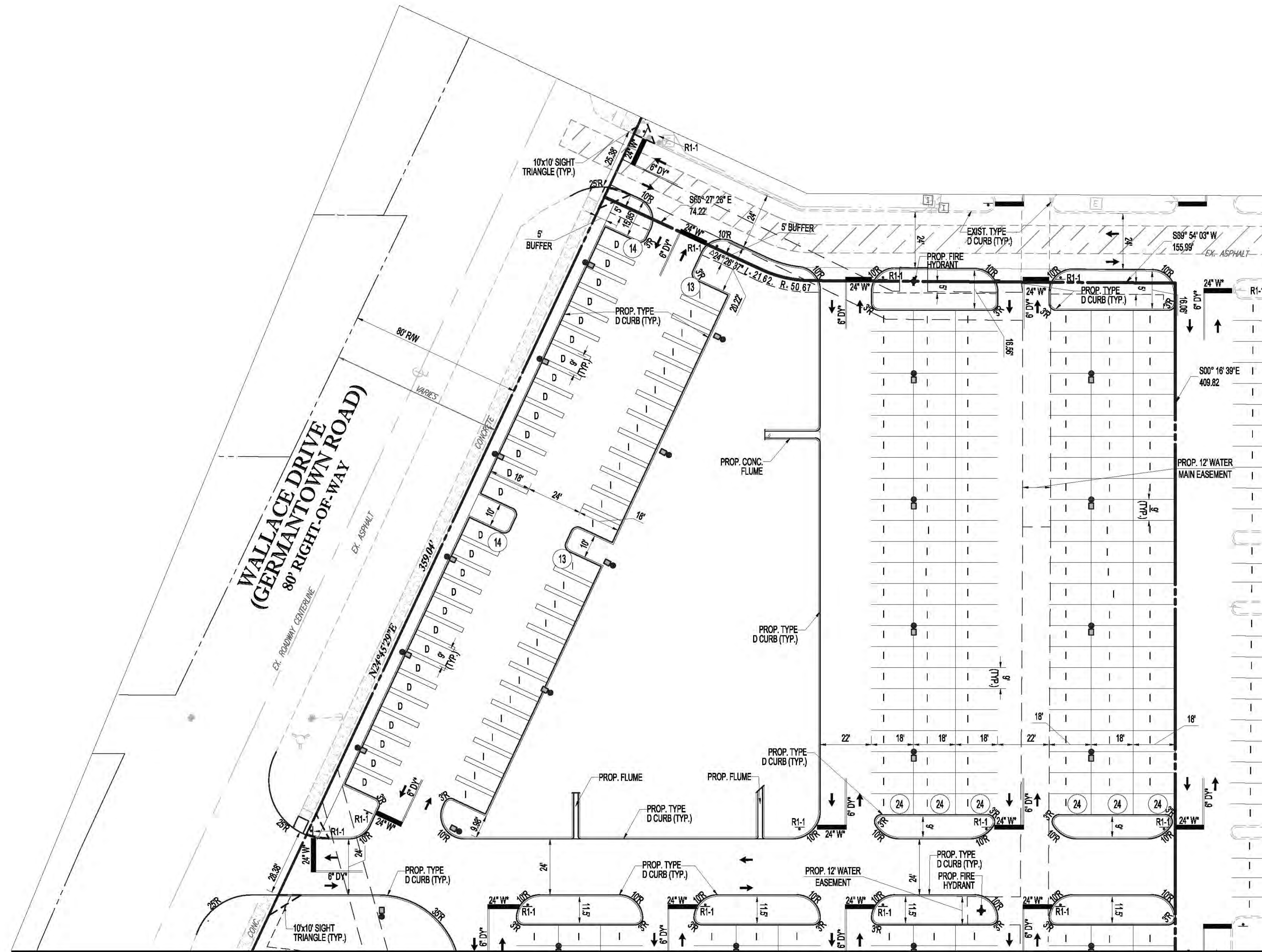
**SHEET TITLE:**

**LANDROVER JAGUAR  
SITE PLAN**

SHEET NUMBER:

# SP-02





MATCH LINE

SEE SHEET SP-02



KEY

LEGEND

- ◁ ▷ PROP. LIGHT POLE  
E = EMPLOYEES  
I = INVENTORY  
C = CUSTOMER / EMPLOYEE SPACE  
D = DISPLAY  
S = SERVICE

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P: 561-203-7503  
P: 561-203-7503

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REVISIONS			
REV.	DATE	COMMENT	BY

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SPRAB SUBMITTAL

PROJECT No.: F170121  
DRAWN BY: CAD  
CHECKED BY: MAT  
DATE: 06-15-19  
CAD I.D.: F170121-SITE PLAN LRL

PROJECT:  
LAND ROVER/ JAGUAR  
OF DELRAY BEACH  
1111 W. LINTON BLVD.  
DELRAY BEACH  
FOR  
AUTONATION  
DELRAY BEACH  
FLORIDA

THOMAS

ENGINEERING GROUP

6300 NW 31ST AVENUE  
FORT LAUDERDALE, FL 33309  
PH: (954) 202-7000  
FX: (954) 202-7070  
WWW.THOMASENGINEERINGGROUP.COM

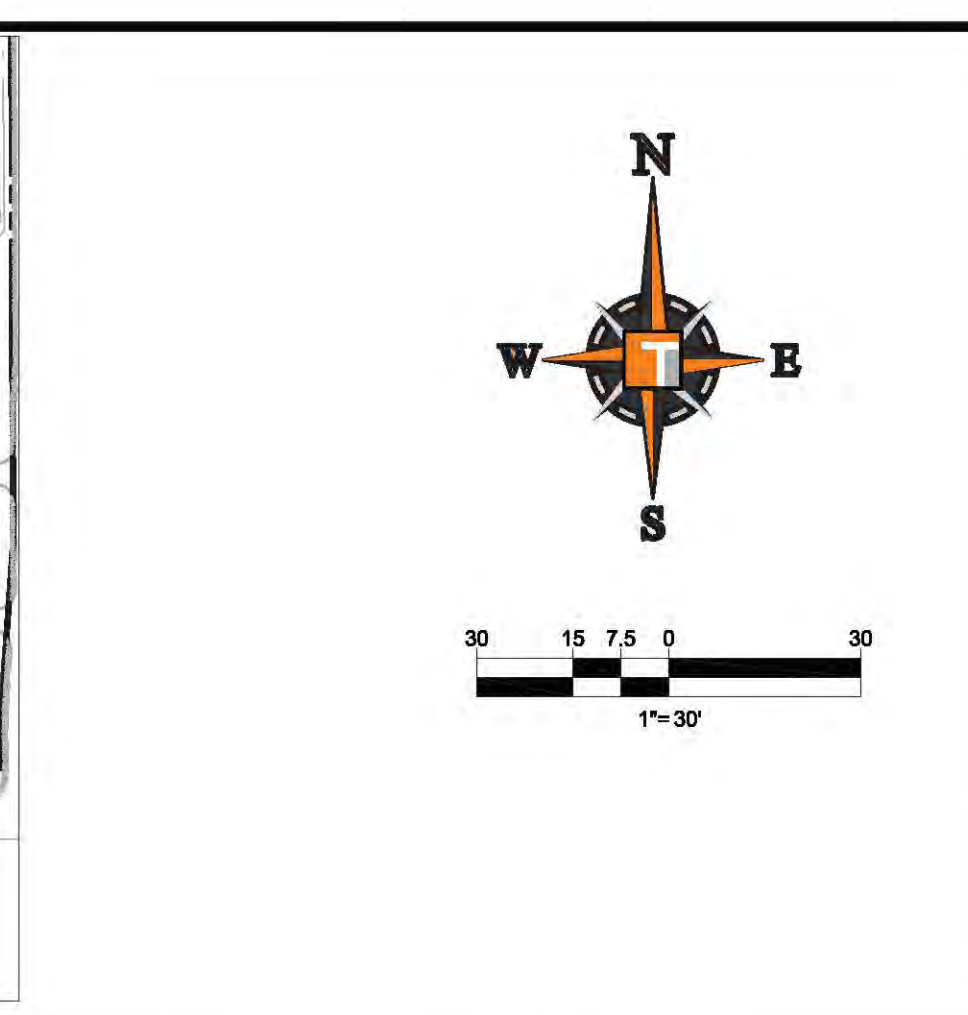
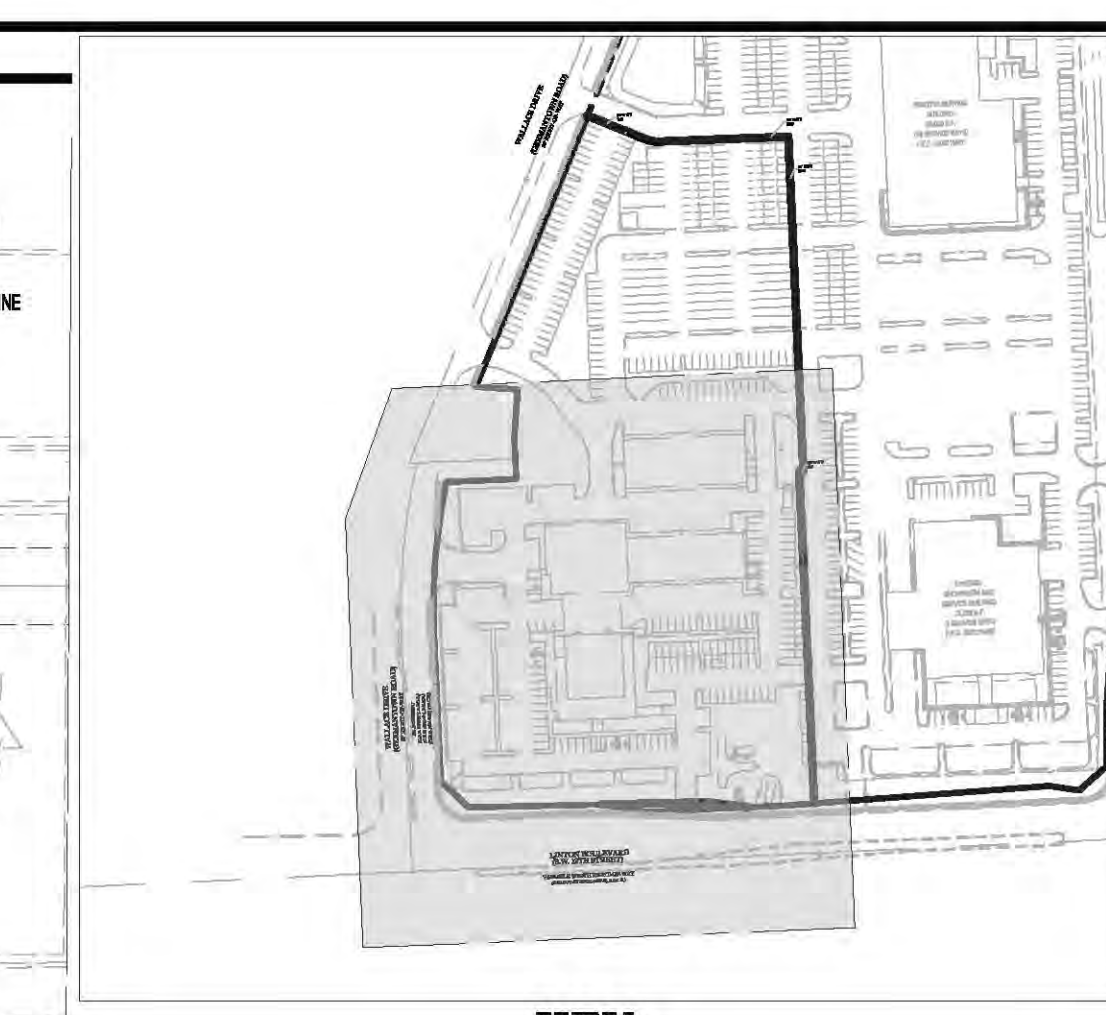
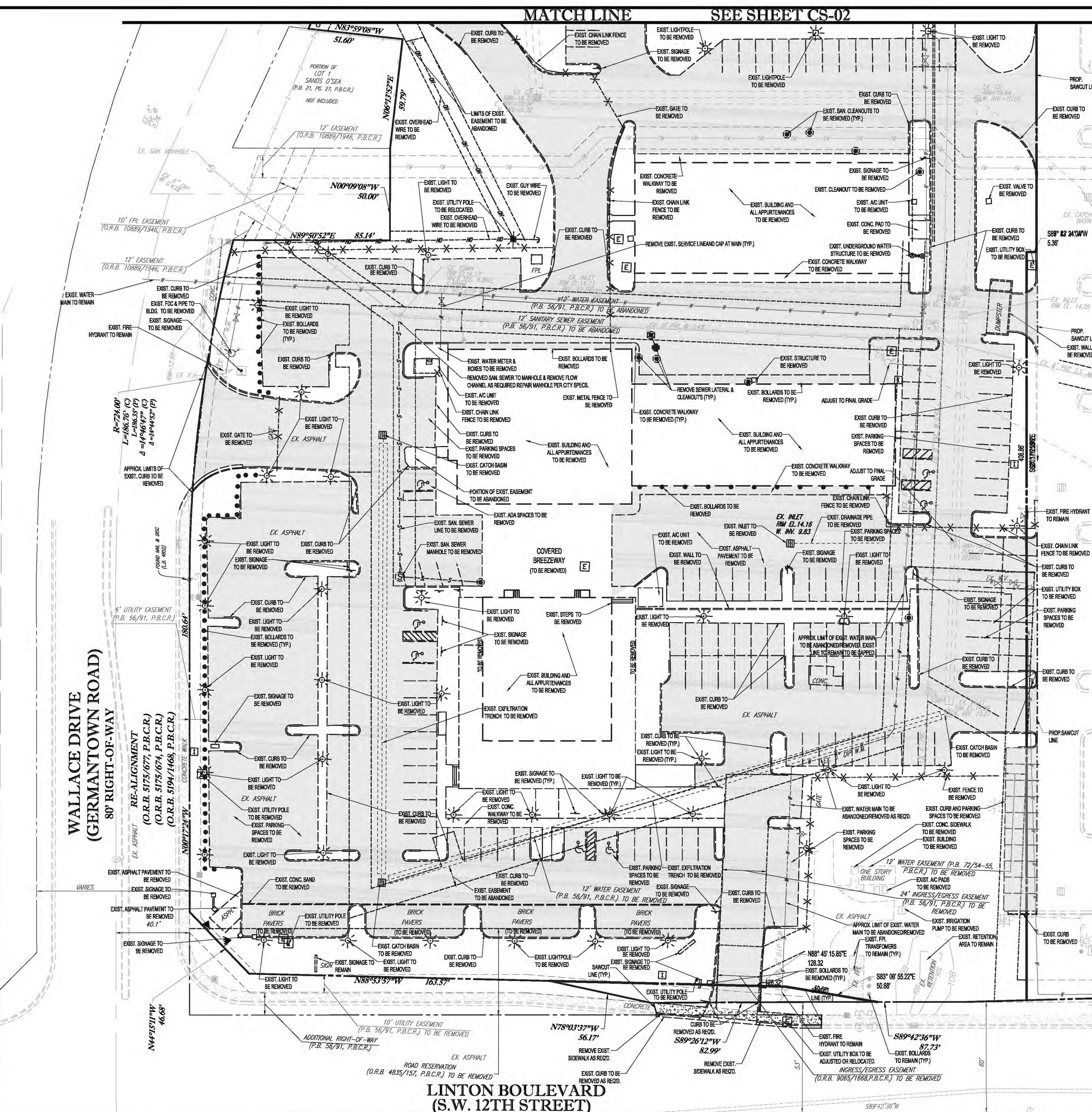
MICHAEL A. TROXELL

PROFESSIONAL ENGINEER  
August 16, 2019  
FLORIDA LICENSE No. 55672  
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:  
LANDROVER JAGUAR  
SITE PLAN

SHEET NUMBER:  
SP-03





### DEMOLITION NOTES:

- THOMAS ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO THOMAS ENGINEERING GROUP, LLC IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR/TO:
  - THE CONTRACTOR SHALL OBTAIN A SUNSHINE STATE ONE CALL LOCATION CERTIFICATION PRIOR TO ANY EXCAVATION OR DEMOLITION. THE NUMBER IS 1-800-432-4770.
  - ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
  - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
  - LOCATE/CAP ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE.
  - PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEM THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
  - FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
  - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
  - A COMPLETE INSPECTION OF CONTAMINANTS BY A LICENSED ENVIRONMENTAL TESTING AGENCY. OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED SAME SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ANY/ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS THE SOLE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
- THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
- IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL," AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS - OF - WAY.
- CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER AND/OR APPROPRIATE GOVERNMENT AGENCY.
- USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL CITY, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.
- ALL WATER MAINS TO BE ABANDONED IN PLACE WILL BE REMOVED WATER AND SEWER SERVICE LINES TO BE ABANDONED WILL NEED TO BE REMOVED BACK TO WATER MAIN, IN ACCORDANCE WITH APPLICABLE UTILITY STANDARDS.
- CONTRACTOR TO REMOVE/DISCONNECT ALL UTILITIES SERVICING BUILDINGS PRIOR TO DEMOLITION.
- ANY EXISTING SITE IMPROVEMENTS NOT SHOWN TO REMAIN ON THE PROPOSED PLANS SHALL BE REMOVED UNLESS OTHERWISE NOTED.

NOTE:  
CONTRACTOR TO USE CAUTION WHILE REMOVING CURBS AND GUTTER SECTION NOT TO DAMAGE EXISTING ASPHALTIC CONCRETE PAVEMENT, OTHERWISE MILLING AND RESURFACING OF THE AFFECTED LANE WILL BE REQUIRED.

ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.

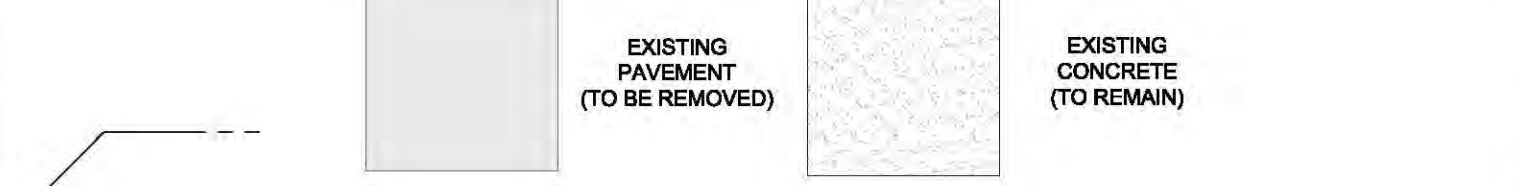
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### HATCH LEGEND



### LINTON BOULEVARD (S.W. 12TH STREET)

VARIABLE WIDTH RIGHT-OF-WAY (ROAD PLAT BOOK 4/25-26, P.B.C.R.)

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SPRAB SUBMITTAL

PROJECT No.: F170121  
DRAWN BY: CAD  
CHECKED BY: MAT  
DATE: 08-15-19  
CAD I.D.: F170121-DEMO PLAN

PROJECT:  
**LAND ROVER/ JAGUAR  
OF DELRAY BEACH  
1111 W. LINTON BLVD.  
DELRAY BEACH**  
FOR  
**AUTONATION**

DELRAY BEACH  
FLORIDA

THOMAS ENGINEERING GROUP  
6300 NW 31ST AVENUE  
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**MICHAEL A. TROXELL**  
PROFESSIONAL ENGINEER  
August 18, 2019  
FLORIDA LICENSE No. 5672  
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:  
**DEMOLITION PLAN**

SHEET NUMBER:  
**CS-01**








NOTE:  
CONTRACTOR TO USE CAUTION WHILE REMOVING CURB  
AND GUTTER SECTION NOT TO DAMAGE EXISTING  
ASPHALTIC CONCRETE PAVEMENT, OTHERWISE MILLING  
AND RESURFACING OF THE AFFECTED LANE WILL BE  
REQUIRED.

ELEVATIONS ARE BASED ON  
NORTH AMERICAN VERTICAL  
DATUM (NAVD) OF 1988.

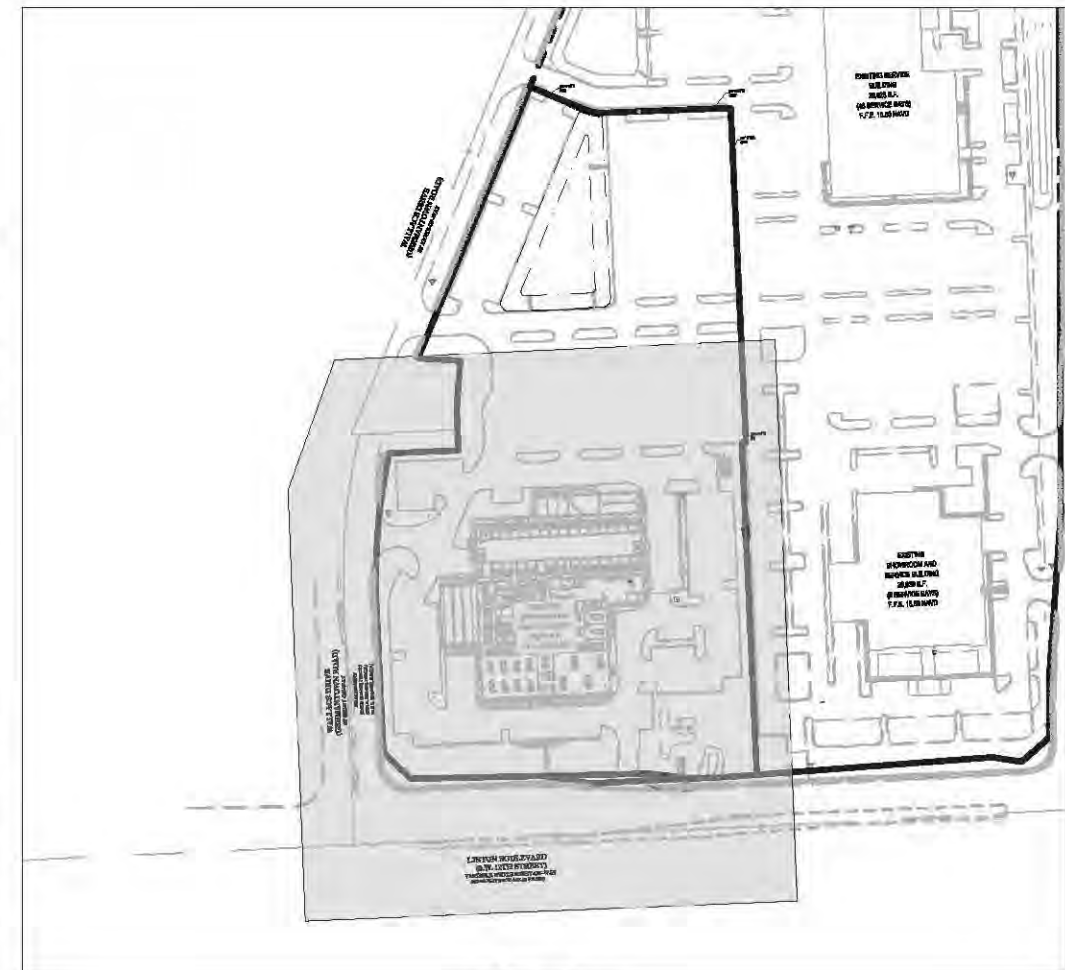
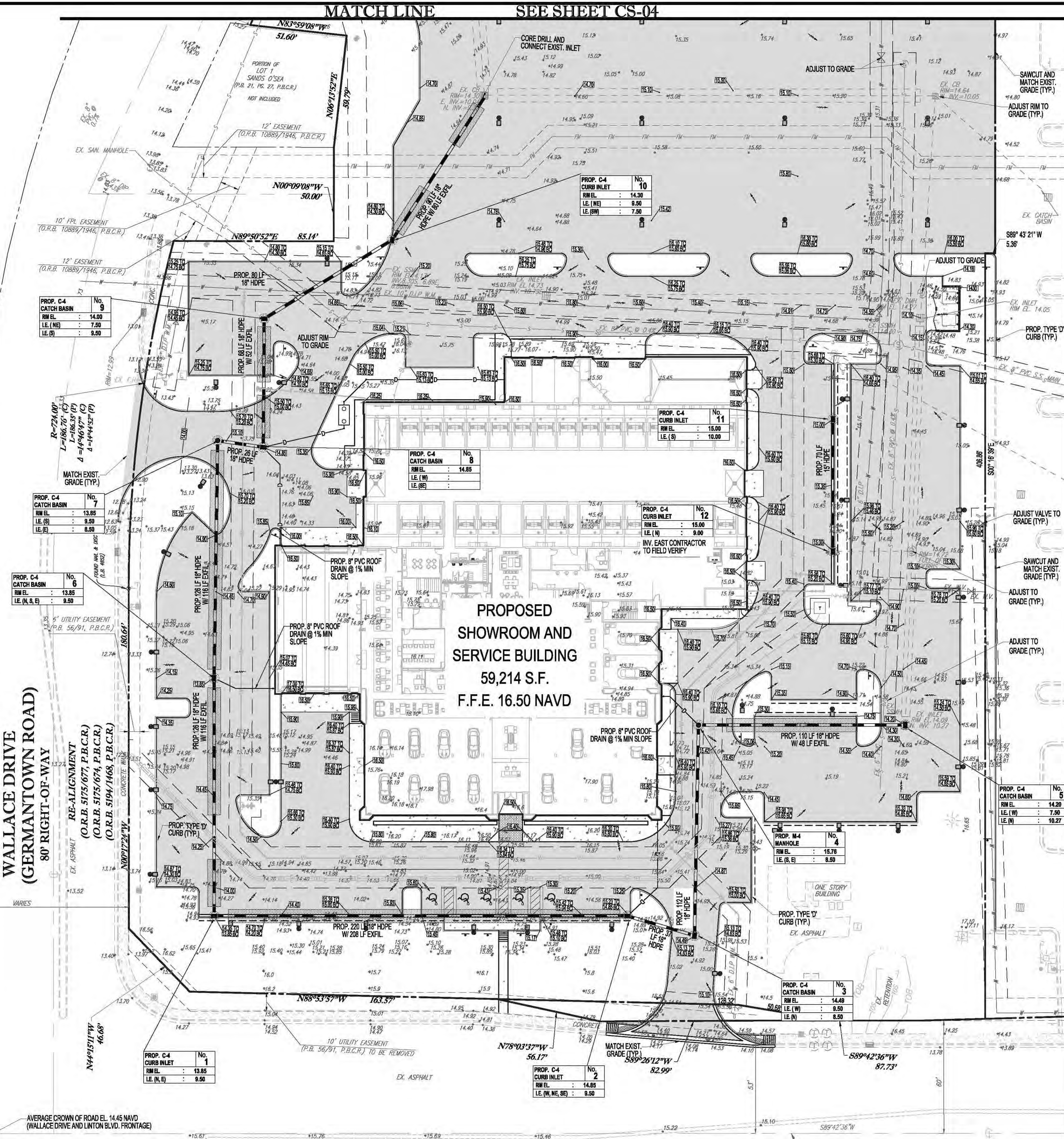
# HATCH LEGEND

	EXISTING PAVEMENT (TO BE REMOVED)
	EXISTING CONCRETE (TO REMAIN)
	EXISTING PAVEMENT (TO BE MILLED AND RESURFACED)

- NOTE:**
1. CONTRACTOR TO USE CAUTION WHILE REMOVING CURB AND GUTTER SECTION NOT TO DAMAGE EXISTING ASPHALTIC CONCRETE PAVEMENT, OTHERWISE MILLING AND RESURFACING OF THE AFFECTED LANE WILL BE REQUIRED.
  2. ALL WATER MAINS TO BE ABANDONED IN PLACE WILL BE REMOVED SERVICE LINES WILL NEED TO BE REMOVED BACK TO THE MAIN.
  3. ALL EXISTING WATER METERS NEED TO BE DISCONNECTED AT THE MAIN AND CORPORATION STOP.



MATCH LINE SEE SHEET CS-04



KEY

PAVING, GRADING & DRAINAGE LEGEND		
EXISTING		PROPOSED
	SANITARY SEWER LATERAL	—S—
	UNDERGROUND WATER LINE	—W—
	UNDERGROUND ELECTRIC LINE	—E—
	OVERHEAD WIRE	—OH—
	UNDERGROUND TELEPHONE LINE	—T—
	UNDERGROUND CABLE LINE	—C—
	UNDERGROUND ROOF DRAIN LINE	—D—
	STORM SEWER	—S—
	STORM SEWER EXFILTRATION TRENCH	—S—
	SANITARY SEWER MAIN	—S—
	HYDRANT	—H—
	SANITARY MANHOLE	—M—
	STORM MANHOLE	—M—
	CATCH BASIN	—CB—
	GRADE SPOT SHOT	—SS—

HATCH LEGEND



ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.

CONSTRUCTION NOTES:

- CONTRACTOR TO SAW-CUT AT ALL LOCATIONS OF REMOVAL OF EXISTING CONC. SIDEWALK, CONC. CURB AND ASPHALT UNLESS OTHERWISE NOTED. ALL BASE AND SUBBASE MATERIAL SHALL BE REMOVED WITHIN THE PROPOSED LANDSCAPED AREA.
- CONTRACTOR TO MATCH EXIST. GRADES AND TO CONSTRUCT A SMOOTH TRANSITION FROM EXISTING FACILITIES TO PROPOSED.
- CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS FROM CONSTRUCTION SITE AND DISPOSE PER LOCAL ORDINANCES.
- CONTRACTOR TO ENSURE ALL CONSTRUCTION IS IN ACCORDANCE WITH CITY DESIGN STANDARDS.
- CONTRACTOR TO SOD ALL DISTURBED AREAS. SODDING INCLUDES MAINTAINING SLOPE AND SOO UNTIL COMPLETION AND ACCEPTANCE OF THE TOTAL PROJECT OR GROWTH IS ESTABLISHED WHICHEVER COMES LAST.
- ALL EXISTING TRAFFIC SIGNS DISTURBED DURING CONSTRUCTION SHALL BE REINSTALLED WHERE APPLICABLE BY THE CONTRACTOR.
- THESE PLANS REFLECT CONDITIONS KNOWN DURING PLAN DEVELOPMENT. IN THE EVENT THAT ACTUAL PHYSICAL CONDITIONS PREVENT THE APPLICATION OF THESE STANDARDS OR THE PROGRESSION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED AREA.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, STORM DRAINS, UTILITIES, AND OTHER FACILITIES TO REMAIN AND SHALL REPAIR ANY DAMAGES DUE TO HIS/HER CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER.
- NOTIFY SUNSHINE STATE ONE CALL (1-800-432-4770) OR (811) PRIOR TO CONSTRUCTION.
- PROJECT BASED ON DESIGN SURVEY PREPARED BY OTHERS.
- THE CONTRACTOR SHALL NOT ENCROACH ONTO PRIVATE PROPERTY WITHOUT EASEMENTS NECESSARY FOR COMPLETION OF THE WORK.
- THE EXISTING UNDERGROUND UTILITIES SHOWN ARE PER ABOVE GROUND SURVEY DATA AND UTILITY AS-BUILT DATA. THIS INFORMATION DOES NOT WARRANT EXACT SIZE AND LOCATION OF THE UTILITIES. ALSO, THERE MAY BE ADDITIONAL UTILITIES WITHIN THE LIMITS OF CONSTRUCTION THAT MAY BE AFFECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING EXISTING UTILITIES DURING THE COURSE OF CONSTRUCTION.
- PLEASE SEE MEP PLANS FOR CONTINUATION OF ROOF LEADERS.
- 2.0% MAXIMUM SLOPE ON HANDICAP SPACES AND ADA ACCESSWAYS.
- ALL SIDEWALKS SHOULD HAVE A MAXIMUM CROSS SLOPE OF 1.5%.
- EXISTING COVER MUST BE MAINTAINED ON ALL WATER AND SANITARY LINES.
- EXISTING SEWER MUST REMAIN FREE FROM CONSTRUCTION DEBRIS AND FLOW MUST BE MAINTAINED.
- NO STRUCTURES SHALL BE ALLOWED IN UTILITY EASEMENT.
- SIZE, GRADES, AND LOCATION FOR DRIVEWAY CULVERTS SHALL BE DETERMINED BY THE ENGINEERING DEPT.
- ALL UNSTABLE MATERIALS SUCH AS MUCK, PEAT, PLASTIC CLAYS, AND/OR MARLS SHALL BE REMOVED FROM ROADBED AREAS. THE AREA SHALL THEN BE BACKFILLED ACCORDING TO THE GEOTECH REPORT.
- THE SIZE, LENGTH, AND INVERT ELEVATION OF THE PROPOSED DRIVEWAY PIPES AND SWALE LINER ELEVATION WILL BE PROVIDED BY THE CITY OF DELRAY BEACH PUBLIC WORKS.

**THOMAS**  
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CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS  
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REV.	DATE	REVISIONS	BY

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SPRAB SUBMITTAL

PROJECT No.:	F170121
DRAWN BY:	CAD
CHECKED BY:	MAT
DATE:	08-15-19
CAD I.D.:	F170121-PGD PLAN LRJ

PROJECT:  
**LAND ROVER/ JAGUAR  
OF DELRAY BEACH  
1111 W. LINTON BLVD.  
DELRAY BEACH**

FOR  
**AUTONATION**

DELRAY BEACH  
FLORIDA

**THOMAS**  
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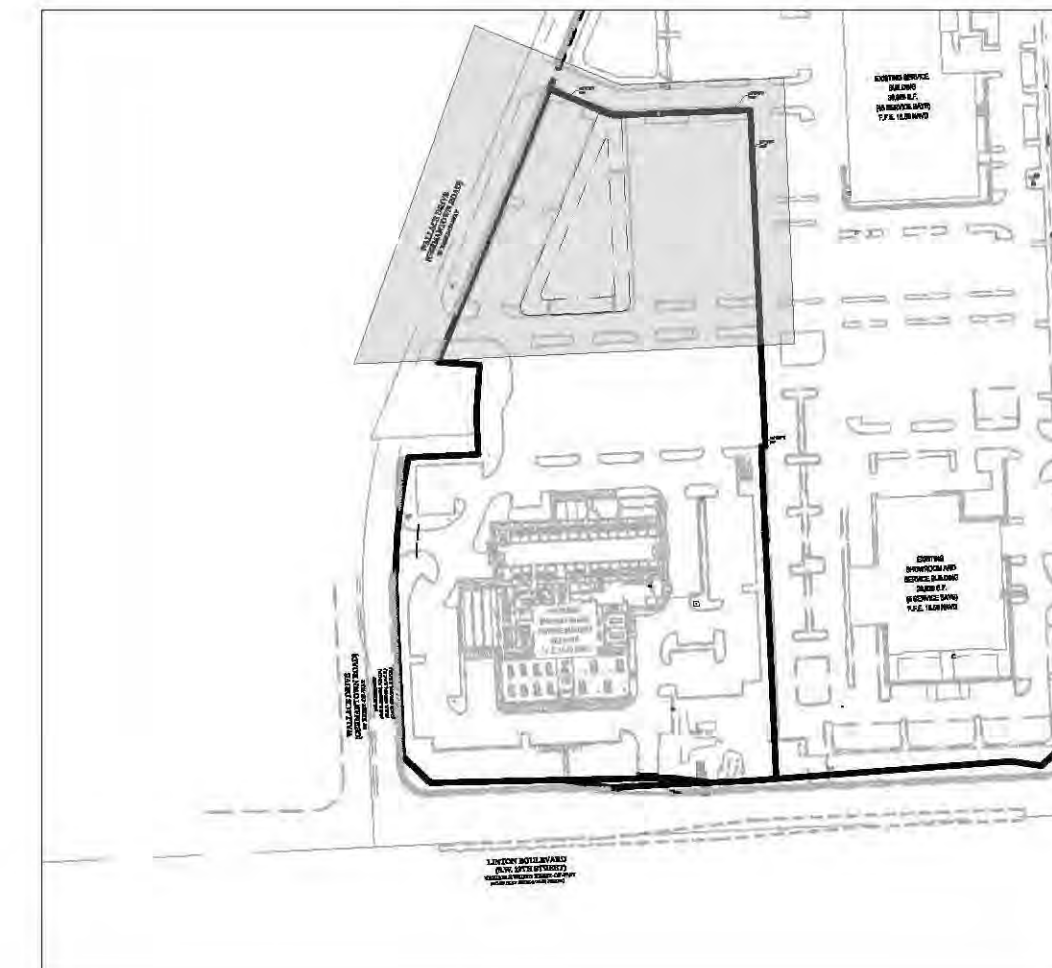
**MICHAEL A. TROXELL**

PROFESSIONAL ENGINEER  
August 16, 2019  
FLORIDA LICENSE No. 56672  
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:  
**PAVING, GRADING &  
DRAINAGE PLAN**

SHEET NUMBER:  
**CS-03**





SHEET TITLE:  
**PAVING, GRADING &  
DRAINAGE PLAN**

---

SHEET NUMBER:  
**CS-04**





<u>UTILITY LEGEND</u>		
<i>EXISTING NOTE</i>	TYPICAL NOTE TEXT	PROPOSED NOTE
	SANITARY SEWER LATERAL	
	UNDERGROUND WATER LINE	
	UNDERGROUND ELECTRIC LINE	
	UNDERGROUND FIRE LINE	
	UNDERGROUND GAS LINE	
	OVERHEAD WIRE	
	UNDERGROUND TELEPHONE LINE	
	UNDERGROUND CABLE LINE	
	STORM SEWER	
	SANITARY SEWER MAIN	
	HYDRANT	
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	YARD INLET	
	WATER VALVE	
	BACKFLOW PREVENTER	
	WATER METER	
	CLEAN OUT	

- ### NOTES
1. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
  2. ALL EXISTING UTILITIES SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH CITY OF DELRAY BEACH AND LOCAL UTILITY COMPANY REQUIREMENTS.
  3. ALL DEMOLITION DEBRIS TO BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
  4. ALL HYDRANTS SHALL FALL WITHIN 4' OF THE CURB.
  5. MINIMUM 7.5' CLEARANCE AROUND THE HYDRANT CIRCUMFERENCE. THE 4 1/2" CAP SHALL FACE THE ROADWAY.
  6. ALL FIRE HYDRANTS SHOULD HAVE BLUE REFLECTIVE MARKERS.
  7. WATER SHALL BE ON SITE BEFORE CONSTRUCTION BEGINS.
  8. CLEAN OUTS INSTALLED IN ASPHALT MUST BE INSTALLED IN A CITY BOX MARKED SEWER.
  9. ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD 1.1 & LD 1.2.
  10. NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY KIND OF CONSTRUCTION CAN BE PLACED ON OR WITHIN ANY WATER, SEWER OR DRAINAGE EASEMENTS, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.
  11. NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 40'-FEET FROM AN EXISTING OR PROPOSED WATER, SEWER OR DRAINAGE FACILITIES, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.
  12. WATER METER SIZES SHALL BE DESIGNED BY ENGINEER OF RECORD AND SHALL BE CHECKED AND AUTHORIZED BY CITY OF DELRAY BEACH UTILITIES DIVISION.
  13. ALL NEW CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE CUT-IN.

[illegible]

SPRAB SUBMITTAL

PROJECT No.:	F170121
DRAWN BY:	CAD
CHECKED BY:	MAT
DATE:	08-16-19
CAD I.D.:	F170121-UTILITY PLAN LRJ

PROJECT:

**LAND ROVER/ JAGUAR  
OF DELRAY BEACH  
1111 W. LINTON BLVD.  
DELRAY BEACH**

— FOR —

**AUTONATION**

DELRAY BEACH  
FLORIDA



**MICHAEL A. TROXELL**

---

**PROFESSIONAL ENGINEER**  
August 16, 2019  
FLORIDA LICENSE NO. 50572  
FLORIDA BUSINESS CERT. OF AUTH. NO. 27528

SHEET TITLE:

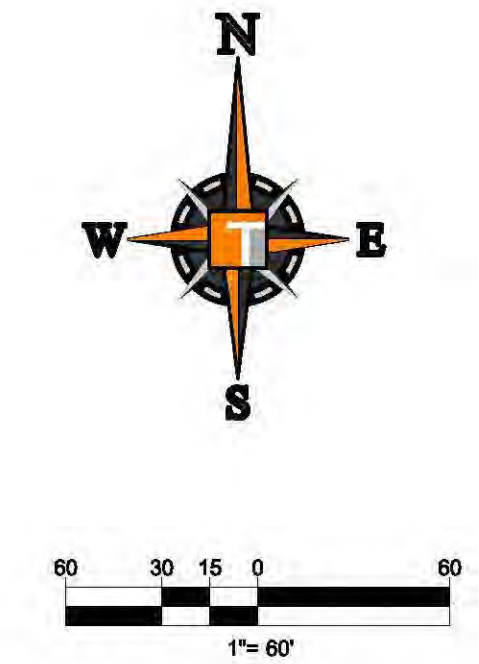
**WATER, SEWER AND  
UTILITY PLAN**

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SHEET NUMBER:

**CS-07**



[illegible][illegible]

PROJECT No.:	F170121
DRAWN BY:	CAD
CHECKED BY:	MAT
DATE:	08-16-19
CAD I.D.:	F170121-UTILITY COMPOSITE

PROJECT: **LAND ROVER/ JAGUAR  
OF DELRAY BEACH  
1111 W. LINTON BLVD.  
DELRAY BEACH**

— FOR —

**AUTONATION**



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MICHAEL A. TROXELL

**PROFESSIONAL ENGINEER**  
August 16, 2019  
FLORIDA LICENSE No. 50572  
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:

### COMPOSITE PLAN

SHEET NUMBER: \_\_\_\_\_

CS-10





Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Lum. Watts	LLF	Description
	4	AF	SINGLE	423	1.300	RSX4 LED P4 50K AFR
	2	R4	SINGLE	423	1.300	RSX4 LED P4 50K R4
	5	R4a	SINGLE	311.9213	1.000	RSX3 LED P4 50K R4
	11	R3	SINGLE	149.9762	1.000	RSX2 LED P3 50K R3
	30	R5	SINGLE	311.9213	1.000	RSX3 LED P4 50K R5
	15	W1	SINGLE	49	1.000	KAXW LED P2 50K R4 MVOLT
	9	AFa	SINGLE	311.9213	1.000	RSX3 LED P4 50K AFR
	9	R3a	SINGLE	246.6347	1.000	RSX2 LED P6 50K R3
	2	R5a	SINGLE	423	1.322	RSX4 LED P4 50K R5
	1	R5-2	BACK-BACK	311.9213	1.000	RSX3 LED P4 50K R5
	4	WF	SINGLE	149.9762	1.000	RSXF2 LED P3 50K WFL
	1	R4b	SINGLE	246.6347	1.000	RSX2 LED P6 50K R4

Calculation Summary						
Project: Calculations						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Back Lot	Fc	7.84	13.9	2.9	2.70	4.79
Front Line	Fc	39.66	57.0	19.6	2.02	2.91
Rear Display	Fc	32.43	43.6	20.6	1.57	2.12
Rear Sales	Fc	8.22	10.4	3.4	2.42	3.06
Sales Inventory	Fc	14.94	54.7	6.9	2.17	7.93

**HOMAS** ENGINEERING GROUP

**ENVIRONMENTAL ENGINEERS • PROJECT MANAGERS • LAND PLANNING • LANDSCAPE ARCHITECTS**

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TAMPA, FL 33609  
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P: 813-379-1100**

**4650 W. KENNEDY BLVD.  
SUITE 100  
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P: 561-203-7503  
P: 813-379-1100**

**125 W. INDIANTOWN RD.  
SUITE 100  
JUPITER, FL 33408  
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WE REPRESENT SEVERAL COUNTIES OF THE STATE AND PERFORM A VARIETY OF LAND USE AND LANDSCAPE DESIGN SERVICES. WE ARE CURRENTLY WORKING ON SEVERAL PROJECTS IN THE STATE OF FLORIDA. WE ARE CURRENTLY WORKING ON SEVERAL PROJECTS IN THE STATE OF FLORIDA.

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PROJECT No.:	F170121
DRAWN BY:	CAD
CHECKED BY:	MAT
DATE:	08-16-19
CAD I.D.:	F170121-PHOTOMETRIC PLAN

PROJECT:

**LAND ROVER/ JAGUAR  
OF DELRAY BEACH  
1111 W. LINTON BLVD.  
DELRAY BEACH**

— FOR —

**AUTONATION**

DELRAY BEACH  
FLORIDA

**THOMAS**  
ENGINEERING GROUP

6300 NW 31ST AVENUE  
FORT LAUDERDALE, FL 33309  
PH: (954) 202-7000  
FX: (954) 202-7070  
[www.ThomasEngineeringGroup.com](http://www.ThomasEngineeringGroup.com)

**MICHAEL A. TROXELL**

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**PROFESSIONAL ENGINEER**  
August 16, 2019  
FLORIDA LICENSE No. 50572  
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

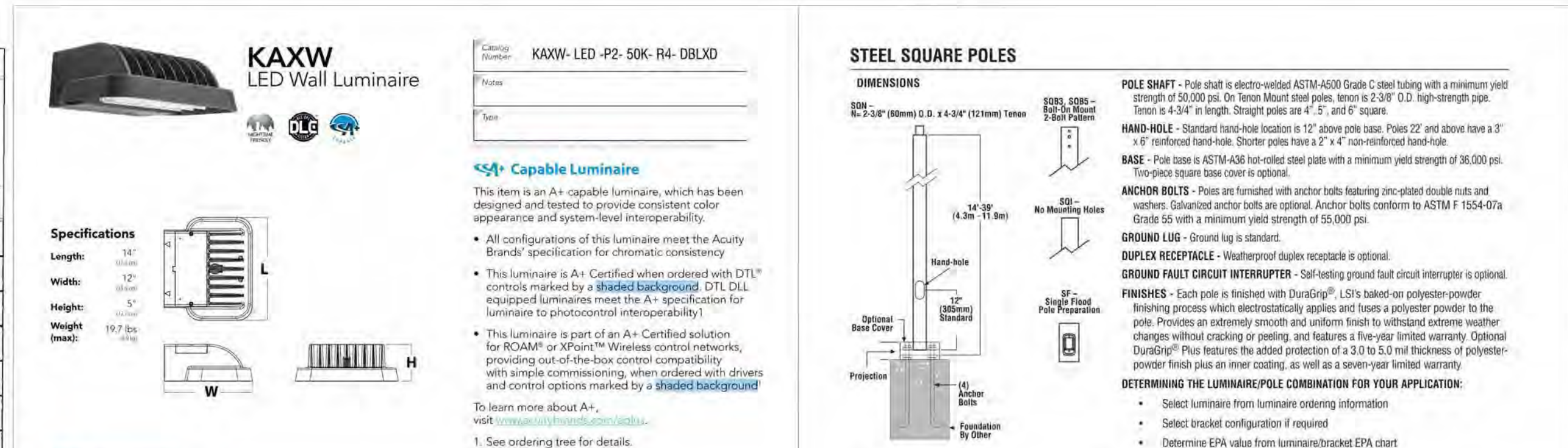
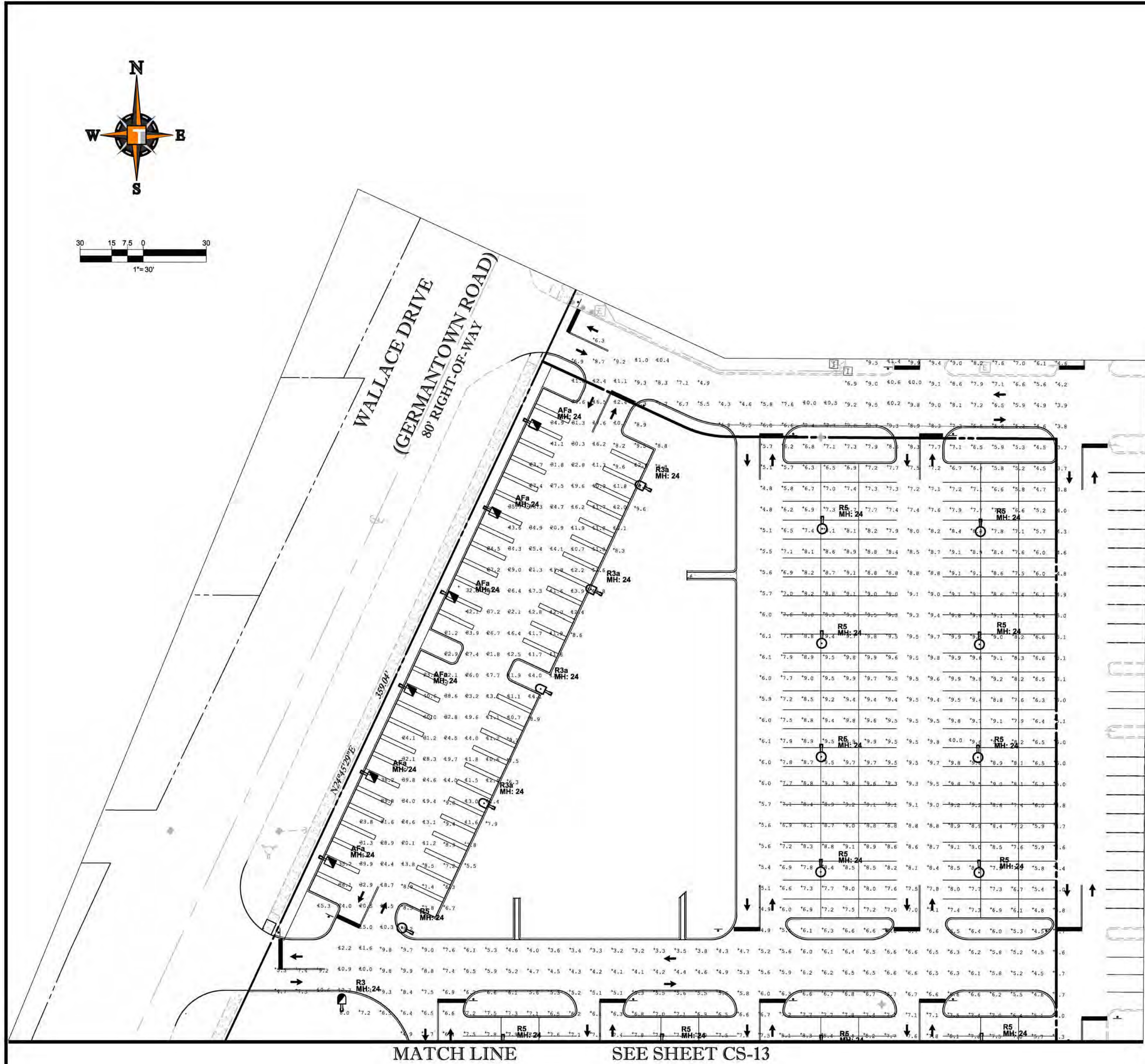
SHEET TITLE:

### PHOTOMETRIC PLAN

SHEET NUMBER: \_\_\_\_\_

CS-13





**DRILLING LOCATIONS**

Side "C"

Side "A"

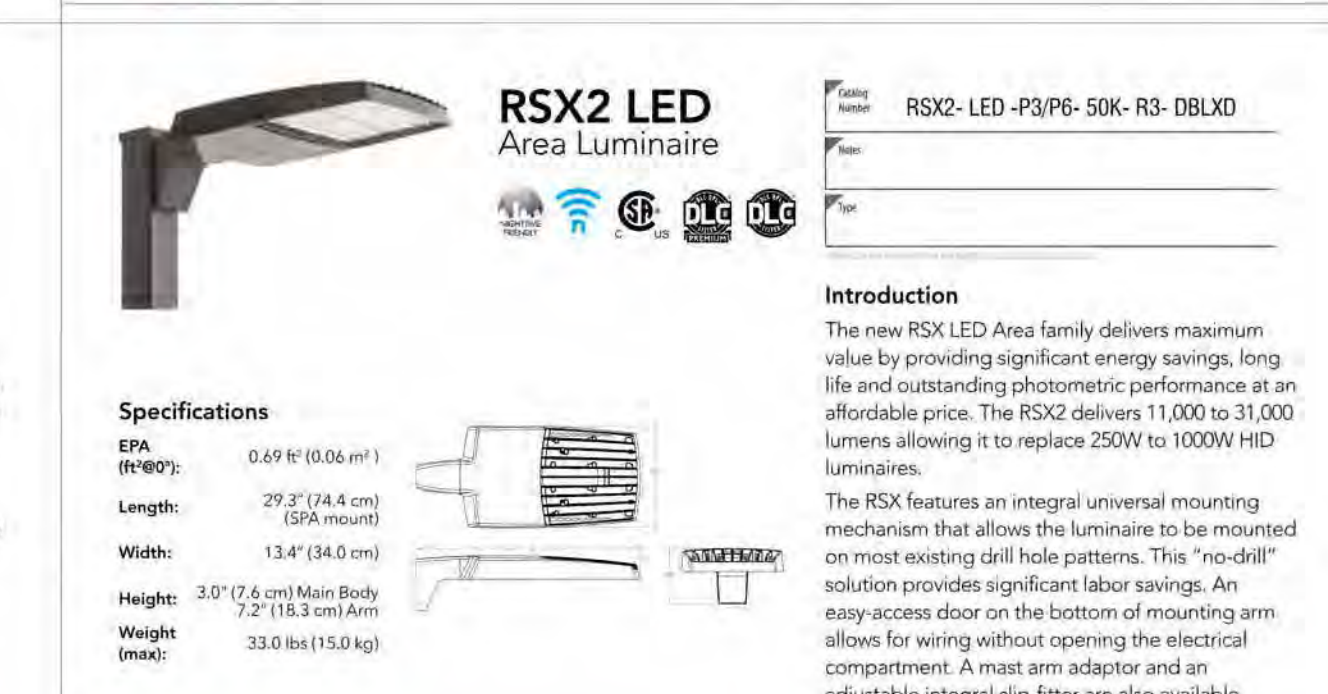
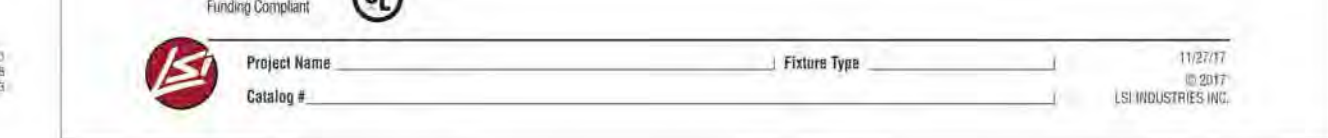
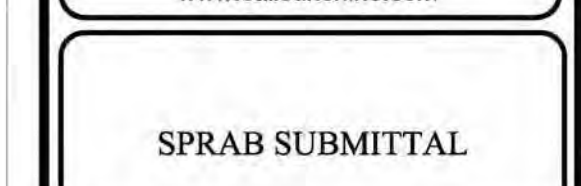
Side "B"

Side "A" (Hole-Axle Size)

Sides	A	B	C	D
Top/FEB	X			
Design	X			
1/2" DIA		X		X
2" DIA	X			X
3" DIA	X			X
4" DIA	X	X	X	X
5" DIA	X	X	X	X
6" DIA	X	X	X	X
7" DIA	X	X	X	X
8" DIA	X	X	X	X
9" DIA	X	X	X	X
10" DIA	X	X	X	X
12" DIA	X	X	X	X
14" DIA	X	X	X	X
16" DIA	X	X	X	X
18" DIA	X	X	X	X
20" DIA	X	X	X	X
22" DIA	X	X	X	X
24" DIA	X	X	X	X
26" DIA	X	X	X	X
28" DIA	X	X	X	X
30" DIA	X	X	X	X
32" DIA	X	X	X	X
34" DIA	X	X	X	X
36" DIA	X	X	X	X
38" DIA	X	X	X	X
40" DIA	X	X	X	X
42" DIA	X	X	X	X
44" DIA	X	X	X	X
46" DIA	X	X	X	X
48" DIA	X	X	X	X
50" DIA	X	X	X	X
52" DIA	X	X	X	X
54" DIA	X	X	X	X
56" DIA	X	X	X	X
58" DIA	X	X	X	X
60" DIA	X	X	X	X
62" DIA	X	X	X	X
64" DIA	X	X	X	X
66" DIA	X	X	X	X
68" DIA	X	X	X	X
70" DIA	X	X	X	X
72" DIA	X	X	X	X
74" DIA	X	X	X	X
76" DIA	X	X	X	X
78" DIA	X	X	X	X
80" DIA	X	X	X	X
82" DIA	X	X	X	X
84" DIA	X	X	X	X
86" DIA	X	X	X	X
88" DIA	X	X	X	X
90" DIA	X	X	X	X
92" DIA	X	X	X	X
94" DIA	X	X	X	X
96" DIA	X	X	X	X
98" DIA	X	X	X	X
100" DIA	X	X	X	X

Note: Standard 3/4" and 1" pin preparations are located 1/4" at the height of the gale from the base, unless otherwise specified.

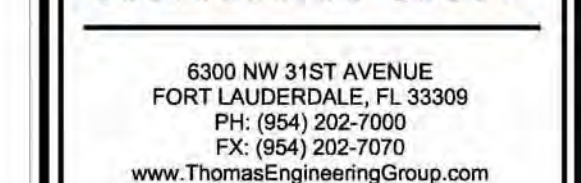
SHIPPING WEIGHTS - Steel Square Poles	
4" Diameter x 11 ft. approximately	7.50 lbs. (1)
4" Diameter x 12' 6" ft. approximately	8.00 lbs. (1)
4" Diameter x 11 ft. approximately	8.00 lbs. (1)
4" Diameter x 12' 6" ft. approximately	8.50 lbs. (1)
4" Diameter x 12' 6" ft. approximately	13.40 lbs. (1)
Archer Bolt® 1/2" x 20" (heavy) (100)	10.00 lbs. (100)
Archer Bolt® 1/2" x 20" (heavy) (100)	10.00 lbs. (100)

[illegible][illegible]

PROJECT:

**LAND ROVER/ JAGUAR  
OF DELRAY BEACH**  
1111 W. LINTON BLVD.

DELRAY BEACH  
FLORIDA

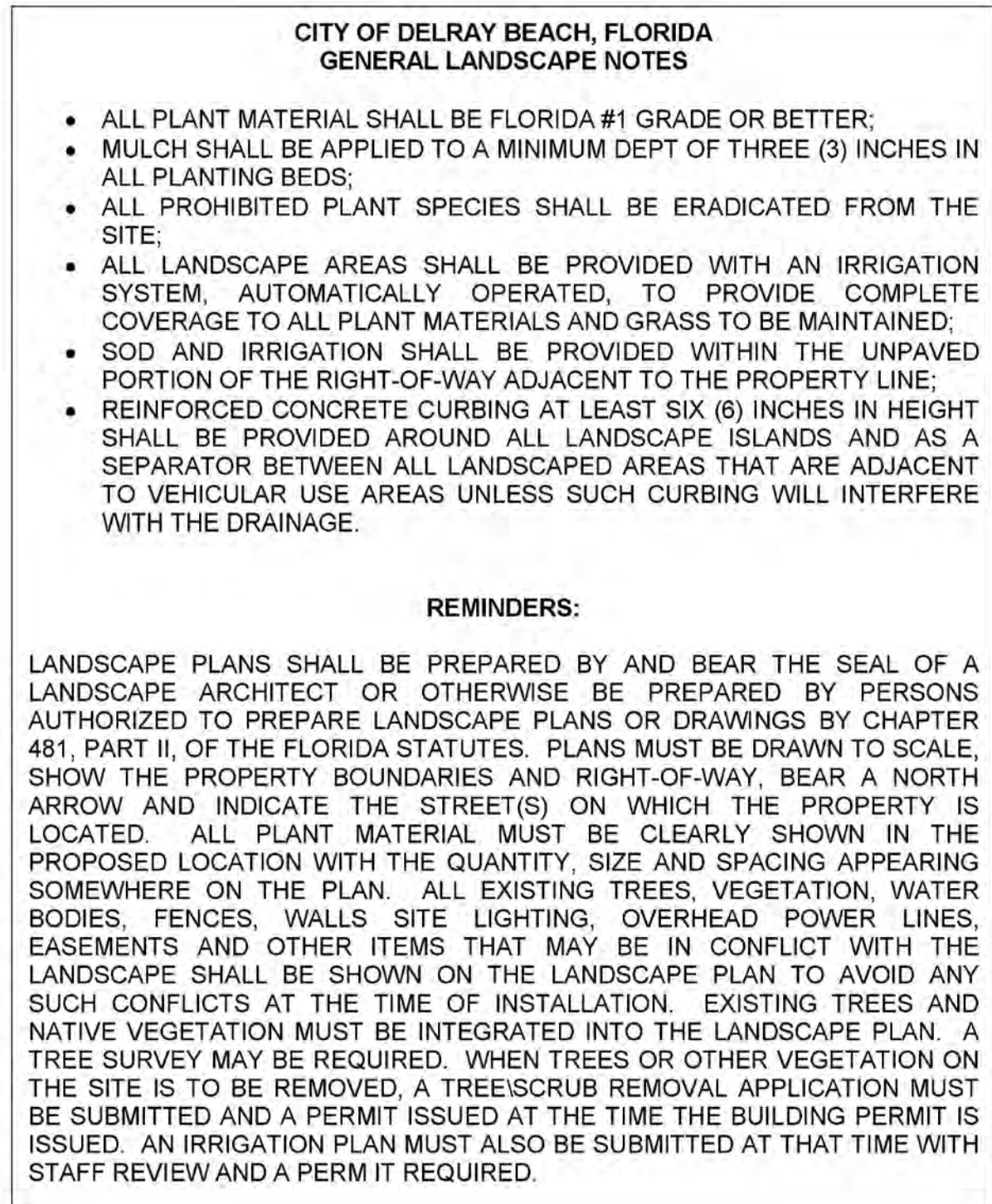


PROFESSIONAL ENGINEER  
August 16, 2019

PHOTOMETRIC PLAN

SHEET NUMBER: 00 11





NOTE: PLEASE REFER TO SHEET L-1 THRU L-3  
FOR DISPOSITION OF EXISTING PLANT  
MATERIALS; SHEET L-6 FOR PLANTING DETAILS,  
AND SHEET L-7 FOR GENERAL NOTES.

NOTE: ANY TREES OR SHRUBS PLACED WITHIN  
WATER, SEWER OR DRAINAGE EASEMENT SHALL  
CONFORM TO THE CITY OF DELRAY BEACH  
STANDARD DETAILS; LD 1.1 AND LD 1.2 (SEE  
DETAILS SHEET L-6).

NOTE: ALL EXISTING SOIL WITHIN LANDSCAPE AREAS ADJACENT TO VEHICULAR USE AREAS IS REQUIRED TO BE REMOVED (TO 30" BELOW GRADE), INSPECTED AND THEN REPLACED WITH A 60/40 MIX OF SAND TO TOPSOIL. (SEE DETAIL SHEET L-6).

IRRIGATION SHALL BE FROM A NON-POTABLE  
WATER SOURCE.

NOTE: UNLESS OTHERWISE SPECIFICALLY NOTED,  
ALL AREAS LABELED AS "SOD" TO BE  
STENOTAPHRUM SECUNDATUM, V. FLORITAM  
SOLID SOD. SEE NOTE O ON SHEET L-7.

**LEGEND**  
C: CUSTOMER/EMPLOYEE PARKING  
I: INVENTORY  
E: EMPLOYEE PARKING  
S: SERVICE  
D: DISPLAY PARKING

[illegible]

## SITE PLAN ENTITLEMENTS

PROJECT No.:	F170121
DRAWN BY:	JFV
CHECKED BY:	MAT
DATE:	08-16-19
CAD I.D.:	F170121 - LANDSCAPE PLAN

PROJECT:

**LANDROVER OF  
DELRAY BEACH**

---

FOR

---

**AUTONATION**

DELRAY BEACH,  
FLORIDA



**RADICE III**  
1000 CORPORATE DRIVE, SUITE 250  
FORT LAUDERDALE, FL 33334  
PH: (954) 202-7000  
FX: (954) 202-7070  
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SHEET TITLE:

**LANDSCAPE PLAN**

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SHEET NUMBER:

**L-4**



