

SITE PLANS

150 MARINE WAY

PREVIOUSLY REVIEWED AT 1.15.20 HPB MEETING

INCLUDED FOR REFERENCE ONLY



150 MARINE WAY

150 MARINE WAY
DELRAY BEACH, FLORIDA

RICHARD JONES

ARCHITECTURE

10 S.E. FIRST AVENUE | SUITE 102
DELRAY BEACH, FLORIDA 33444
V 561.274.9186 | F 561.274.9196
AA26001617 | IB26001056

WWW.RJARCHITECTURE.COM

MILLER RESIDENCE
150 MARINE WAY
DELRAY BEACH, FLORIDA

FLORIDA LICENSURE

AA26001617 | IB26001056

COMMISSION # 19-019
DESIGNER: RJ
DRAWN BY: JH
PLAN REVIEW: RJ

SUBMITTALS:
ISSUE FOR HBP
REVIEW: 08.07.19

REVISIONS:
1 BUILDING DEPARTMENT 11.14.19
COMMENTS:
2 BUILDING DEPARTMENT 12.09.19
COMMENTS:

COVER
SHEET

CVR

RICHARD JONES ARCHITECTURE

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DRAWING INDEX

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ARCHITECTURAL

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CODE RESEARCH

PROPOSED PROJECT: SINGLE FAMILY-RESIDENTIAL
GROUP R

GOVERNING CODE: FBC 6th EDITION (2017), FFPC 6th EDITION (2017), NFPA 1 UFC
FLORIDA 2015 EDITION, NFPA 101 LSC FLORIDA 2018 EDITION

MEAN ROOF HEIGHT: 31'-7" (MEAN ROOF HEIGHT ABOVE B.B.E.=8.00' NAVD)

TYPE OF CONSTRUCTION: TYPE V UNSPRINKLERED

BUILDING DESIGNED: ENCLOSED

WIND SPEED: 170 MPH ULTIMATE WIND SPEED

EXPOSURE: C

ZONING DISTRICT: RM - HISTORIC DISTRICT - CITY OF DELRAY BEACH

FLOOD ZONE: ZONE AE (6.00' NAVD)

SETBACKS: REQUIRED: FRONT SETBACK = 25'-0"
REAR SETBACK = 10'-0"
SIDE INTERIOR SETBACK= 7'-6"

PROVIDED: (EAST) FRONT SETBACK = 25'-4 3/4"
(WEST) REAR SETBACK = 10'-0"
(NORTH) SIDE SETBACK = 7'-6 1/4"
(SOUTH) SIDE SETBACK = 7'-6"

DESIGN PARAMETERS

OCCUPANCY (SINGLE FAMILY, DUPLEX, MULTI-FAMILY, COMMERCIAL, INDUSTRIAL - DESCRIBE) SINGLE FAMILY

EXPOSURE CONDITION C ☒ SEC. R301.2.1.4.3 6th EDITION (2017) FLORIDA RESIDENTIAL CODE

MEAN ROOF HEIGHT 31'-7" (ABOVE BBE) ☒ ASCE 7-10 CHAPTER 26

BUILDING HEIGHT ☒ ≤ 60 FT. (MAY USE LOW RISE PROVISIONS OF THE 6th EDITION (2017) FLORIDA RESIDENTIAL CODE) ☐ > 60 FT. (ASCE 7-10 CHAPTER 26)

BUILDING DESIGNED AS ☐ PARTIALLY ENCLOSED ☒ ENCLOSED ☐ OPEN ☐ TESTED (WIND TUNNEL)

IMPORTANCE FACTOR (DETERMINED BY BUILDING USE/OCCUPANCY, REFER TO 6th EDITION (2017) FLORIDA RESIDENTIAL CODE OR ASCE 7-10 CHAPTER 26) 1.0

BASIC WIND VELOCITY PRESSURES : 6th EDITION (2017) FLORIDA RESIDENTIAL CODE
VERIFY APPROPRIATE POSITIVE/NEGATIVE PRESSURE COEFFICIENTS HAVE BEEN APPLIED TO MAIN WIND FORCE RESISTING SYSTEM, OR BUILDING ENVELOPE COMPONENTS AND CLADDING AS APPLICABLE:

FBC 2017 ULTIMATE WIND SPEED 170 (3 SECOND GUST) BASIC VELOCITY PRESSURE 40 PSF

ASCE 7-10 CH 26 WIND SPEED NA (3 SECOND GUST) BASIC VELOCITY PRESSURE NA PSF

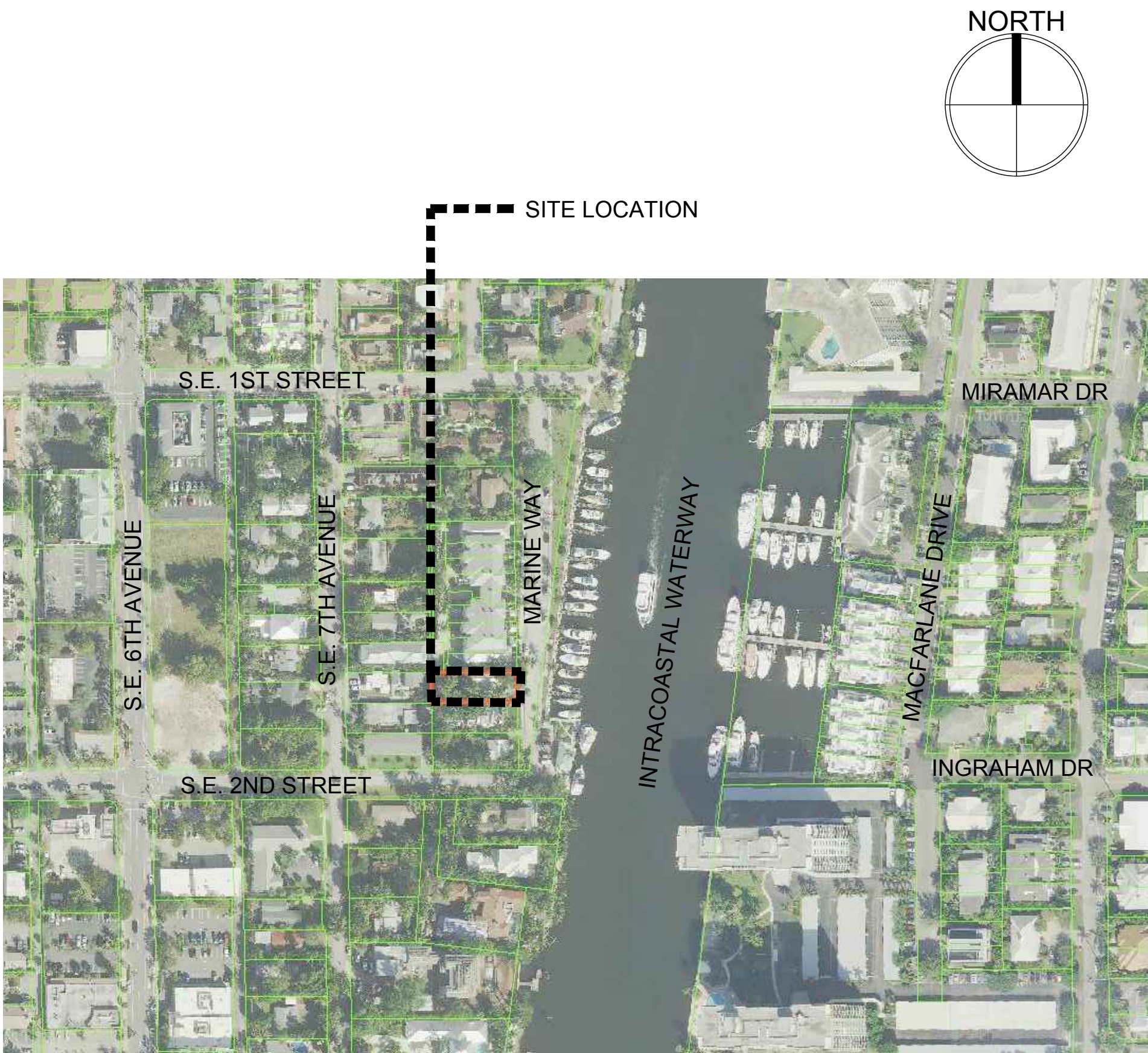
NOTE: ACTUAL DESIGN PRESSURES FOR ALL EXTERIOR WINDOWS, DOORS, GARAGE DOORS, AND SIMILAR ENVELOPE ELEMENTS MUST BE INDICATED ON CONSTRUCTION PLANS.

ROOF DEAD LOAD (ACTUAL DEAD LOAD OF MATERIAL USED FOR DETERMINING UPLIFT REACTIONS) 5 PSF

SOIL BEARING CAPACITY 2500 PSF

REVIEWED FOR SHEAR WALL REQUIREMENTS ☒ YES ☐ NO (IF NO, INDICATE REASON)

LOCATION MAP



OWNER

AZURE 150 MARINE LLC
290 SE 6TH AVENUE
SUITE 5
DELRAY BEACH, FL 33483

ARCHITECT

RICHARD JONES ARCHITECTURE
10 S.E. FIRST AVENUE, SUITE 102
DELRAY BEACH, FL. 33444
TELEPHONE: 561-274-9186

STRUCTURAL

ENGINEERING PLUS
19528 SEDGEFIELD TERRACE
BOCA RATON, FL 33498
CELL: 561-756 4106
FAX: 561-479 3743

LANDSCAPE

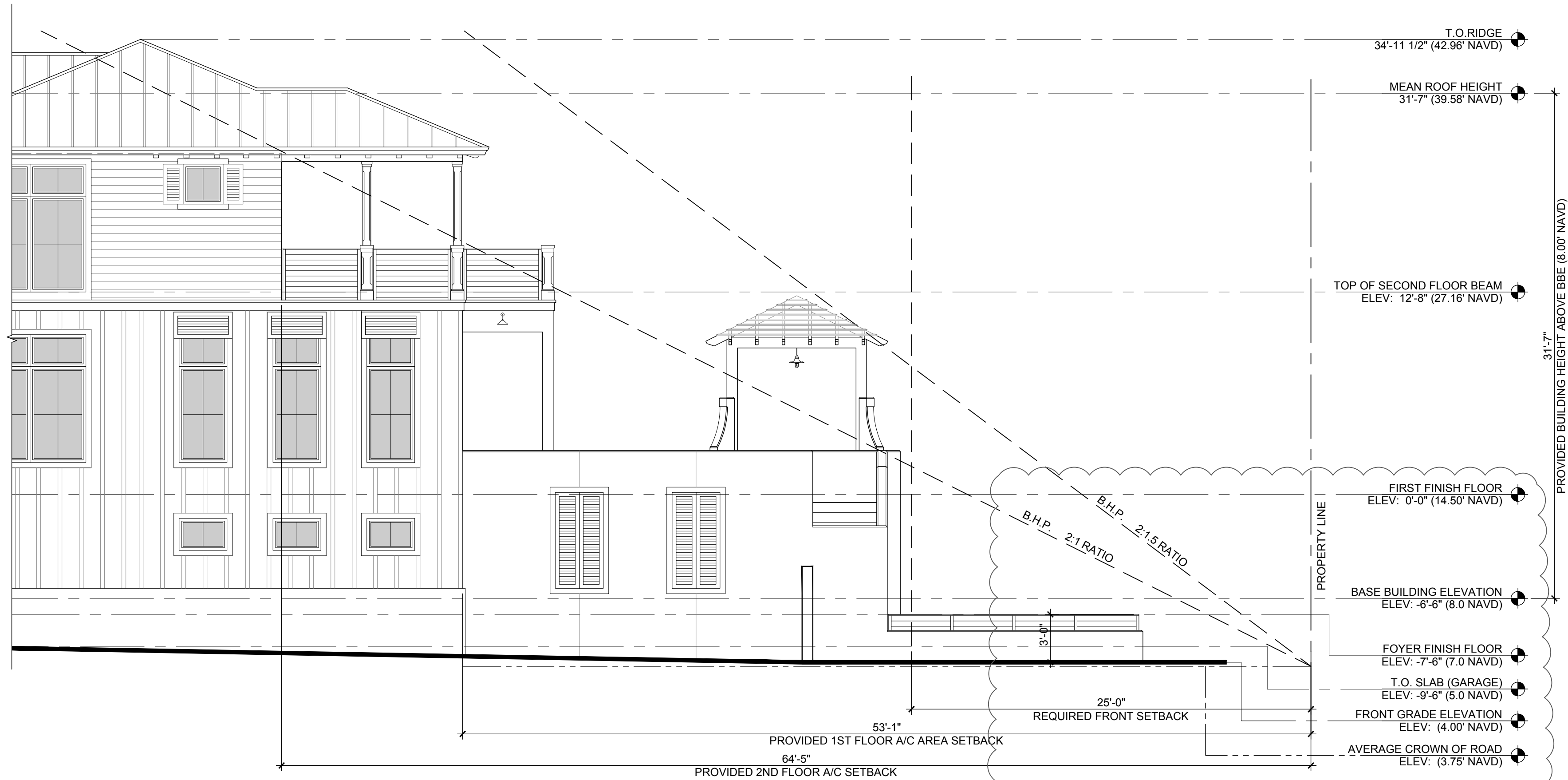
PLA DESIGN STUDIO,PLLC
LANDSCAPE ARCHITECTURE
2385 NW EXECUTIVE CENTER DR
SUITE 240
BOCA RATON FL, 33431
PHONE: 561-904-1556

CIVIL ENGINEER

ENVIRODESIGN ASSOCIATES, INC.
298 NE 2ND AVENUE
DELRAY BEACH, FL 33444
TELEPHONE: 561-274-6500
FAX: 561-274-8558

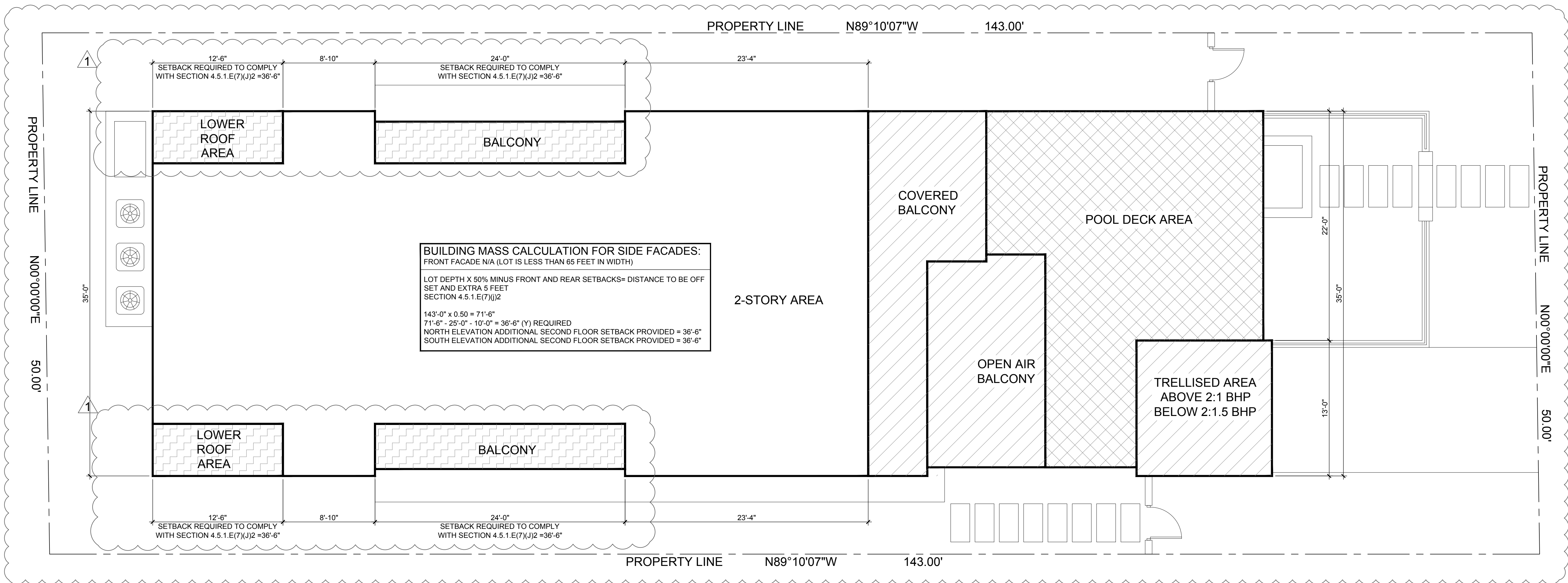
LAND SURVEYOR

O'BRIEN, SUITER & O'BRIEN
955 NW 17TH AVENUE SUITE K-1
DELRAY BEACH FL. 33445
TELEPHONE: 561-276-4501
FAX: 561-276-2390



Side Elevation & B.H.P. Diagram

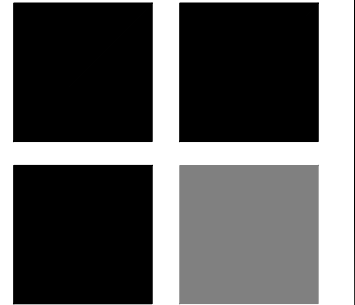
Scale: 3/16"=1'-0"



Site Setbacks Diagram (Second Floor)

Scale: 3/16"=1'-0"

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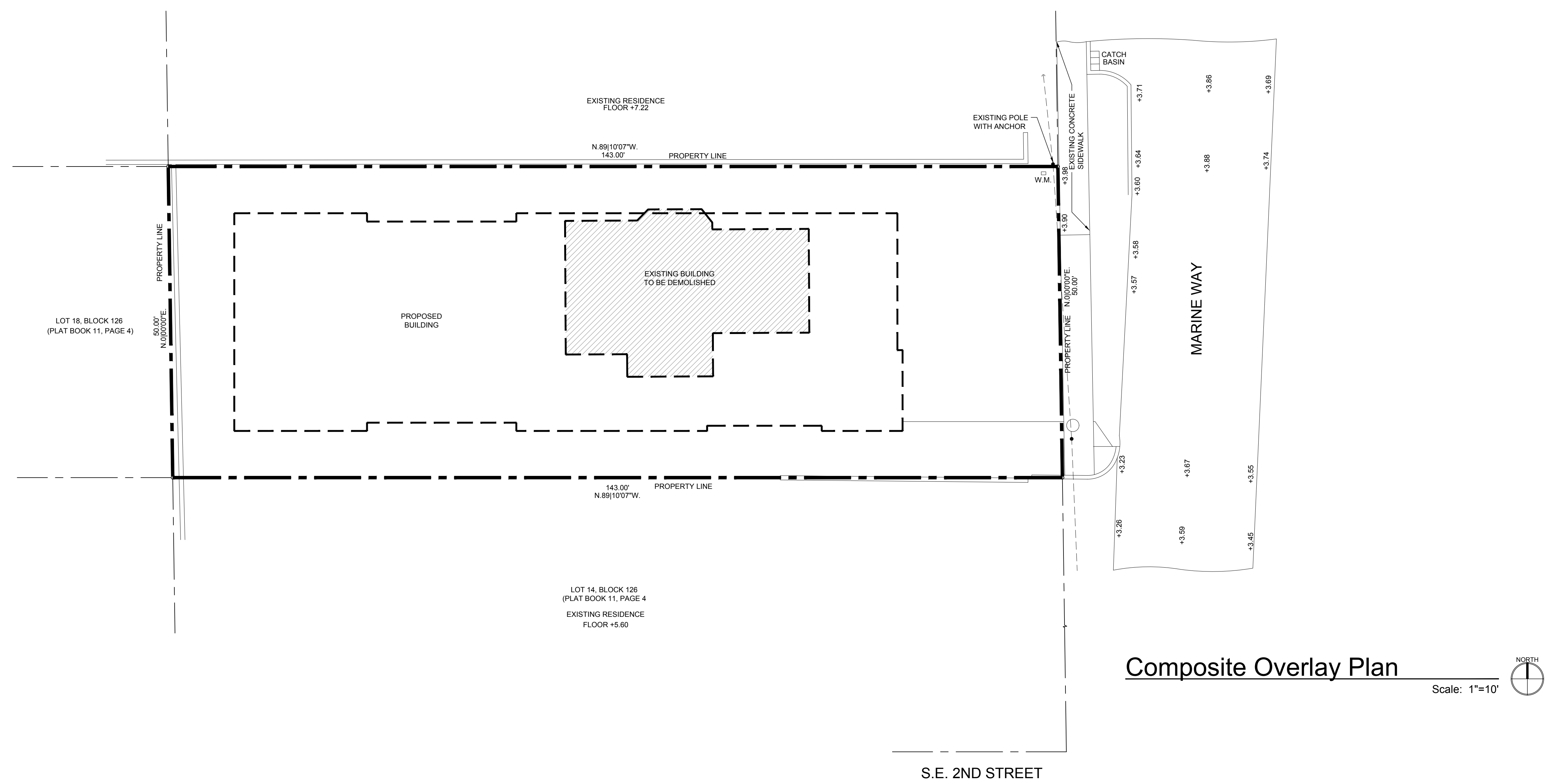
REVISIONS:
1 BUILDING DEPARTMENT 11.14.19
COMMENTS:
2 BUILDING DEPARTMENT 12.09.19
COMMENTS:

SITE & SIDE
ELEVATION
SETBACK
DIAGRAM

SP-2

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CURRENT BUILDING PICTURES

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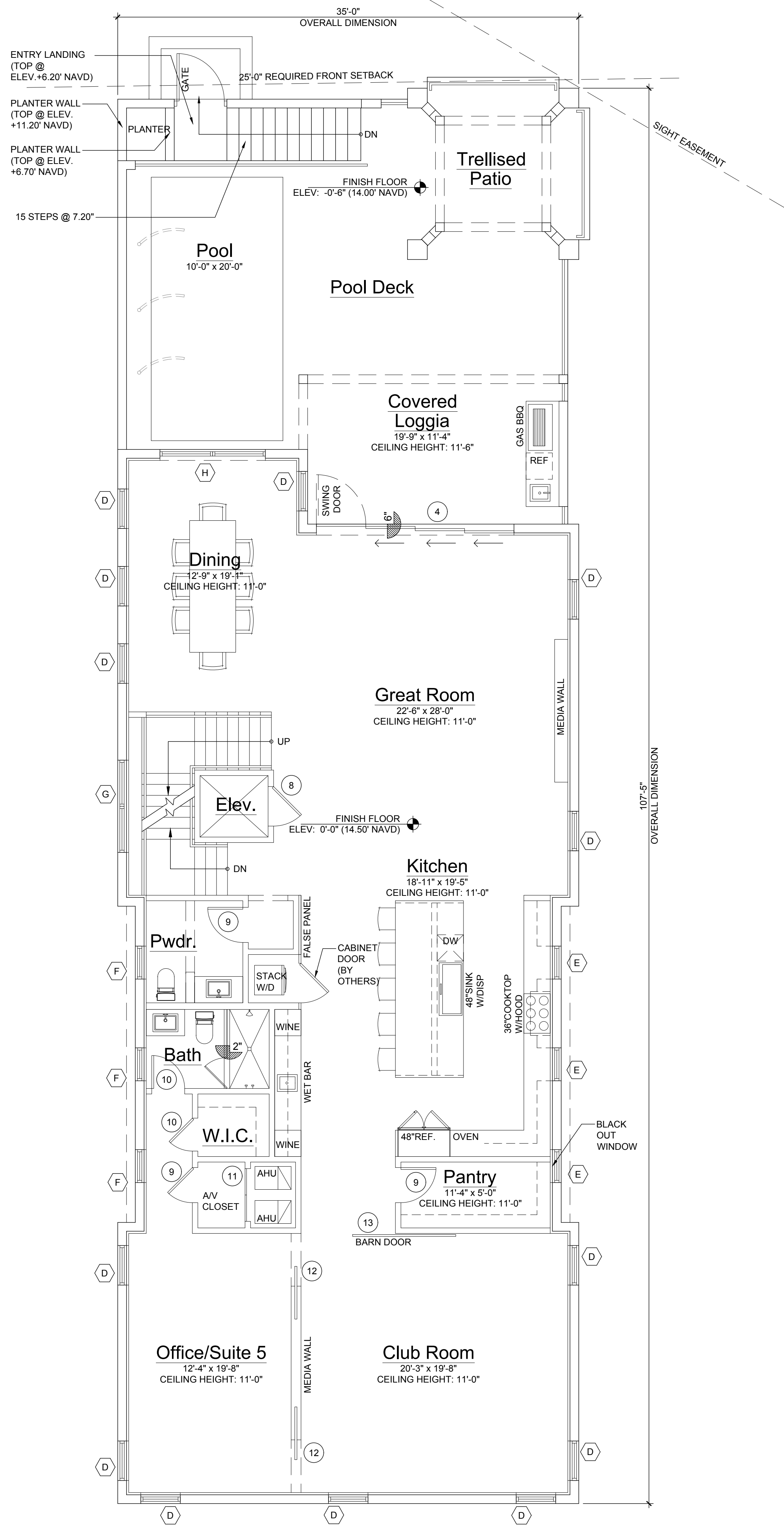
REVISIONS:
1 BUILDING DEPARTMENT COMMENTS: 11.14.19
2 BUILDING DEPARTMENT COMMENTS: 12.09.19

COMPOSITE OVERLAY PLAN

SP-3

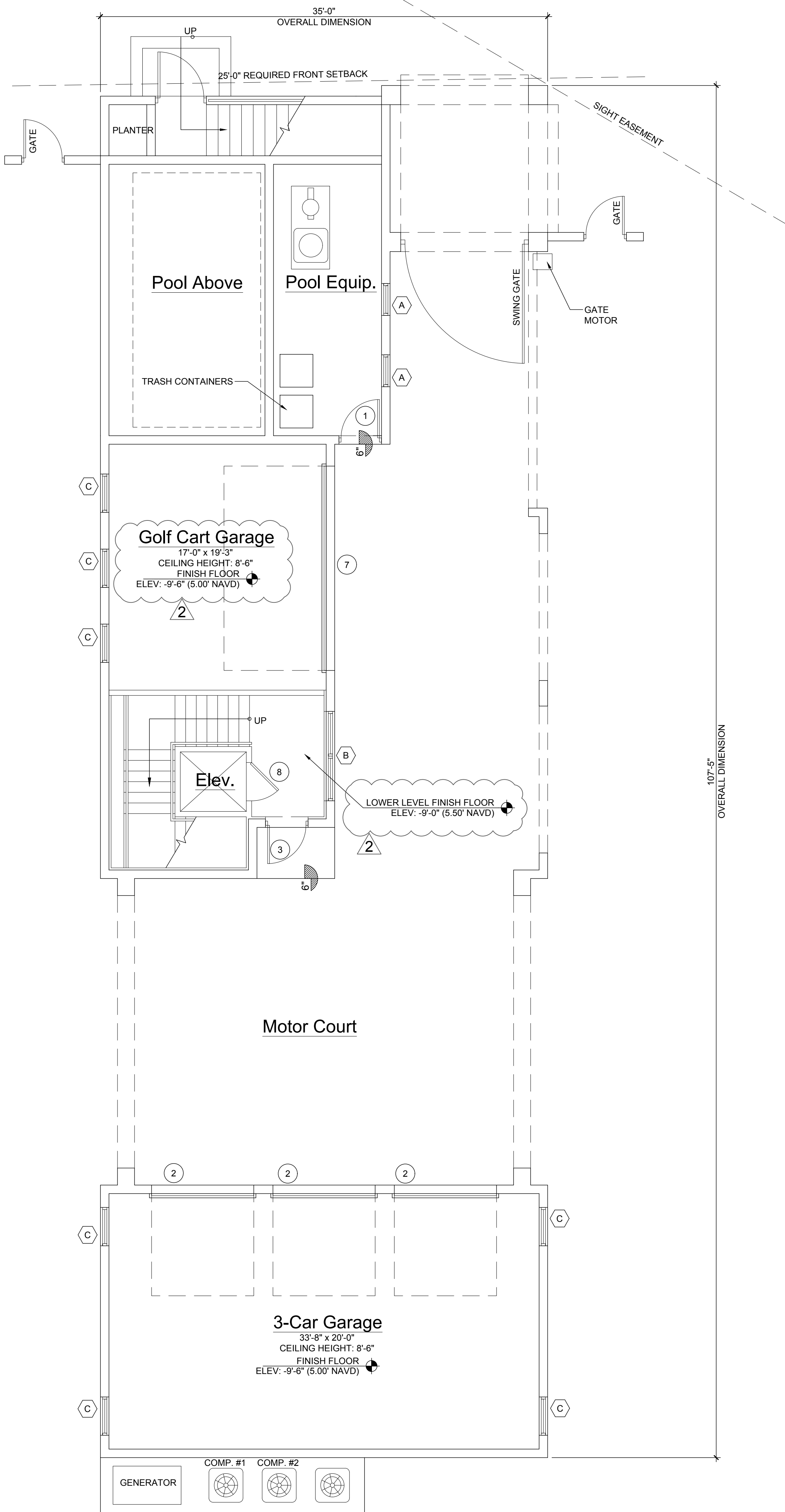
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First Floor Plan

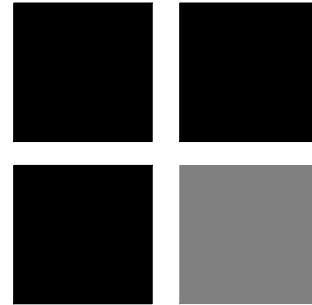
Scale: 3/16"=1'-0"



Lower Level Plan

Scale: 3/16"=1'-0"

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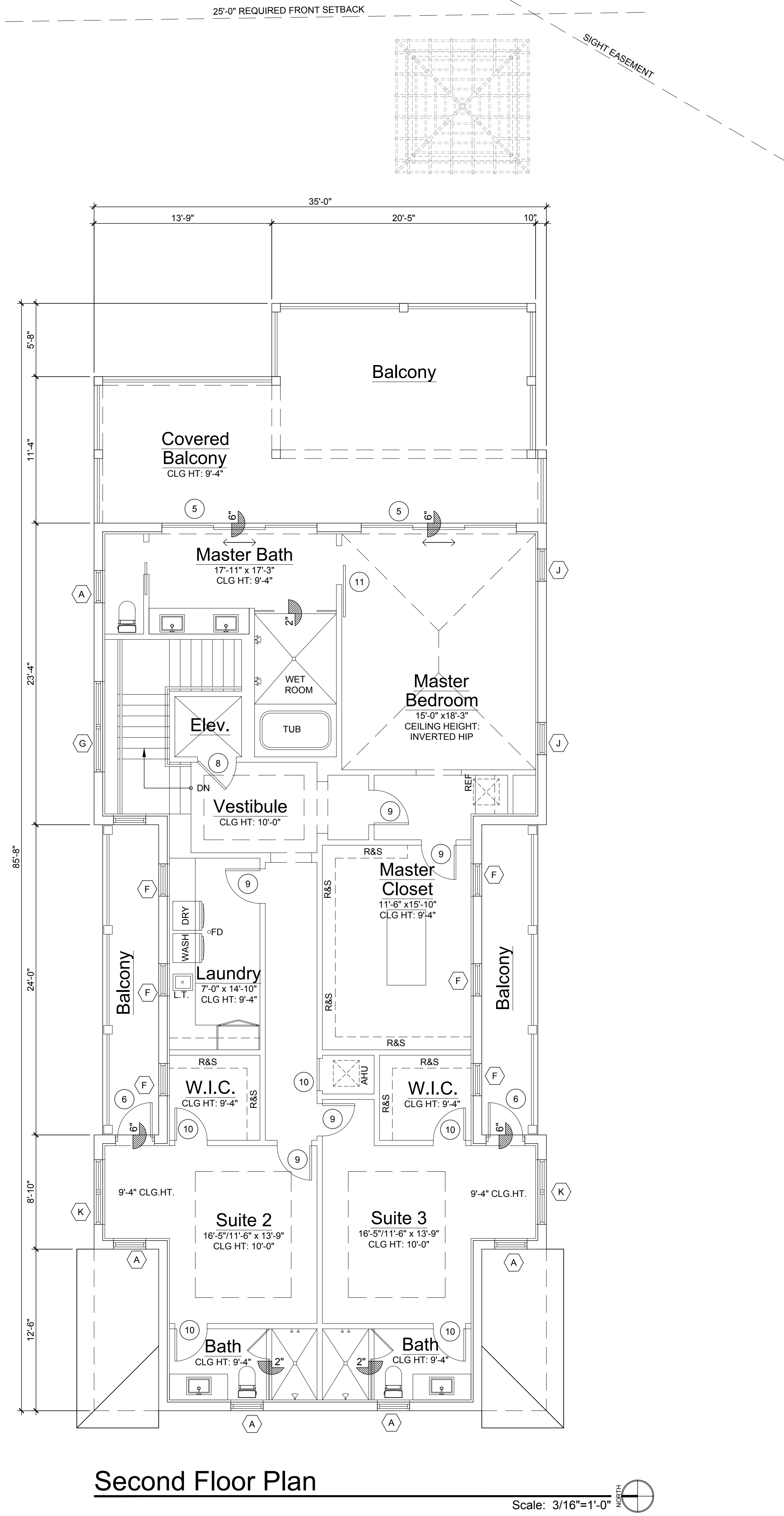
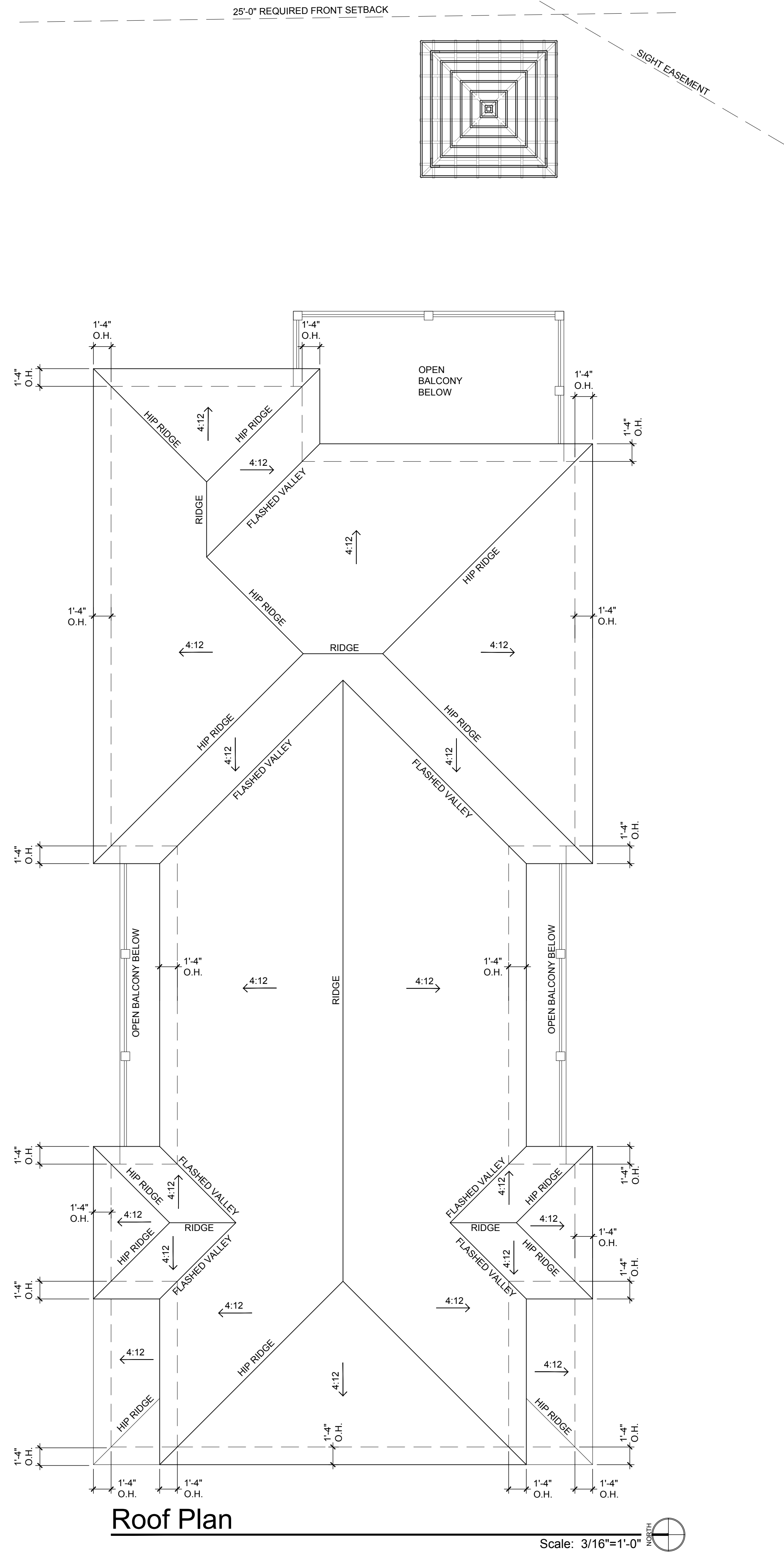
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LOWER LEVEL
& FIRST
FLOOR PLANS

A-1

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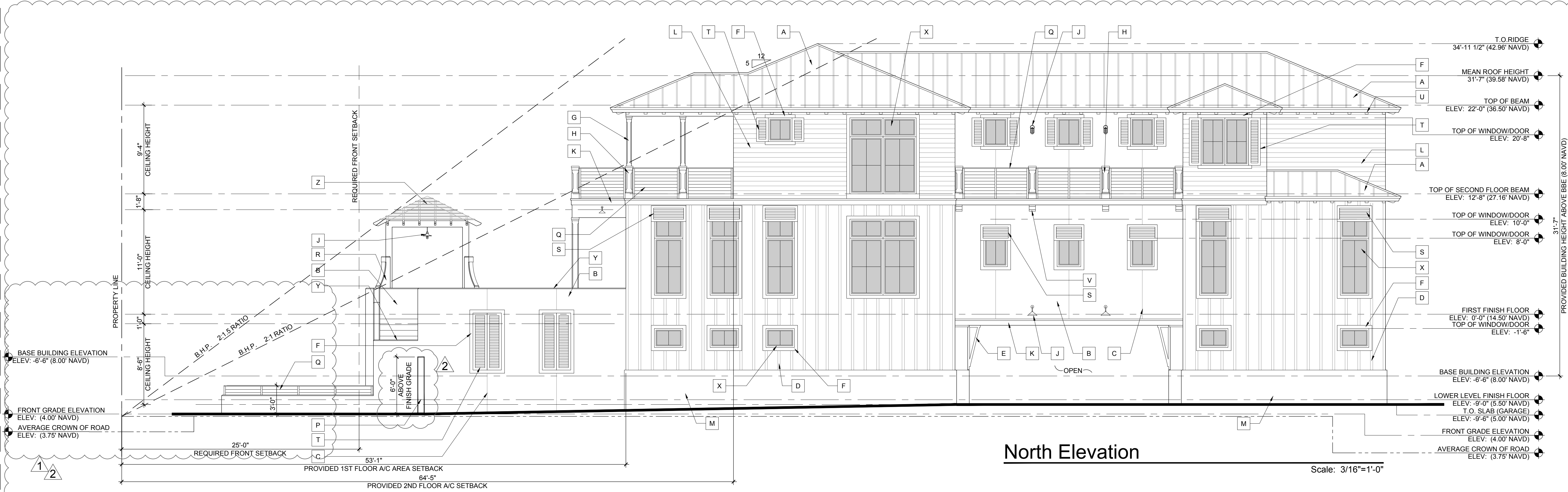
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COMMENTS:

ROOF
PLAN

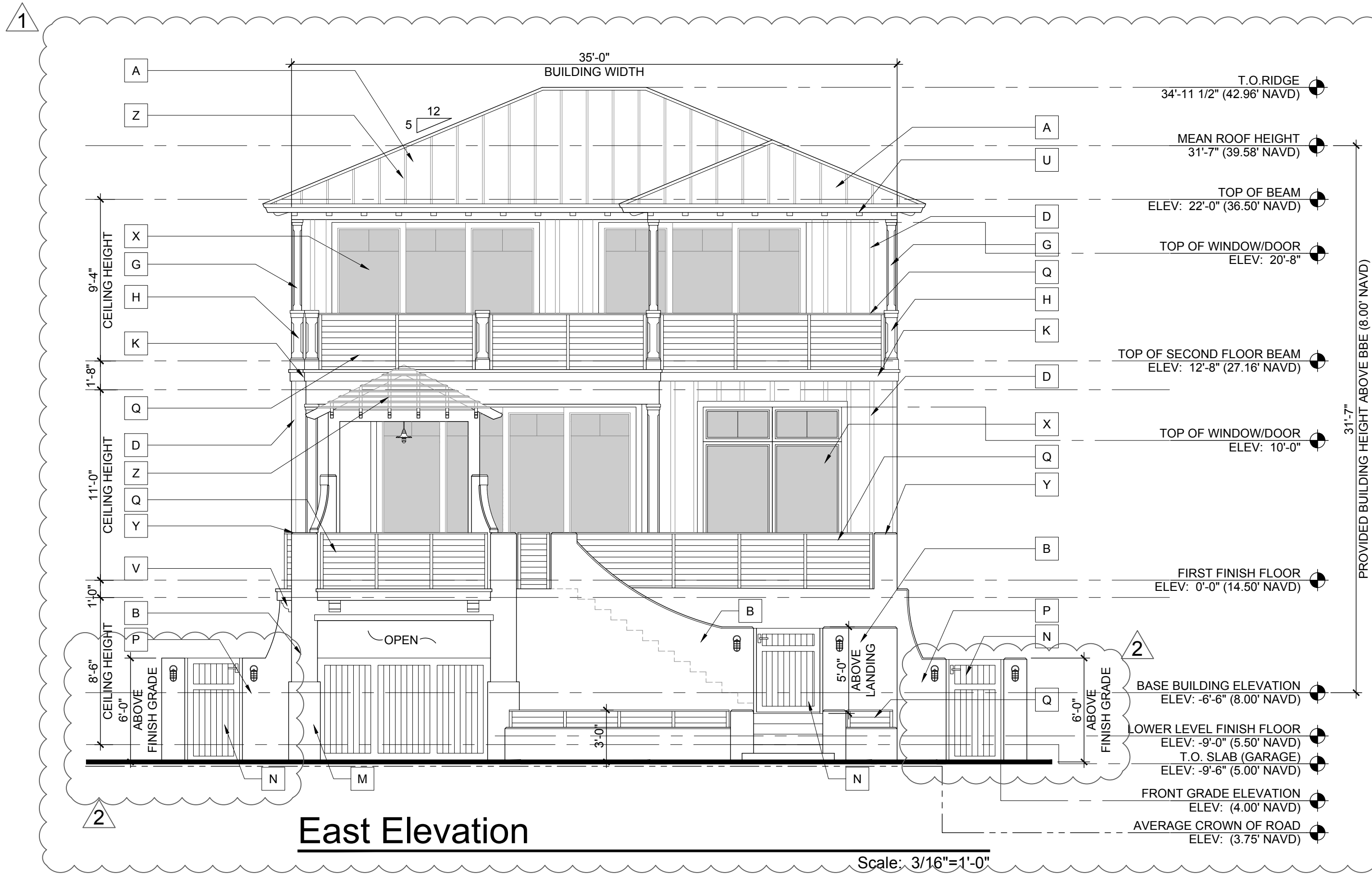
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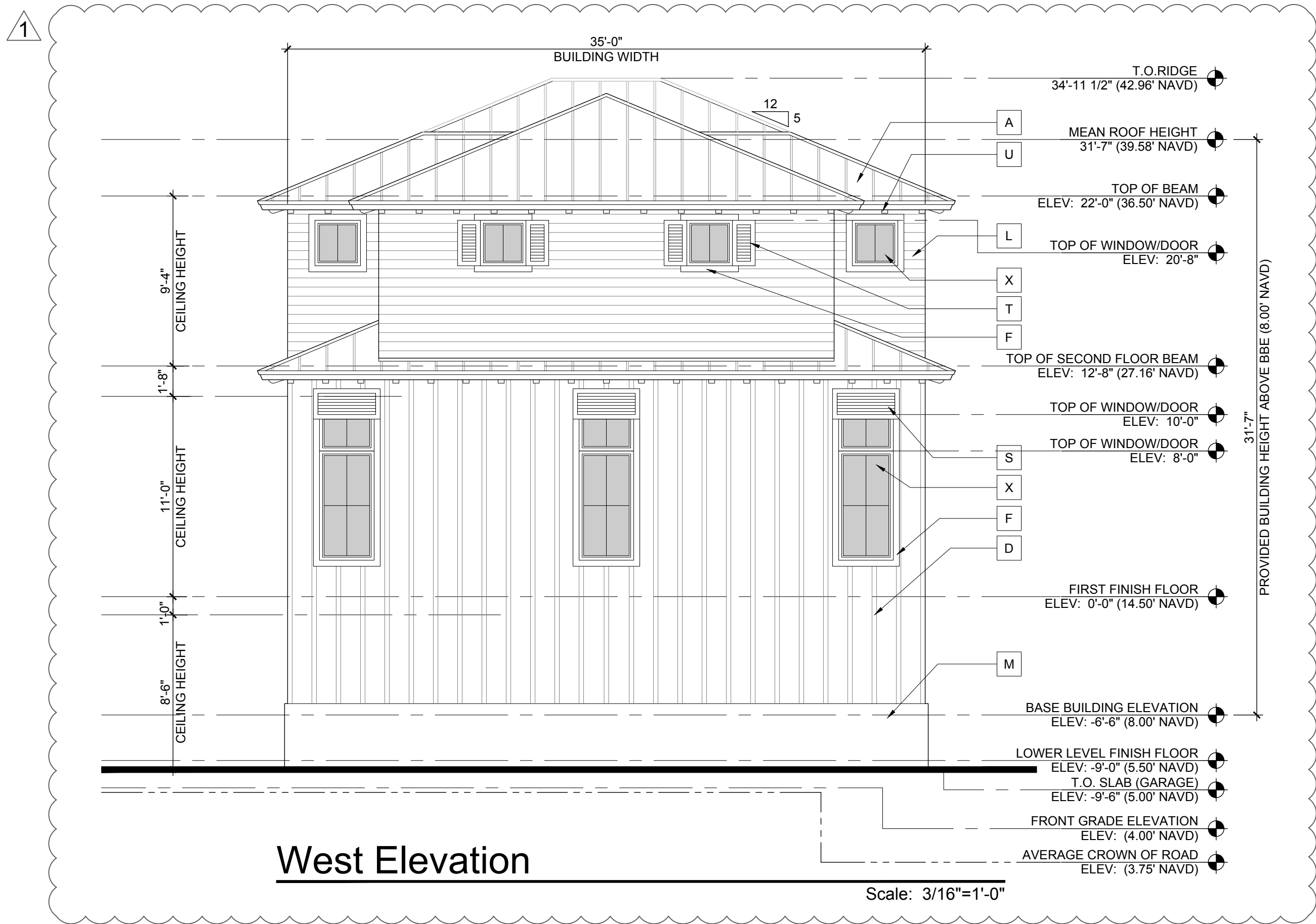
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ELEVATION NOTES			
A	PRE-WEATHERED GALVALUME STANDING SEAM ROOF BY ENGLERT. PROVIDE NOA & SAMPLE FOR ARCHITECTS REVIEW BRONZE FINISH	N	ALUMINUM GATE. REFER TO DETAIL & PROVIDE SHOP DRAWINGS WHITE FINISH
B	SMOOTH STUCCO FINISH.	P	SMOOTH STUCCO FINISH MASONRY GARDEN WALL. REFER TO DETAIL
C	1/4" STUCCO SCORE LINE	Q	39" HIGH ALUMINUM RAIL WITH METAL CABLES. REFER TO DETAIL BRONZE FINISH
D	3/4"x3" SMOOTH STUCCO BOARD AND BATTEN WALL TREATMENT DETAIL.	R	MASONRY COLUMN W/CHAMFERS. REFER TO DETAIL
E	WOOD BRACKET. REFER TO DETAIL	S	ALUMINUM BAHAMA SHUTTERS. PROVIDE SHOP DRAWINGS FOR REVIEW WHITE FINISH
F	4" SMOOTH STUCCO WINDOW SURROUND W/1" PROJECTION	T	ALUMINUM SHUTTERS. PROVIDE SHOP DRAWINGS FOR REVIEW WHITE FINISH
G	WOOD POST W/CHAMFERS AND WHITE PAINT FINISH. REFER TO DETAIL	U	WHITE HARDIE BOYS OUTRIGGERS. REFER TO DETAIL
H	CMU PIER W/CHAMFERS. REFER TO DETAIL	V	WHITE HARDIE BOYS CORBEL. REFER TO DETAIL
J	LIGHT FIXTURE WITH BRONZE FINISH. REFER TO OWNER FOR SELECTION	W	INSULATED METAL GARAGE DOOR WITH APPLIED AZEK MOLDING
K	2" OVER 6" SMOOTH STUCCO BAND W/2" & 1" PROJECTION RESPECTIVELY	X	IMPACT RESISTANT WINDOW AND DOOR (BRONZE FINISH) REFER TO SCHEDULE BRONZE FINISH
L	6" WHITE HARDIE BOARD SIDING. PROVIDE NOA FOR REVIEW	Y	1" STUCCO BEVEL
M	1" SMOOTH STUCCO FINISH WATER TABLE	Z	ALUMINUM TRELLIS (BRONZE FINISH) PROVIDE SHOP DRAWINGS FOR REVIEW

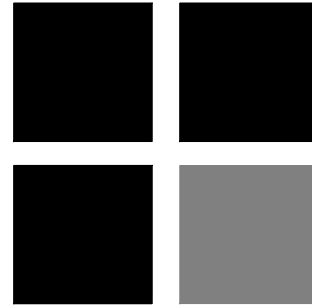




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RICHARD JONES



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BUILDING
ELEVATION

A-4

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[illegible]

Architectural elevation drawing of a building facade showing eight window units (A-H) with detailed dimensions and labels.

Window Units and Dimensions:

- Unit A (FIXED):** 2'-6" wide, 2'-6" high. Mounting bracket: 5'-6" wide, 8'-0" high.
- Unit B (FIXED):** 7'-0" wide (3'-6" x 3'-6"), 6'-0" high. Mounting bracket: 2'-0" wide, 8'-0" high.
- Unit C (FIXED):** 3'-0" wide, 2'-0" high. Mounting bracket: 6'-0" wide, 8'-0" high.
- Unit D (CASEMENT):** 3'-0" wide, 10'-0" high (6'-0" x 2'-0"). Mounting bracket: 2'-0" wide.
- Unit E (FIXED):** 2'-6" wide, 5'-0" high. Mounting bracket: 4'-0" wide, 9'-0" high.
- Unit F (FIXED):** 2'-6" wide, 3'-0" high. Mounting bracket: 5'-0" wide, 8'-0" high.
- Unit G (FIXED):** 7'-0" wide (3'-6" x 3'-6"), 10'-0" high (6'-0" x 2'-0"). Mounting bracket: 2'-0" wide.
- Unit H (FIXED):** 8'-0" wide (4'-0" x 4'-0"), 10'-0" high (8'-0" x 2'-0"). Mounting bracket: 2'-0" wide.
- Unit J (CASEMENT):** 2'-6" wide, 5'-0" high. Mounting bracket: 3'-0" wide, 8'-0" high.
- Unit K (CASEMENT):** 5'-0" wide (2'-6" x 2'-6"), 5'-0" high. Mounting bracket: 3'-0" wide, 8'-0" high.

Labels and Markers:

- Labels A through K are in hexagonal callouts below each unit.
- Labels "FIXED" and "CASEMENT" are in rectangular callouts below each unit.
- Labels "TOP OF SLAB" are at the top and bottom of the drawing.
- Marker "2" is shown in a triangle below units B and G.

[illegible]

1. ALL EXTERIOR GLAZING UNITS SHALL BE IMPACT RESISTANT WITH FLORIDA PRODUCT APPROVAL.
(SHADING COEFFICIENT OF GLAZING SHALL COMPLY WITH FLORIDA ENERGY CALCULATIONS).
2. COORDINATE ALL ROUGH OPENINGS WITH WINDOW/ DOOR MANUFACTURER - ALL DIMENSIONS ARE NOMINAL (CONCRETE OR ROUGH OPENING) DIMENSIONS. PROVIDE ENGINEERED SHOP DRAWINGS & METRO DADE PRODUCT APPROVAL NOTICES FOR ALL WINDOWS, EXT. DOORS.
3. ALL WINDOWS / DOORS SHALL COMPLY WITH F.B.C. 6TH EDITION, § 6107.
4. PROVIDE SHOP DRAWINGS FOR ALL GLAZING FOR ARCHITECTS REVIEW AND APPROVAL PRIOR TO FABRICATION.
5. ALL DOORS TO COMPLY WITH CODE. IMPACT AND WIND LOAD REQUIREMENTS (SUBMIT MANUFACTURES CUT SHEET / PRODUCT APPROVALS).
6. FIELD VERIFY ALL WINDOW AND DOOR OPENINGS PRIOR TO FABRICATION.
7. ALL WINDOWS NOTED AS EGRESS WINDOWS SHALL COMPLY WITH F.B.C. SILL HEIGHT SHALL NOT EXCEED 44" A.F.F. MIN. OPG. HT. SHALL BE 24" AT MIN. OPG. HT. WITH MIN. CLEARANCE SHALL BE 5.7 SQ. FT. (6.0 SQ. FT. @ 1ST FLOOR).
8. ALL EGRESS WINDOWS IN SLEEPING ROOM SHOULD HAVE A MINIMUM CLEAR OPENING OF 5.7 SQ. FT.
9. ALL EXTERIOR DOORS / WINDOWS SHALL BE INSTALLED PER FLORIDA PRODUCT APPROVAL.
10. ALL MUNTINS TO BE 1.0" WIDE RAISED TYPE ON BOTH INSIDE AND OUTSIDE OF WINDOW.
11. APPLY ELASTOMERIC WATERPROOF SEALER AT ALL EXTERIOR MASONRY OPENINGS. SEAL ALL INTERIOR SURFACES OF THE OPENING INCLUDING BUCKS AND EXTEND SEALER 12" BEYOND THE FACE OF THE OPENING ON THE EXTERIOR SIDE OF THE OPENING.
12. USE COVERED DOOR AT HVAC CLOSET IF NO RETURN AIR IS PROVIDED.
13. ALL WINDOW & DOOR FRAMES TO BE BRONZE ALUMINUM.
14. REFER TO ELEVATIONS AND SECTIONS FOR OPERABLE WINDOW SWING ORIENTATION.
15. ALL GLASS TO BE CLEAR NON-REFLECTIVE.

The drawings show the following configurations and dimensions:

- Configuration 1:** A single door with a width of 3'-4" and a height of 8'-0". The door is shown with a dashed line indicating its swing.
- Configuration 2:** Two adjacent doors with a total width of 8'-0" and a height of 8'-0". Each door has a width of 5'-0" and a height of 7'-1". The doors are shown with vertical lines indicating their swing.
- Configuration 3:** A single door with a width of 3'-4" and a height of 8'-0". The door is shown with a dashed line indicating its swing.
- Configuration 4:** Four adjacent doors with a total width of 15'-0" and a height of 8'-0". Each door has a width of 5'-0" and a height of 7'-1". The doors are shown with vertical lines indicating their swing.
- Configuration 5:** Three adjacent doors with a total width of 12'-0" and a height of 8'-0". Each door has a width of 5'-0" and a height of 7'-1". The doors are shown with vertical lines indicating their swing.
- Configuration 6:** A single door with a width of 3'-0" and a height of 8'-0". The door is shown with a dashed line indicating its swing.
- Configuration 7:** Four adjacent doors with a total width of 16'-0" and a height of 8'-0". Each door has a width of 5'-0" and a height of 7'-1". The doors are shown with vertical lines indicating their swing.

The drawings are labeled 1 through 7, and the text "TOP OF SLAB" is present at the bottom of each drawing.

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A-5

RICHARD JONES ARCHITECTURE



East Side Street Elevation
Scale: n.t.s.

RICHARD JONES
ARCHITECTURE

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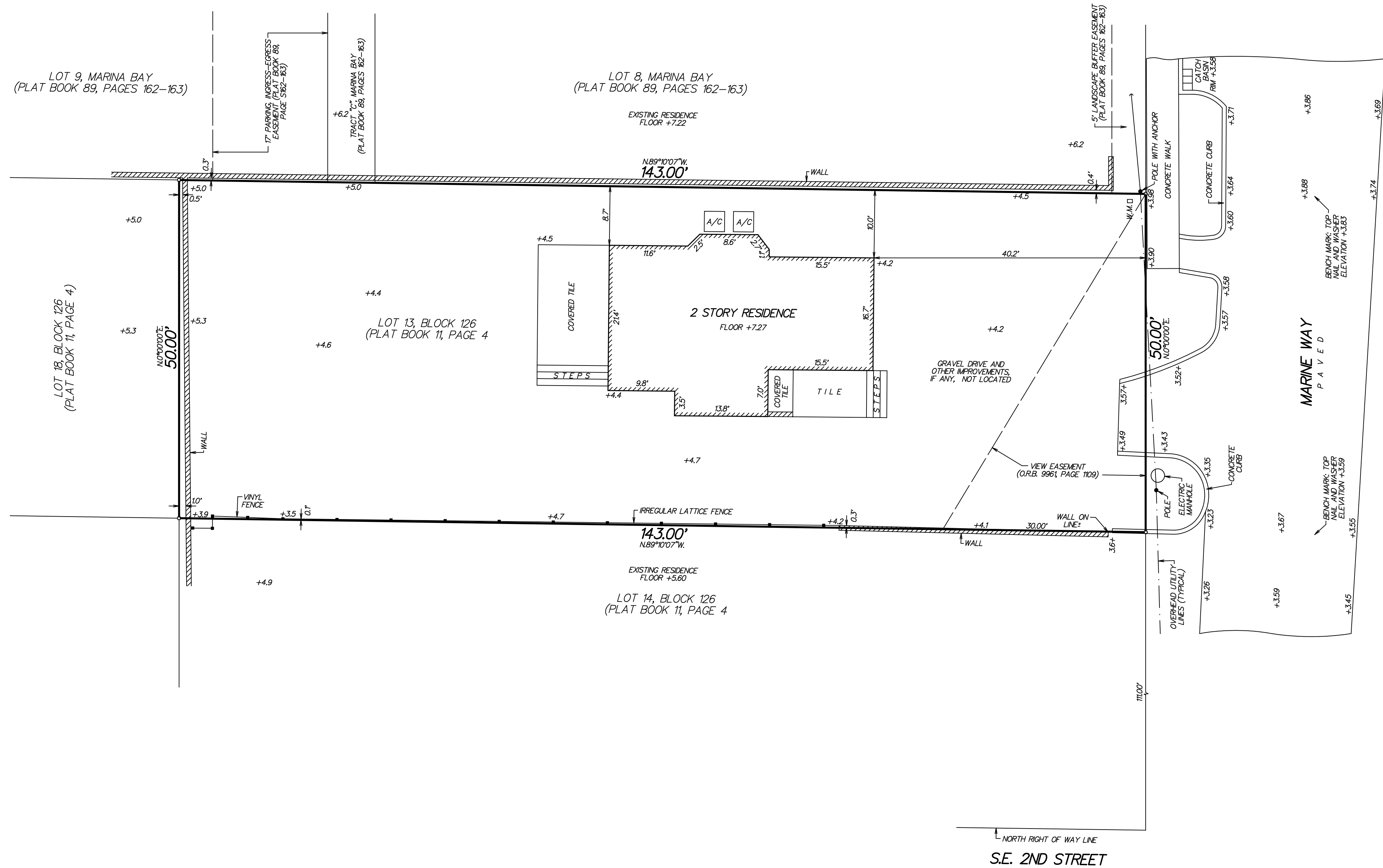
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STREET
SCAPE

A-6

RICHARD JONES ARCHITECTURE



SURVEYOR'S REPORT/LEGEND:

C = CENTERLINE

W.M. = WATER METER

A/C = CONCRETE A/C PAD

THE EAST LINE OF LOT 13 IS ASSUMED TO BEAR N0°00'00"E.

+3.59 = ELEVATION BASED ON NORTH AMERICAN VERTICAL DATUM 1988. SOURCE: "L-NET GPS NETWORK"

FLOOD ZONE: AE (EL. 6)
COMMUNITY PANEL NO. 125102
MAP NO.: 12099C0979

SUFFIX: F
EFFECTIVE DATE: OCTOBER 5, 2017

ALL DIMENSIONS SHOWN BASED ON STANDARD U.S. FOOT

THIS SURVEY MEETS THE CLOSURE OF 1 FOOT PER 10,000 FEET AS REQUIRED FOR COMMERCIAL HIGH RISK PROPERTY

THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL OF CLOSURE OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR COMMERCIAL/HIGH RISK PROPERTY CLOSURE WAS ACHIEVED BASED ON A REDUNDANCY OF MEASUREMENTS FOR VERTICAL HORIZONTAL AND ANGULAR DIMENSIONS.

NO TITLE WAS REVIEWED OR SEARCH OF THE PUBLIC RECORDS WAS MADE IN REGARD TO EASEMENTS THAT MAY AFFECT SUBJECT PARCEL

NO SUBSURFACE SEARCH WAS MADE FOR UTILITIES OR UNDERGROUND FOOTERS

DESCRIPTION:

LOT 13, BLOCK 126, A SUBDIVISION OF BLOCK 126, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 11, PAGE 4, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

MAP OF AS-BUILT SURVEY
SITE ADDRESS: 150 MARINE WAY,
DELRAY BEACH, FLORIDA 33483
PARCEL CONTROL NO. 12-43-46-16-01-126-0130

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Paul D. Engle

PAUL D. ENGLE
SURVEYOR & MAPPER #5708

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

O'BRIEN, SUITER & O'BRIEN, INC.
LAND SURVEYORS
CERTIFICATE OF AUTHORIZATION #LB353
SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE
955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445
(561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY JANUARY 29, 2018	REVISED: 05/30/19 - ADDED VIEW EASEMENT	SCALE: 1" = 10'
FIELD BOOK D.320	PAGE NO. 20	ORDER NO.: 19-06db