



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Tzikas Medical Center (2020-068)

Project Location: 518/526 SE 5th Avenue

Request: Class III Site Plan Modification

Board: Site Plan Review and Appearance Board

Meeting Date: February 12, 2020

Board Vote: Approved on a 7 -0 vote

Board Action:

Approval (7-0) of the Class I Site Plan Modification for site plan modifications and architectural elevations changes by finding that the request is consistent with the Comprehensive Plan and Land Development Regulations.

Project Description:

The subject property consists of 0.43 acres (Lots 2, 3, 4, Block 3, Osceola Park) within the General Commercial (GC) zoning district and has a Future Land Use Map (FLUM) Designation of GC. The property is located on the southwest corner of SE 5th Avenue and SE 6th Street. At its meeting of October 23, 2019, the Site Plan Review and Appearance Board (SPRAB) approved a Class III Site Plan Modification to expand the existing facility and add additional parking spaces. The project consisted of a two-story 5,464-sf. addition resulting in a total of 10,783-sf. dedicated for the use of a medical office.

The current request is for a site plan modification and architectural elevation changes to modify the previously approved Class III Site Plan Modification application. The modifications proposed are façade changes which include the redesign of the southeast corner of the building and introduction of an alcove window along the south elevation. The proposal generates an increase of 34-sf., resulting in a 10,817-sf. total building footprint. The proposed changes follow the minimum required setbacks and do not require additional parking spaces.

Board Comments:

The Board comments were supportive.

Public Comments:

No members of the public spoke for or against the project.

Associated Actions:

No associated actions.

Next Action:

The SPRAB action is final unless appealed by the City Commission.



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

DEVELOPMENT SERVICES DEPARTMENT

100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: February 12, 2020

File No.: 2020-068-SPI-SPR-CLI

Application Type: Class I Site Plan Modification
for Tzikas Medical Center

General Data:

Agent: Randall Stofft Architects

Applicant: T&G 5th Avenue

Location: Southwest corner of SE 5th Avenue and SE 6th Street

Address: 518/ 526 SE 5th Avenue

PCN: 12-43-46-21-01-003-0020

Property Size: 0.57 Acre (24,976 sf)

FLUM: General Commercial (GC)

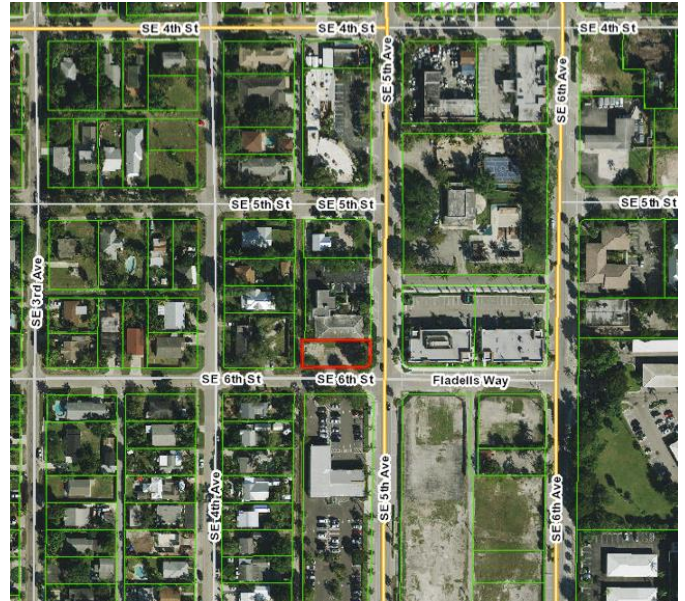
Zoning: General Commercial (GC)

Adjacent Zoning:

- North: GC
- South: GC
- East: GC
- West: Single Family Residential (R-1-A)

Existing Land Use: Vacant/ Medical Office

Proposed Land Use: Medical Office



Item before the Board:

Consideration of a Class I Site Plan Modification to accommodate architectural elevation changes for Tzikas Medical Center pursuant to Land Development Regulations (LDR) Section 2.4.5 (G)(1)(a).

Optional Board Motions for Action Item:

1. Move to continue with direction.
2. Move approval of the Class I Site Plan Modification for architectural elevation changes for **Tzikas Medical Center (2020-068)**, by finding that the request is consistent with the Comprehensive Plan and Land Development Regulations, (as amended, if applicable).
3. Move denial of the Class I Site Plan Modification (2020-068) for architectural elevation changes for **Tzikas Medical Center (2020-068)**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet the Land Development Regulations.

Background:

The subject property consists of 0.43 acres (Lots 2, 3, 4, Block 3, Osceola Park) within the General Commercial (GC) zoning district. At its meeting of April 14, 2010, The Site Plan Review and Appearance Board (SPRAB) approved a Class III Site Plan Modification (File No. 2010-094) to convert a vacant, 5,336 square feet office building into the Tzikas Medical Center (located at 526 SE 5th Avenue). As part of the site plan modification approval, the development received an adjustment in the required number of parking spaces from 27 spaces to 18, based on a special documentation and change of use submitted which identified parking demand.

At its meeting of February 27, 2017, the Planning and Zoning Board reviewed, and recommended approval of a Conditional Use request to expand the existing facility and add a continuing care use (Conditional Use). The applicant withdrew the request prior to final consideration by the City Commission. The submitted "Description of Proposed Use" indicated that the first floor would provide a new waiting area, storage, and offices. The second floor would contain operating rooms. The third floor would contain four

Project Planner:

Anne Clerisse Gaisha Volcy, Planner-in-Training
Volcya@mydelraybeach.com
561-243-7040

Review Dates:

SPRAB Board: February 12, 2020

Attachments:

1. Site Plan
2. Architectural Elevations



continuing care suites that allow patients to recuperate on site under medical supervision. The medical office uses would provide services from 7:30 am to 5:00 pm, with the continuing care rooms providing services up to 24 hours, every day of the week.

At its meeting of October 23, 2019, the Site Plan Review and Appearance Board (SPRAB) approved a Class III Site Plan Modification (2019-035) for site plan modifications, landscape plan, architectural elevation changes, and the addition of parking spaces. The approval was associated with the expansion of the existing facility through the addition of 5,464 square feet, resulting in a total of 10,783 square feet dedicated for the use of a medical office. An Internal Adjustment from LDR Section 4.6.9(D)(2)(b) provisions for ingress and egress when parking is adjacent to an alley, was approved with the request to allow 7 parking spaces adjacent to the alley to provide a combined total depth of 40 ft. (parking space and alley depth) where 42 ft. was required. A Parking Reduction Request to the minimum number of required parking spaces per LDR Section 4.6.9(F)(1), was approved with this proposal; the request granted a reduction from a minimum of 25 spaces provided to 14 spaces.

Project Description:

The current request is a Class I Site Plan Modification for architectural elevation changes to modify the previously approved Class III Site Plan Modification application. The modifications proposed are revisions to the architectural elevations, specifically to the proposed window openings and configurations. The proposed façade changes include the redesign of the southeast corner of the building and introduction of an alcove window along the south elevation which has an increase of 34-sf., resulting in a 10,817-sf. total building footprint. The proposed changes are in compliance with the minimum required setbacks and do not require additional parking spaces.

Architectural Elevation Analysis:

LDR Section 4.6.18(E) – Criteria for Board Action: The following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposal consists of the reconfiguration of the previously approved architectural elevation changes. The modifications include revisions to the previously approved window openings and designs and the reconfiguration of the southeast corner of the building and front facade. The proposed windows openings are placed at different locations and have diverse designs. Proposed façade changes also include the redesign of the southeast corner of the building and introduction of a like bay-window style opening along the south elevation. The proposed building floor area increase does not require additional parking spaces. The proposed alcove window along the south façade on the second story encroaches approximately 6 in. into the minimum required side setback of 10 ft.; the proposed overhang is allowed a maximum of three feet into the required setback under LDR Section 4.3.4(H)(4), Structures Allowed in The Setbacks. The proposed façade designs are consistent with the previous designs approved by the SPRAB.

IMPERVIOUS DATA		
LOT SIZE	24,976 S.F.	
	PROPOSED (S.F.)	PROPOSED (%)
EXISTING STRUCTURE	5,319 S.F.	21%
PROPOSED 1ST LEVEL ADDITION	2,773 S.F.	11%
PROPOSED 2ND LEVEL ADDITION	2,725 S.F.	
ASPHALT & CONCRETE	9,728 S.F.	39%
TOTAL IMPERVIOUS	17,820 S.F.	71%

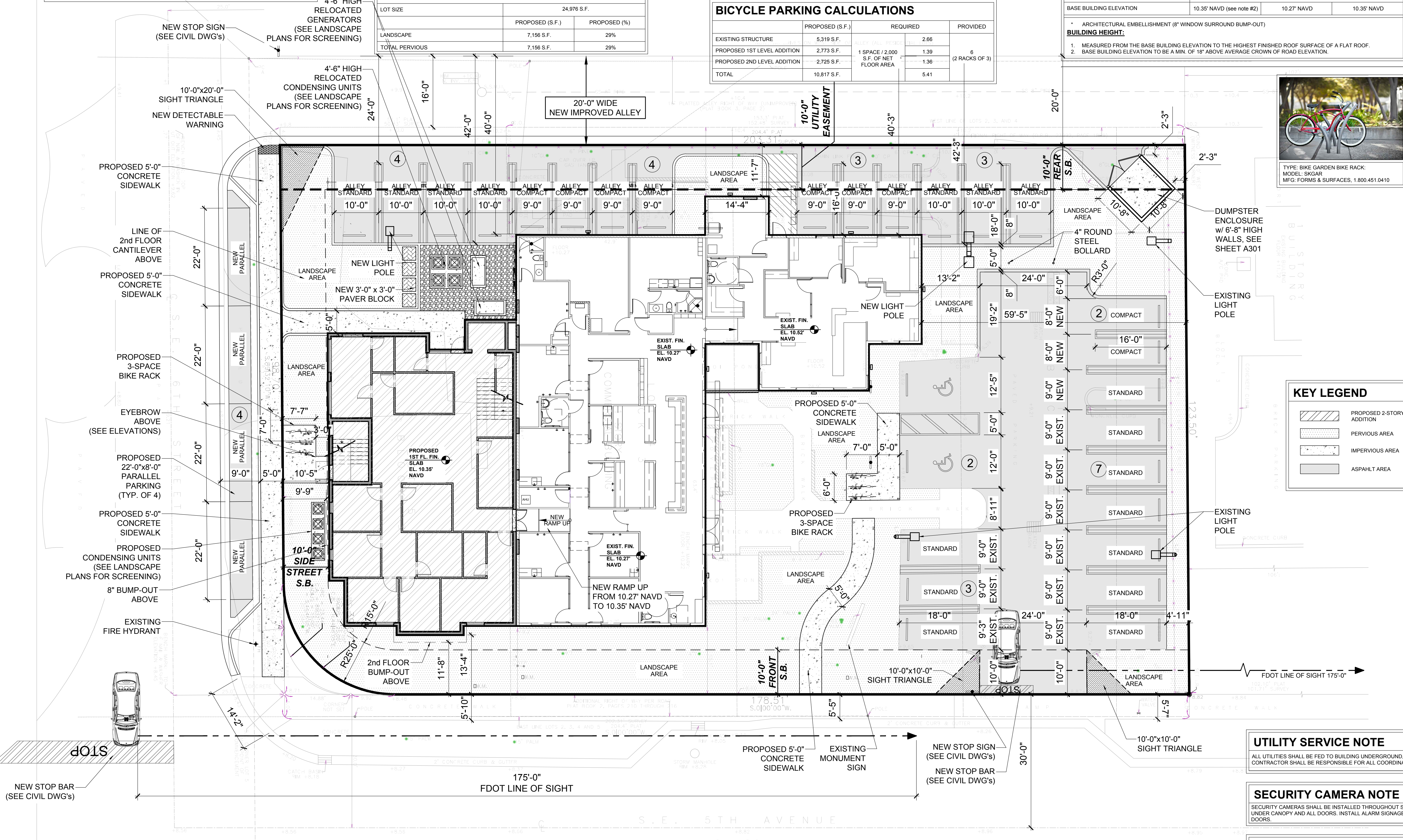
VEHICLE PARKING TYPE BREAKDOWN		
	SIZE	PROPOSED
TOTAL ON-SITE STANDARD (NON-ALLEY) PARKING SPACES:	9'-0" x 18'-0"	10
TOTAL ON-SITE STANDARD (ALLEY) PARKING SPACES:	10'-0" x 18'-0"	7
TOTAL ON-SITE COMPACT (NON-ALLEY) PARKING SPACES:**	8'-0" x 16'-0"	2
TOTAL ON-SITE COMPACT (ALLEY) PARKING SPACES:**	9'-0" x 16'-0"	7
TOTAL ON-SITE HANDICAP PARKING SPACES:	12'-0" x 18'-0"	2
TOTAL OFF-SITE PARALLEL PARKING:	8'-0" x 22'-0"	4
**TOTAL COMPACT SPACES PROVIDED NOT TO EXCEED 30% OF THE TOTAL PARKING SPACES REQUIRED. TOTAL COMPACT SPACES PROVIDED IS 9, WHICH IS 28% OF 32 SPACES REQUIRED, LESS THAN 30% MAXIMUM ALLOWED.		

VEHICLE PARKING CALCULATIONS		
PARKING SPACES REQUIRED FOR EXISTING MEDICAL OFFICE (5,319 S.F.)	18 SPACES	SPECIAL ACTION PARKING REDUCTION APPROVED (2010-094)
PROPOSED MEDICAL OFFICE EXPANSION (5,498 SF)	27 SPACES	5,498 SF x 5 / 1,000 = 27 SPACES
TOTAL REQUIRED (5,319 S.F. + 5,498 S.F. = 10,817 S.F.)	45 SPACES	18 SPACES + 27 SPACES = 45 SPACES
PROVIDED	32 SPACES * (28 ON SITE + 4 OFF SITE)	*SPECIAL ACTION PARKING REDUCTION PROPOSED TO REDUCE THE TOTAL REQUIRED PARKING TO 32 SPACES.

SITE DATA			
ZONING DESIGNATION	GENERAL COMMERCIAL (GC)		
	REQUIRED	EXISTING	PROPOSED
FRONT SETBACK (EAST)	10'-0" (MIN.)	15'-4"	13'-4" 1st FLOOR/ 11'-8" 2nd FLOOR/
REAR SETBACK (WEST)	10'-0" (MIN.)	11'-7"	11'-7"
SIDE STREET SETBACK (SOUTH)	10'-0" (MIN.)	N/A	10'-5" 1st FLOOR/ 9'-9" 2nd FLOOR/
SIDE INTERIOR (NORTH)	0'-0" (MIN.)	0'-0"	59'-5"
BUILDING HEIGHT (see note #1)	25'-0" (MIN.) / 48'-0" (MAX.)	13'-4" / 22'-19" NAVD	26'-8" / 37'-02" NAVD
AVERAGE CROWN OF ROAD ELEVATION	8.85' NAVD		
BASE BUILDING ELEVATION	10.35' NAVD (see note #2)	10.27' NAVD	10.35' NAVD
* ARCHITECTURAL EMBELLISHMENT (8" WINDOW SURROUND BUMP-OUT)			
BUILDING HEIGHT:			
1. MEASURED FROM THE BASE BUILDING ELEVATION TO THE HIGHEST FINISHED ROOF SURFACE OF A FLAT ROOF.			
2. BASE BUILDING ELEVATION TO BE A MIN. OF 18" ABOVE AVERAGE CROWN OF ROAD ELEVATION.			

PERVIOUS DATA		
LOT SIZE	24,976 S.F.	
	PROPOSED (S.F.)	PROPOSED (%)
LANDSCAPE	7,156 S.F.	29%
TOTAL PERVIOUS	7,156 S.F.	29%

BICYCLE PARKING CALCULATIONS			
	PROPOSED (S.F.)	REQUIRED	PROVIDED
EXISTING STRUCTURE	5,319 S.F.	2.66	
PROPOSED 1ST LEVEL ADDITION	2,773 S.F.	1.39	6
PROPOSED 2ND LEVEL ADDITION	2,725 S.F.	1.36	(2 RACKS OF 3)
TOTAL	10,817 S.F.	5.41	



TYPE: BIKE GARDEN BIKE RACK;
MODEL: SKGAR
MFG: FORMS & SURFACES, 1.800.451.0410

KEY LEGEND	
	PROPOSED 2-STORY ADDITION
	PERVIOUS AREA
	IMPERVIOUS AREA
	ASPHALT AREA

UTILITY SERVICE NOTE
ALL UTILITIES SHALL BE FED TO BUILDING UNDERGROUND. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION

SECURITY CAMERA NOTE
SECURITY CAMERAS SHALL BE INSTALLED THROUGHOUT SITE AND UNDER CANOPY AND ALL DOORS. INSTALL ALARM SIGNAGE AT ALL DOORS.

FIRE SPRINKLER NOTES
1. EXISTING 1-STORY AND PROPOSED 2-STORY ADDITION TO BE PROTECTED THROUGHOUT W/ AUTOMATIC SPRINKLERS AND MONITORED IN ACCORDANCE W/ 2017 FBC AND APPLICABLE LOCAL BUILDING CODES.

1 PROPOSED SITE PLAN
1"=10'-0"

SPRAB SUBMITTAL 12-16-19

REVISIONS	BY	DATE
1	SPRAB SP 1 SUBMITTAL	DND 12.16.19

BUILDING ADDITION
THOMAS L. TZIKAS
526 S.E. 5th AVENUE
DELRAY BEACH, FL

RANDALL STOFFT
ARCHITECTS
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Job No. 1909047

FL-0011005 FIRM-AA003379

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A101

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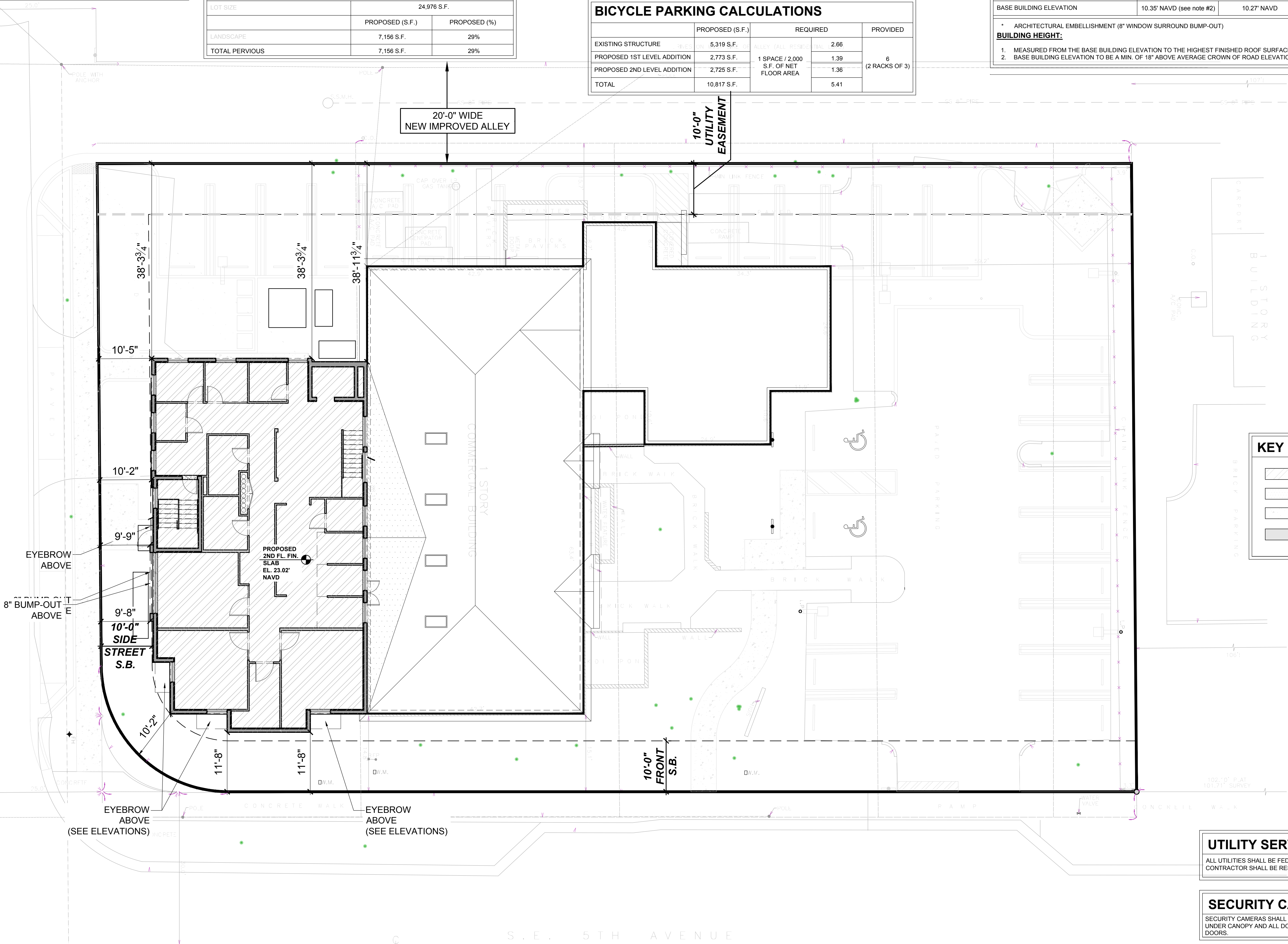
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	REQUIRED	EXISTING	PROPOSED
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KEY LEGEND

	PROPOSED 2-STORY ADDITION
	PERVIOUS AREA
	IMPERVIOUS AREA
	ASPHALT AREA

UTILITY SERVICE NOTE

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FIRE SPRINKLER NOTES

1. EXISTING 1-STORY AND PROPOSED 2-STORY ADDITION TO BE PROTECTED THROUGHOUT w/ AUTOMATIC SPRINKLERS AND MONITORED IN ACCORDANCE w/ 2017 FBC AND APPLICABLE LOCAL BUILDING CODES.

PROPOSED 2nd FLOOR SITE PLAN

1"=10'-0"

SPRAB SUBMITTAL 12-16-19

BUILDING ADDITION
THOMAS L. TZIKAS
526 S.E. 5th AVENUE
DELRAY BEACH, FL

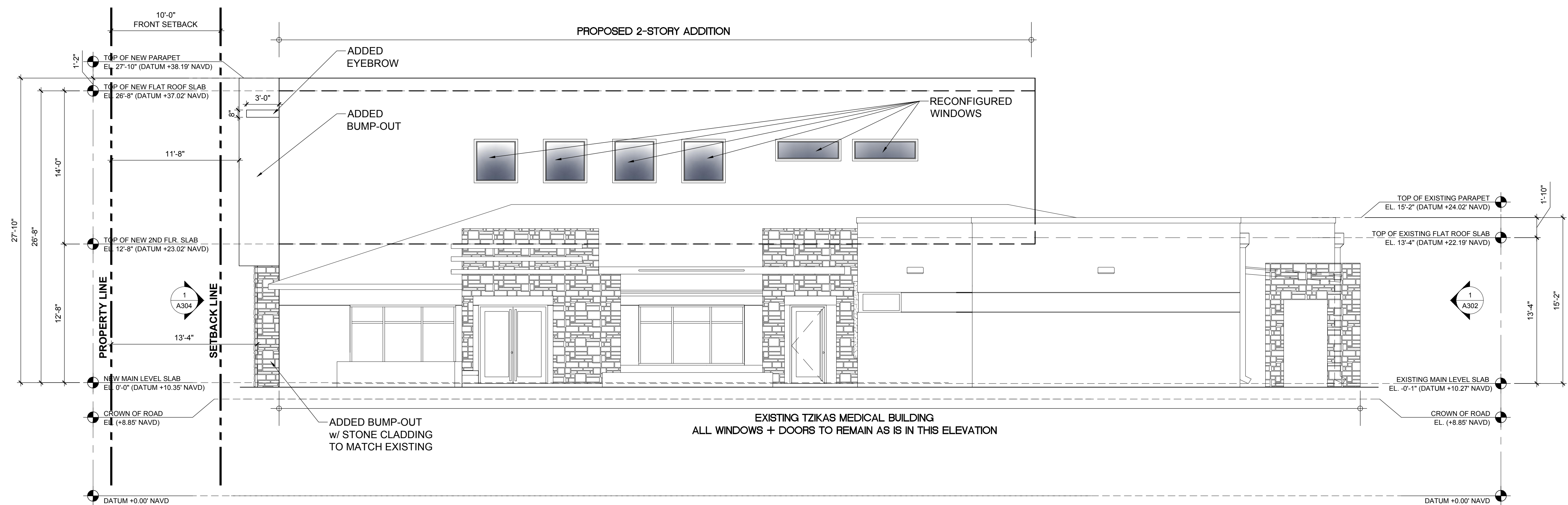
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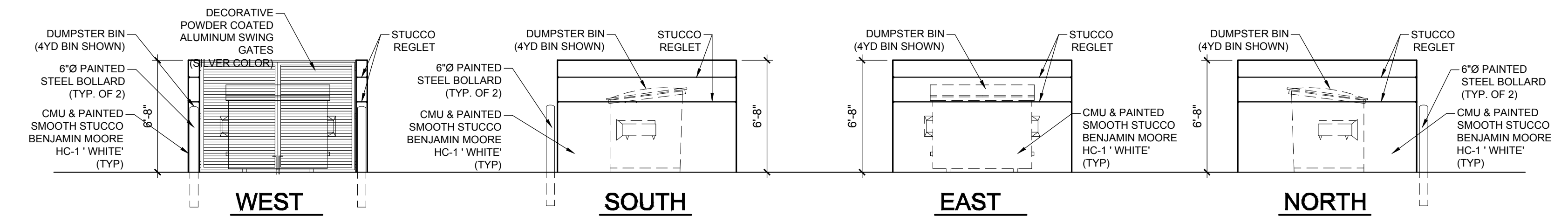
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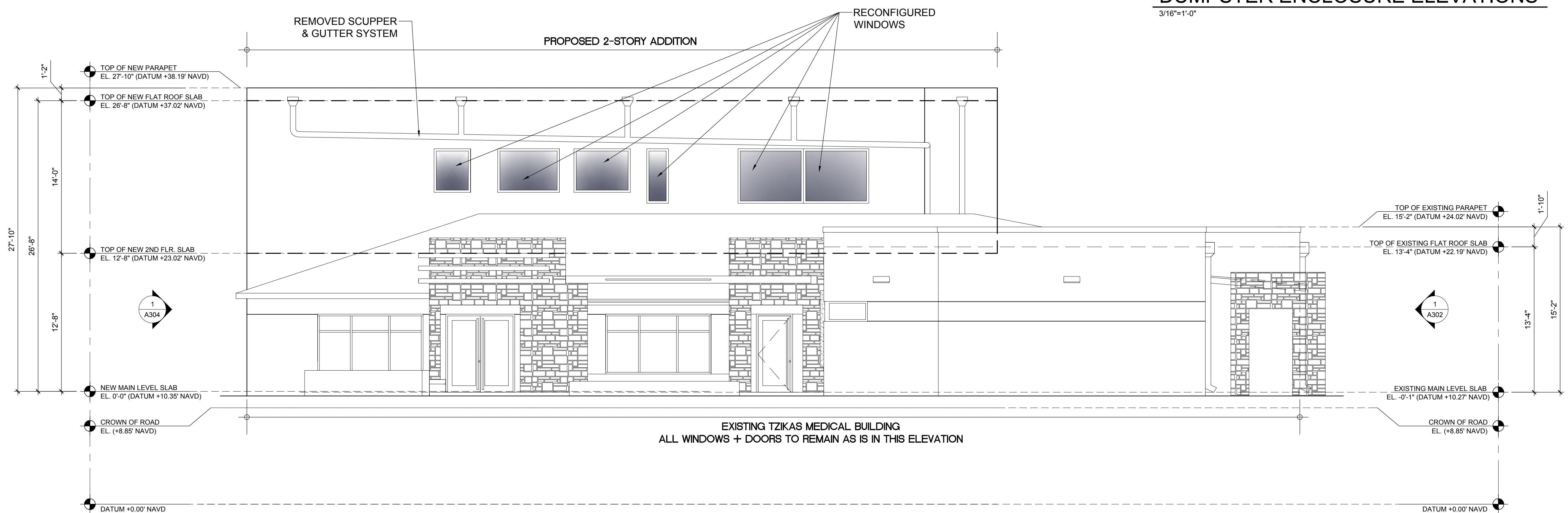
A102



1 PROPOSED NORTH ELEVATION
3/16"=1'-0"



DUMPSTER ENCLOSURE ELEVATIONS



1 APPROVED NORTH ELEVATION
3/16"=1'-0"

[illegible]

BUILDING ADDITION
THOMAS L. TZIKAS
526 S.E. 5th AVENUE
DELRAY BEACH, FL



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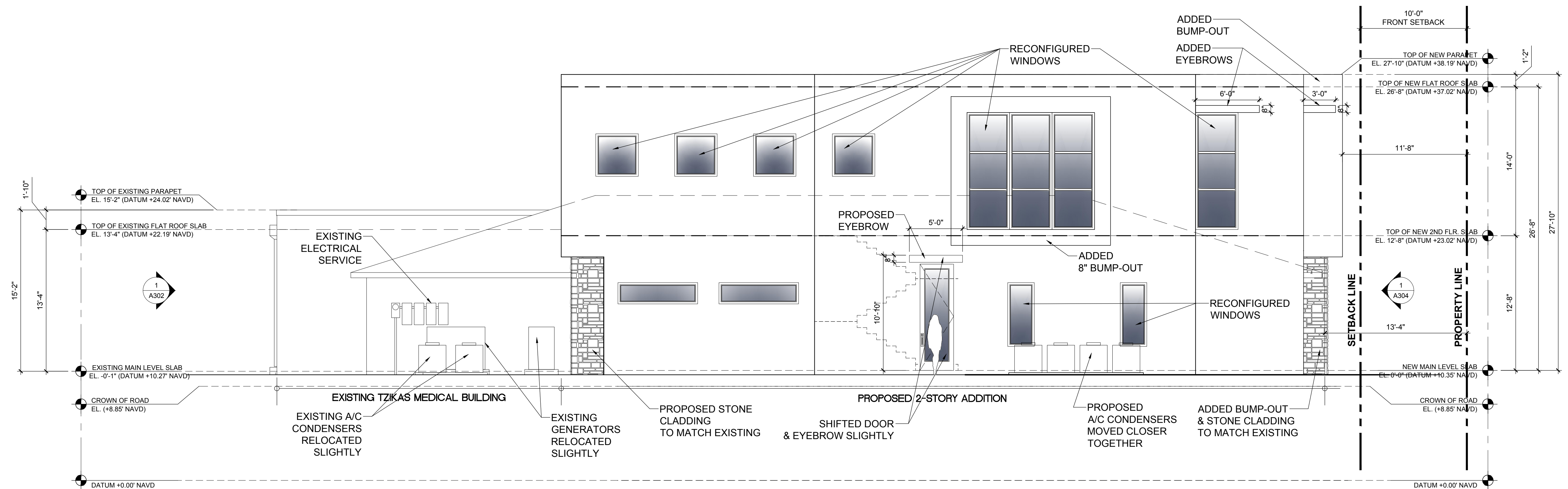
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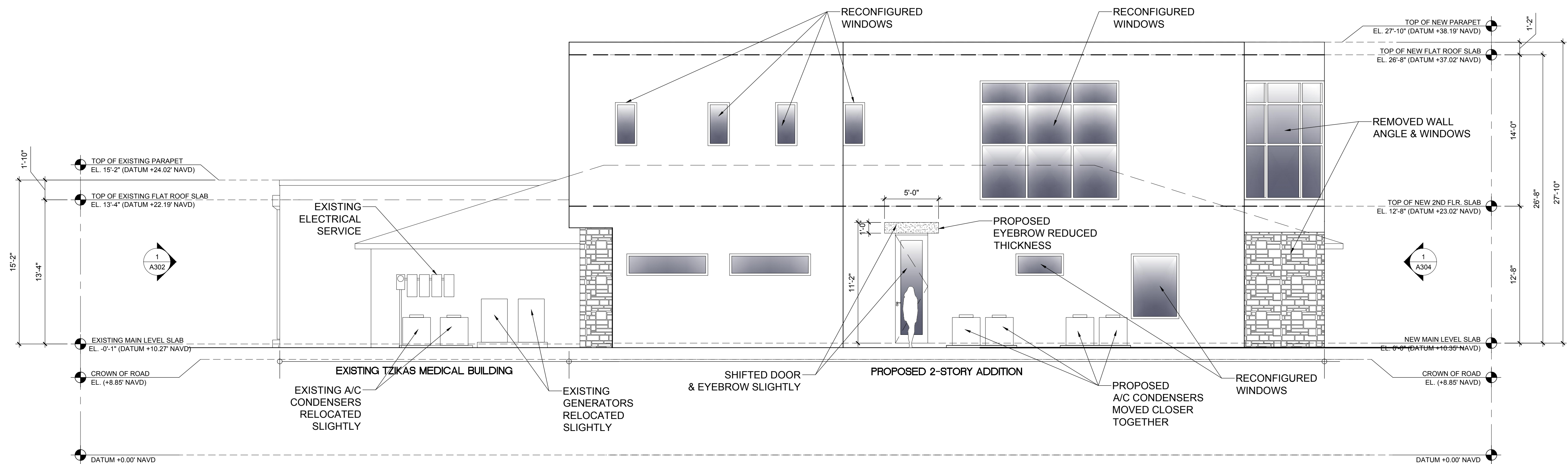
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A301



1 PROPOSED SOUTH ELEVATION
3/16"=1'-0"



1 APPROVED SOUTH ELEVATION
3/16"=1'-0"

[illegible]

BUILDING ADDITION
THOMAS L. TZIKAS
526 S.E. 5th AVENUE
DELRAY BEACH, FL



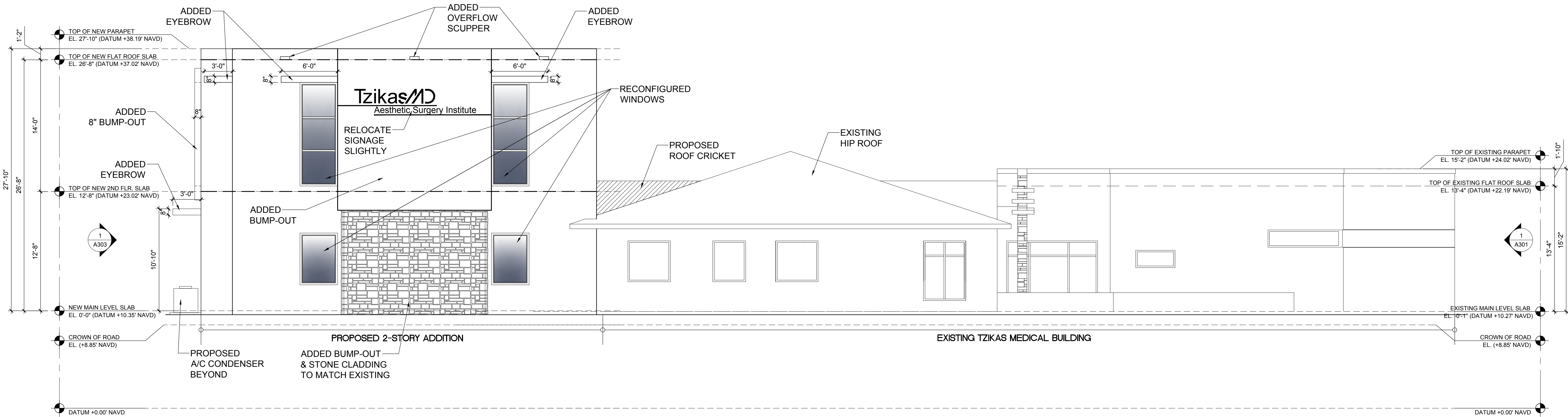
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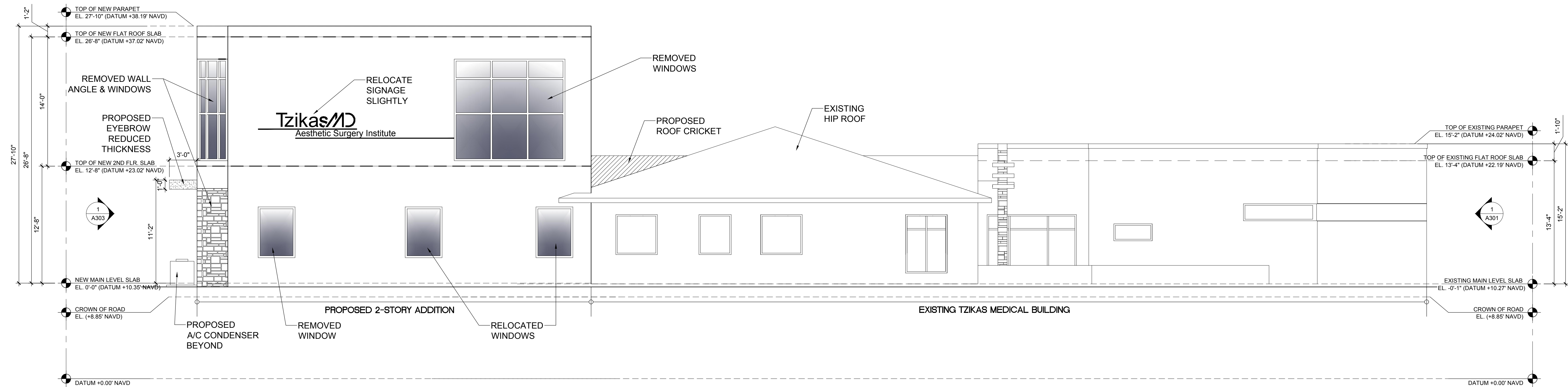
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A303



1 PROPOSED EAST ELEVATION
3/16"=1'-0"



1 APPROVED EAST ELEVATION
3/16"=1'-0"

SPRAB SUBMITTAL 12-16-19

REVISIONS	BY	DATE
△ SPRAB SP 1 SUBMITTAL	DND	12.16.19

BUILDING ADDITION
THOMAS L. TZIKAS
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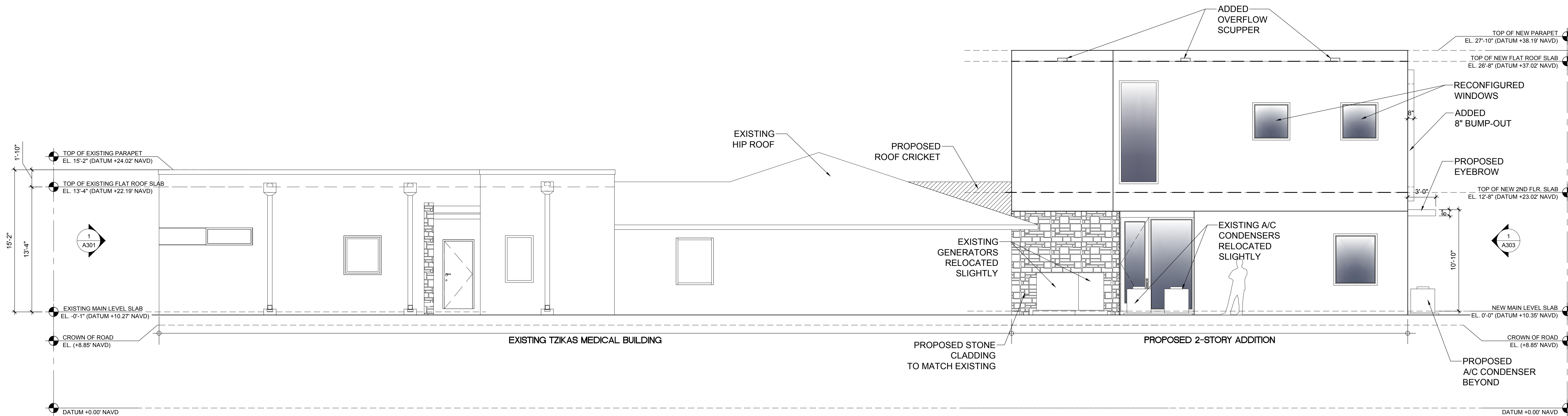
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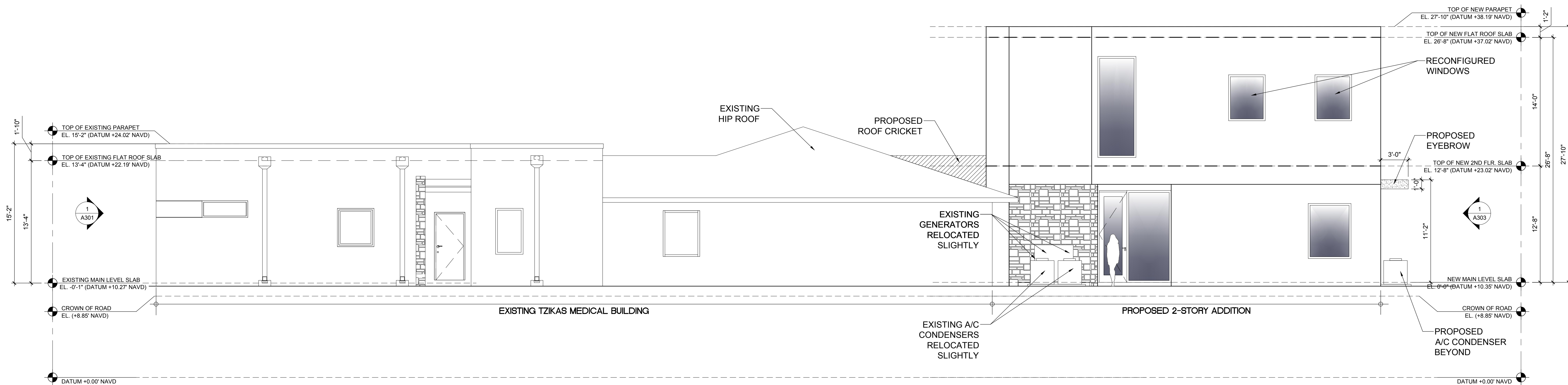
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1 PROPOSED WEST ELEVATION
3/16"=1'-0"



1 APPROVED WEST ELEVATION
3/16"=1'-0"

REVISIONS	BY	DATE
1	SPRAB SP 1 SUBMITTAL	DWD 12.16.19

BUILDING ADDITION

THOMAS L. TZIKAS

526 S.E. 5th AVENUE

DELRAY BEACH, FL

RANDALL STOFFT

ARCHITECTS

distinctive. inspirational. architecture.

Job No. 1909047

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