

**126 SE 7TH AVENUE
DELRAY BEACH, FLORIDA 33483**

[illegible]

INDEX

1. THE CONTRACTOR SHALL PERFORM ANY AND ALL CUTTING AND PATCHING NECESSARY TO COMPLETE THE WORK.
2. THE CONTRACTOR SHALL NOT DISRUPT EXISTING SERVICES, OPERATIONS, OR UTILITIES WITHOUT OBTAINING OWNER'S PRIOR APPROVAL AND INSTRUCTIONS IN EACH CASE.
3. ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES.
4. THE CONTRACTOR SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL ELEVATIONS, CONDITIONS, AND DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
5. ANY CONFLICTS OR OMISSIONS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR GENERAL NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY AND BEFORE PROCEEDING WITH ANY WORK SO INVOLVED. DO NOT SCALE DRAWINGS.
6. THE GENERAL CONTRACTOR SHALL COORDINATE AND VERIFY WITH ALL SUBCONTRACTORS THE SIZE AND LOCATION OF ALL PIPING, DUCTWORK, TRENCHES, SLEEVES, SPECIAL BOLTING FOR EQUIPMENT CONDUITS, ETC.
7. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING ALL FINISH SURFACES CLEAN AT COMPLETION OF THE WORK AND SHALL REMOVE ALL EXCESS MATERIAL AND DEBRIS FROM THE JOB REGULARLY.
9. JOB SITE MEASUREMENTS ARE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND/OR SUBCONTRACTOR AND MUST BE TAKEN FOR ALL ITEMS BY ALL SUBCONTRACTORS PRIOR TO FABRICATION.
10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING SOLID P.T. BLOCKING BEHIND ALL SHELVING, CABINETS, ETC., OR EQUIPMENT REQUIRING BACKING.
11. FINAL INSPECTIONS ARE REQUIRED FOR ALL PERMITS.

FLORIDA BUILDING CODE, 2015 EDITION
NFPFA 1-101 LIFE SAFETY CODE
FLORIDA FIRE PREVENTION CODE, 2015 EDITION
NATIONAL ELECTRICAL CODE, 2015 EDITION
FLORIDA MECHANICAL CODE, 2015 EDITION
FLORIDA PLUMBING CODE, 2015 EDITION
FLORIDA ACCESSIBILITY CODE-2015, 5TH EDITION

ALL OTHER RULES, REGULATIONS AND CODES HAVING JURISDICTION
INCLUDING BUT NOT NECESSARILY LIMITED TO:

CITY OF DELRAY BEACH, PALM BEACH COUNTY - THE STATE OF FLORIDA
CITY OF DELRAY BEACH ZONING REGULATIONS
CITY OF DELRAY BEACH ADOPTED ORDINANCES

OCCUPANCY CLASSIFICATION: SINGLE FAMILY RESIDENTIAL
BLDG. CONSTRUCTION TYPE: TYPE V, PROTECTED
ZONING DISTRICT: RM, MULTI FAMILY RESIDENTIAL
DESIGN WIND LOAD: 170 MILES PER HOUR (3 SECOND GUST)
BUILDING HEIGHT LIMITATION: 35 FEET

PROJECT TEAM

ACQUB.	ACQUITS	N.G.	NOT IN CONTRACT
ADJ.	ADJUSTABLE	NO.	NUMBER
ALU.	ALUMINUM	NOT A	NOT TO SCALE
APPROX.	APPROXIMATE	O.A.	OVERALL
		ORB.	ORSCURE
BD.	BOARD	O.C.	OUTSIDE CIRCUMETER
BLK.	BLOCK	O.D.	OUTSIDE DIAMETER
BLKG.	BLOCKING	O.F.C.I.	OUTER FURNISH
BLK.	BLOCK	CONTR.	CONTRACTOR INSTALL
BT.	BOTTOM	OFF.	OFFICE
		OPNS.	OPENING
CAB.	CABINET	OPP.	OPPOSITE
CBM.	CERAMIC	PL.	PLATE
GER.	CERAMIC	PLBR.	PLASTER
CL.	CLAMP	PL.TED.	PL.TECOD
CLR.	CLEAR	PR.	PAIR
COL.	COLLUM	PRECAST	PRECAST
CON.	CONCRETE	P.P.T.	PRESSURE TREATED
CONN.	CONNECTION	P.T.	PISTON
CO.	COUNTER	PTN.	PARTITION
CTK.	COUNTERSINK	QT.	QUARRY TILE
DECOR.	DECORATIVE		
DET.	DETAIL	R.	RISER
D.S.	DOUBLE END FIR	RAD.	RADIUS
DIA.	DIAMETER	RENCE	REFERENCE
DPM.	DIPLOMA	REQD.	REQUIRED
DN.	DOWN	RFI	ROOF
DUB.	DUBIOUS	R.O.	ROUGH OPENING
DWG.	DRAWING	R.D.	REDWOOD
		RUIL.	RUN WATER LEADER
EA.	EACH	S.C.	SOLID CORE
EL.	ELEVATION	SGNED.	SCHEMATIC
EL.EC.	ELECTRICAL	SHST.	SHED
EQ.	EQUAL	SH.	SHILL
EXP.	EXPANSION	SG.	SGARE
EXT.	EXTENSION	STAB.	STAINLESS STEEL
EXT.	EXTENSION	STD.	STANDARD
EXT.	EXTENSION	STL.	STEEL
FALL	FORCE AIR UNIT	STOR.	STORAGE
FH.C.	FIRE HOSE CABINET	STRUC.	STRUCTURE
FL.	FLOOR	SUMP.	SUMPED
FL.	FLOOR	STH.	STYRENE
FLASH.	FLASHING	T.	TREAD
FLOR.	FLOOR	T.C.	T.C. GIRD
FOF.	FACE OF FINISH	TBL.	TELEPHONE
FOF.	FACE OF FINISH	TAND.	TONGUE AND GROOVE
FOG.	FACE OF STUD	THICK.	THICK
FOOTST.	FOOTSTOCK	T.C.	T.C. CHIPPY
FOOTST.	FOOTSTOCK	T.O.P.R.	TOP OF FRAMING
GA.	GAUGE	T.O.L.	TOP OF LEDGER
GALV.	GALVANIZED	T.O.P.	TOP OF PARAPET
GL.	GLASS	T.O.P.L.	TOP OF PLATE
GR.	GRADE	TYP.	TYPICAL
GTT.	GUTTER	UON.	UNLESS OTHERWISE NOTED
H.B.	HOSE BINDS		
H.C.	HOLLOW CORE	VERT.	VERTICAL
HARD.	HARDWARE	VERT.	VERTICAL
HOLE.	HOLE	VALD.	VERTICAL GRAIN
HGT.	HEIGHT		
H.L.	HOLLOW METAL		
HORIZ.	HORIZONTAL	W/	WITH
		W/O	WITHOUT
ID.	INSIDE DIAMETER	W.C.	WATER CLOSET
INCAGND.	INCORPORATED	WOOD.	WOOD
INSUL.	INSULATION	W.D.W.	WATER HEATER
INT.	INTERIOR	W.C.T.	WATERCOT
		WHT.	WHITE
JAN.	JANITOR		
JON.	JON		
			SYMBOLS
LAM.	LAMP		
LAV.	LAVATORY	#	AND
LOC.	LOCATION	°	ANGLE
		△	ALL
MAX.	MAXIMUM	+	CENTER LINE
MCH.	MACHINERY		
MET.	METAL	*	DIAMETER OR ROUND
MAN.	MANUFACTURE		
MN.	MINIMUM		
MISC.	MISCELLANEOUS		
M.O.	MASTERY OPENING		
MTD.	MOUNTED		
MUL.	MULLION		

ARCHITECTURAL DOCUMENTS:

A00	COVER SHEET
	SURVEY AS PROVIDED BY OWNER
A10	ARCHITECTURAL SPECIFICATIONS
A20	ARCHITECTURAL SITE PLAN
A30	ARCHITECTURAL PROPOSED FLOOR PLAN
A40	ARCHITECTURAL PROPOSED EXTERIOR ELEVATIONS
A50	ARCHITECTURAL PROPOSED EXTERIOR ELEVATIONS
A60	ARCHITECTURAL PROPOSED EXTERIOR ELEVATIONS
A70	EXTERIOR WINDOW & DOOR SCHEDULE

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Drawn	
RW COPE	
Project No.	
2017.82PATTONCOPE	
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COVER SHEET	
Date	
OCTOBER 23, 2017	
Drawing No.	

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GENERAL NOTES

ARCHITECTURAL:

1. THESE DOCUMENTS INDICATE THE DESIGN INTENT OF THE CONSTRUCTION PROJECT IN ORDER TO ESTABLISH STANDARDS FOR QUALITY AND/OR PERFORMANCE.
2. THE CONTRACTOR SHALL INVESTIGATE THE JOBSITE & COMPARE THE CD'S W/ THE EXISTING CONDITIONS. THE CONTRACTOR SHALL INCLUDE IN HIS COST, WORK DESCRIBED IN THE CD'S & THAT IS REQUIRED OR REASONABLY IMPLIED TO ACHIEVE THE DESIGN INTENT OF THE CD'S. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS BETWEEN EXISTING CONDITIONS & ANY NEW WORK, OF ANY OMISSIONS IN THE DRAWINGS & ANY RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK INCLUDING THE COORDINATION W/ STRUCTURAL AND MEP RELATED WORK.
3. THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE A COMPLETE JOB IN EVERY RESPECT THAT ALLOWS FOR THE FULL USE OF THE COMPLETED FACILITY & CONSISTENT W/ THE DESIGN INTENT OF THE CD'S. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, COMPLETE UTILITY CONNECTIONS FOR H2O, SEWER, RAIN WATER LEADERS, DRAINS, POWER (W/ TRANSFORMING TO ACHIEVE APPROPRIATE & NECESSARY VOLTS & AMPS), GROUND, NATURAL OR LP GAS, VENTS, VENTILATION, SMOKE EVACUATION, & BLOCKING, BRIDGING, STRUCTURAL SUPPORTS, ETC., TO ALLOW FOR THE COMPLETE & WORKING OF NOTED OR INFERRED EQUIPMENT.
4. REASONABLY INFERRED CONDITIONS NOT OTHERWISE INDICATED IN THESE CD'S SHALL BE INTERPRETED AS HAVING THE SAME MEANING AS THOSE MOST SIMILARLY DETAILED & MORE FULLY DEFINED ELSEWHERE WITHIN THESE DOCUMENTS. CONTRACTOR IS TO NOTIFY THE ARCHITECT IF CLARIFICATIONS ARE REQUIRED. CONTRACTOR SHALL BE LIABLE IF INAPPROPRIATE INTER- PRETATIONS CONFLICT WITH OTHER ELEMENTS OF THE WORK.
5. THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS & DIMENSIONS INDICATED W/ THE CD'S & SHALL NOTIFY THE ARCHITECT OF ANY VARIATION PRIOR TO THE PURCHASING OF MATERIALS, FABRICATION OR CONSTRUCTION. THE CONTRACTOR SHALL BE LIABLE FOR RESTOCKING CHARGES, REPLACEMENT COSTS & FOR DELAYS IF HE FAILS TO COMPLY W/ THIS PROVISION.
6. THE GENERAL CONTRACTOR, UPON AWARDING CONTACTS TO SUB- CONTRACTORS, SHALL SUBMIT TO THE ARCHITECT & THE OWNER A LIST OF ITEMS & THEIR DELIVERY SCHEDULES. THE CONTRACTOR, PRIOR TO ORDERING AN ITEM, SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT & OWNER OF ANY ITEM WHICH MAY CAUSE THE PROJECT TO BE DELAYED DUE TO LONG LEAD TIME IN OBTAINING.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACHIEVING SUBSTANTIAL COMPLETION REGARDLESS OF DELIVERY DATES FOR MATERIALS & EQUIPMT.
8. THE ARCHITECT HAS NOT CONDUCTED NOR INTENDS TO CONDUCT ANY INVESTIGATION AS TO THE PRESENCE OF HAZARDOUS MATERIALS, INCLUDING ASBESTOS, WITHIN THE CONFINES OF THIS PROJECT. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR THE IDENTIFICATION, THE REMOVAL OR ANY EFFECTS FROM THE PRESENCE OF THESE MATERIALS.
9. THE CONTRACTOR SHALL ISSUE COMPLETE SETS OF CD'S TO EACH OF THE SUB-CONTRACTORS FOR COORDINATION OF THEIR WORK AND DESCRIPTION OF SCOPE.
10. THE CONTRACTOR SHALL APPLY FOR, OBTAIN & PAY FOR PERMITS, FEES, INSPECTIONS & APPROVALS BY LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. CONTRACTOR IS TO PROVIDE COPIES OF TRANSACTIONS TO OWNER. NOTIFY ARCHITECT OF ANY VARIANCE W/ CODES IN FORCE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE W/ THE REGULATIONS OF ANY & ALL PUBLIC AUTHORITIES (FEDERAL, STATE & LOCAL) HAVING JURISDICTION OVER THE PROJECT.
11. PROVIDE & PAY FOR ANY AND ALL MATERIALS, LABOR, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, WAREHOUSING, TRANSPORTATION & DELIVERY COSTS, HOISTING, REMOVAL OF TRASH & DEBRIS, & OTHER FACILITIES & SERVICES NECESSARY FOR THE EXECUTION & COMPLETION OF THE WORK.
12. WORK SHALL BE PERFORMED BY THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED. REFERENCES TO THE CONTRACTOR SHALL INCLUDE THE GENERAL CONTRACTOR AND SUB-CONTRACTORS.
13. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR, & HAVING CONTROL OVER CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES & PROCEDURES & FOR COORDINATING PORTIONS OF THE WORK REQUIRED BY THE CD'S.
14. THE ARCHITECT & OWNER SHALL NOT BE RESPONSIBLE FOR THE ERRORS, OMISSIONS OR DELAYS RESULTING FROM THE CONTRACTOR'S PERFORMANCE.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACTS & OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUB-CONTRACTORS & THEIR AGENTS & EMPLOYEES & ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
16. OTHER CONTRACTORS & THEIR SUB-CONTRACTORS MAY BE WORKING ON THE PREMISES SIMULTANEOUS WITH THE DURATION OF THIS CONTRACT. NO ACTION SHALL BE TAKEN ON THE PART OF THIS CONTRACTOR OR ANY SUB- CONTRACTOR, TO IMPEDE THE ACCESS OR OPERATION OF ANY OTHER CONTRACTOR ON THE PREMISES, EITHER UNION OR NON-UNION.
17. WORK SHALL BE DONE DURING NORMAL WORKING HOURS. CONTRACTOR SHALL SCHEDULE & PERFORM SO AS NOT TO UNREASONABLY DISTURB ANY NEIGHBORS & SHALL BE RESPONSIBLE FOR ANY OVERTIME COSTS INCURRED THEREBY.
18. THE CONTRACTOR SHALL COORDINATE & WORK W/ BUILDING OWNER REGARD- ING HEAT, WATER, ELECTRICITY, DELIVERIES, ACCESS, ELEVATOR AVAIL- ABILITY, STAGING, NOISE CONTROL, TRASH & DEBRIS REMOVAL, HOISTING, & ANY OTHER UTILITIES OR OWNER'S RULES & REGULATIONS CONCERNING THE PROJECT SITE. CONTRACTOR SHALL COORDINATE USE OF RESTROOM FACILITIES FOR HIS EMPLOYEES WITH THE OWNER.
19. THE CONTRACTOR SHALL PROCURE MATERIALS SO AS NOT TO DELAY SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL NOTIFY ARCHITECT WITHIN FIVE (5) DAYS OF EXECUTION OF CONTRACT OF ANY MATERIAL DELIVERY WHICH COULD DELAY COMPLETION OF THE CONTRACT.
20. COORDINATE SCHEDULING, PROVISIONS FOR INSTALLATION, LOCATIONS, & INSTALLATION OF ITEMS FURNISHED BY THE OWNER & BY OTHERS, FOR THE PURPOSES OF THIS CONTRACT. THE FOLLOWING ABBREVIATIONS APPLY: OF-OI = OWNER FURNISHED & OWNER INSTALLED, OF-CI = OWNER FURNISHED & CONTRACTOR INSTALLED, CF-OI = CONTRACTOR FURNISHED & CONTRACTOR INSTALLED, AND CF-CI = CONTRACTOR FURNISHED & OWNER INSTALLED.
21. THE CONTRACTOR SHALL COORDINATE & WORK W/ TRADES ON THE PROJECT NOT UNDER CONTRACT W/ THE CONTRACTOR (I.E. TELEPHONE, DATA LINES, FIRE ALARM, ETC.). ANY CHANGES OR DELAYS ARISING FROM CONFLICTS BETWEEN SUCH TRADES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.

22. UNLESS OTHERWISE NOTED, WHEN DRAWINGS ARE IN CONFLICT, ENLARGED PLANS & DETAILS SHALL GOVERN. HOWEVER, THE ARCHITECT SHALL MAKE THE FINAL DETERMINATION IN THESE MATTERS.
23. SUBMIT FOR ARCHITECT'S REVIEW ABOVE BUILDING STANDARD SAMPLES & LITERATURE. SUBMIT FOR ARCHITECT'S CONSIDERATION SAMPLES & PRODUCT LITERATURE & OTHER PERTINENT DATA OF ANY PROPOSED SUBSTITUTIONS. ANY SUBSTITUTIONS PROPOSED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO IMPLEMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RESEARCH & QUALIFY THAT THE PERFORMANCE & CONSTRUCTION SPECIFICATIONS MEET THOSE OF THE ORIGINALLY SPECIFIED ITEM PRIOR TO SUBMISSION FOR APPROVAL. CONTRACTOR SHALL BE LIABLE FOR MATERIALS THAT ARE NOT AVAILABLE DUE TO UNTIMELY ORDERING & FOR THE COORDINATION OF SUBSTITUTIONS W/ OTHER TRADES & DISCIPLINES.
24. SHOP DRAWINGS (TWO (2) COPIES TO ARCHITECT & TWO (2) COPIES TO ENGINEER), AS REQUIRED, SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION OR CONSTRUCTION. SUBMIT FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION OR PURCHASE. SHOP DRAWINGS OR SAMPLES FOR MILLWORK, CUSTOM METALWORK, CUSTOM CASEGOODS & OTHER ITEMS AS REQUIRED BY ARCHITECT FOR ABOVE BUILDING STANDARDS ITEMS.
25. CHANGES IN THE WORK SHALL ONLY BE ALLOWED W/ ONE OF THE FOLLOWING WRITTEN DIRECTIVES: 1.) ARCHITECT'S DIRECTIVE FOR MINOR CHANGES IN WORK, 2.) CONSTRUCTION CHANGE DIRECTIVE FROM THE ARCHITECT, OR 3.) CHANGE ORDER ISSUED BY THE ARCHITECT. CHANGES MUST FOLLOW MODIFICATION PROCEDURES NOTED IN AIA A201 -ARTICLE 7. CHANGES REQUIRING A CHANGE IN COST OR TIME MUST BE EXPLICITLY NOTED AT TIME OF DISCUSSION IN FIELD, NOTIFICATION OR ARCHITECT OR AT JOB PROGRESS MEETING & FOLLOWED UP WITHIN TWO (2) WORKING DAYS BY WRITTEN CONFIRMATION. IF CHANGE IS AGREED TO WITHOUT EXPLICIT REFERENCE TO CHANGE IN COST OR TIME, A SUBSEQUENT CHANGE ORDER MAY BE JUSTIFIABLY REJECTED.
26. PERFORM WORK & INSTALL MATERIALS IN STRICT ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS & INSTRUCTIONS & IN A MANNER CONSISTENT W/ INDUSTRY STANDARDS FOR WORKMANSHIP.
27. GYPSUM & METAL STUD CONSTRUCTION SHALL BE DONE IN ACCORDANCE W/ RECOMMENDATIONS & INSTRUCTIONS PUBLISHED BY U.S. GYPSUM COMPANY - GYPSUM CONSTRUCTION HANDBOOK, LATEST EDITION. CONSTRUCTION JOINTS MUST OCCUR AT A MAXIMUM OF 25 FT. ON UNDERSIDE OF ROOF DECK.
28. FINISH CARPENTRY & MILLWORK SHALL BE DONE IN ACCORDANCE W/ THE ARCHITECTURAL WOODWORKS INSTITUTE (AWI) STANDARDS FOR SELECTION OF MATERIALS, HARDWARE, FABRICATION, WORKMANSHIP & FINISHING.
29. EXAMINE SURFACES TO DETERMINE THAT THEY ARE SOUND, DRY, CLEAN & READY TO RECEIVE FINISHES OR MILLWORK PRIOR TO INSTALLATION. START OF INSTALLATION SHALL IMPLY ACCEPTANCE OF SUBSTRATE & SHALL NOT BE GROUNDS FOR CLAIMS AGAINST IMPROPER PERFORMANCE OF INSTALLED MATERIAL. ADVISE ARCHITECT OF ANY EXISTING CONSTRUCTION NOT LEVEL, SMOOTH & PLUMB WITHIN INDUSTRY STANDARDS PRIOR TO START OF CONSTRUCTION.
30. INSTALL & MAINTAIN NECESSARY COVERINGS, PROTECTIVE ENCLOSURES, TEMPORARY DOORS & PARTITIONS & DUST BARRIERS TO PROTECT OCCUPANTS & EXISTING WORK & FINISHES TO REMAIN. REPAIR & REPLACE ANY DAMAGES CAUSED BY IMPROPER PROTECTION AT NO ADDITIONAL CHARGE TO OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY & ALL DAMAGE WHICH MAY OCCUR DURING EITHER THE DEMOLITION OR CONSTRUCTION PHASE TO THE EXISTING BUILDING. CONTRACTOR SHALL REPAIR SAME IMMEDIATELY TO MATCH ADJACENT SURFACES IN GOOD CONDITION.
31. WORK DAMAGED DURING CONSTRUCTION OR NOT CONFORMING TO SPECIFIED STANDARD TOLERANCES OR MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
32. MAINTAIN EXIT, EXIT LIGHTING, FIRE PROTECTIVE DEVICES & LIFE SAFETY SYSTEMS IN WORKING ORDER.
33. EXIT DOORS, EGRESS DOORS & OTHER DOORS REQUIRED FOR MEANS OF EGRESS SHAL BE OPERABLE FROM INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOW- LEDGE OR EFFORT.
34. VERIFY KEYING REQUIREMENTS OF ALL NEW LOCKS WITH OWNER.
35. 24 HOURS PRIOR TO OCCUPANCY OF ANY PHASE, THOROUGHLY CLEAN SURFACES OF DUST, DEBRI, LOOSE CONSTRUCTION MATERIAL & EQUIPMENT. VACUUM OR MOP FLOORS & CLEAN WINDOWS. THE CONTRACTOR, AT THE COMPLETION OF THE PROJECT, SHALL CLEAN THE ENTIRE BUILDING AND LEAVE IT IN ACCEPTABLE CONDITION.
36. SUBSTANTIAL COMPLETION SHALL BE THE DATE ON WHICH THE PREMISES ARE AVAILABLE FOR OCCUPANCY FROM THE CONTRACTOR & SHALL BE AS DEFINED IN AIA DOCUMENT A201. ADDITIONAL TOUCH-UP OR MINOR INSTALLATION WORK MAY BE INCOMPLETE.
37. WARRANT TO THE OWNER THAT ALL MATERIALS & EQUIPMENT FURNISHED & INSTALLED UNDER THIS CONTRACT SHALL BE NEW UNLESS OTHERWISE SPECIFIED, & WORK SHALL BE OF GOOD QUALITY, FREE FROM FAULTS & DEFECTS & CONFORMS WITH THE CONTRACT DOCUMENTS.
38. FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION, CONTRACTOR SHALL PROMPTLY CORRECT WORK FOUND NOT TO BE IN ACCORDANCE W/ THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BEAR ALL COSTS OF CORRECTIONS.
39. UNLESS OTHERWISE NOTED, FASTENERS & ATTACHMENTS SHALL BE FULLY CONCEALED FROM VIEW.
40. THE ARCHITECT'S SEAL AFFIXED TO THESE CONTRACT DOCUMENTS, SHALL CERTIFY TO THE BEST OF OUR KNOWLEDGE, THAT THESE DRAWINGS MEET THE APPLICABLE STATE & LOCAL CODES. IF ANY PORTION OF THESE DOCUMENTS IS FOUND TO BE IN CONFLICT W/ STATE OR LOCAL CODES, THE ARCHITECT SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR.
41. CONTRACTOR SHALL BE RESPONSIBLE IN PROVIDING THE OWNER A COMPLETE SET OF 'AS-BUILT' OR 'RECORD' DOCUMENTS.
42. PROVISIONS OF THE AIA A201 - GENERAL CONDITIONS, APPLY TO THIS CONTRACT BY REFERENCE UNLESS SPECIFICALLY MODIFIED IN WRITING BY THE OWNER OR ARCHITECT.

BUILDING CODE COMPLIANCE:

1. THE CONTRACTOR SHALL PERFORM WORK IN ACCORDANCE W/ APPLICABLE CODES, REGULATIONS, LOCAL AUTHORITY REGULATIONS & LOCAL CODE OFFICIAL'S DIRECTIVES.
2. THE CONTRACTOR SHALL PROVIDE TERMITE PROTECTION AS PER FBC 1816.17
- PARTITION NOTES:**
1. CLEAR DIMENSIONS MUST BE HELD. DIMENSIONS NOTED AS FINISHED FACE.
2. DRAWING DIMENSIONS ARE TO THE FACE OF STUD SURFACE UNLESS CLEAR OR CRITICAL SHALL BE MEASURED FROM FINISH FACE TO FINISH FACE.
3. MAKE NO MECHANICAL ATTACHMENTS TO EXTERIOR BUILDING SURFACES WITHOU PRIOR NOTIFICATION AND APPROVAL FROM THE ARCHITECT.
4. CONSTRUCT CEILINGS & PARTITIONS PER MANUFACTURER'S RECOMMENDATIONS WITH DEFLECTIONS NOT TO EXCEED 1/240 OF THE SPAN. PROVIDE FIRE RATINGS AS REQUIRED BY CODE - SEE FBC AND LOCAL CODE AMMENDMENTS FOR ANY SPECIAL FIRE STOPPING REQUIREMENTS.
5. INSTALL WOOD BLOCKING AT ANY PARTITION SCHEDULED TO RECEIVE HANGING CABINETRY AND/OR SHELVING.
6. INSTALL MOISTURE RESISTANT SUBSTRATE (WATER RESISTANT TYPE GYPSUM BOARD OR CEMENTITIOUS BOARD) WHERE CERAMIC TILE OR STONEWORK IS INDICATED.
7. INSTALL STEEL FRAMING FOR PARTITIONS TO COMPLY WITH ASTM C-154 & THE GYPSUM CONSTRUCTION HANDBOOK BY U.S. GYPSUM, LATEST EDITION.
8. INSTALL & FINISH GYPSUM BOARD TO COMPLY W/ ASTM C-840, GA-216 BY GYPSUM ASSOCIATION & GYPSUM CONSTRUCTION HANDBOOK BY U.S. GYPSUM, LATEST EDITION. PREPARE SURFACE AS REQUIRED FOR FINAL SURFACE FINISH AS RECOMMENDED BY GYPSUM CONSTRUCTION HADBOOK.
9. PROVIDE FRE RESISTANCE RATED PARTITION ASSEMBLIES IDENTICAL TO UL. DESIGNATIONS (UNDERWRITERS LABORATORY) SHOWN IN THE FIRE RESISTANCE DIRECTORY OR LISTED BY OTHER TESTING AGENCIES ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.

MILLWORK NOTES:

1. MILLWORK & CASEWORK SHALL COMPLY W/ ARCHITECTURAL WOODWORK QUALITY STANDARDS, GUIDE SPECIFICATIONS & QUALITY CERTIFICATION PROGRAM, LATEST EDITION, CUSTOM GRADE UNLESS OTHERWISE NOTED.
2. INSTALL FIRE RETARDANT TREATED WOOD PRODUCTS WHERE REQUIRED TO COMPLY WITH THE BUILDING CODE.
3. COORDINATE INSTALLATION OF ALL IN-WALL STEEL ANCHORAGE, GROUND, & MISCELLANEOUS BLOCKING W/ OTHER TRADES FOR PRECISE LOCATION.
4. THE MILLWORK CONTRACTOR SHALL OBTAIN & VERIFY FIELD MEASUREMENTS & CONDITIONS AFFECTING HIS WORK & SHALL BE RESPONSIBLE FOR DETAILS & DIMENSIONS ASSURING PRECISION & PROPER ASSEMBLY OF HIS PRODUCTS.
5. COORDINATE ITEMS TO INSURE DELIVERY TO THE PROPER LOCATION & VERIFY PHYSICAL ACCOMMODATION WITHIN THE CONFINES OF THE PROJECT AS REQUIRED.
6. SET WORK PLUMB, LEVEL & SQUARE, SCRIBED TIGHTLY & ACCURATELY TO ADJT. SURFACES, SECURELY ANCHORED IN POSITION INDICATED ON DRAWINGS TO HIGHEST QUALITY STANDARDS.
7. LAMINATE EDGES OF COUNTERTOPS & EDGES OF DOORS PRIOR TO FACING COUNTERTOPS OR DOORS.
8. COORDINATE EXACT PLACEMENT OF PLUMBING & ELECTRICAL FIXTURES, SWITCHES & OUTLETS TO BE INSTALLED WITHIN THE MILLWORK.
9. REPAIR, REPLACE OR OTHERWISE MAKE GOOD TO SATISFACTION OF ARCHITECT DAMAGE INCURRED TO MILLWORK DURING CONSTRUCTION.
10. ADJUST DOORS, DRAWERS & HARDWARE FOR PROPER OPERATION & CLEAN SURFACES, INSIDE & OUT.
11. COMPLY W/ MILLWORK MANUFACTURER'S & INSTALLER'S RECOMMENDED OPTIMUM TEMPERATURE & HUMIDITY CONDITIONS FOR STORAGE & INSTALLATION OF WORK.
12. COMPLY W/ ARCHITECTURAL WOODWORK QUALITY STANDARDS, GUIDE SPECIFICATIONS & QUALITY CERTIFICATION PROGRAM, SECTION 1500 FACTOR FINISHING SYSTEMS FOR FINISHES NOTED.

FINISH NOTES:

1. INSPECT MATERIALS FOR DEFECTS, FLAWS, SHIPPING DAMAGE, CORRECT COLOR & PATTERN, INFORM ARCHITECT OF ANY DEFECTIVE MATERIALS & COORDINATE W/ THE MANUFACTURER FOR ACCURATE SHIPPING DATES FOR THE REPLACEMENT MATERIAL.
2. FLOOR COVERINGS SHALL BE REPAIRED IN RENOVATION WORK TO MATCH ADJACENT SURFACES. FLOOR COVERINGS IN CLOSETS SHALL MATCH ADJACENT SURFACES. FLOOR COVERING IN CLOSETS SHALL MATCH ADJACENT ROOM UNLESS NOTED OTHERWISE.
3. CONTRACTOR WILL BE RESPONSIBLE FOR PROVING AN APPROPRIATELY LEVEL & SMOOTH CONCRETE OR OTHER SUBSTRATE TO MEET THE CARPET (IF CARPET IT USED) MEETING INDUSTRY STANDARDS PRIOR TO INSTALLATION.
4. CARPET, IF USED, SHALL BE INSTALLED IN THE SAME DIRECTION. SEAM CARPET AT DOORS AND ON CENTERLINE OF DOORS, TYPICAL.

PAINTED SURFACES:

1. PAINTED FINISH METAL & WOOD TRIM SHALL BE SEMI-GLOSS ALKYD ENAMEL, COLOR TO MATCH ADJACENT WALL UNLESS NOTED OTHERWISE. OTHER SURFACES SHALL BE LATEX, FLAT FINISH. PAINTED FINISHES WITHIN BATHROOMS & KITCHEN/ GALLEYS/PANTRY SHALL BE SEMI-GLOSS ALKYD ENAMEL.
2. PREPARE FOR & APPLY PAINT IN ACCORDANCE W/ THE MANUFACTURER'S SPEC'S. FOR THE PARTICULAR SURFACE, ONE (1) COAT PRIME & TWO (2) FINISH COATS MINIMUM APPLICATION. FOLLOW INDUSTRY STANDARDS FOR SURFACE PREPARATION & APPLICATION ENVIRONMENT (TEMPERATURE & HUMIDITY).

WALL COVERING:

1. INTERIOR FINISH MATERIALS SHALL COMPLY WITH LOCAL CODES. WHEN REQUIRED BY BUILDING OFFICIAL(S), APPLY FLAME PROOFING TO FABRIC WALL COVERINGS.
2. WALL COVERINGS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS FOR THE PARTICULAR SURFACE APPLICATION, INCLUDING TEMPERATURE AND DUST CONTROL. WALL COVERING REQUIRING BACKING SHALL BE SO APPROVED. APPLY WALL PRIMER PRIOR TO APPLYING ADHESIVE FOLLOWING MANUFACTURER'S INSTRUCTION.
3. INSTALL BEAMS PLUMB & NOT LESS THAN SIX (6) INCHES FROM CORNERS. HORIZONTAL BEAMS SHALL NOT BE PERMITTED UNDER ANY CIRCUMSTANCES.
4. REMOVE EXCESS ADHESIVE PROMPTLY, REPLACE PANELS WHICH CANNOT BE COMPLETELY CLEANED.
5. INSTALLATION OF PATTERNED FABRIC WALL COVERINGS SHALL BE MATCH AT EDGE TO ADJACENT FABRIC PANEL.
6. REMOVE SWITCH PLATES & SURFACE MOUNTED FIXTURES TO PERMIT WALL COVERING INSTALLATION & RE-INSTALL UPON COMPLETION.
7. WALL COVERINGS SHALL BE FROM CONSISTENT DYE LOTS.
8. NO SUBSTITUTION OF ANY SPECIFIED WALL COVERINGS OR FINISH MAY BE MADE WITHOUT PRIOR APPROVAL OF ARCHITECT.

TILE:

1. INSTALL TILE IN ACCORDANCE W/ TILE COUNCIL OF AMERICA HANDBOOK FOR CERAMIC TILE INSTALLATION METHODS.
2. CONTRACTOR IS RESPONSIBLE FOR PROVIDING APPROPRIATE SUBSTRATE (I.E. MOISTURE RESISTANT GYPSUM BOARD, 'WONDERBOARD', ETC.).

TELEPHONE/DATA/ELECTRICAL NOTES:

1. WORK SHALL BE IN ACCORDANCE W/ APPLICABLE NATIONAL, STATE AND LOCAL ELECTRICAL CODES.
2. IN M/E/P DESIGN-BUILD PROJECTS, MECHANICAL & ELECTRICAL ENGINEERING DRAWINGS SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW & APPROVAL PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR COORDINATING VARIOUS TRADES. CONTRACTOR SHALL CONTROL INSTALL- ATION SEQUENCE OF VARIOUS ITEMS TO ACCOMMODATE DIMENSIONAL REQUIRE- MENTS OF TOTAL ASSEMBLY INCLUDING MECHANICAL, ELECTRICAL, PLUMBING, FIRE ALARM, DATA, TELEPHONE, SPRINKLER PIPING AND ANY & ALL EQUIPMENT.
3. ANY DISCREPANCY BETWEEN THE ARCHITECTURAL, MECHANICAL, ELECTRICAL & PLUMBING ENGINEER'S OR ANY OTHER CONSULTANT'S DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. WORK INSTALLED IN CONFLICT W/ THE ARCHITECT'S DRAWINGS OR CREATING CONFLICTS DUE TO INSUFFICIENT COORDINATION OF WORK SHALL BE CORRECTED BY THE CONTRACTOR @ THE CONTRACTOR'S EXPENSE & SHALL NOT IMPACT THE SCHEDULE.
4. REFER TO ENGINEERING DRAWINGS FOR CIRCUITING & SPECIFICATIONS. MECHANICAL & ELECTRICAL ENGINEER'S DRAWINGS DO NOT SPECIFY LOCATIONS OF FIXTURES, OUTLETS, OR EQUIPMENT - REFER TO ARCHITECT'S DRAWINGS.
5. SEPARATE JUNCTION BOXES BY AT LEAST ONE (1) STUD WHERE TELEPHONE & ELECTRICAL OUTLETS APPEAR BACK-TO-BACK OR SIDE-BY-SIDE.
6. OUTLETS, SWITCHES & JUNCTION BOXES LOCATED IN ACOUSTICAL PARTITIONS SHALL RECEIVE EQUIVALENT INSULATION BEHIND BOXES.
7. WHERE WALL MOUNTED OUTLETS ARE INDICATED SIDE-BY-SIDE, THE MAXIMUM SEPARATION SHALL BE SIX (6) INCHES, CENTERLINE TO CENTERLINE, U.O.N.
8. GANG ELECTRICAL OUTLETS & SWITCHES WHERE POSSIBLE.
9. WALL MOUNTED ELECTRICAL, TELEPHONE & DATA OUTLETS SHALL BE INSTALLED AT EIGHTEEN (18) INCHES ABOVE FINISHED FLOORS, UNLESS NOTED OTHERWISE.
10. INSTALL LIGHT SWITCHES AT FOURTY-TWO (42) INCHES AFF. & WITHIN EIGHT (8) INCHES OF DOOR FRAME, U.O.N.. FOLLOW ADA REGULATIONS IN PUBLIC CIRCUMSTANCES.
11. THERMOSTATS SHALL BE INSTALLED AT SIXTY (60) INCHES AFF. ADJACENT TO LIGHT SWITCHES, UNLESS NOTED OTHERWISE.
12. INCANDESCENT LIGHT FIXTURES ARE TO BE ON DIMMERS, U.O.N.
13. WHERE LIGHTS & SWITCHES ARE NOT NOTED W/ A LOWER CASE LETTER DESIGNATION, THE SWITCHES ARE TO BE CONNECTED ONLY TO THOSE LIGHT FIXTURES WITHIN THAT SPECIFIC ROOM.
14. FLOOR MOUNTED OUTLETS ARE DIMENSIONED FROM THE CENTERLINE OF THE OUTLET TO THE FINISHED FACE OF THE PARTITION AND/OR COLUMN, UNLESS NOTED OTHERWISE.
15. ELECTRICAL ITEMS INDICATED IN OR ON CABINETRY SHALL BE SUPPLIED, INSTALLED & COORDINATED BY THE CONTRACTOR.
16. ELECTRICAL SUB-CONTRACTOR SHALL MAKE FINAL CONNECTIONS FOR ALL FLOOR OR WALL OUTLETS TO FURNITURE SYSTEM POWER POLES (WHERE APPLICABLE) FOLLOWING MANUFACTURER'S STANDARDS FOR INSTALLATION AND APPLICABLE CODES.
17. PHONE & DATA OUTLETS SHALL BE SINGLE OUTLET BOX W/ FULL STRING & RING FOR WIRING. WIRING OR CABLING SHALL BE BY OTHERS UNLESS NOTED OTHERWISE.
18. THE SIZE OF NEW TELEPHONE & DATA LINE CONDUITS SHALL BE AS PER SUPPLIER'S SPECIFICATIONS. VERIFY REQUIREMENTS W/ OWNER.
19. INSTALL BUILDING STANDARD COVER PLATES FOR OUTLETS & SWITCHES.
20. EXHAUST FANS SHALL BE SILENT RUNNING & SHALL HAVE A MINIMUM EIGHT (8) FOOT LONG DUCT BETWEEN THE RETURN AIR GRILLE & FAN MOTOR. DUCT SHALL BE LINED W/ ONE (1) INCH MIN. THICK FIBERGLASS LINER. DO NOT LOCATE FAN MOTOR ABOVE CEILING OF ROOM SERVED BY FAN - LOCATE MOTOR ABOVE CORRIDOR OR OPEN AREA CEILING. PROVIDE SPARK PROOF MOTORS OR EXPLOSION PROOF MOTORS FOR LOCATIONS INVOLVING FLAMABLE MATERIALS (ONLY IF APPLICABLE.)
21. ACCESS PANELS AS REQUIRED SHALL BE INSTALLED FLUSH W/ CEILING & FINISHED TO MATCH THE ADJACENT CEING FINISH. LOCATIONS OF ACCESS PANELS ARE TO BE REVIEWED WITH THE ARCHITECT PRIOR TO INSTALLATION.

"HIDEAWAY-BY-THE-SEA"
126 SE 7TH AVE., DELRAY BEACH, FL. 33483

Drawn
RW COPE
Project No.
2017.82PATTONCOPE
CAD File No.
SPEC SHEET

Date
OCTOBER 23, 2017
Drawing No.

A1.0

TOTALS	+- 6,750.00 SQ. FT.	100% OF SITE
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RM - MULTI FAMILY RESIDENTIAL:	TWO (2) PER HOUSEHOLD	TWO (2)
TOTALS:	FOUR (4) (TWO (2) PER HOUSEHOLD)	FOUR (4) (TWO (2) PER HOUSEHOLD)

ZONED: RM (MULTI FAMILY RESIDENTIAL)
PROPOSED USE: TWO (2) SINGLE FAMILY RESIDENCES (NO CHANGE)
EXISTING 4' HIGH BLACK COATED CHAINLINK FENCE TO REMAIN, TYP.

- 1.) UNDER NO CIRCUMSTANCES SHALL THIS PROPERTY BE GRADED SO THAT STORM WATER RUNS OFF onto ANY ADJACENT PROPERTIES.
- 2.) SEE SUFFICIENT PROPOSED FINAL GRADES AND ASSOCIATED DETAIL INSURING STORM WATER DOES NOT FLOW onto ADJACENT PROPERTIES.
- 3.) PLEASE SEE SURVEY FOR EXISTING GRADES @ ALL PROPERTY LINES & ON ALL ADJACENT PROPERTIES. MINIMUM TWO (2) GRADES PER PROPERTY LINE.
- 4.) PLEASE SEE FLOOR PLANS FOR FINISH FLOOR ELEVATIONS OF ALL STRUCTURES WHICH ARE ALL MINIMUM 18" ABOVE THE CROWN OF THE ADJACENT STREETS OR ROADWAYS.
- 5.) PLEASE SEE SITE PLAN AND DETAILS FOR MINIMUM 3" DEEP SODDED SWALE BETWEEN SITE'S PROPERTY LINE AND ALL ADJACENT STREETS OR ROADWAYS.

EXISTING TOPOGRAPHY (GRADE) TO REMAIN - SEE SURVEY
PROPOSED NEW TOPOGRAPHY (FINISH GRADE)



RM	MIN. LOT SIZE (sq. ft.)	MIN. LOT WIDTH (ft.)	MIN. LOT DEPTH (ft.)	MIN. FLOOR AREA (sq. ft.)	MIN. LOT FRONTAGE (ft.)	MIN. OPEN SPACE (%) LDR	MAX. LOT COVERAGE (%) LDR	MIN. FRONT SETBACK (ft.)	MIN. SIDE/REAR INTERIOR SETBACK (ft.) LDR	MIN. SIDE STREET SETBACK (ft.)	MIN. REAR SETBACK (ft.)	MAX. BUILDING HEIGHT (ft.)	PERVIOUS AREA (sq. ft.)	IMPERVIOUS AREA (sq. ft.)
REQUIRED	8,000	60	100	1,000	60	40	NA	25/30	15/30	NA	25	35	2,700	4,050
PROVIDED	6,750	50	135	1,790	50	25	NA	40.5	15/30	NA	27.1	21.25	1,687	5,063
EXISTING	6,750	50	135	1,660	50	60	NA	40.5	10.1 @ NORTH	NA	27.1	23.25	4,480	2,270
									7.5 @ SOUTH					

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DELRAY BEACH, FLORIDA 33444-3713
ARCHITECTURE - PLANNING - INTERIORS

Seal

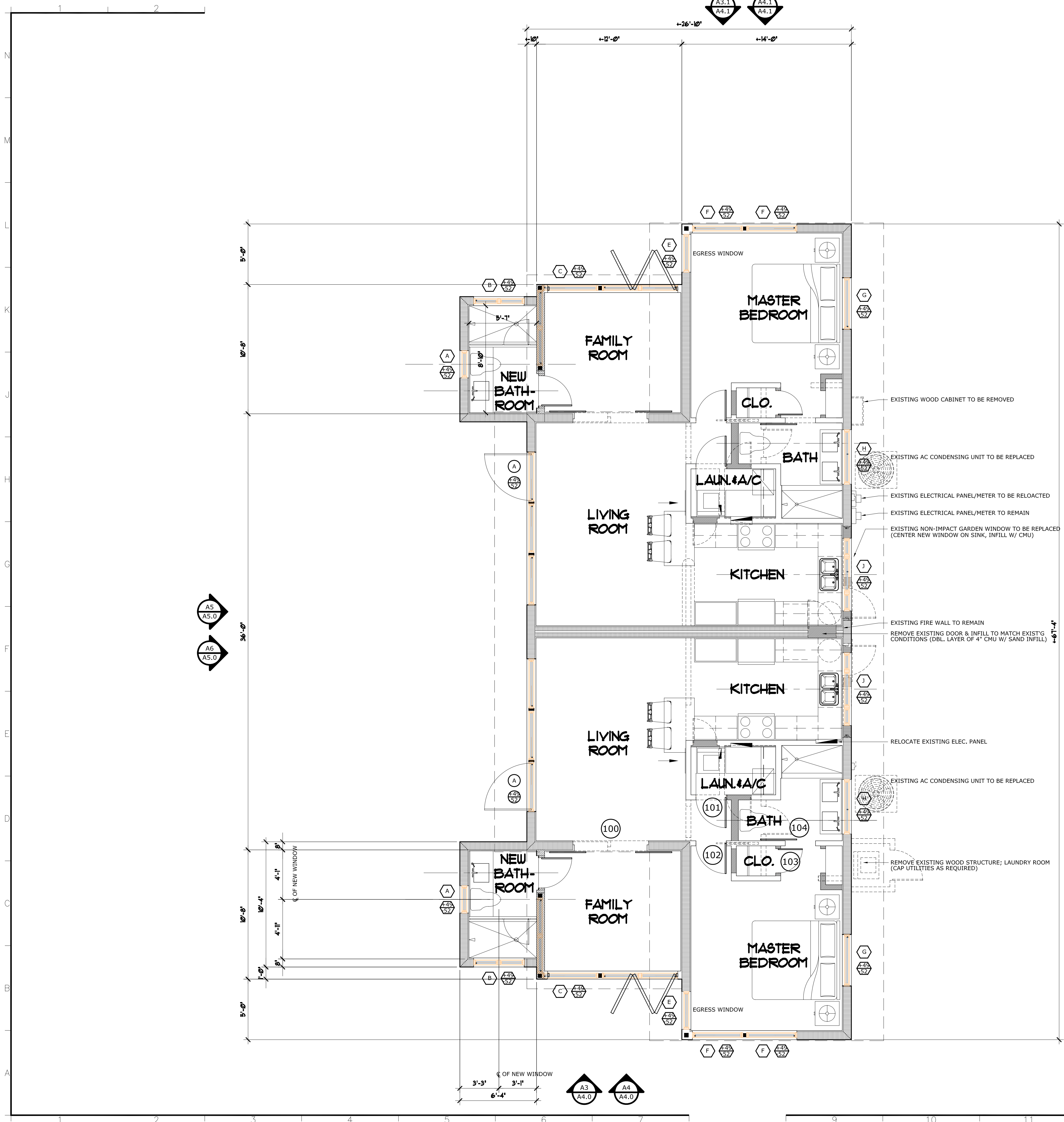
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RW COPE	
Project No.	
2017.02PATTONCOPE	

CAD File No.
SITEPLAN

Date
MAY 29, 2018

A2.0 of



EXISTING BLDG. DATA:

EAST UNIT FLOOR AREA:		GRAND TOTAL FLOOR AREA:	
LIVING AREA (UNDER AIR) :	++ 830 SQ. FT.	LIVING AREA (UNDER AIR) :	++ 1,660 SQ. FT.
GARAGE (NOT UNDER AIR):	++ 0 SQ. FT.	COVERED AREA :	++ 0 SQ. FT.
COVERED AREA (REAR PORCH):	++ 0 SQ. FT.	GRAND FLR. TOTAL AREA :	++ 1,660 SQ. FT.
EXISTING FLR. TOTAL AREA :	++ 830 SQ. FT.		
WEST UNIT FLOOR AREA:			
LIVING AREA (UNDER AIR) :	++ 830 SQ. FT.		
GARAGE (NOT UNDER AIR):	++ 0 SQ. FT.		
COVERED AREA (REAR PORCH):	++ 0 SQ. FT.		
EXISTING FLR. TOTAL AREA :	++ 830 SQ. FT.		

PROPOSED BLDG. DATA:

EAST UNIT FLOOR AREA:		GRAND TOTAL FLOOR AREA:	
LIVING AREA (UNDER AIR) :	++ 895 SQ. FT.	LIVING AREA (UNDER AIR) :	++ 1,790 SQ. FT.
GARAGE (NOT UNDER AIR):	++ 0 SQ. FT.	COVERED AREA :	++ 0 SQ. FT.
COVERED AREA (REAR PORCH):	++ 0 SQ. FT.	GRAND FLR. TOTAL AREA :	++ 1,790 SQ. FT.
PROPOSED FLR. TOTAL AREA :	++ 895 SQ. FT.		
WEST UNIT FLOOR AREA:			
LIVING AREA (UNDER AIR) :	++ 895 SQ. FT.		
GARAGE (NOT UNDER AIR):	++ 0 SQ. FT.		
COVERED AREA (REAR PORCH):	++ 0 SQ. FT.		
PROPOSED FLR. TOTAL AREA :	++ 895 SQ. FT.		

WALL LEGEND:

- EXISTING CMU WALL: ADD 1 1/2" METAL STUDS @ 16" O.C. & 1 1/2" RIGID INSULATION BOARD BETWEEN STUDS - TYP.
- EXISTING INTERIOR NON-LOAD BEARING PARTITION
- EXISTING INTERIOR NON-LOAD BEARING PARTITION INFILL TO MATCH EXISTING ADJACENT CONDITIONS
- EXISTING PARTITION W/ SOUND ATTENUATING INSULATION

SYMBOLS LEGEND:

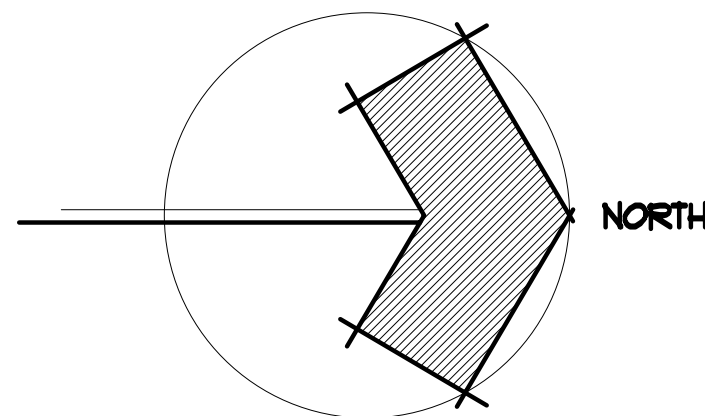
- WINDOW TYPE, SEE SCHEDULE
- WINDOW PRESSURES (P.S.F.)
- DOOR TYPE, SEE SCHEDULE
- DOOR PRESSURES (P.S.F.)

SYMBOLS LEGEND:

- NEW INTERIOR DOOR TYPE, SEE SCHEDULE

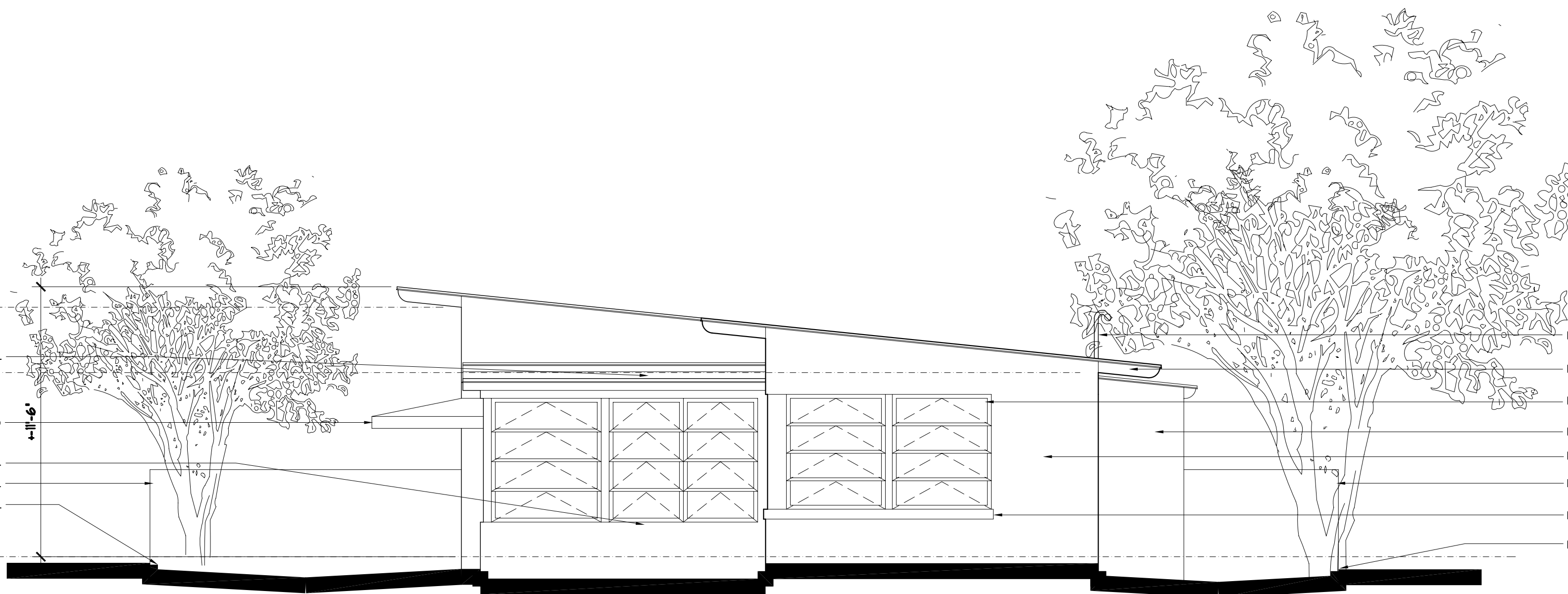
A2 ARCHITECTURAL FLOOR PLAN

SCALE: 1/4" = 1'- 0"



Seal	Drawing No.	Date	JULY 12, 2018	Drawing Title	PROPOSED FLOOR PLAN	No.	REVISIONS	Date	JAN. 16, 2018
COPE ARCHITECTS, INC. 114 1/2 N.E. 1ST AVENUE DELRAY BEACH, FLORIDA 33444-3713 ARCHITECTURE - PLANNING - INTERIORS PHD 561 274-6706 FAX 561 274-6707									
"HIDE-A-WAY BY THE SEA" 126 SE 7TH AVE. DELRAY BEACH, FLORIDA 33483									
Consultant Seal									

ELEV. +-10'-6"
ROOF BEARING @ SOUTH
ELEV. +-7'-8"
ROOF BEARING @ NORTH
EXISTING FLAT ROOF TO BE REINVENTED, TYPICAL
EXISTING CANVAS AWNING & FRAME TO BE REMOVED
NO SILL @ THESE EXISTING WINDOWS, TYPICAL
EXISTING 4' HIGH CHAINLINK FENCE/GATE (BEYOND) TO BE REMOVED, TYPICAL
EXISTING FINISH GRADE TO REMAIN, TYPICAL
ELEV. +-0'-0" (+-11.24' NGVD)
TOP OF EXISTING FINISH FLOOR

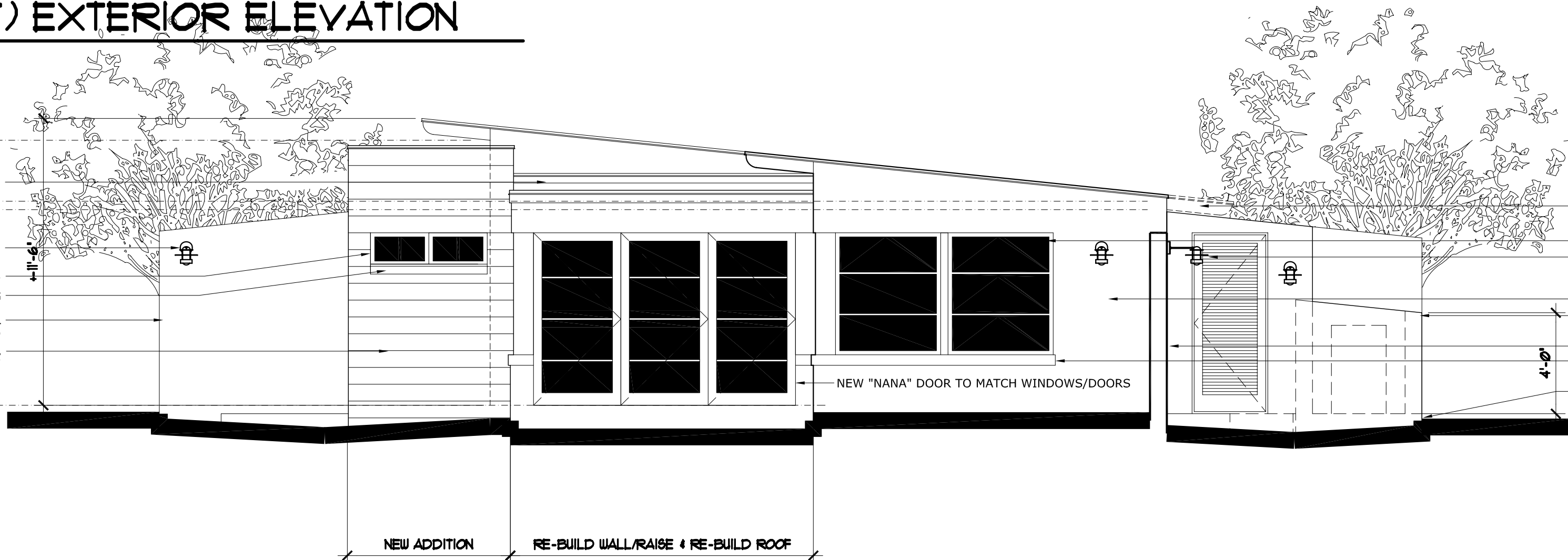


EXISTING ELECTRICAL OVERHEAD SERVICE TO BE PLACED UNDERGROUND
EXISTING WOOD OUTLOOKERS TO REMAIN, TYPICAL
EXISTING CLEAR ANODIZED ALUM., NON-IMPACT RESISTANT, PROJECTED AWNING WINDOWS TO BE REMOVED, TYP.
EXISTING WASHER/DRYER SHED TO BE REMOVED
EXISTING SMOOTH STUCCO FINISH TO REMAIN, TYPICAL
EXISTING 4' HIGH CHAINLINK FENCE/GATE (BEYOND) TO BE REMOVED, TYPICAL
EXISTING CONCRETE SILL TO REMAIN, TYPICAL
EXISTING FINISH GRADE TO REMAIN, TYPICAL

A3 EXISTING ENTRY (EAST) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

ELEV. +-10'-6"
ROOF BEARING @ SOUTH
ELEV. +-7'-8"
ROOF BEARING @ NORTH
NEW MODIFIED BITUMEN ROOF (TO MATCH EXISTING),
SLOPED 1/4"/FT, FLASHING & COUNTER FLASHING SHOWN
FOR CLARITY
NEW LIGHT FIXTURE, TYPICAL
NEW BRONZE ANODIZED ALUM., IMPACT RESISTANT, "SLIDER" WINDOWS
CONCRETE SILL TO MATCH EXISTING
EXISTING CHAINLINK FENCE/GATE (BEYOND) TO BE REMOVED, TYPICAL
(RAKED TOP TO MATCH SLOPE OF ROOF)
NEW IPE EXTERIOR WOOD CLADDING SYSTEM,
TYPICAL @ NEW BATHROOMS ONLY
ELEV. +-0'-0" (+-11.24' NGVD)
TOP OF EXISTING FINISH FLOOR

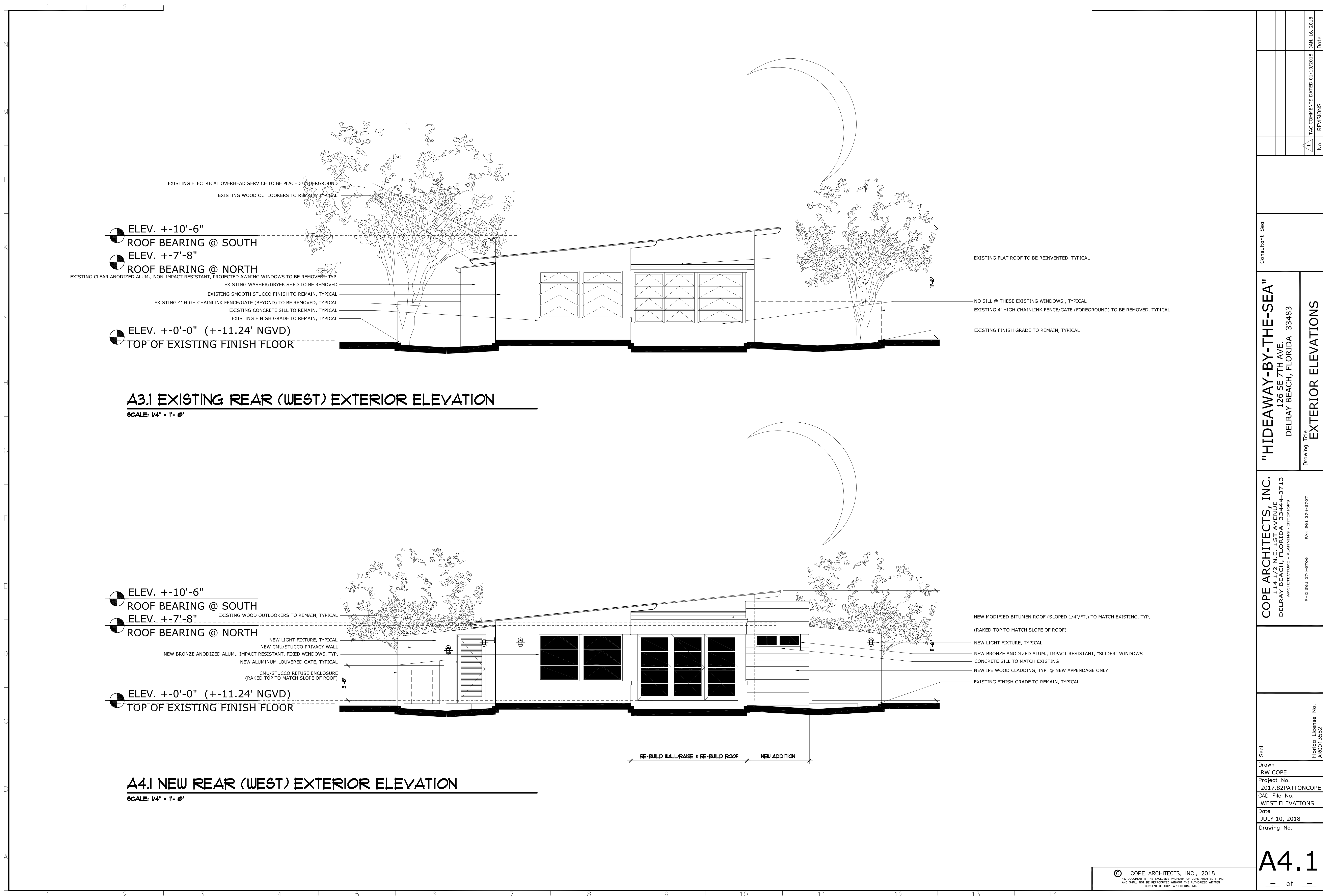


EXISTING WOOD OUTLOOKERS TO REMAIN, TYPICAL
NEW BRONZE ANODIZED ALUM., IMPACT RESISTANT, PROJECTED AWNING WINDOWS, TYPICAL
NEW LIGHT FIXTURE, TYPICAL
EXISTING SMOOTH STUCCO FINISH TO REMAIN, TYPICAL
NEW CMU/STUCCO PRIVACY WALL (BEYOND), TYPICAL
(RAKED TOP TO MATCH SLOPE OF ROOF)
NEW CMU/STUCCO PRIVACY WALL
EXISTING CONCRETE SILL TO REMAIN, TYPICAL
EXISTING FINISH GRADE TO REMAIN, TYPICAL

A4 NEW ENTRY (EAST) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

Seal		Consultant Seal	
Drawn RW COPE	"HIDEAWAY-BY-THE-SEA" 126 SE 7TH AVE. DELRAY BEACH, FLORIDA 33483 Drawing Title EXTERIOR ELEVATIONS		
Project No. 2017.82PATTONCOPE			
CAD File No. EAST ELEVATIONS			
Date JULY 10, 2018			
Drawing No.			
COPE ARCHITECTS, INC. 114 1/2 N.E. 1ST AVENUE DELRAY BEACH, FLORIDA 33444-3713 ARCHITECTURE - PLANNING - INTERIORS PHD 561 274-6706 FAX 561 274-6707		APR. 27, 2018 JAN. 16, 2018 Date	
Florida License No. AR0013552		TAC COMMENTS No. REVISIONS	
A4.0		3 1	
of		No. REVISIONS	



A3.1 EXISTING REAR (WEST) EXTERIOR ELEVATION

SCALE: 1/4" = 1' - 0"

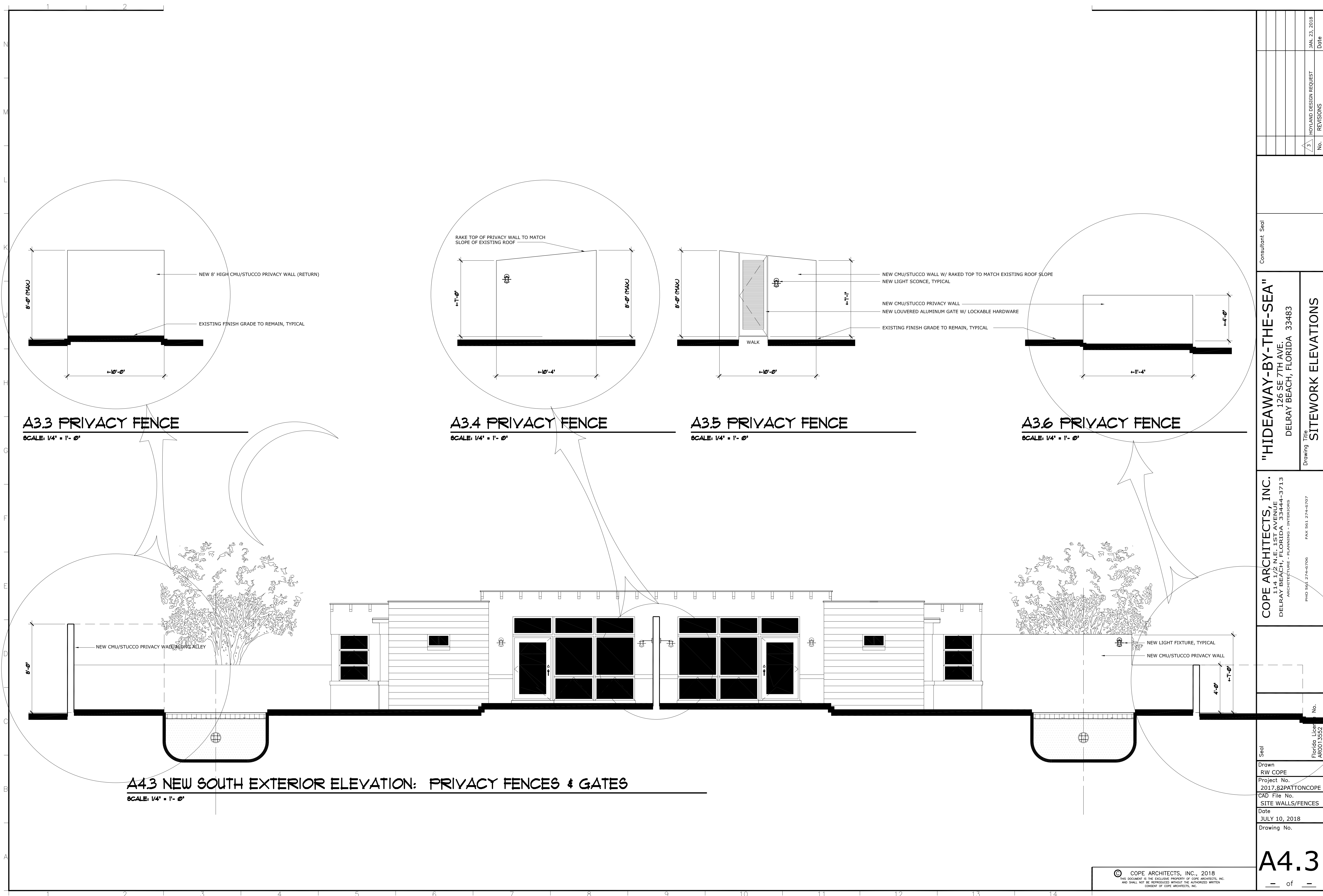
A4.1 NEW REAR (WEST) EXTERIOR ELEVATION

SCALE: 1/4" = 1' - 0"

Seal		Drawing Title		Consultant Seal		No.		REVISIONS		Date	
Florida License No. AR0013552		"HIDEAWAY-BY-THE-SEA" 126 SE 7TH AVE. DELRAY BEACH, FLORIDA 33483				1		TAC COMMENTS DATED 01/10/2018		JAN. 16, 2018	
Drawn RW COPE		Project No. 2017.82PATTONCOPE		CAD File No. WEST ELEVATIONS		Date JULY 10, 2018		Drawing No.		A4.1	
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A3.3 PRIVACY FENCE

SCALE: 1/4" = 1'- 0"

A3.4 PRIVACY FENCE

SCALE: 1/4" = 1'- 0"

A3.5 PRIVACY FENCE

SCALE: 1/4" = 1'- 0"

A3.6 PRIVACY FENCE

SCALE: 1/4" = 1'- 0"

A4.3 NEW SOUTH EXTERIOR ELEVATION: PRIVACY FENCES & GATES

SCALE: 1/4" = 1'- 0"

Seal	Drawn RW COPE	Project No. 2017.82PATTONCOPE	CAD File No. SITE WALLS/FENCES	Date JULY 10, 2018	Drawing No.	No.	Florida License AR0013552	Consultant Seal	"HIDEAWAY-BY-THE-SEA" 126 SE 7TH AVE. DELRAY BEACH, FLORIDA 33483	Drawing Title SITEWORK ELEVATIONS	No.	REVISIONS	JAN. 23, 2018	Date

ELEV. +-10'-6"
ROOF BEARING @ SOUTH
ELEV. +-7'-8"
ROOF BEARING @ NORTH
EXISTING CLEAR ANODIZED ALUM., NON-IMPACT RESISTANT,
PROJECTED AWNING WINDOWS TO BE REMOVED, TYP.
NO SILL @ THESE EXISTING WINDOWS, TYPICAL
ELEV. +-0'-0" (+-11.24' NGVD)
TOP OF EXISTING FINISH FLOOR

A5 EXISTING SOUTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

ELEV. +-10'-6"
ROOF BEARING @ SOUTH
ELEV. +-7'-8"
ROOF BEARING @ NORTH
NEW BRONZE ANODIZED ALUM., IMPACT RESISTANT, CASEMENT
WINDOW QUALIFYING AS EGRESS WINDOW, TYP.
NEW CMU/STUCCO PRIVACY WALL W/ RAKED TOP TO MATCHSLOPE OF ROOF
ELEV. +-0'-0" (+-11.24' NGVD)
TOP OF EXISTING FINISH FLOOR

A6 NEW SOUTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

EXISTING CANVAS AWNING & FRAME TO BE REMOVED
EXISTING NON-IMPACT RESISTANT DOOR TO BE REMOVED
(TYPICAL OF TWO (2))
SAWCUT & REMOVE EXISTING CMU KNEEWALL
(TYPICAL OF TWO (2))
EXISTING FINISH GRADE TO REMAIN, TYPICAL

NEW ALUM. MODIFIED BITUMEN ROOF (BEYOND), TYP.
NEW LIGHT FIXTURE, TYPICAL
NEW FIXED WINDOW, TYP. OF TWO (2)
NEW ANODIZED BRONZE ALUM. IMPACT RESISTANT
CASEMENT WINDOW, TYPICAL
NEW IPE EXTERIOR WOOD CLADDING
TYPICAL @ NEW BATHROOMS ONLY
NEW CONCRETE SILL TO MATCH EXISTING, TYP.
EXISTING FINISH GRADE TO REMAIN, TYPICAL

"HIDEAWAY-B-THE-SEA"

126 SE 7TH AVE.
DELRAY BEACH, FLORIDA 33483

EXTERIOR ELEVATIONS

COPE ARCHITECTS, INC.

114 1/2 N.E. 1ST AVENUE
DELRAY BEACH, FLORIDA 33444-3713

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Seal

Drawn

RW COPE

Project No.

2017.82PATTONCOPE

CAD File No.

SOUTH ELEVATIONS

Date

JULY 10, 2018

Drawing No.

A5.0

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ELEV. +-10'-6"
ROOF BEARING @ SOUTH
ELEV. +-7'-8"
ROOF BEARING @ NORTH

ELEV. +-0'-0" (+-11.24' NGVD)
TOP OF EXISTING FINISH FLOOR

EXISTING WOOD OUTLOOKERS TO REMAIN, TYPICAL
ORIGINAL WOOD, NON-IMPACT RESISTANT,
PROJECTED AWNING WINDOWS TO BE REMOVED, TYP.
EXISTING WASHER/DRYER SHED TO BE REMOVED

EXISTING FINISH GRADE TO REMAIN, TYPICAL

EXISTING ELECTRICAL OVERHEAD SERVICE TO BE
PLACED UNDERGROUND
EXISTING WOOD OUTLOOKERS TO REMAIN, TYPICAL
EXISTING ORIGINAL WOOD, NON-IMPACT RESISTANT,
PROJECTED AWNING WINDOWS TO BE REMOVED, TYP.
EXISTING WOOD CABINET TO BE REMOVED
EXISTING ELECTRICAL PANELS/METERS TO REMAIN
EXISTING MIS-MATCHED NON-IMPACT RESISTANT,
DOORS TO BE REMOVED, TYP. OF TWO (2)
EXISTING A/C CONDENSING UNIT TO BE RELOCATED, TYP.
EXISTING FINISH GRADE TO REMAIN, TYPICAL

A7 EXISTING REAR (NORTH) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

ELEV. +-10'-6"
ROOF BEARING @ SOUTH
ELEV. +-7'-8"
ROOF BEARING @ NORTH

ELEV. +-0'-0" (+-11.24' NGVD)
TOP OF EXISTING FINISH FLOOR

NEW LIGHT FIXTURE, TYPICAL
NEW CMU/STUCCO PRIVACY WALL W/ RAKED TOP TO MATCHSLOPE OF ROOF
NEW BRONZE ANODIZED ALUM., IMPACT RESISTANT
OPERABLE/FIXED/OPERABLE WINDOW, TYP. OF TWO (2)
EXISTING FINISH GRADE TO REMAIN, TYPICAL

EXISTING WOOD OUTLOOKERS TO REMAIN, TYPICAL
EXISTING ELECTRICAL PANELS/METERS TO BE SEPARATED;
EAST EXISTING ELECTRICAL PANEL/METER TO REMAIN BUT
WEST EXISTING ELECTRICAL PANEL/METER TO BE RE-
LOCATED TO EAST UNIT AS SHOWN
(ALLOWING FOR NEW WINDOW)
EXISTING FINISH GRADE TO REMAIN, TYPICAL

A8 NEW REAR (NORTH) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

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No.	REVISIONS	Date
2	TAC COMMENTS	APR. 27, 2018
1	TAC COMMENTS DATED 01/10/2018	JAN. 16, 2018

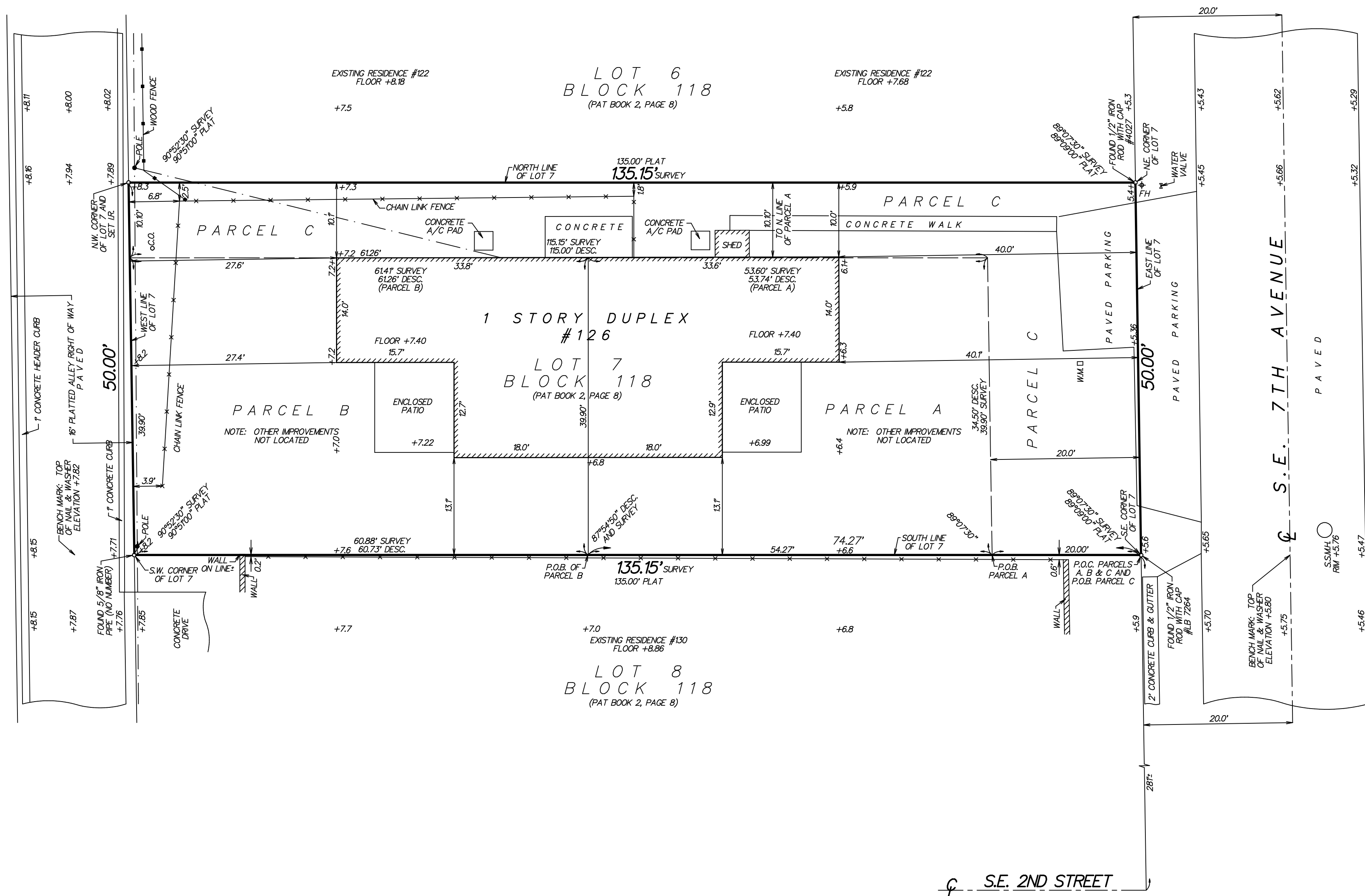
"HIDEAWAY-BY-THE-SEA"
126 SE 7TH AVE.
DELRAY BEACH, FLORIDA 33483

COPE ARCHITECTS, INC.
114 1/2 N.E. 1ST AVENUE
DELRAY BEACH, FLORIDA 33444-3713
ARCHITECTURE - PLANNING - INTERIORS

Seal
Florida License No.
AR0013552

Drawn
RW COPE
Project No.
2017.82PATTONCOPE
CAD File No.
REAR ELEVATIONS
Date
JULY 10, 2018
Drawing No.

A6.0
of



DESCRIPTION:

PARCEL A:

PART OF LOT 7, RESUBDIVISION OF BLOCK 118, DELRAY BEACH, FLORIDA ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 8, PALM BEACH COUNTY, PUBLIC RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID LOT 7; THENCE RUN WESTERLY ALONG THE SOUTH LINE OF SAID LOT 7, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE WESTERLY ALONG SAID SOUTH LINE OF SAID LOT 7, A DISTANCE OF 54.27 FEET TO A POINT; THENCE RUN NORTHERLY MAKING AN ANGLE OF 89°54'50" THROUGH THE NORTHWEST FROM THE PREVIOUS COURSE, A DISTANCE OF 39.90 FEET TO A POINT; THENCE RUN EASTERLY ALONG A LINE PARALLEL TO AND 10.10 FEET SOUTH OF THE NORTH LINE OF SAID LOT 7, A DISTANCE OF 53.74 FEET TO A POINT; THENCE RUN SOUTHERLY ALONG A LINE PARALLEL TO AND 20.00 FEET WEST OF THE EAST LINE OF SAID LOT 7, A DISTANCE OF 39.50 FEET TO THE POINT OF BEGINNING.

AND AN UNDIVIDED ONE-HALF INTEREST IN AND TO THE FOLLOWING DESCRIBED:

PARCEL C:

PART OF LOT 7, RESUBDIVISION OF BLOCK 118, DELRAY BEACH, FLORIDA ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 8, PALM BEACH COUNTY, PUBLIC RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF SAID LOT 7; THENCE RUN WESTERLY ALONG THE SOUTH LINE OF SAID LOT 7, A DISTANCE OF 20.00 FEET TO A POINT; THENCE RUN NORTHERLY, ALONG A LINE PARALLEL TO AND 20.00 FEET WEST OF THE EAST LINE OF SAID LOT 7, A DISTANCE OF 39.90 FEET TO A POINT; THENCE RUN WESTERLY ALONG A LINE PARALLEL TO AND 10.10 FEET SOUTH OF THE NORTH LINE OF SAID LOT 7, A DISTANCE OF 15.00 FEET TO A POINT IN THE WEST LINE OF LOT 7; THENCE RUN NORTHERLY, ALONG THE SAID WEST LINE OF LOT 7, A DISTANCE OF 10.10 FEET TO THE NORTHWEST CORNER OF SAID LOT 7; THENCE RUN EASTERLY, ALONG THE SAID NORTH LINE OF LOT 7, A DISTANCE OF 135.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 7; THENCE RUN SOUTHERLY, ALONG THE SAID EAST LINE OF LOT 7, A DISTANCE OF 50.00 FEET TO THE SOUTHEAST CORNER OF LOT 7 AND THE POINT OF BEGINNING.

PARCEL B:

PART OF LOT 7, RESUBDIVISION OF BLOCK 118, DELRAY BEACH, FLORIDA ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 8, PALM BEACH COUNTY, PUBLIC RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID LOT 7; THENCE RUN WESTERLY ALONG THE SOUTH LINE OF SAID LOT 7, A DISTANCE OF 74.27 FEET TO THE POINT OF BEGINNING; THENCE RUN NORTHERLY, MAKING AN ANGLE OF 89°54'50" THROUGH THE NORTHWEST FROM THE PREVIOUS COURSE, A DISTANCE OF 39.90 FEET TO A POINT; THENCE RUN WESTERLY, ALONG A LINE PARALLEL TO AND 10.1 FEET SOUTH OF THE NORTH LINE OF SAID LOT 7, A DISTANCE OF 61.26 FEET TO A POINT IN THE WEST LINE OF SAID LOT 7; THENCE RUN NORTHERLY, ALONG THE SAID WEST LINE OF LOT 7, A DISTANCE OF 10.10 FEET TO THE NORTHWEST CORNER OF SAID LOT 7; THENCE RUN EASTERLY, ALONG THE SAID NORTH LINE OF LOT 7, A DISTANCE OF 135.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 7; THENCE RUN SOUTHERLY, ALONG THE SAID EAST LINE OF LOT 7, A DISTANCE OF 60.73 FEET TO THE POINT OF BEGINNING.

AND AN UNDIVIDED ONE-HALF INTEREST IN AND TO THE FOLLOWING DESCRIBED:

PARCEL C:

PART OF LOT 7, RESUBDIVISION OF BLOCK 118, DELRAY BEACH, FLORIDA ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 8, PALM BEACH COUNTY, PUBLIC RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF SAID LOT 7; THENCE RUN WESTERLY ALONG THE SOUTH LINE OF SAID LOT 7, A DISTANCE OF 20.00 FEET TO A POINT; THENCE RUN NORTHERLY, ALONG A LINE PARALLEL TO AND 20.00 FEET WEST OF THE EAST LINE OF SAID LOT 7, A DISTANCE OF 39.90 FEET TO A POINT; THENCE RUN WESTERLY ALONG A LINE PARALLEL TO AND 10.10 FEET SOUTH OF THE NORTH LINE OF SAID LOT 7, A DISTANCE OF 15.00 FEET TO A POINT IN THE WEST LINE OF LOT 7; THENCE RUN NORTHERLY, ALONG THE SAID WEST LINE OF LOT 7, A DISTANCE OF 10.10 FEET TO THE NORTHWEST CORNER OF SAID LOT 7; THENCE RUN EASTERLY, ALONG THE SAID NORTH LINE OF LOT 7, A DISTANCE OF 135.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 7; THENCE RUN SOUTHERLY, ALONG THE SAID EAST LINE OF LOT 7, A DISTANCE OF 50.00 FEET TO THE SOUTHEAST CORNER OF LOT 7 AND THE POINT OF BEGINNING.

LEGEND:

C = CENTERLINE

FH = FIRE HYDRANT

W.M. = WATER METER

S.S.M.H. = SANTARY SEWER MANHOLE

C.O. = SANTARY SEWER CLEAN OUT

— — — — — = OVERHEAD UTILITY LINES

IR. = 5/8" IRON ROD WITH CAP #LB 353

P.O.B. = POINT OF BEGINNING

P.O.C. = POINT OF COMMENCEMENT

DESC. = DESCRIPTION

+5.80 = ELEVATION BASED ON NORTH AMERICAN VERTICAL DATUM 1988. SOURCE: STATE ROAD DEPARTMENT BENCH MARK IN ATLANTIC AVENUE BRIDGE OVER INTRACOASTAL WATERWAY

FLOOD ZONE: X

COMMUNITY PANEL NO. 125102 0979

SUFFIX F

EFFECTIVE DATE: OCTOBER 5, 2017

NOTE: ALL BOUNDARY LINES AND ANGULAR DIMENSIONS ARE PLAT AND SURVEY UNLESS STATED OTHERWISE.

ALL DIMENSIONS SHOWN HEREON ARE BASED ON THE STANDARD U.S. FOOT.

THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL OF CLOSURE OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR COMMERCIAL/HIGH RISK PROPERTY CLOSURE WAS ACHIEVED BASED ON A REDUNDANCY OF MEASUREMENTS FOR VERTICAL, HORIZONTAL AND ANGULAR DIMENSIONS.

NO TITLE WAS REVIEWED OR SEARCH OF THE PUBLIC RECORDS WAS MADE IN REGARD TO EASEMENTS THAT MAY AFFECT SUBJECT PARCEL

NO SUBSURFACE SEARCH WAS MADE FOR UTILITIES OR UNDERGROUND FEATURES

MAP OF BOUNDARY SURVEY
SITE ADDRESS: 126 S.E. 7TH AVENUE,
DELRAY BEACH, FLORIDA 33483

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Paul D. Engle

PAUL D. ENGLE
SURVEYOR & MAPPER #5708

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

O'BRIEN, SUITER & O'BRIEN, INC.
LAND SURVEYORS

CERTIFICATE OF AUTHORIZATION #LB353
SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE
955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445
(561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY MAY 30, 2018	SCALE: 1" = 10'
FIELD BOOK D.319	ORDER NO.: 18-27db
PAGE NO. 8	