

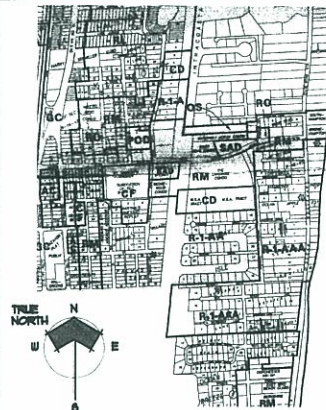
**777 N. OCEAN BLVD.
DELRAY BEACH, FLORIDA**

INDEX

1. THE CONTRACTOR SHALL PERFORM ANY AND ALL CUTTING AND PATCHING NECESSARY TO COMPLETE THE WORK.
2. THE CONTRACTOR SHALL NOT DISRUPT EXISTING SERVICES, OPERATIONS, OR UTILITIES WITHOUT OBTAINING OWNERS PRIOR APPROVAL AND INSTRUCTIONS IN EACH CASE.
3. ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES.
4. THE CONTRACTOR SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR VERIFICATION OF ALL ELEVATION, CONDITIONS, AND DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
5. ANY CONFLICTS OR OMISSIONS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND GENERAL NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY AND BEFORE PROCEEDINGS WITH ANY WORK SO INVOLVED. DO NOT SCALE DRAWINGS.
6. THE GENERAL CONTRACTOR SHALL COORDINATE AND VERIFY WITH ALL SUBCONTRACTORS THE SIZE AND LOCATION OF ALL PIPING, DUCTWORK, TRRENCHES, SLEEVES, SPECIAL BOLTING FOR EQUIPMENT CONDUITS, ETC.
7. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING ALL FINISH SURFACES CLEAN AND PROTECTING ALL WORK AND SHALL REMOVE ALL EXCESS MATERIAL AND DEBRIS FROM THE JOB REGULARLY.
9. JOB SITE MEASUREMENTS ARE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND/OR SUBCONTRACTOR AND MUST BE TAKEN FOR ALL ITEMS BY ALL SUBCONTRACTORS PRIOR TO FABRICATION.
10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING SOLID P.T. BLOODING BEHIND ALL SHELVING, CABINETS, ETC. OR EQUIPMENT REQUIRING BACKING.
11. FINAL INSPECTIONS ARE REQUIRED FOR ALL PERMITS.

BLDG. DESIGN DATA

OCCUPANCY CLASSIFICATION: SINGLE FAMILY RESIDENTIAL
BLDG. CONSTRUCTION TYPE: TYPE V, PROTECTED
ZONING DISTRICT: R-1-AAA, SINGLE FAMILY RESIDENTIAL
DESIGN WIND LOAD: 110 MILES PER HOUR (3 SECOND GUST)
BUILDING HEIGHT LIMITATION: 35 FEET



A0.0	COVER SHEET
A1.0	ARCHITECTURAL SPECIFICATIONS
	SURVEY AS PROVIDED BY OWNER
	300' RADIUS VARIANCE MAP
A2.0	ARCHITECTURAL SITE PLAN
A2.1	CIVIL SITE PLAN DETAILS
A3.0	PROPOSED ARCHITECTURAL 1ST FLOOR PLAN
A4.0	PROPOSED ARCHITECTURAL 2ND FLOOR PLAN
A5.0	PROPOSED ARCHITECTURAL ELEVATIONS

PROJECT TEAM

DETAIL REFERENCE:  ← DETAIL NUMBER
← SHEET NUMBER

ELEVATION REFERENCE:  ← ELEVATION NUMBER
← SHEET NUMBER

SECTION REFERENCE:  ← SECTION NUMBER
← SHEET NUMBER

INTERIOR ELEVATION REFERENCE:  ← WALL NUMBER
← INTERIOR ELEV.
← SHEET NUMBER

ROOM REFERENCE:  ← ROOM NUMBER

DOOR REFERENCE:  ← DOOR NUMBER

WINDOW REFERENCE:  ← WINDOW NUMBER

NOTE REFERENCE:  ← REFERENCE NUMBER

REVISION REFERENCE:  ← REVISION NUMBER

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GENERAL NOTES

ARCHITECTURAL:

1. THESE DOCUMENTS INDICATE THE DESIGN INTENT OF THE CONSTRUCTION PROJECT IN ORDER TO ESTABLISH STANDARDS FOR QUALITY AND/OR PERFORMANCE.
2. THE CONTRACTOR SHALL INVESTIGATE THE JOBSITE & COMPARE THE CD'S WITH THE EXISTING CONDITIONS. THE CONTRACTOR SHALL INCLUDE IN THE COST WORK DESCRIBED IN THE CD'S & THAT IS REQUIRED OR REASONABLY IMPLIED TO ACHIEVE THE DESIGN INTENT OF THE CD'S. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS BETWEEN EXISTING CONDITIONS & ANY NEW WORK OR ANY CHANGES IN THE DRAWINGS & ANY RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK INCLUDING THE COORDINATION W/ STRUCTURAL AND MEP RELATED WORK.
3. THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE A COMPLETE JOB IN EVERY RESPECT THAT ALLOWS FOR THE FULL USE OF THE COMPLETED FACILITY. A CONSISTENT WITH THE DESIGN INTENT OF THE CD'S THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, COMPLETE UTILITY CONNECTIONS FOR H2O, SEWER, RAIN WATER LEADERS, DRAINS, POWER W/ TRANSPORTING TO ACHIEVE APPROPRIATE & NECESSARY VOLT'S & AMP'S (GASOLINE, NATURAL GAS, GAS VENTS, VENTILATION, SMOKE EVACUATION, & BLOCKING, BRIDGING, STRUCTURAL SUPPORTS, ETC.) TO ALLOW FOR THE COMPLETE WORKING OF NOTED OR REFERRED EQUIPMENT.
4. REASONABLY INFORMED CONDITIONS NOT OTHERWISE INDICATED IN THESE CD'S SHALL BE INTERPRETED AS HAVING THE SAME MEANING AS THOSE MOST SIMILARLY DETAILED & MORE FULLY DEFINED ELSEWHERE WITH THESE DOCUMENTS. CONTRACTOR IS TO NOTIFY THE ARCHITECT IF CLARIFICATIONS ARE REQUIRED. CONTRACTOR SHALL BE LIABLE FOR INAPPROPRIATE INTERPRETATIONS CONFLICT WITH OTHER ELEMENTS OF THE WORK.
5. THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS & DIMENSIONS INDICATED IN THE CD'S & SHALL NOTIFY THE ARCHITECT OF ANY VARIATION PRIOR TO THE PURCHASING OF MATERIALS, FABRICATION OR CONSTRUCTION. THE CONTRACTOR SHALL BE LIABLE FOR REWORKING CHARGES, REPLACEMENT COSTS & FOR DELAYS IF HE FAILS TO COMPLY W/ THIS PROVISION.
6. THE GENERAL CONTRACTOR UPON AWARDING CONTRACTS TO SUB-CONTRACTORS SHALL BE RESPONSIBLE TO THE ARCHITECT & THE OWNER A LIST OF ITEMS & THEIR DESIGNATIONS. THE CONTRACTOR PRIOR TO ORDERING ANY ITEM SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT & OWNER OF ANY ITEM WHICH MAY CAUSE THE PROJECT TO BE DELAYED DUE TO LONG LEAD TIME IN OBTAINING.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACHIEVING SUBSTANTIAL COMPLETION REGARDLESS OF DELIVERY DATES FOR MATERIALS & EQUIPMENT.
8. THE ARCHITECT HAS NOT CONDUCTED NOR INTENDS TO CONDUCT ANY INVESTIGATION AS TO THE PRESENCE OF HAZARDOUS MATERIALS INCLUDING ASBESTOS WITHIN THE CONFINES OF THIS PROJECT. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR THE IDENTIFICATION, THE REMOVAL OR ANY EFFECTS FROM THE PRESENCE OF THESE MATERIALS.
9. THE CONTRACTOR SHALL ISSUE COMPLETE SETS OF CD'S TO EACH OF THE SUB-CONTRACTORS FOR COORDINATION OF THEIR WORK AND DESCRIPTION OF SCOPE.
10. THE CONTRACTOR SHALL APPLY FOR OBTAIN A PAY FOR PERMITS, FEES, INSPECTIONS & APPROVALS BY LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. CONTRACTOR IS TO PROVIDE COPIES OF SUCH APPLICATIONS TO OWNER. NOTIFY ARCHITECT OF ANY VARIATION OR CHANGES. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REGULATIONS OF ANY & ALL PUBLIC AUTHORITIES (FEDERAL, STATE & LOCAL) HAVING JURISDICTION OVER THE PROJECT.
11. PROVIDE A PAY FOR ANY AND ALL MATERIALS, LABOR, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, UNLOADING, TRANSPORTATION & DELIVERY COSTS, HOISTING, REMOVAL OF TRASH & DEBRIS, & OTHER FACILITIES & SERVICES NECESSARY FOR THE EXECUTION & COMPLETION OF THE WORK.
12. WORK SHALL BE PERFORMED BY THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED. REFERENCES TO THE CONTRACTOR SHALL INCLUDE THE GENERAL CONTRACTOR AND SUB-CONTRACTORS.
13. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR: A) HAVING CONTROL OVER CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES & PROCEDURES & FOR COORDINATING PORTIONS OF THE WORK REQUIRED BY THE CD'S.
14. THE ARCHITECT & OWNER SHALL NOT BE RESPONSIBLE FOR THE ERRORS, OMISSIONS OR DELAYS RESULTING FROM THE CONTRACTOR'S PERFORMANCE.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACTS & OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUB-CONTRACTORS & THEIR AGENTS & EMPLOYEES & ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
16. OTHER CONTRACTORS & THEIR SUB-CONTRACTORS MAY BE WORKING ON THE PREMISES SIMULTANEOUS WITH THE DURATION OF THIS CONTRACT. NO ACTION SHALL BE TAKEN ON THE PART OF THIS CONTRACTOR OR ANY SUB-CONTRACTOR TO PREVENT THE ACCESS OR OPERATION OF ANY OTHER CONTRACTOR ON THE PREMISES EITHER UNDER A CONTRACT OR NON-UNDER A CONTRACT WITH THE CONTRACTOR.
17. WORK SHALL BE DONE DURING NORMAL WORKING HOURS. CONTRACTOR SHALL SCHEDULE A PERFORMANCE SO AS NOT TO UNREASONABLY DISTURB ANY NEIGHBORS & SHALL BE RESPONSIBLE FOR ANY OVERHEAD COSTS INCURRED THEREBY.
18. THE CONTRACTOR SHALL COORDINATE A WORK W/ BUILDING OWNER REGARDING HEAT, WATER, ELECTRICITY, DELIVERIES, ACCESS, ELEVATOR AVAILABILITY, STAGING, NOISE CONTROL, TRASH & DEBRIS REMOVAL, SETTING, & ANY OTHER UTILITIES OR OWNER'S RULES & REGULATIONS CONCERNING THE PROJECT SITE. CONTRACTOR SHALL COORDINATE USE OF RESTROOM FACILITIES FOR HIS EMPLOYEES WITH THE OWNER.
19. THE CONTRACTOR SHALL PROVIDE MATERIALS & SO AS NOT TO DELAY SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL NOTIFY ARCHITECT WITHIN FIVE (5) DAYS OF EXECUTION OF CONTRACT OF ANY MATERIAL DELIVERY WHICH COULD DELAY COMPLETION OF THE CONTRACT.
20. COORDINATE SCHEDULE, NO PROVISIONS FOR INSTALLATION, LOCATIONS, & INSTALLATION OF ITEMS FURNISHED BY THE OWNER & BY OTHERS FOR THE PURPOSES OF THIS CONTRACT. THE FOLLOWING ABBREVIATIONS APPLY: OF-C = OWNER FURNISHED; OF-CI = CONTRACTOR FURNISHED; OF-CI = CONTRACTOR INSTALLED; AND OF-CI = CONTRACTOR FURNISHED & OWNER INSTALLED.
21. THE CONTRACTOR SHALL COORDINATE A WORK W/ TRADES ON THE PROJECT NOT UNDER CONTRACT W/ THE CONTRACTOR (I.E. TELEPHONE, DATA, NEW FIRE ALARM, ETC.). ANY CHANGES OR DELAYS ARISING FROM CONFLICTS BETWEEN SUCH TRADES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.

22. UNLESS OTHERWISE NOTED, WHEN DRAWINGS ARE IN CONFLICT, ENLARGED PLANS & DETAILS SHALL GOVERN. HOWEVER, THE ARCHITECT SHALL MAKE THE FINAL DETERMINATION IN THESE MATTERS.
23. SUBMIT FOR ARCHITECT & REVIEW ABOVE BUILDING STANDARD SAMPLES & LITERATURE. SUBMIT FOR ARCHITECT'S CONSIDERATION SAMPLES & PRODUCT LITERATURE & OTHER PERTINENT DATA OF ANY PROPOSED SUBSTITUTIONS. ANY SUBSTITUTIONS PROPOSED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO IMPLEMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RESEARCH & QUALIFY THAT THE PERFORMANCE OF CONSTRUCTION SPECIFICATIONS MEET THOSE OF THE ORIGINALLY SPECIFIED ITEM PRIOR TO SUBMISSION FOR APPROVAL. CONTRACTOR SHALL BE LIABLE FOR MATERIALS THAT ARE NOT AVAILABLE DUE TO UNRELIABLE ORDERING & FOR THE COORDINATION OF SUBSTITUTIONS W/ OTHER TRADES & DISCIPLINES.
24. SHOP DRAWINGS (TWO (2) COPIES TO ARCHITECT & TWO (2) COPIES TO ENGINEER) AS REQUIRED, SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION OR CONSTRUCTION. **CUSTOM METALLURGY**
BUILDING STANDARDS ITEMS.
25. CHANGES IN THE WORK SHALL ONLY BE ALLOWED W/ ONE OF THE FOLLOWING WRITTEN DIRECTIVES: 1) ARCHITECT'S DIRECTIVE FOR PRIOR CHANGES IN WORK, 2) CONSTRUCTION CHANGE DIRECTIVE FROM THE ARCHITECT, OR 3) CHANGE ORDER ISSUED BY THE ARCHITECT. CHANGES MUST FOLLOW MODIFICATION PROCEDURES NOTED IN AIA A201-ARTICLE 1. CHANGES REQUIRING A CHANGE IN COST OR THE MUST BE EXPLICITLY NOTED AT TIME OF DISCUSSION IN FIELD. NOTIFICATION OR ARCHITECT OR AT JOBS PROGRESS MEETING & FOLLOWED UP WITHIN TWO (2) WORKING DAYS BY WRITTEN CONFIRMATION. IF CHANGE IS AGREED TO WITHOUT EXPLICIT REFERENCE TO CHANGE IN COST OR TIME, A SUBSEQUENT CHANGE ORDER MAY BE JUSTIFIABLY REJECTED.
26. PERFORM WORK & INSTALL MATERIALS IN STRICT ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS & INSTRUCTIONS & IN A MANNER CONSISTENT W/ INDUSTRY STANDARDS FOR WORKMANSHIP.
27. GYPSUM & METAL STUD CONSTRUCTION SHALL BE DONE IN ACCORDANCE W/ RECOMMENDATIONS & INSTRUCTIONS PUBLISHED BY US GYPSUM COMPANY. GYPSUM CONSTRUCTION HANDBOOK, LATEST EDITION. CONSTRUCTION JOINTS MUST OCCUR AT A MAXIMUM OF 20 FT. ON UNDECKED ROOF DECK.
28. FINISH CARPENTRY & MILLWORK SHALL BE DONE IN ACCORDANCE W/ THE ARCHITECTURAL WOODWORKING NOTATION (AW) STANDARDS FOR SELECTION OF MATERIALS, HARDWARE, FABRICATION, WORKMANSHIP & FINISHING.
29. EXAMINE SURFACES TO DETERMINE THAT THEY ARE SOUND, DRY, CLEAN & READY TO RECEIVE FINISHES OR MILLWORK PRIOR TO INSTALLATION. START OF INSTALLATION SHALL IMPLY ACCEPTANCE OF SUBSTRATE & SHALL NOT BE GROUNDS FOR CLAIMS AGAINST PROPER PERFORMANCE OF INSTALLED MATERIAL. ADVISE ARCHITECT OF ANY EXISTING CONSTRUCTION NOT LEVEL, SMOOTH & FLUSH WITH INDUSTRY STANDARDS PRIOR TO START OF CONSTRUCTION.
30. INSTALL & MAINTAIN NECESSARY COVERINGS, PROTECTIVE ENCLOSURES, TEMPORARY DOORS & PARTITIONS & DUST BARRIERS TO PROTECT OCCUPANTS & EXISTING WORK & FINISHES TO REMAIN. REPAIR & REPLACE ANY DAMAGES CAUSED BY IMPROPER PROTECTION AT NO ADDITIONAL CHARGE TO OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY & ALL DAMAGES WHICH MAY OCCUR DURING EITHER THE DEMOLITION OR CONSTRUCTION PHASES TO THE EXISTING BUILDING. CONTRACTOR SHALL REPAIR SAME IMMEDIATELY TO MATCH ADJACENT SURFACES IN GOOD CONDITION.
31. WORK DAMAGED DURING CONSTRUCTION OR NOT CONFORMING TO SPECIFIED STANDARDS TOLERANCES OR MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
32. MAINTAIN EXIT LIGHTING, FIRE PROTECTIVE DEVICES & LIFE SAFETY SYSTEMS IN WORKING ORDER.
33. EXIT DOORS, EGRESS DOORS & OTHER DOORS REQUIRED FOR MEANS OF EGRESS SHALL BE OPERABLE FROM INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
34. VERIFY KEYING REQUIREMENTS OF ALL NEW LOCKS WITH OWNER.
35. 24 HOURS NOTICE TO OCCUPANCY OF ANY PHASE, THOROUGHLY CLEAN W/ OF DUST, DEBRIS, LOOSE CONSTRUCTION MATERIAL, & EQUIPMENT, VACUUM OR MOP FLOORS & CLEAN WINDOWS. THE CONTRACTOR AT THE COMPLETION OF THE PROJECT SHALL CLEAN THE ENTIRE BUILDING AND LEAVE IT IN ACCEPTABLE CONDITION.
36. MAY BE NON-COMPLIANT ON WORK
37. WARRANT TO THE OWNER THAT ALL MATERIALS & EQUIPMENT FURNISHED & INSTALLED UNDER THIS CONTRACT SHALL BE NEW UNLESS OTHERWISE SPECIFIED, & WORK SHALL BE OF GOOD QUALITY, FREE FROM FAULTS & DEFECTS & CONFORMS WITH THE CONTRACT DOCUMENTS.
38. FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION, CONTRACTOR SHALL PROPERLY CORRECT WORK FOUND NOT TO BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BEAR ALL COSTS OF CORRECTIONS.
39. UNLESS OTHERWISE NOTED, FASTENERS & ATTACHMENTS SHALL BE FULLY CONCEALED FROM VIEW.
40. THE ARCHITECT'S SEAL AFFIXED TO THESE CONTRACT DOCUMENTS, SHALL CERTIFY TO THE BEST OF OUR KNOWLEDGE, THAT THESE DRAWINGS MEET THE APPLICABLE STATE & LOCAL CODES. IF ANY PORTION OF THESE DOCUMENTS IS FOUND TO BE IN CONFLICT W/ STATE OR LOCAL CODES, THE ARCHITECT SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR.
41. CONTRACTOR SHALL BE RESPONSIBLE IN PROVIDING THE OWNER A COMPLETE SET OF "AS-BUILT" OR "RECORD" DOCUMENTS.
42. PROVISIONS OF THE AIA A201 - GENERAL CONDITIONS APPLY TO THIS CONTRACT BUT REFERENCED UNLESS SPECIFICALLY MODIFIED IN WRITING BY THE OWNER OR ARCHITECT.

BUILDING CODE COMPLIANCE:

1. THE CONTRACTOR SHALL PERFORM WORK IN ACCORDANCE W/ APPLICABLE CODES, REGULATIONS, LOCAL AUTHORITY REGULATIONS & LOCAL CODES. OFFICIAL & RELEVANT.
2. THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION AS PER IRC 1806.11.
3. CLEAR DIMENSIONS MUST BE MEASURED. DIMENSIONS NOTED AS FINISHED FACE.
4. DRAWING DIMENSIONS ARE TO THE FACE OF STUD SURFACE UNLESS CLEAR OR CRITICAL SHALL BE MEASURED FROM FINISH FACE TO FINISH FACE.
5. MAKE NO MECHANICAL ATTACHMENTS TO EXTERIOR BUILDING SURFACES WITHOUT PRIOR NOTIFICATION AND APPROVAL FROM THE ARCHITECT.
6. CONSTRUCT CEILING & PARTITIONS PER MANUFACTURER'S RECOMMENDATIONS WITH DEFLECTIONS NOT TO EXCEED 1/400 OF THE SPAN. PROVIDE FIRE RATINGS AS REQUIRED BY CODE. SEE PERC AND LOCAL CODE ATTACHMENTS FOR ANY SPECIAL FIRE STOPPING REQUIREMENTS.
7. INSTALL WOOD BLOCKING AT ANY PARTITION SCHEDULED TO RECEIVE HANGING CABINETRY AND/OR SHELVING.
8. INSTALL MOISTURE RESISTANT SUBSTRATE (WATER RESISTANT TYPE GYPSUM BOARD OR GEMENTIOUS BOARD) WHERE CERAMIC TILE OR STONEWORK IS INDICATED.
9. INSTALL STEEL FRAMING FOR PARTITIONS TO COMPLY WITH ASTM C-134 & THE GYPSUM CONSTRUCTION HANDBOOK BY US GYPSUM, LATEST EDITION.
10. INSTALL A FINISH GYPSUM BOARD TO COMPLY W/ ASTM C-840, GA-76 BY GYPSUM ASSOCIATION. GYPSUM CONSTRUCTION HANDBOOK BY US GYPSUM, LATEST EDITION. PREPARE SURFACE AS REQUIRED FOR FINAL SURFACE FINISH AS RECOMMENDED BY GYPSUM CONSTRUCTION HANDBOOK.
11. PROVIDE FIRE RESISTANCE RATED PARTITION ASSEMBLIES IDENTICAL TO U.L. DESIGNATIONS (UNDERWRITERS LABORATORY) SHOWN IN THE FIRE RESISTANCE DIRECTORY OR LISTED BY OTHER TESTING AGENCIES ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.

MILLWORK NOTES:

1. MILLWORK & CASEWORK SHALL COMPLY W/ ARCHITECTURAL WOODWORKING QUALITY STANDARDS, GUIDE SPECIFICATIONS & QUALITY CERTIFICATION PROGRAM, LATEST EDITION, CUSTOM GRADE UNLESS OTHERWISE NOTED.
2. INSTALL FIRE RETARDANT TREATED WOOD PRODUCTS WHERE REQUIRED TO COMPLY WITH THE BUILDING CODE.
3. COORDINATE INSTALLATION OF ALL IN-WALL SILENT ANCHORAGE, GROUNDS, & MISCELLANEOUS BLOCKING W/ OTHER TRADES FOR PRECISE LOCATION.
4. THE MILLWORK CONTRACTOR SHALL OBTAIN A VERIFY FIELD MEASUREMENTS & CONDITIONS AFFECTING HIS WORK. HE SHALL BE RESPONSIBLE FOR DETAILS & DIMENSIONS ASSURING PRECISION & PROPER ASSEMBLY OF HIS PRODUCTS.
5. COORDINATE ITEMS TO INSURE DELIVERY TO THE PROPER LOCATION & VERIFY PHYSICAL ACCOMMODATION WITHIN THE CONFINES OF THE PROJECT AS REQUIRED.
6. SET WORK FLUSH, LEVEL & SQUARE, SQUARE, SQUARE, TIGHTLY & ACCURATELY TO ADJUST. SURFACES, SECURELY ANCHORED IN POSITION, INDICATED ON DRAWINGS TO HIGHEST QUALITY STANDARDS.
7. LAPNATE EDGES OF COUNTERTOPS & EDGES OF DOORS PRIOR TO FACING COUNTERTOPS OR DOORS.
8. COORDINATE EXACT PLACEMENT OF PLUMBING & ELECTRICAL FIXTURES, SWITCHES & OUTLETS TO BE INSTALLED WITHIN THE MILLWORK.
9. REPAIR, REPLACE OR OTHERWISE MAKE GOOD TO SATISFACTION OF ARCHITECT DAMAGE INCURRED TO MILLWORK DURING CONSTRUCTION.
10. ADJUST DOORS, DRAWERS & HARDWARE FOR PROPER OPERATION & CLEAN SURFACES, INSIDE & OUT.
11. COMPLY W/ MILLWORK MANUFACTURER'S & INSTALLER'S RECOMMENDED OPTIMUM TEMPERATURE & HUMIDITY CONDITIONS FOR STORAGE & INSTALLATION OF WORK.
12. COMPLY W/ ARCHITECTURAL WOODWORKING QUALITY STANDARDS, GUIDE SPECIFICATIONS & QUALITY CERTIFICATION PROGRAM, SECTION 300 FACTOR FINISHING SYSTEMS FOR FINISHES NOTED.

FINISH NOTES:

1. INSPECT MATERIALS FOR DEFECTS, FLAWS, SHIPPING DAMAGE, CORRECT COLOR & PATTERN. NOTIFY ARCHITECT OF ANY DEFECTIVE MATERIALS & COORDINATE W/ THE MANUFACTURER FOR ACCURATE SHIPPING DATES FOR THE RE-ACCOMMODATION.
2. FLOOR COVERINGS SHALL BE REPAIRED IN RENOVATION WORK TO MATCH ADJACENT SURFACES. FLOOR COVERINGS IN CLOSETS SHALL MATCH ADJACENT SURFACES. FLOOR COVERINGS IN CLOSETS SHALL MATCH ADJACENT ROOM UNLESS NOTED OTHERWISE.
3. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AN APPROPRIATELY LEVEL & SMOOTH CONCRETE OR OTHER SUBSTRATE TO MEET THE CARPET (IF CARPET IS USED) MEETING INDUSTRY STANDARDS PRIOR TO INSTALLATION.
4. CARPET IF USED SHALL BE INSTALLED IN THE SAME DIRECTION. BEAM CARPET AT DOORS AND ON CENTERLINE OF DOORS, TYPICAL.

PAINTED SURFACES:

1. PAINTED FINISH METAL, A WOOD TRIM SHALL BE SEMI-GLOSS ALKYLID ENAMEL. COLOR TO MATCH ADJACENT WALL UNLESS NOTED OTHERWISE. OTHER SURFACES SHALL BE LATEX FLAT FINISH. PAINTED FINISHES WITHIN BATHROOMS & KITCHENS/GALLERIES/PANTRY SHALL BE SEMI-GLOSS ALKYLID ENAMEL.
2. PREPARE FOR A APPLY PAINT IN ACCORDANCE WITH THE MANUFACTURER'S SPEC'S. FOR THE PARTICULAR SURFACE. ONE (1) COAT PRIME & TWO (2) FINISH COATS MINIMUM APPLICATION. FOLLOW INDUSTRY STANDARDS FOR SURFACE PREPARATION & APPLICATION ENVIRONMENT (TEMPERATURE & HUMIDITY).

WALL COVERING:

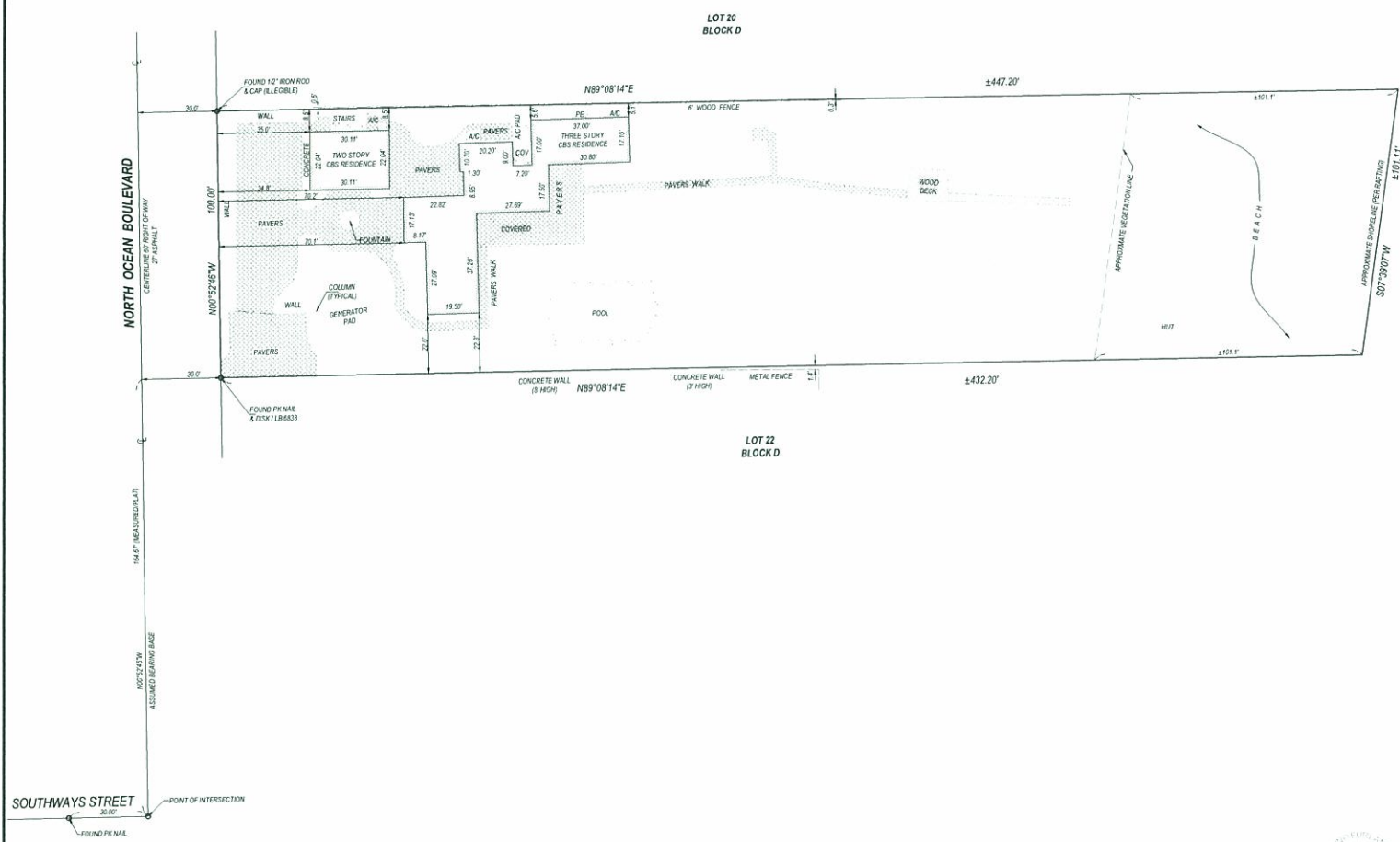
1. INTERIOR FINISH MATERIALS SHALL COMPLY WITH LOCAL CODES, WHEN REQUIRED BY BUILDING OFFICIALS, APPLY FLAME PROOFING TO FABRIC WALL COVERINGS.
2. WALL COVERINGS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS FOR THE PARTICULAR SURFACE APPLICATION, INCLUDING TEMPERATURE AND DUST CONTROL. WALL COVERING REQUIRING BACKING SHALL BE SO APPROVED BY APPLICABLE WALL, PRIOR TO APPLYING ADHESIVE FOLLOWING MANUFACTURER'S INSTRUCTION.
3. INSTALL SEAMS FLUSH & NOT LESS THAN 6" (6) INCHES FROM CORNERS. HORIZONTAL SEAMS SHALL NOT BE PERMITTED UNDER ANY CIRCUMSTANCES.
4. REMOVE EXCESS ADHESIVE PROMPTLY, REPLACE PANELS WHICH CANNOT BE COMPLETELY CLEANED.
5. INSTALLATION OF PATTERNED FABRIC WALL COVERINGS SHALL BE MATCH AT EDGE TO ADJACENT FABRIC PANEL.
6. REMOVE SWITCH PLATES & SURFACE MOUNTED FIXTURES TO PERMIT WALL COVERING INSTALLATION & RE-INSTALL UPON COMPLETION.
7. WALL COVERINGS SHALL BE FROM CONSISTENT DYE LOTS.
8. NO SUBSTITUTION OF ANY SPECIFIED WALL COVERINGS OR FINISH MAY BE MADE WITHOUT PRIOR APPROVAL OF ARCHITECT.

TILE:

1. INSTALL TILE IN ACCORDANCE W/ TILE COUNCIL OF AMERICA HANDBOOK FOR CERAMIC TILE INSTALLATION METHODS.
2. CONTRACTOR IS RESPONSIBLE FOR PROVIDING APPROPRIATE SUBSTRATE (I.E. MOISTURE RESISTANT GYPSUM BOARD, LONDBOARD, ETC.).

TELEPHONE/DATA/ELECTRICAL NOTES:

1. WORK SHALL BE IN ACCORDANCE W/ APPLICABLE NATIONAL, STATE AND LOCAL ELECTRICAL CODES.
2. IN NEW DESIGN-BUILD PROJECTS, MECHANICAL & ELECTRICAL ENGINEERING DRAWINGS SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW & APPROVAL PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR COORDINATING VARIOUS TRADES. CONTRACTOR SHALL CONTROL, INSTALLATION SEQUENCE OF VARIOUS ITEMS TO ACCOMMODATE DIMENSIONAL REQUIREMENTS OF TOTAL ASSEMBLY INCLUDING MECHANICAL, ELECTRICAL, PLUMBING, FIRE ALARM, DATA, TELEPHONE, SPRINKLER PIPING AND ANY & ALL ELECTRICAL.
3. ANY DISCREPANCY BETWEEN THE ARCHITECTURAL, MECHANICAL, ELECTRICAL & PLUMBING ENGINEERS OR ANY OTHER CONSULTANT'S DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. WORK INSTALLED IN CONFLICT WITH THE ARCHITECT'S DRAWINGS OR CREATING CONFLICTS DUE TO INSUFFICIENT COORDINATION OF WORK SHALL BE CORRECTED BY THE CONTRACTOR & THE CONTRACTOR'S EXPENSE & SHALL NOT IMPACT THE SCHEDULE.
4. REFER TO ENGINEERING DRAWINGS FOR CIRCUITING & SPECIFICATIONS. MECHANICAL & ELECTRICAL ENGINEERS DRAWINGS DO NOT SPECIFY LOCATIONS OF FIXTURES, OUTLETS OR EQUIPMENT - REFER TO ARCHITECT'S DRAWINGS.
5. SEPARATE JUNCTION BOXES BY AT LEAST ONE (1) STUD WHERE TELEPHONE & ELECTRICAL OUTLETS APPEAR BACK-TO-BACK OR SIDE-BY-SIDE.
6. OUTLETS, SWITCHES & JUNCTION BOXES LOCATED IN ACQUISITIONAL PARTITIONS SHALL RECEIVE EQUIVALENT INSULATION BEHIND BOXES.
7. WHERE WALL MOUNTED OUTLETS ARE INDICATED SIDE-BY-SIDE, THE MAXIMUM SEPARATION SHALL BE SIX (6) INCHES, CENTERLINE TO CENTERLINE, UNLESS NOTED OTHERWISE.
8. GANG ELECTRICAL OUTLETS & SWITCHES WHERE POSSIBLE.
9. WALL MOUNTED ELECTRICAL, TELEPHONE & DATA OUTLETS SHALL BE INSTALLED AT EIGHTEEN (18) INCHES ABOVE FINISHED FLOORS, UNLESS NOTED OTHERWISE.
10. INSTALL LIGHT SWITCHES AT FOURTY-EIGHT (48) INCHES AFF. & WITHIN EIGHT (8) INCHES OF DOOR FRAME, UNLESS FOLLOW A REGULATIONS IN PUBLIC CIRCUMSTANCES.
11. THERMOSTATS SHALL BE INSTALLED AT SIXTY (60) INCHES AFF. ADJACENT TO LIGHT SWITCHES, UNLESS NOTED OTHERWISE.
12. INCANDESCENT LIGHT FIXTURES ARE TO BE ON DIMMERS, UNLESS NOTED OTHERWISE.
13. WHERE LIGHTS & SWITCHES ARE NOT NOTED W/ A LOWER CASE LETTER DESIGNATION, THE SWITCHES ARE TO BE CONNECTED ONLY TO THE LIGHT FIXTURES WITHIN THAT SPECIFIC ROOM.
14. FLOOR MOUNTED OUTLETS ARE DIMENSIONED FROM THE CENTERLINE OF THE OUTLET TO THE FINISHED FACE OF THE PARTITION AND/OR COLUMN, UNLESS NOTED OTHERWISE.
15. ELECTRICAL TIES INDICATED IN OR ON CABINETRY SHALL BE SUPPLIED, INSTALLED & COORDINATED BY THE CONTRACTOR.
16. ELECTRICAL SUB-CONTRACTOR SHALL MAKE FINAL CONNECTIONS FOR ALL FLOOR OR WALL OUTLETS TO PUNCTURE SYSTEM POWER POLES (WHEN APPLICABLE) FOLLOWING MANUFACTURER'S STANDARDS FOR INSTALLATION AND APPLICABLE CODES.
17. PHONE & DATA OUTLETS SHALL BE SINGLE OUTLET BOX W/ FULL STRING & RING FOR WIRING. WIRING OR CABLING SHALL BE BY OTHERS UNLESS NOTED OTHERWISE.
18. THE SIZE OF NEW TELEPHONE & DATA LINE CONDUITS SHALL BE AS PER SUPPLIER'S SPECIFICATIONS. VERIFY REQUIREMENTS W/ OWNER.
19. INSTALL BUILDING STANDARD COVER PLATES FOR OUTLETS & SWITCHES.
20. EXHAUST FANS SHALL BE SILENT RUNNING & SHALL HAVE A MINIMUM EIGHT (8) FOOT LONG DUCT FROM THE RETURN AIR GRILLE & FAN MOTOR. DUCT SHALL BE LINED W/ ONE (1) INCH MIN. THICK FIBERGLASS LINER. DO NOT LOCATE FAN MOTOR ABOVE CEILING OR OVERHEAD. FAN & LOCATE MOTOR ABOVE CORRIDOR OR OPEN AREA CEILING. PROVIDE SPARK PROOF MOTORS OR EXPLOSION PROOF MOTORS FOR LOCATIONS INVOLVING FLAMMABLE MATERIALS (ONLY IF APPLICABLE).
21. ACCESS PANELS AS REQUIRED SHALL BE INSTALLED FLUSH W/ CEILING & FINISHED TO MATCH THE ADJACENT CEILING FINISH. LOCATIONS OF ACCESS PANELS ARE TO BE REVIEWED WITH THE ARCHITECT PRIOR TO INSTALLATION.



PROPERTY ADDRESS:

777 NO OCEAN BOULEVARD
DELRAY BEACH, FL 33483

FLOOD ZONE: "VE"

PANEL NO: 12099C 081F
DATE: OCTOBER 5, 2017

CERTIFIED TO:

1. STEPHANIE MCCAULEY AND WILLIAM MCCAULEY

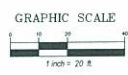
LEGAL DESCRIPTION:

LOT 21, BLOCK D, REVISED PLAT OF BLOCK D AND BLOCK 3 PALM BEACH SHORES ACRES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, PAGE 38, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SURVEYOR'S NOTES:

1. I HEREBY CERTIFY THIS SURVEY MEETS STANDARDS OF PRACTICE PURSUANT TO FLORIDA STATUTES.
2. THE SURVEY MAP AND REPORT AND THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
3. UNDERGROUND OR OBSCURED IMPROVEMENTS WERE NOT LOCATED.
4. DIMENSIONS ARE RECORD AND FIELD UNLESS OTHERWISE NOTED.
5. STATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
6. THIS FIRM'S CERTIFICATE OF AUTHORIZATION NUMBER IS LD 6788.
7. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
8. SURVEY SUBJECT TO RESERVATIONS, RESTRICTIONS, EASEMENTS AND RIGHTS-OF-WAY OF RECORD, (UNLESS A TITLE REVIEW, COMMITMENT REVIEW, OR OWNERSHIP AND ENCUMBRANCE REVIEW IS PRESENT ON THE FACE OF THIS DOCUMENT, THIS SURVEY HAS BEEN COMPLETED IN THE ABSENCE OF A TITLE INSURANCE POLICY).
9. LOCATION MAP IS GLEANED FROM ONLINE MAPPING SITES AND IS ONLY APPROXIMATE.

ABBREVIATIONS
E CENTERLINE
CON COVERED
CBS CONCRETE BLOCK STRUCTURE
PE POOL EQUIPMENT



SIGNED:
GINO FURELINO
PROFESSIONAL LAND SURVEYOR AND MAPPER
FLORIDA CERTIFICATE No. 5044

5/16/2019	BOUNDARY SURVEY	DL	CD	03-22-18
10/30	PURPOSE	FIELD	DRAFT	DATE
BOUNDARY SURVEY				
PM SURVEYING				
LICENSED BUSINESS No. 6788				
4546 CAMBRIDGE STREET				
WEST PALM BEACH, FL 33415				
OFFICE 561-478-7764				
FAX 561-478-1094				

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(AS PROVIDED BY THE OWNER)

SITE DATA: (APPROX. 43,970.00 SQ. FT. OR +/- 1.01 ACRES)

ZONED: R-1-AAA (SINGLE FAMILY RESIDENTIAL DISTRICT)
PROPOSED USE: PRIVATE SINGLE FAMILY RESIDENCE

- 1) UNDER NO CIRCUMSTANCES SHALL THIS PROPERTY BE GRADED SO THAT STORM WATER RUNS OFF INTO ANY ADJACENT PROPERTIES.
- 2) SEE SUFFICIENT PROPOSED FINAL GRADES AND ASSOCIATED DETAIL INSURING STORM WATER DOES NOT FLOW INTO ADJACENT PROPERTIES.
- 3) PLEASE SEE SURVEY FOR EXISTING GRADES @ ALL PROPERTY LINES & ON ALL ADJACENT PROPERTIES. MINIMUM TWO (2) GRADES PER PROPERTY LINE.
- 4) PLEASE SEE FLOOR PLANS FOR FINISH FLOOR ELEVATIONS OF ALL STRUCTURES WHICH ARE AT MINIMUM 18" ABOVE THE CROWN OF THE ADJACENT STREETS OR ROADWAYS.
- 5) PLEASE SEE SITE PLAN AND DETAILS FOR MINIMUM 3" DEEP SODDED SHALE BETWEEN SITE'S PROPERTY LINE AND ALL ADJACENT STREETS OR ROADWAYS.

R-1-AAA - SINGLE FAMILY RESIDENTIAL	TWO (2) PER HOUSEHOLD	FOUR (4)
TOTAL:	TWO (2)	FOUR (4)



B-1-AAA	MIN. LOT SIZE (sq. ft.)	MIN. LOT WIDTH (FEET)	MIN. LOT DEPTH (FEET)	MIN. FLOOR AREA (sq. ft.)	MIN. OPEN AREA (sq. ft.)	MAX. LOT COVERAGE (%)	MIN. FRONT SETBACK (ft.)	MIN. SIDE SETBACK (ft.)	MIN. REAR SETBACK (ft.)	MAX. BUILDING FOOTPRINT (sq. ft.)	DISTANCE FROM BUILDING SIDE LINE (ft.)	DISTANCE FROM BUILDING SIDE LINE (ft.)
REQUIRED	12,500	100	110	2,000	25/45	NA	35	12/17	17	12	35	NA
PROVIDED	43,970	100	432.20	3,228	48.2	6.9	6.8	5.1	NA	287.75	27.0	58.33
EXISTING	43,970	100	432.20	3,012	48.2	6.9	34.8	5.1	NA	287.75	29.5	57.33

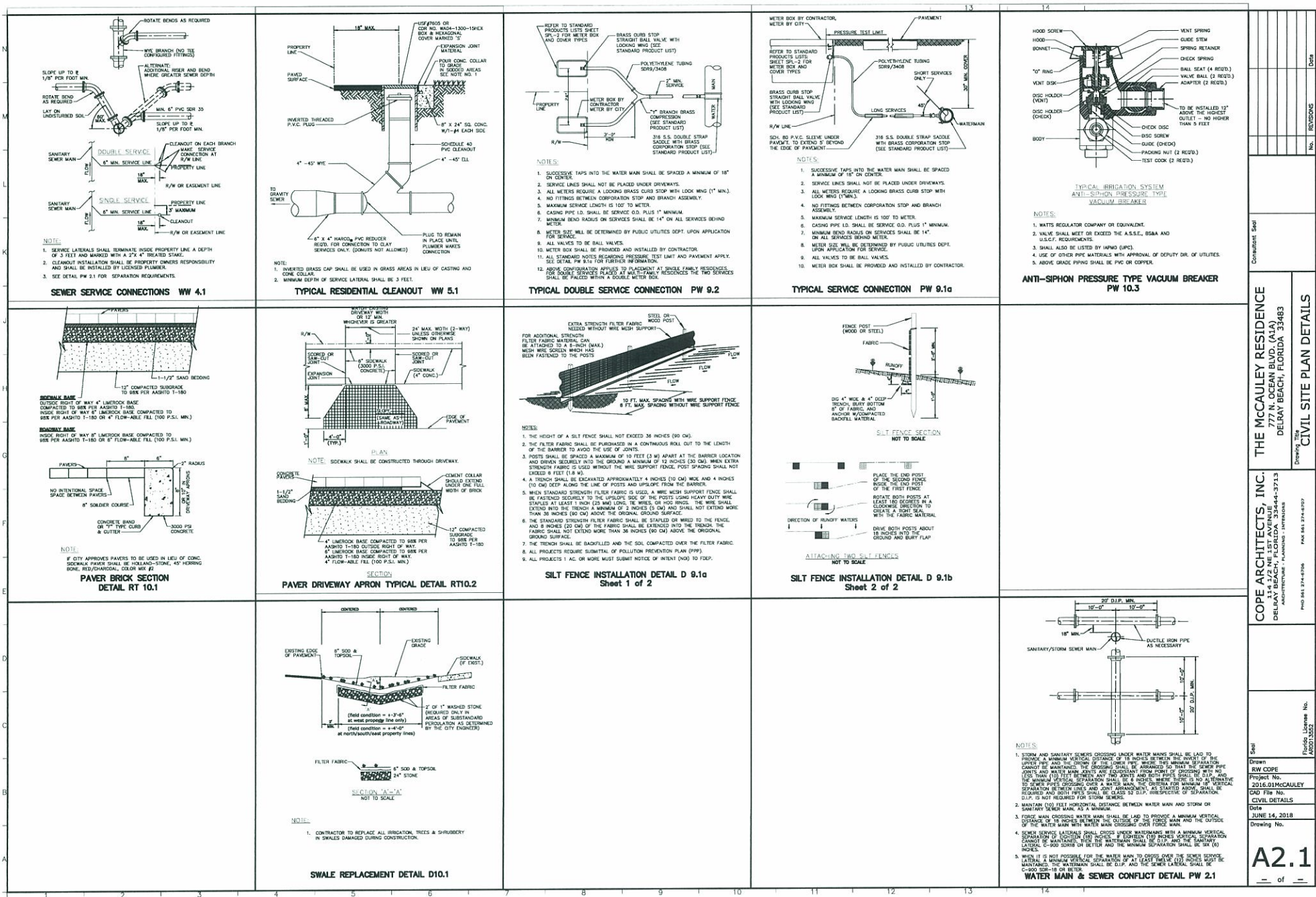
VARIANCE ROUNTRIP

SCOPE ARCHITECTS, INC.
701 SE 1ST STREET
DELRAY BEACH, FLORIDA 33483-5305
ARCHITECTURE • PLANNING • INTERIORS

Seal	Florida License No. AR0013552
Drawn RW COPE	
Project No. 2016.01McCAULEY	
CAD File No. SITEPLAN	
Date JUNE 04, 2019	
Drawing No.	

A2.0

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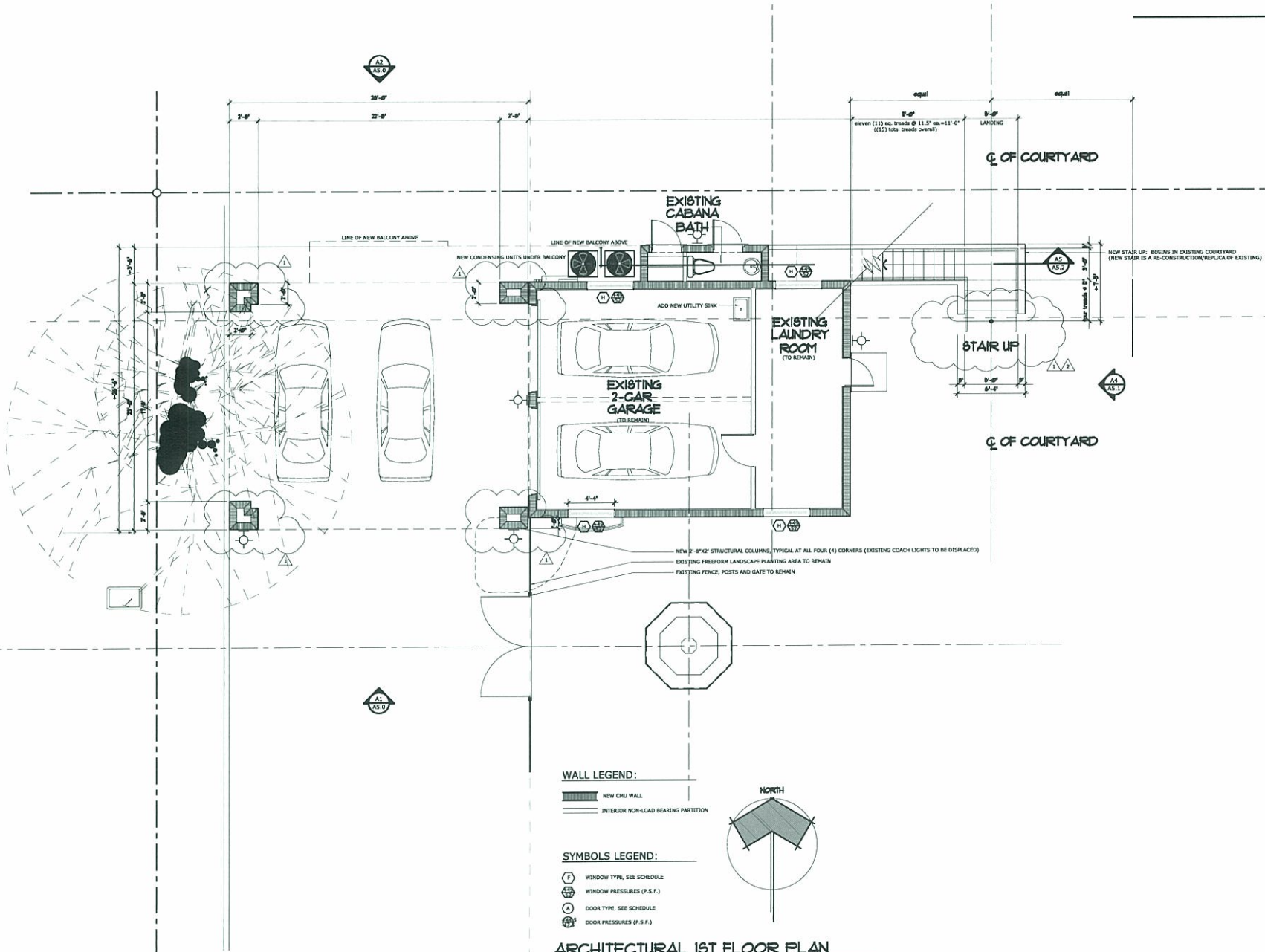
THE MCCAULEY RESIDENCE
777 N. OCEAN BLVD. (A1A)
DELRAY BEACH, FLORIDA 33483

COPE ARCHITECTS, INC.
114 1/2 NE 1ST AVENUE
DELRAY BEACH, FLORIDA 33484-3713
ARCHITECTURE, PLANNING, INTERIORS

PEO 561 374-6706
FAX 561 374-6707

Project No.
2016.01MCCAULEY
Date
June 14, 2018
Drawing No.

A2.1
of



- WALL LEGEND:**
- NEW CMU WALL
 - INTERIOR NON-LOAD BEARING PARTITION
- SYMBOLS LEGEND:**
- WINDOW TYPE, SEE SCHEDULE
 - WINDOW PRESSURES (P.S.F.)
 - DOOR TYPE, SEE SCHEDULE
 - DOOR PRESSURES (P.S.F.)

ARCHITECTURAL 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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No.	REVISIONS	Date
1	BACKGROUND CHANGES	MAY 15, 2019
2	COLORS & FINE CHANGES	FEB. 21, 2019

Contractor Seal

THE MCCAULEY RESIDENCE
777 N. OCEAN BLVD.
DELRAY BEACH, FLORIDA 33483

Drawing Title: **1ST FLOOR PLAN**

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777 N. OCEAN BLVD.
DELRAY BEACH, FLORIDA 33483-5305
ARCHITECTURE - PLANNING - INTERIORS

PHD 041 788-3741 FAX 041 774-4077

Florida License No. A00013552

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Project No. 2016.01MCCAULEY
CAD File No. NEW 1ST FLOOR PLAN
Date: JULY 11, 2018
Drawing No.

A3.0
— of —

- NEW DEDICATED DUPLEX RECEPTACLE
15A, 125 VAC
- NEW DUPLEX RECEPTACLE
15A, 125 VAC
- NEW DUPLEX RECEPTACLE
15A, 125 VAC
WEATHERPROOF

- DECORATIVE CHANDELER AS SELECTED & APPROVED BY DANER

#1 - 7'-10.5"	EXISTING 2X2 SUSPENDED ACOUSTIC TILE CEILING TO REMAIN
#2 - 8'-0"	EXISTING PAINTED DRYWALL SOFFIT TO REMAIN, REPAINT AS NECESSARY
#3 - remain	EXISTING CEILING TO REMAIN
#4 - +10'-1.5"	UNDERSIDE OF EXISTING WOOD ROOF STRUCTURE TO RECEIVE 5/8" DRYWALL (PAINTED W/ LEVEL 5 FINISH) ON 7/8" METAL HAT CHANNELS
#5 - 9'-0"	NEW PAINTED DRYWALL CEILING, LEVEL FIVE (5) FINISH
#6 - existing 1X6, V-JOINT, T&G TO REMAIN AS IS (EXISTING FINISH TO REMAIN)	
#7 - 1'-0"	EXISTING BEADBOARD TO REMAIN AS IS (PAINT COLOR AS SELECTED BY OWNER)

CEILING MATERIAL: SEE ABOVE
CEILING HEIGHT ABOVE FINISH FLOOR

1. GENERAL CONTRACTOR SHALL FOLLOW MECHANICAL & ELECTRICAL DOCUMENTS FOR CONCEPTUAL PLACEMENT OF CEILING DEVICES. HOWEVER, GC SHALL FOLLOW ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT PLACEMENT WITHIN EACH SPACE.
2. GENERAL CONTRACTOR TO INCLUDE BLOKIN IN TRADITIONAL BATT INSULATION IN ALL NEW AND EXISTING FLAT CEILING CAVITIES (I.E. BETWEEN RAFTERS, ABOVE ATTIC SPACES, ETC.) TO ACHIEVE MAXIMUM INSULATION VALUES.
3. ALL SWITCHES ARE TO INCORPORATE DIMMERS, UNLESS NOTED OTHERWISE.



ARCHITECTURAL 1ST FLOOR RC PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL SYMBOLS LEGEND:

- NEW DEDICATED DUPLEX RECEPTACLE
15A, 125 VAC
- NEW DUPLEX RECEPTACLE
15A, 125 VAC
- NEW DUPLEX RECEPTACLE
15A, 125 VAC
WEATHERPROOF
- NEW DUPLEX RECEPTACLE
15A, 125 VAC
GROUND FAULT INTERRUPTER
- NEW QUADRUPLER RECEPTACLE
15A, 125 VAC
- JUNCTION BOX
(FUTURE FIXTURE)
- SMOKE DETECTOR
- SURFACE FLUORESCENT FIXTURE
- EXHAUST FAN WITH NIGHTLITE,
ARCHITECT TO SPECIFY
- WALL SCONCE - SURFACE MOUNT
- RECESSED "HALO" 4" SQUARE APP. MODEL H990CT
HIGH HAT, WHITE, T8M, WHITE BATTLE, ETC.
(OR EQUAL) FIXTURE @ DRYWALL CEILINGS - 1PK
- FOOTNOTE: EYE BALL FIXTURE (WHERE SHOWN) TO MATCH ABOVE
- VAPOR PROOF RECESSED HIGH HAT
- PENDANT LIGHT
AS SELECTED BY ARCHITECT
- SPECIAL 220V RECEPTACLE
- VOICE/DATA JACK
- CABLE JACK
- SINGLE POLE LIGHTING SWITCH
- THREE WAY LIGHTING SWITCH
- FLOOD LIGHT (on photocell)
- CEILING FAN
- DECORATIVE CHANDELIER AS SELECTED & APPROVED BY OWNER

CEILING SYMBOLS LEGEND:

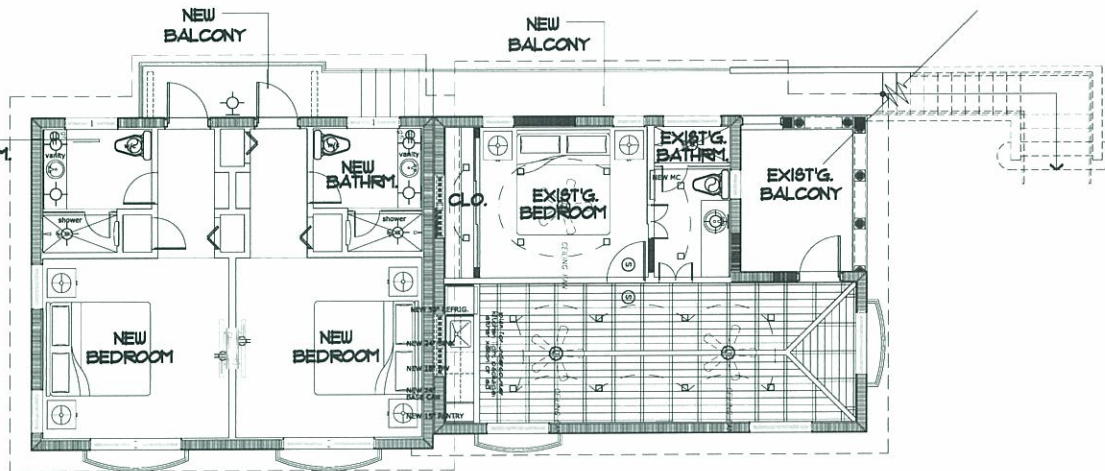
- (E1) 7'-10" EXISTING 2X2 SUSPENDED ACOUSTIC TILE CEILING TO REMAIN
- (E2) 8'-0" EXISTING PAINTED DRYWALL SOFFIT TO REMAIN, REPAINT AS NECESSARY
- (E3) REMAIN EXISTING CEILING TO REMAIN
- (E4) 10'-1" UNDERSIDE OF EXISTING WOOD ROOF STRUCTURE TO RECEIVE 5/8" DRYWALL (PAINTED W/ LEVEL 5 FINISH) OR 7/8" METAL HAT CHANNELS
- (E5) 8'-0" NEW PAINTED DRYWALL CEILING, LEVEL FIVE (5) FINISH
- (E6) 9'-0" EXISTING 1X6, V-JOINT, TAG TO REMAIN AS IS (EXISTING FINISH TO REMAIN)
- (E7) 8'-0" EXISTING BEADBOARD TO REMAIN AS IS (PAINT COLOR AS SELECTED BY OWNER)

TAG LEGEND:

- CEILING MATERIAL - SEE ABOVE
- CEILING HEIGHT ABOVE FINISH FLOOR

GENERAL NOTES:

- GENERAL CONTRACTOR SHALL FOLLOW MECHANICAL & ELECTRICAL DOCUMENTS FOR CONCEPTUAL PLACEMENT OF CEILING DEVICES. HOWEVER, GC SHALL FOLLOW ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT PLACEMENT WITHIN EACH SPACE.
- GENERAL CONTRACTOR TO INCLUDE BLOWN IN TRADITIONAL BATT INSULATION IN ALL NEW AND EXISTING FLAT CEILING CAVITIES (I.E. BETWEEN RAFTERS, ABOVE ATTIC SPACES, ETC.) TO ACHIEVE MAXIMUM INSULATION VALUES
- ALL SWITCHES ARE TO INCORPORATE DIMMERS, UNLESS NOTED OTHERWISE



ARCHITECTURAL 2ND FLOOR RC PLAN

SCALE: 1/4" = 1'-0"

No.	REVISIONS	Date
1	ISSUE NEW SHEET	MAY 21, 2019
2	REVISED	

Consultant Seal

THE McCAULEY RESIDENCE
777 N. OCEAN BLVD.
DELRAY BEACH, FLORIDA 33483

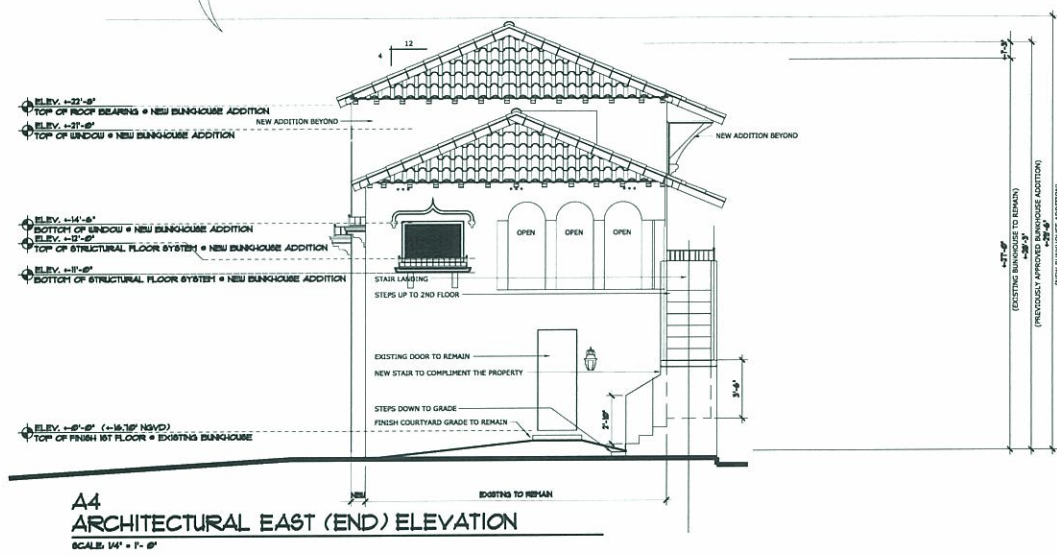
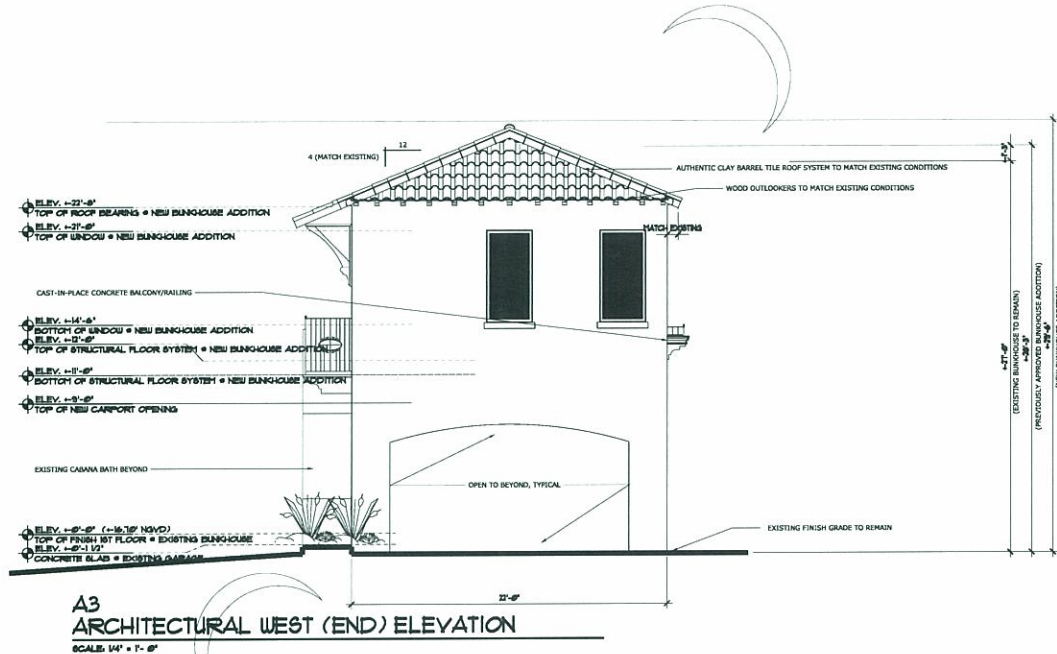
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ARCHITECTURE - PLANNING - INTERIORS

PROJ. NO. 190-0371
REV. NO. 190-0371

Drawn: RW COPE
Project No. 2016.01McCAULEY
CAD File No. 2ND FLR RC PLAN
Date: MAY 21, 2019
Drawing No.

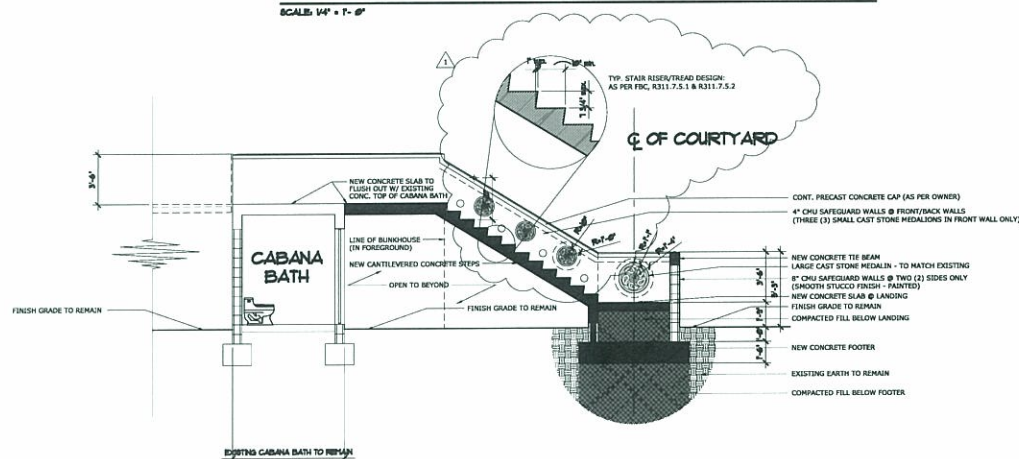
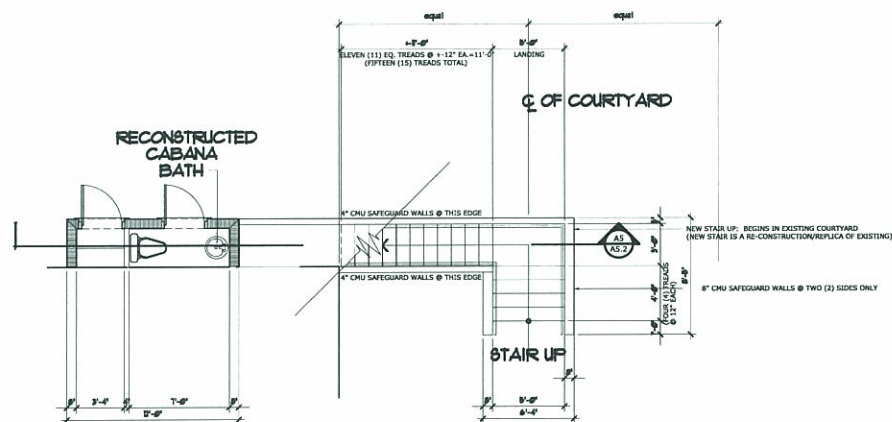
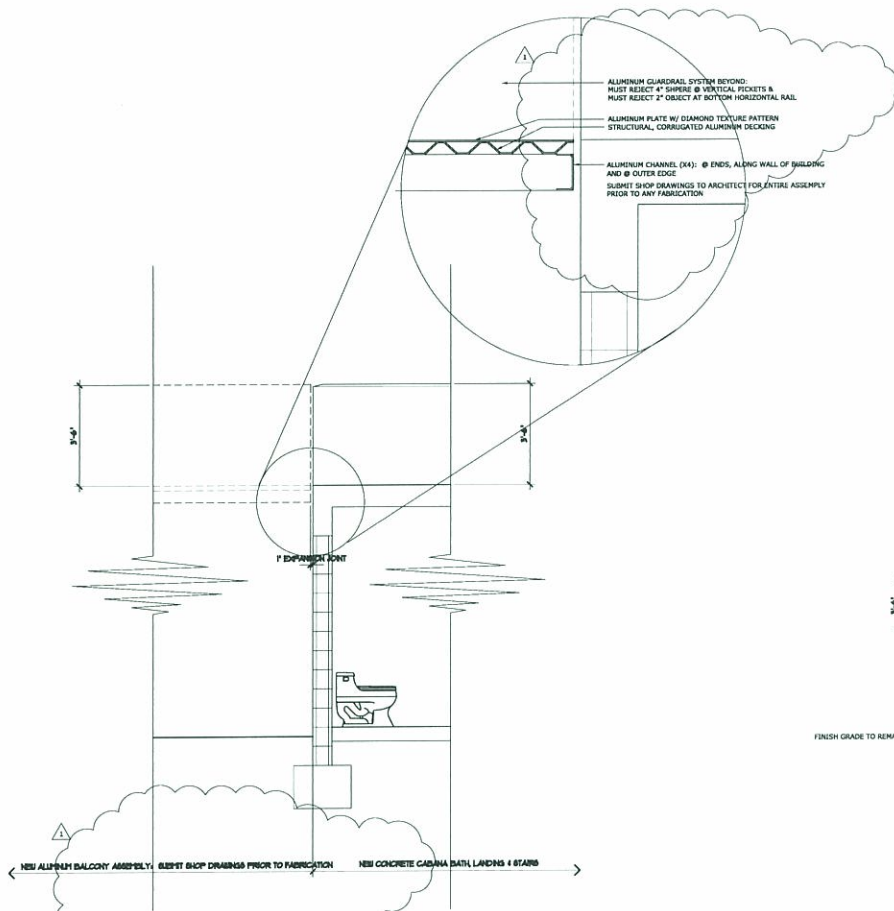
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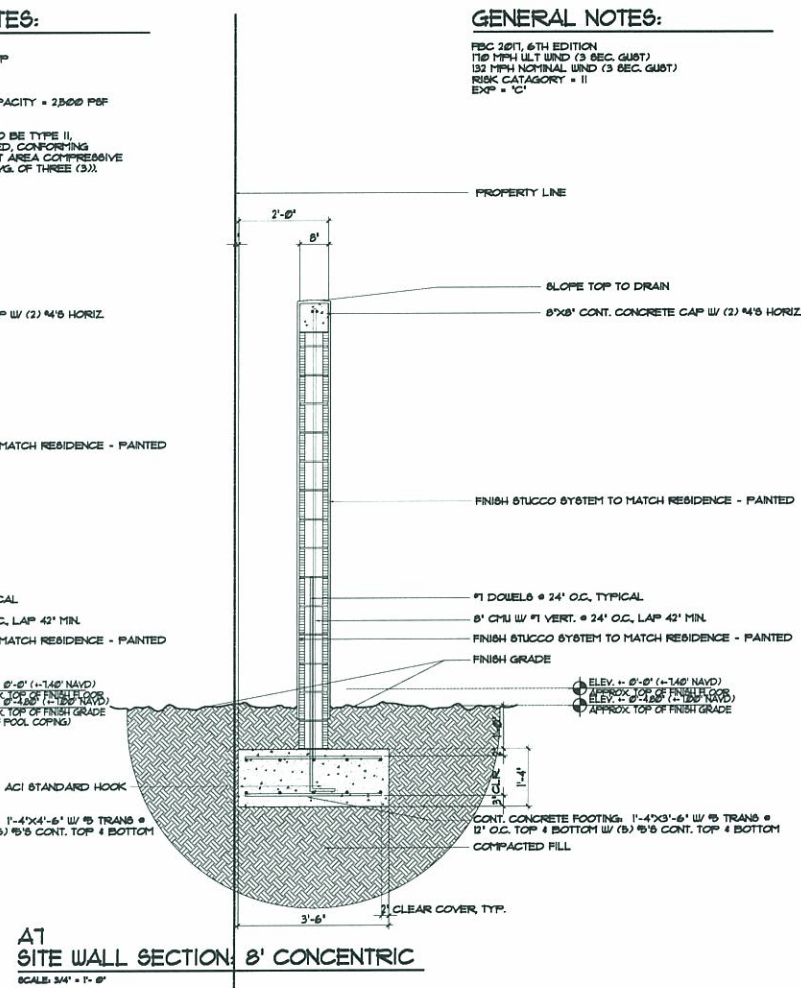
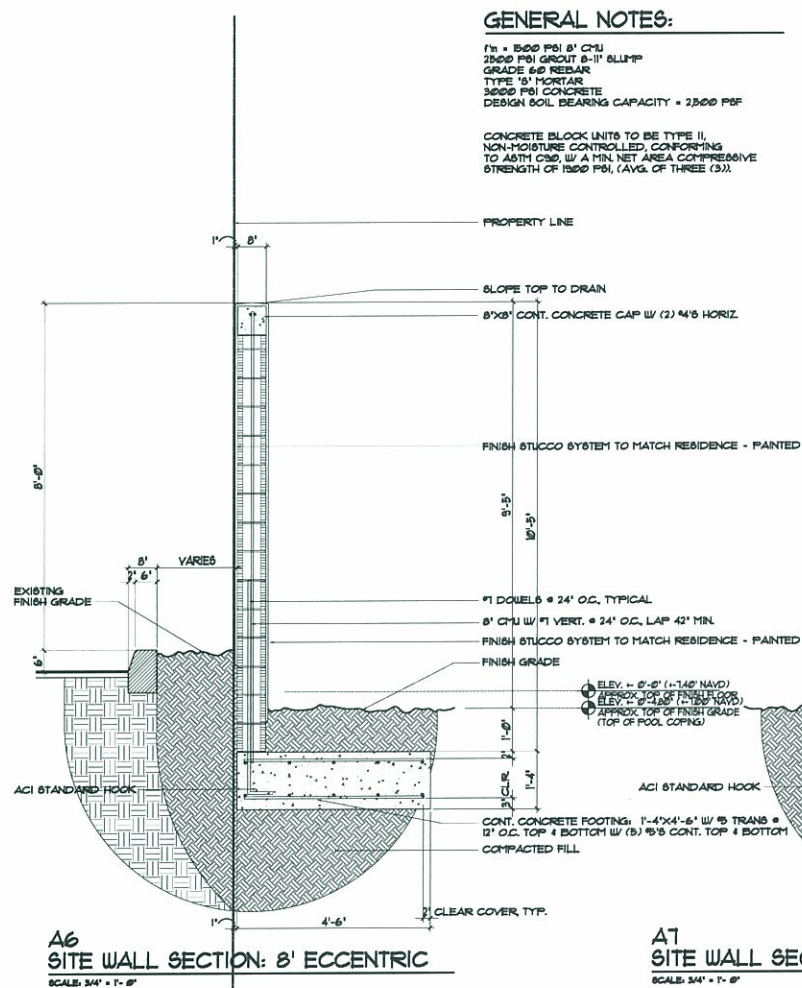


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Consultant Seal	THE MCCAULEY RESIDENCE 777 NORTH OCEAN BLVD. DELRAY BEACH, FLORIDA 33483	Drawing Title PROPOSED ELEVATIONS	Cope Architects, Inc. DELRAY BEACH, FLORIDA 33444-3713 ARCHITECTURE • PLANNING • INTERIORS PHD 954.374-8008 FAX 954.374-8007	Sheet RW COPE Project No. 2016.01MCCAULEY CAD File No. NEW ELEVATIONS Date JULY 11, 2018 Drawing No.	Florida License No. ARD013552	A5.1 of
No.	REVISIONS	DATE				
1	BACKGROUND CHANGES	MAY 15, 2019				
2	REVISIONS					



[illegible]



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1	NEW MOTOR COUNTRY	AUG. 23, 2019
	REVISIONS	Date

CONSULTANT

THE MACAULEY RESIDENCE
777 N. OCEAN BLVD.
DELRAY BEACH, FLORIDA 33483

COPE ARCHITECTS, INC.
701 SE 1ST STREET
DELRAY BEACH, FLORIDA 33483-5305
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Project No.
2017.02mcauley
CAD File No.
SITE WALL SECTIONS
Date
AUGUST 23, 2019
Drawing No.

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