



*Development Services Department*

**BOARD ACTION REPORT – APPEALABLE ITEM**

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**Project Name:** Seed Work Space

**Project Location:** 925 Linton Blvd

**Request:** Consideration of an Amendment to the current Master Sign Program

**PCN:** 2-43-46-29-24-001-0000

**Board:** Site Plan Review and Appearance Board

**Meeting Date:** February 12, 2020

**Board Vote:** (7-0)

**Board Action:**

Approved (7-0).

**Project Description:**

The subject property is located on Tract "A" of the Lavers International Plaza Plat 2, which consists of approximately 9 acres. Tract "A" consists of two parcels; the parcel to the west contains 0.80 acres and is zoned General Commercial (GC), while the parcel to the east contains 7.67 acres and is zoned Planned Commercial (PC).

The proposed amendment is to allow signage for a new tenant "Seed Workspace" which will occupy the entire second floor the signage is over the front entrance as well as over the entrance in the rear. The Current Master Sign Program does not allow for signage for the second-floor tenant and no rear signage. The applicant is proposing the signage on the north elevation (front) face lit flush mounted LED channel letters which include dual color which appears black during the day and illuminated white at night. The sign is two lines of copy at 12.6 square feet x 2.58 square feet for a total of 32.7 square feet. The sign on the south elevation (rear) is low voltage, LED illuminated, reverse, halo lit channel letters, green and grey faces, white LED's and is 5.1 square feet x 2.75 square feet for a total of 14.2 square feet.

**Board Comments:**

N/A

**Public Comments:**

N/A

**Associated Actions:**

N/A

**Next Action:** The SPRAB action is final unless appealed by the City Commission.



# SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

## DEVELOPMENT SERVICES DEPARTMENT

100 NW 1<sup>ST</sup> AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

### SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: February 12, 2020

File No.:2020-083

Application Type: Master Sign Program

#### General Data:

**Applicant:** The Marks Development Company

**Agent** Signarama USA

**Address:** 925 Linton Blvd

**PCN:** 12-43-46-29-24-001-0000

**Property Size:** 9 Acres

**FLUM:** General Commercial (GC)

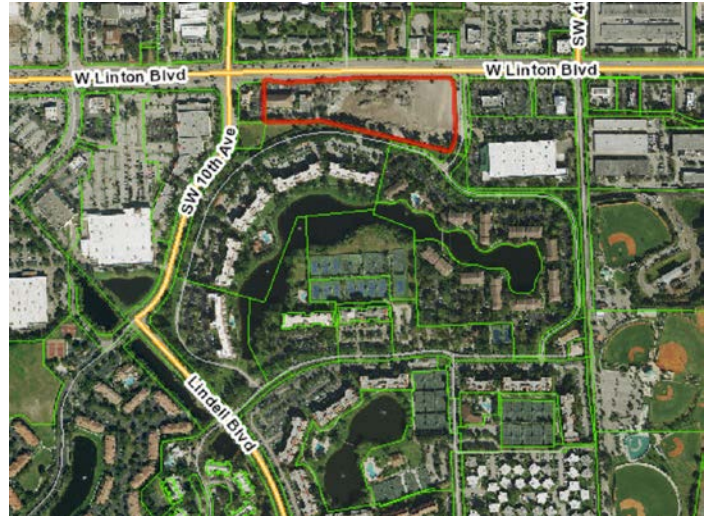
**Zoning:** Planned Commercial (PC)

#### Adjacent Zoning:

- North: RM (Multi-family Residential, Medium Density), CF (Community Facilities), and GC
- East: (PC)
- South: SAD (Special Activities District)
- West: GC

**Existing Land Use:** Commercial Use

**Proposed Land Use:** No change



#### Item before the Board:

Consideration of an Amendment to the Current Master Sign Program.

#### Optional Board Motions for Action Items:

- A. Move to continue with direction.
- B. Move approval of the Amendment to the Master Sign Program (2020-083) for Seed Workspace located at 925 Linton Blvd and finding that the request meets the applicable criteria in the Land Development Regulations.
- C. Move denial of the Amendment to the Master Sign Program (2020-083) for Seed Workspace located at 925 Linton Blvd and finding that the request does not meet the applicable criteria in the Land Development Regulations.

#### Background:

The subject property is located on Tract "A" of the Lavers International Plaza Plat 2, which consists of approximately 9 acres. Tract "A" consists of two parcels; the parcel to the west contains 0.80 acres and is zoned General Commercial (GC), while the parcel to the east contains 7.67 acres and is zoned Planned Commercial (PC).

In 2017, a Class IV Site Plan Modification, Landscape Plan and Architectural Elevations were approved for the redevelopment of Lavers International Plaza. The new development, Delray Beach Plaza, includes the demolition of three commercial and office buildings, and modifications to the two-story building (referred to as Building 900). The proposed signage for "Seed Workspace" is in the 900 building.

At its meeting of March 28, 2018, the Site Plan Review and Appearance Board approved an amendment to the Master Sign Program which included a complete update of their monument signs and wall signs for the plaza. The sign program does not include signage for the 2<sup>nd</sup> floor tenants nor does it include signage for the rear.

#### Project Planner:

Jennifer Buce, Planner

[buce@mydelraybeach.com](mailto:buce@mydelraybeach.com)

561-243-7138

#### Review Dates:

SPRAB Board: February 12, 2020

#### Attachments:

Master Sign Program



**Project Description:**

The proposed amendment is to allow signage for a new tenant "Seed Workspace" which will occupy the entire second floor the signage is over the front entrance as well as over the entrance in the rear. The Current Master Sign Program does not allow for signage for the second-floor tenant and no rear signage. The applicant is proposing the signage on the north elevation (front) face lit flush mounted LED channel letters which include dual color which appears black during the day and illuminated white at night. The sign is two lines of copy at 12.6 square feet x 2.58 square feet for a total of 32.7 square feet. The sign on the south elevation (rear) is low voltage, LED illuminated, reverse, halo lit channel letters, green and grey faces, white LED's and is 5.1 square feet x 2.75 square feet for a total of 14.2 square feet.

**Master Sign Analysis:**

**LDR SECTION 4.6.7(F)(2)(b) Master Sign Program**

A Master Sign Program is to be used when the development of a project is of such a scale or character that the normal application of the design and/or aesthetic standards of Subsections (D) and (E), respectfully, will not result in an effective sign program and signing more permissive than said standards is necessary. Approval of a Master Sign Program may include the automatic granting of waivers and or adjustments to the provisions of Subsections (D) and (E) provided the intent of the sign code is maintained and the character of the community and neighborhood is not diminished.

Once a sign program has been established, staff can approve signs at the location if they meet the criteria that was set forth in the program. If signage is submitted that does not meet the current criteria, the applicant must receive the board process for approval. Although the proposed signs meet the size requirements allowed in the Master Sign Program and pursuant to the land development regulation 4.6.7(E)(7) Design Standard Matrix, it does not specify for signage for second floor tenants or rear signage. The Master Sign Program does include a rear service door sign which will be installed by the Landlord. The sign will be white letters and numerals on a black background. Letters to be a maximum height of 3" and entire sign plaque will not exceed 2 square feet. Typically, signage is not approved for second floor tenants above the commercial use as there are several businesses within the second floor. A directory sign would be more appropriate for this use. The "Seed Workspace" is a coworking office space. If the sign is approved, no other business signs for the several businesses within the building should be allowed as the existing structure and architecture of the building would not allow for the additional signage. Pursuant to LDR 4.6.7(E)(7) the allowable size for rear wall sign is 9 square feet. The Master Sign Program does allow for the automatic granting of waivers to allow for larger signs if necessary. The proposed rear sign could set a precedent as no other tenants in the plaza have rear signage except for the rear service door sign which is uniform throughout the plaza.

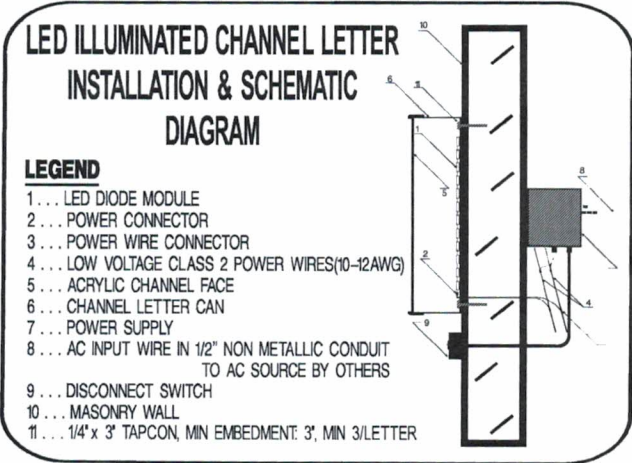


925 LINTON BLVD DELRAY BEACH, FL 33445

seed  
WORKSPACE



Face Lit Flush Mount LED Channel Letters  
\* acrylic faces include dual color black vinyl  
which appears black during the day and  
illuminate white at night



STRUCTURAL NOTES: ASSEMBLY PER NEC 600-3

GOVERNING CODE: THE STRUCTURAL CALCULATIONS COMPLY WITH THE PROVISIONS OF SECTION 1609.1.1 OF THE 6th EDITION (2017) OF THE FLORIDA BUILDING CODE, AND IN ACCORDANCE WITH CHAPTERS 26-30 OF ASCE 7-10 (2010 EDITION), USING THE ULTIMATE WIND SPEED OF 175 MPH FOR PALM BEACH COUNTY (170 FOR BROWARD AND 175 FOR DADE COUNTIES), AND WHERE THE WIND MAP VALUES ARE CONVERTED TO THE ASD FORMAT USING  $V_{asd} = V_{ult}(\text{Sq. Root of .6})$ .

ELECTRICAL INFORMATION PROVIDED AS REFERENCE ONLY AND IS TO BE INSTALLED BY A LICENSED CONTRACTOR, NO ENGINEERING CERTIFICATION IS OFFERED WITH ANY ELECTRICAL INFORMATION CONTAINED HEREIN.

ALL STRUCTURAL ALUMINUM IS TO BE T6 OR BETTER.

**ANCHORS:** TO BE ITW BUILDDEX, ELCO TAPCON, POWERS, RAWL, OR MFR, RATED EQUAL. 0x ANCHOR DIAMETER SPACING IS REQUIRED BETWEEN ANCHORS AND EDGE OF CONC. MIN. F UNSPECIFIED, A 24" MAX O.C. SPACING OF ANCHORS SHALL BE USED + EACH CORNER. WOOD ANCHORS TO BE NON-CORROSIVE GRADE 2 OR GRADE 5 LAG BOLTS OR EQ, 3/4" MIN. ED. #2 SOUTHERN YELLOW PINE MINIMUM USED IN ALL WOOD CALCULATIONS. THROUGH BOLTS SHALL BE FITTED WITH A 1" MIN. WASHER & DOUBLE NUT U.N.O. MINIMUM EMBEDMENT DEPTH DOES NOT INCLUDE STUCCO, FINISHES, OR SHIM SPACING. STRUCTURAL BOLTS TO BE A-325, GRADE 5, A 2" MAX EXPOSED SHANK IS TO BE USED U.N.O. MOST STRUCTURE IS BY OTHERS AND SHALL BE DESIGNED TO CARRY LOADS BY PROPOSED SIGN. HIS ENGINEER HAS NOT VISITED THE JOBSITE. DESIGN IS BASED ON CONTRACTOR SUPPLIED ATA. IF ANY FIELD CONDITIONS THEN SPECIFIED HEREIN, THIS ENGINEER SHALL BE NOTIFIED

SQUARE FOOT CALCULATIONS:  
FRONTAGE = 25 FEET  
ALLOWABLE:  $25 \times 12 \times 15\% = 45 \text{ sq ft allowable}$   
PROPOSED:  $152 \times 31 = 32.7 \text{ sq ft}$

COLOR SCHEDULE -

ELECTRICAL NOTES: Acrylic face Channel Letters

ALL ELECTRICAL DESIGN AND EXISTING PRIMARY ELECTRICAL IS BY OTHERS AND IS NOTED FOR REFERENCE ONLY AND NOT PART OF CERTIFICATION. WORK SHALL BE APPROVED AND INSTALLED BY A LICENSED PROFESSIONAL.

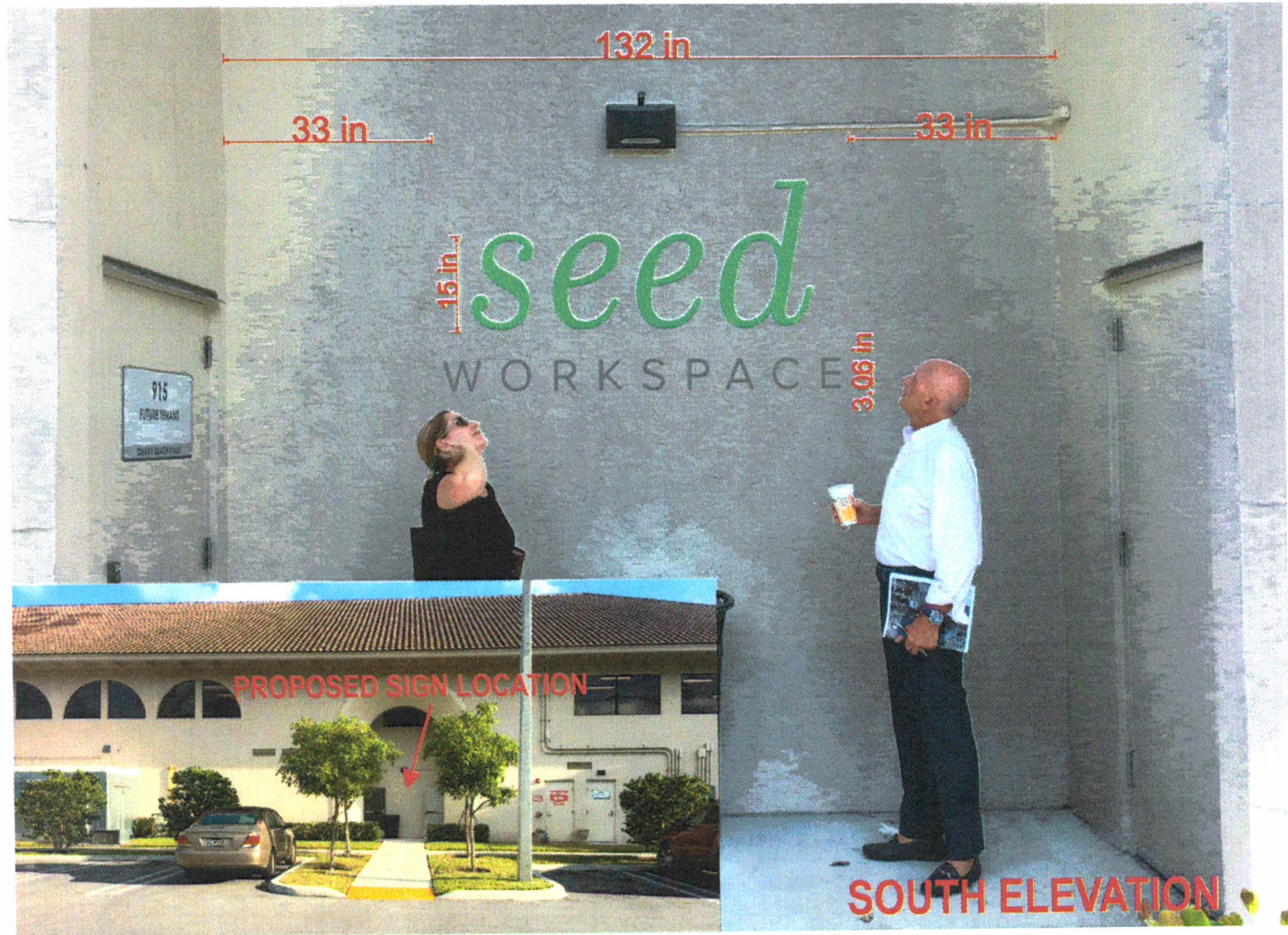
ALL ELECTRICAL COMPONENTS SHALL BE U/L LISTED AND SHALL COMPLY WITH THE GOVERNING EDITION OF THE NATIONAL ELECTRIC CODE IN EFFECT AT THE TIME OF PERMIT APPLICATION. SIGN SHALL BE GROUNDED IN ACCORDANCE WITH GOVERNING CODES. ALL BREAKER AND TIMING DEVICES SHALL BE IDENTIFIED AT TIME OF INSTALLATION.

SCALE 10:1	PAGE DESCRIPTION: -SAR-	REMARKS INIT ISSUE	DRWN RF	CHKD MBS	DATE 8/09/13	SIGN-A-RAMA 2905 S. Congress Ave • Bay E DeLray Beach, FL 33445 561-278-7446 • Fax: 561-278-6431 Email: mike@signsdb.com	STATE CERTIFIED GENERAL CONTRACTOR • CGC1515894 •	HOMAYOON AMIR ABTAHI 2649 NW 28TH TERRACE BOCA RATON, FL 33434 FLORIDA RE. #35453	VALID FOR (1) JOB ONLY VALID ONLY WITH RASB/FACILIER SEAL
		THE MARKS DEVELOPMENT							

THIS DRAWING PROPERTY OF SIGN-A-RAMA DUPLICATION WITHOUT PERMISSION IS NOT ALLOWED



925 LINTON BLVD DELRAY BEACH, FL 33445



LOW VOLTAGE, LED ILLUMINATED,  
REVERSE, HALO LIT CHANNEL LETTERS,  
GREEN & GREY FACES, WHITE LED'S

PROPOSED SOUTH ELEVATION

**STRUCTURAL NOTES:**  
GOVERNING CODE: THE STRUCTURAL CALCULATIONS COMPLY WITH THE PROVISIONS OF SECTION 1609.1.1 OF THE 6th EDITION (2017) OF THE FLORIDA BUILDING CODE, AND IN ACCORDANCE WITH CHAPTERS 26-30 OF ASCE 7-10 (2010 EDITION), USING THE ULTIMATE WIND SPEED OF 175 MPH FOR PALM BEACH COUNTY (170 FOR BROWARD AND 175 FOR DADE COUNTIES), AND WHERE THE WIND MAP VALUES ARE CONVERTED TO THE ASD FORMAT USING  $V_{asd} = V_{ult} \sqrt{.6}$ . ELECTRICAL INFORMATION PROVIDED AS REFERENCE ONLY AND IS TO BE INSTALLED BY A LICENSED CONTRACTOR, NO ENGINEERING CERTIFICATION IS OFFERED WITH ANY ELECTRICAL INFORMATION CONTAINED HEREIN.  
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ASSEMBLY PER NEC 600--3

GREEN & GREY FACES, WHITE LED'S  
MP 14460 CAMO GREEN & MP 13914 GREYSHANK

WALL AREA CALCULATIONS

Wall Area = 132"x 288" = 264 Square Feet  
ALLOWABLE SIGNAGE = 39.6 SF (15% of Wall Area)  
PROPOSED SIGNAGE = 62" x 33" = 14.2 Square Feet

ELECTRICAL NOTES:

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	SCALE: 1/4" = 1'-0"	PAGE DESCRIPTION: -SAR-	REMARKS	DRWN	CHKD	DATE	<b>SIGN-A-RAMA</b> 2905 S. Congress Ave • Bay E Delray Beach, FL 33445 561-278-7446 • Fax: 561-278-6431 Email: mike@signedb.com	STATE CERTIFIED GENERAL CONTRACTOR • CGC1515894 •	HOMAYOON AMIR ABTAHI 2649 NW 28TH TERRACE BOCA RATON, FL 33434 FLORIDA PE #35453
			INIT ISSUE	RF	MBS	8/09/13			
						<b>THE MARKS DEVELOPMENT</b>			