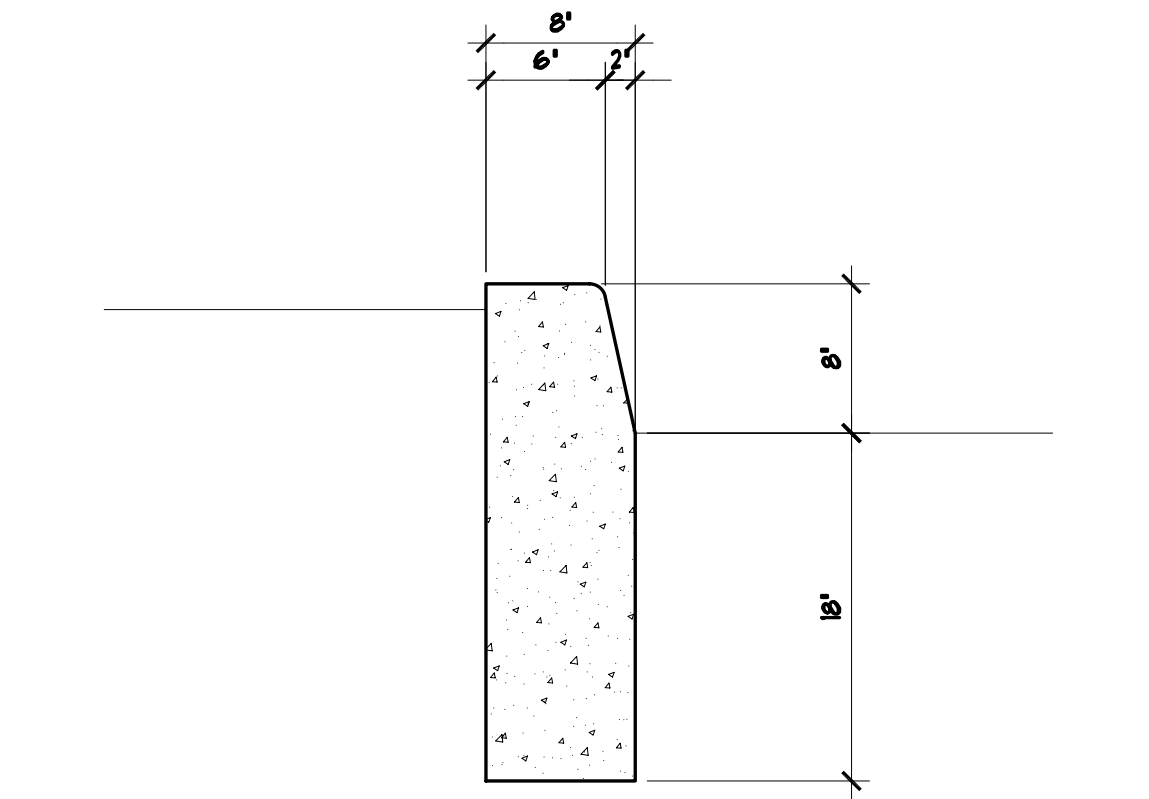


EXISTING PROJECT DATA:

EXISTING FLOOR AREA -	±± 2,087.00 SQ. FT.	±± 42.1% OF SITE
PARKING & PAVED AREAS -	±± 1,439.00 SQ. FT.	±± 29.0% OF SITE
OPEN LANDSCAPED SPACE -	±± 1,428.00 SQ. FT.	±± 28.9% OF SITE
WATER BODIES -	±± 0 SQ. FT.	±± 0% OF SITE
TOTALS	±± 4,954.00 SQ. FT.	100% OF SITE

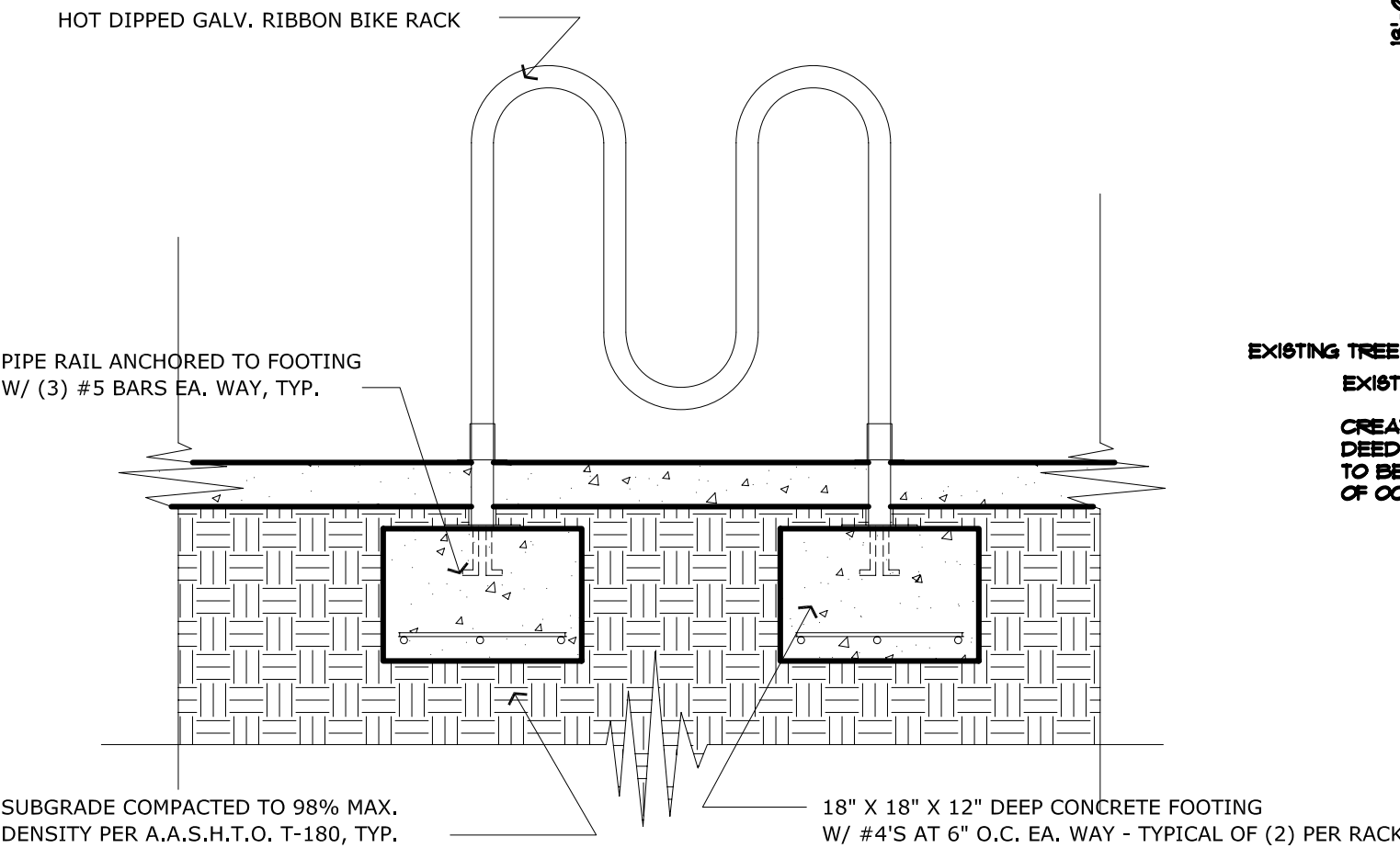
PROPOSED PROJECT DATA:

EXISTING FLOOR AREA -	±± 2,133.00 SQ. FT.	±± 43.1% OF SITE
(ADDED 46 SF)		
PARKING & PAVED AREAS -	±± 1,439.00 SQ. FT.	±± 29.0% OF SITE
(NO CHANGE)		
OPEN LANDSCAPED SPACE -	±± 1,382.00 SQ. FT.	±± 27.9% OF SITE
(DEDUCTED 46 SF)		
WATER BODIES -	±± 0 SQ. FT.	±± 0% OF SITE
TOTALS	±± 4,954.00 SQ. FT.	100% OF SITE



TYPE "D" CONCRETE CURB

SCALE: 3/4" = 1'-0"
2
A2.0



BIKE RACK DETAIL

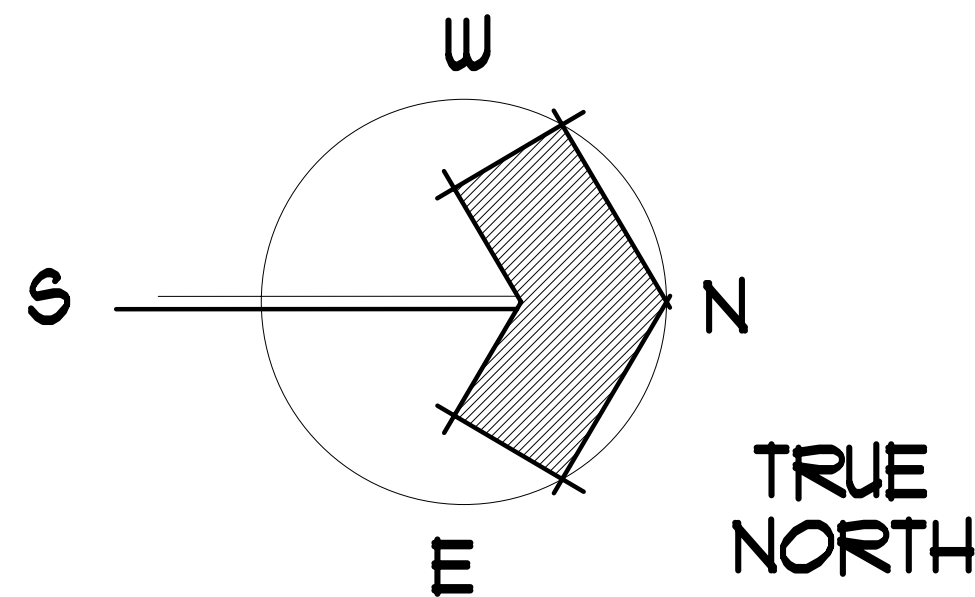
SCALE: 3/4" = 1'-0"
1
A2.0

SITE DATA: (APPROX. 4,954.00 SQ. FT. OR ±± 0.114 ACRES)
ZONED: CBD-RC (CENTRAL BUSINESS DISTRICT, RAILROAD CORRIDOR)

LEGAL DESCRIPTION:

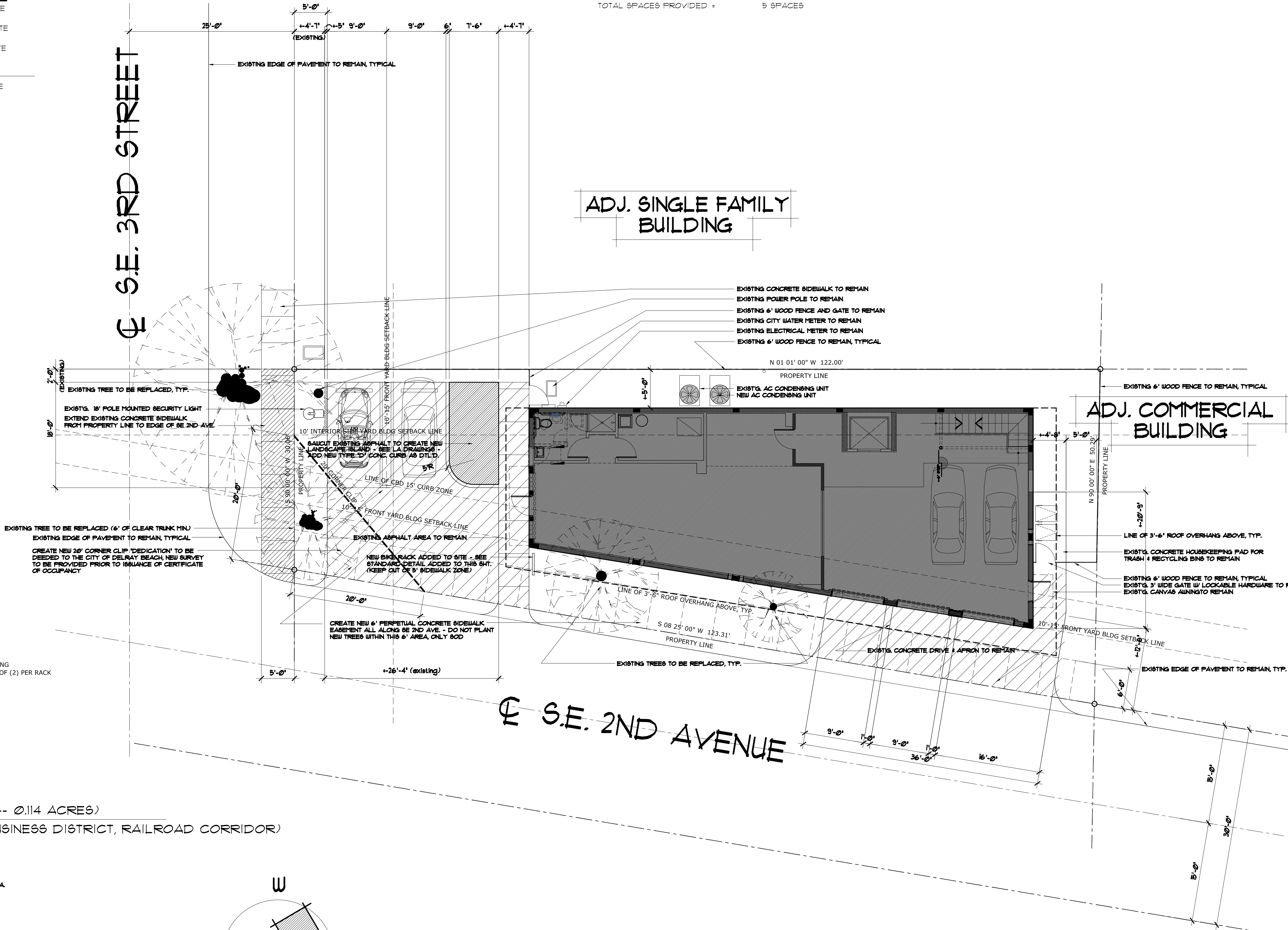
(AS PROVIDED BY THE OWNER)
LOT 15-16, BLOCK 19, TOWN OF DELRAY, PLAT BOOK 10, PAGE 51, AS RECORDED IN PALM BEACH COUNTY, FLORIDA.

A2 PROPOSED ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'



PARKING SPACES PROVIDED:

STANDARD SPACES PROVIDED =	5 SPACES (ONE (2) OUTSIDE AT EXISTING ASPHALT AREA + THREE (3) INSIDE)
COMPACT SPACES PROVIDED =	0 SPACES
HANDICAPPED SPACES PROVIDED =	0 SPACES
TOTAL SPACES PROVIDED =	5 SPACES



Seal	Drawn RW COPE	Project No. 2013.20FORD	CAD File No. SITEPLAN	Date DECEMBER 04, 2019	Drawing No.
Florida License No. AR0013552					
COPE ARCHITECTS, INC. 1141 N.W. 11TH AVENUE, SUITE 200 DELRAY BEACH, FLORIDA 33444-3713 ARCHITECTURE - PLANNING - INTERIORS	"290 SE 2ND AVENUE, LLC" 290 SE 2ND AVENUE DELRAY BEACH, FLORIDA 33483				
PHO 561.274-6706 FAX 561.274-6707	Drawing Title SITE PLAN				
Consultant Seal					
ENGINEERING TAC COMMENTS REVISIONS					
No.					
Date DEC. 06, 2019					