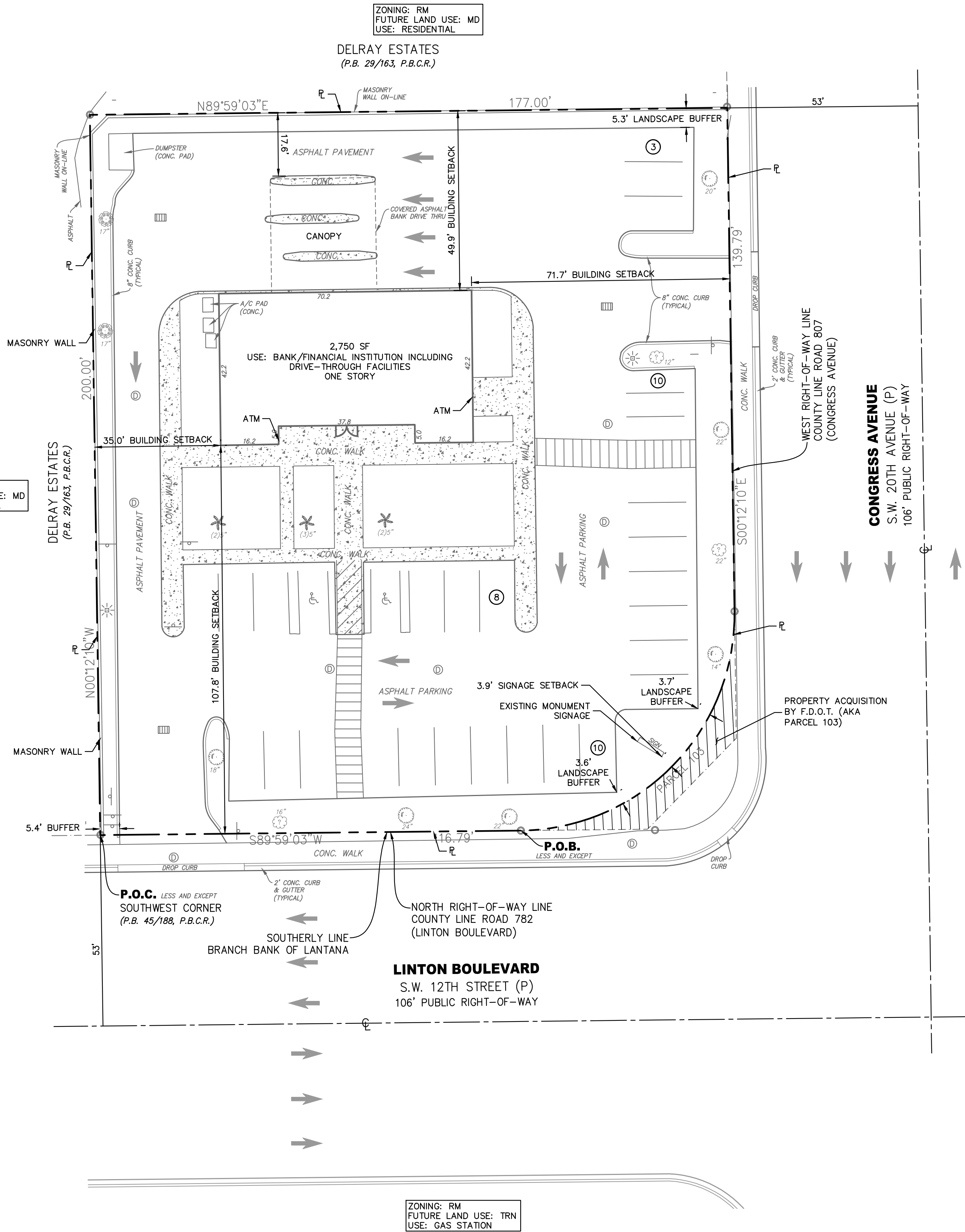


Plotted By: Gomborotti, Hector. Sheet Set: WELLS FARGO. Layout: FSP-1. SITE PLAN. December 23, 2019. 10:14:22am. K:\NBD_Civil\140701000 - Wells Fargo CAD\Plan Sheets\FSP-1 SITE PLAN.dwg
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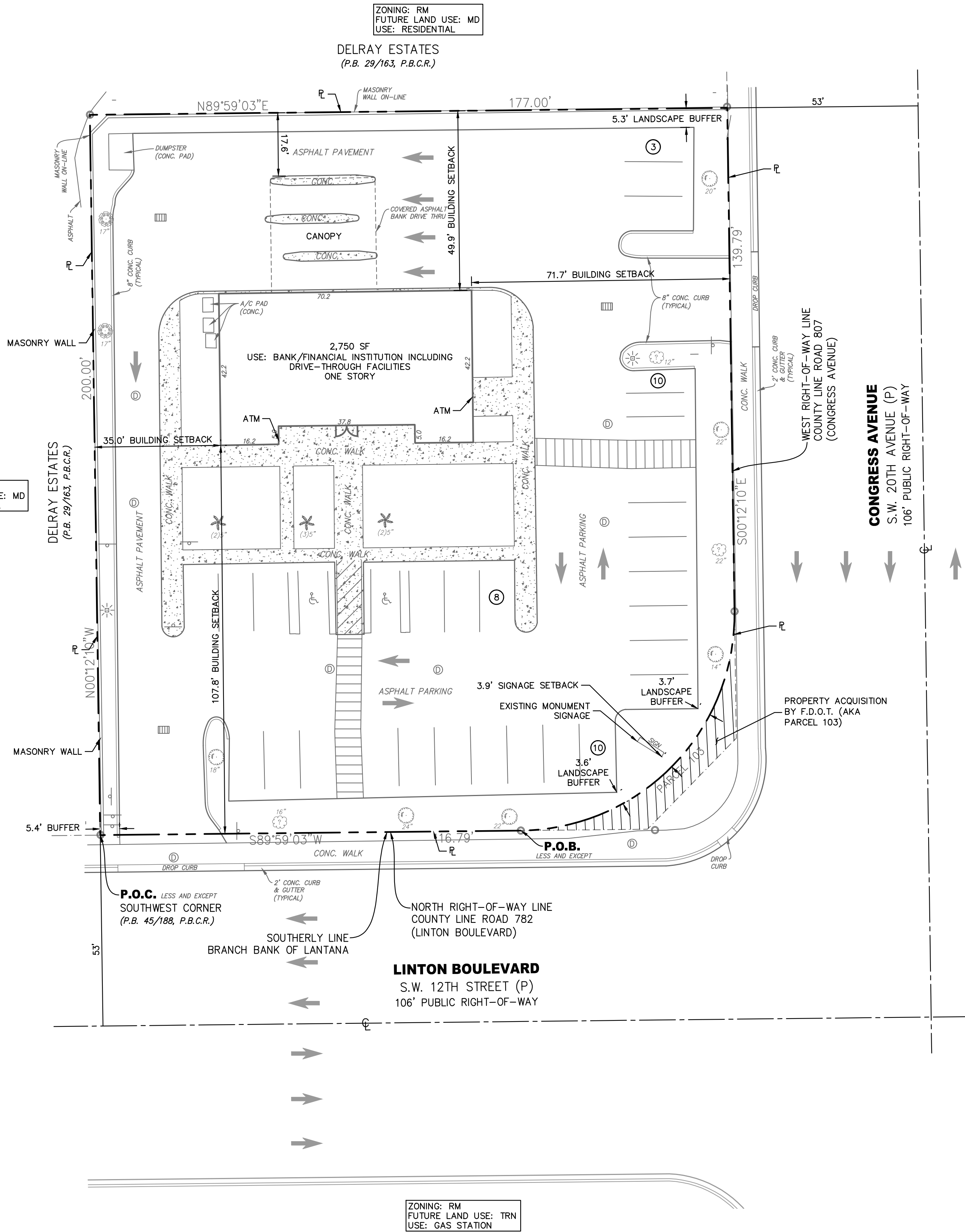
ZONING: RM
FUTURE LAND USE: MD
USE: RESIDENTIAL



ZONING: RM
FUTURE LAND USE: MD
USE: RESIDENTIAL

DELRAY ESTATES
(P.B. 29/163, P.B.C.R.)

ZONING: RM
FUTURE LAND USE: MD
USE: RESIDENTIAL



ZONING: RM
FUTURE LAND USE: TRN
USE: GAS STATION

ZONING: MROC
FUTURE LAND USE: CMU
USE: COMMERCIAL

SITE DATA TABLE		
ADDRESS	1660 S. CONGRESS AVENUE, DELRAY BEACH, FL 33445	
P.C.N.	12-43-46-19-36-001-0000	
USE	BANK/FINANCIAL INSTITUTION INCLUDING DRIVE THROUGH FACILITIES	
SITE AREA	34,622 SF (0.7498 AC)	
BUILDING AREA	2,750 S.F.	
SITE COVERAGE		
	EXISTING	PROPOSED
PERVIOUS AREA	8,224 S.F. (23.4%)	7,758 S.F. (22.4%)
IMPERVIOUS AREA	26,864 S.F. (76.6%)	26,864 S.F. (77.6%)
SETBACKS		
	REQUIRED	PROVIDED
FRONT (SOUTH)	25.0'	107.8'
SIDE STREET (EAST)	25.0'	71.7'
SIDE INTERIOR (WEST)	0.0'	35.0'
REAR (NORTH)	10.0'	49.9'
SIGN (FROM R.O.W.) ⁽¹⁾	10.0'	3.9' (11.2' PRIOR TO F.D.O.T. TAKING)
PARKING		
	REQUIRED	PROVIDED
PARKING SPACES	4 SPACES/1000 SF GFA = 11	31
BUFFERS		
	REQUIRED	PROVIDED
FRONT (SOUTH) ⁽¹⁾	10.0'	3.6'
SIDE STREET (EAST) ⁽¹⁾	10.0'	3.7'
SIDE INTERIOR (WEST)	5.0'	5.4'
REAR (NORTH)	5.0'	5.3'

NOTES:
(1) SEE WAIVER TABLE BELOW. PROPERTY DEVELOPMENT STANDARDS REDUCED DUE TO F.D.O.T. DISTRICT IV TAKING.

WAIVERS REQUESTED			
	CITY OF DELRAY BEACH LAND DEVELOPMENT CODE REFERENCE	REQUIRED	PROVIDED
1	4.6.7(E)(3)(a) BASIC SETBACK DETERMINANTS (SIGNS)	10.0'	3.9'
2	4.3.4(H)(6)(b)(4) AND (5) LINTON BOULEVARD FROM A-1-A TO WESTERN CITY LIMITS AND CONGRESS AVENUE FROM THE L-38 CANAL TOT HE L-30 CANAL A SPECIAL LANDSCAPE AREA SHALL BE PROVIDED; THIS LANDSCAPE AREA SHALL BE THE SMALLER DISTANCE OF EITHER 30' OR TEN PERCENT OF THE AVERAGE DEPTH OF THE PROPERTY; HOWEVER, IN NO CASE SHALL THE LANDSCAPE AREA BE LESS THAN TEN FEET.	10.0'	3.6' (LINTON BLVD.) 3.7' (CONGRESS AVE.)

SITE PLAN

WELLS FARGO
PREPARED FOR
WELLS FARGO

DELRAY BEACH

SHEET NUMBER
FSP-1

LICENSED PROFESSIONAL

JOSHUA D. HORNING

FL LICENSE NUMBER
67505

DATE

Kimley»Horn

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No.

REVISIONS

DATE

BY