

March 14, 2020

City of Delray Beach
100 NW 1st Avenue
Delray Beach, Florida 33444

Attn.: Michelle Hoyland – Senior Historic Preservation Planner, Planning & Zoning

Re: Letter of Justification: COA

Project: Marino Residence, 223 NE 1st Avenue – National OSSHAD Historic District

Mrs. Hoyland:

I hope all is well.

As the Architect-Of-Record for the above referenced Project, please accept this letter of justification associated with the COA processing of our Project.

I am focusing on LDR Section 4.5.1(7) Visual Compatibility Standards & the Secretary of the Interiors Standards for Rehabilitation.

JUSTIFICATION

“Pursuant to LDR Section 4.5.1(7)(a) – Height”

Response: Our proposal limits our highest roof element to be below the existing highest roof ridge! Therefore, we are compatible.

“Pursuant to LDR Section 4.5.1(7)(b) – Front Façade Proportion”

Response: We are NOT altering the front façade in a manner that negatively affects the existing proportions (of it's massing). Therefore, we are compatible.

“Pursuant to LDR Section 4.5.1(7)(c) – Proportion of Openings (Windows & Doors)”

Response: All of our proposed new windows & exterior doors are designed in harmony with existing conditions with the lone exception being the “clerestory” type fixed windows (used three (3) places) placed along the South wall at the New Master Bedroom & Bathroom Suite.....but they are NOT VISIBLE from any public right-of-way and are designed such as to provide total PRIVACY from our neighbor. Therefore, we are compatible.

“Pursuant to LDR Section 4.5.1(7)(d) – Rhythm of Solids to Voids”

Response: I contend our rhythm of solids to voids, for the proposed improvements is tasteful. Therefore, we are compatible.

“Pursuant to LDR Section 4.5.1 (7)(e) – Rhythm of Building on Streets”

Response: Our little building is one of eleven (11) very similar versions of the same design, we are exactly mid-block and so do NOT disrupt the rhythm of anything on this block or street. Therefore, we are compatible.

“Pursuant to LDR Section 4.5.1(7)(f) – Rhythm of Entrance and/or Porch Projection(s)”

Response: We are proposing a tastefully designed, proportionally integrated extension of the Front Entry Porch. We toned it down from its original design by dropping its roof ridge and making it as "open" as possible. We eliminated the solid side walls. Incorporated columns instead. We are choosing NOT to use a canvas awning solution and we studied all ten (10) other building Entrance or Porch Projections and find our design to be superior to any other. Including the two (2) recently approved by Staff immediately to our North (Both Dan Sloan designed projects). Therefore, we are compatible.

"Pursuant to LDR Section 4.5.1(7)(g) – Relationship of Materials, Texture & Color"

Response: All completely harmonious with existing conditions. Therefore, we are compatible.

"Pursuant to LDR Section 4.5.1(7)(h) – Roof Shapes"

Response: Our existing structure has both gabled and hip shapes. Our proposed improvements do as well, and has an integrated flat roof too. Therefore, we are compatible.

"Pursuant to LDR Section 4.5.1(7)(i) – Walls of Continuity"

Response: We are proposing nothing to change this visual compatibility, therefore it is not applicable.

"Pursuant to LDR Section 4.5.1(7)(j) – Scale of a Building"

Response: Both, our existing building and proposed additions are very much in keeping with the scale of ALL eleven (11) similar buildings on the East side of Banker's Row. Therefore, we are compatible.

"Pursuant to LDR Section 4.5.1(7)(k) – Directional Expression of Front Elevation"

Response: Being classified as "horizontal", we have proposed nothing to alter the existing directional expression of the front elevation. Therefore, we are compatible.

"Pursuant to LDR Section 4.5.1(7)(l) – Architectural Style"

Response: Our renovation and proposed expansion is NOT altering the existing Architectural Style – Florida Vernacular (Stick Frame). Therefore, we are compatible.

"Pursuant to LDR Section 4.5.1(7)(m) – Additions to Individually Designated Properties & Contributing Structures in all Historic Districts"

Response: We are compatible because,

- 1. Our addition is to the rear and is as inconspicuous as possible.*
- 2. We ARE proposing an "addition", via a covered, columned Roof only – proud of the established front wall plane – but nothing more advantageous than others already approved and immediately to our North,*
- 3. We are not destroying or obscuring characteristic features of the original building.*
- 4. The basic form and character of the historic building will remain intact should our proposed additions ever be removed.*
- 5. Our proposal does not introduce a new Architectural style nor does it mimic too closely the style of the original building. It closely resembles and compliments it.*
- 6. Our proposal is subordinant to the original building and does not overwhelm it in any way.*

Finally, in my humble opinion, our proposal is an excellent example of renovating and rehabilitating an existing historic residence as outlined in the Secretary of the Interiors Standards for Rehabilitation, an electronic copy of which is hereby included in our Flashdrive associated with this COA application.

This concludes our justification letter. Please do not hesitate to call should you require anything further. We look forward to being scheduled before the next appropriate HPB Board hearing. Thank you in advance.

Sincerely:

Roger Cope
Principal
RWC/jad

Cc Robin Marino, Client
Gary Miller, General Contractor

May 28, 2020

City of Delray Beach
100 NW 1st Avenue
Delray Beach, Florida 33444

Attn.: Michelle Hoyland – Senior Historic Preservation Planner, Development Services Dept. (HPB)

Re: Response Letter to TAC Comments

Project: The Marino Residence, 223 NE 1st Ave. - COA 2020-161

City Staff:

I hope all is well.

As the Architect-Of-Record for the above referenced Project, please accept this letter addressing the various TAC comments recently rendered (05/26/2020) and associated with the processing of our COA Application.

A copy of Staff’s comments are only partially being repeated in my “response” itemization which follows. A full copy of your letter is attached.

HISTORIC PRESERVATION

Comment #1: **“Pursuant to LDR Section 2.4.3(B) – Standard Plan Items.....”**

Please ensure all plans and surveys meet the requirements of LDR Section 2.4.3(B), including but not limited to the following:

- Response:
- a. *So removed, see revised sheet A2.0 for all revisions this general comment..*
 - b. *So added.*
 - c. *So added.*
 - d. *So added.*
 - e. *So added.*
 - f. *So added.*
 - g. *See new Floor Plan sheet A4.3*
 - h. *So added.*
 - i. *So added.*
 - j. *So added.*
 - k. *So added, via general note.*
 - l. *So added, via general note.*
 - m. *Please disregard this sheet, Demo permit has already been issued, we are complete with demo.*
 - n. *Changed the word “Provided” to “Proposed”*

Comment #2: **“Pursuant to LDR Section 2.4.3(G) – Architectural Elevations.....”**

- Response:
- a. *See revised Elevations*
 - b. *Not necessary (we went thru this before), Architects NEVER do this, please refer to Floor Plans for dimensions..*
 - c. *See revised Elevations.*
 - d. *This information appears on the Site Plan, sheet A2.0.*
 - e. *So added to Existing Elevations, sheets A3.0*

Comment #3: **“Pursuant to LDR Section 4.6.9(C)(2) Parking requirements for Residential uses”**

Response: *Because the Main Cottage is modest inn size a sleeping quarters is housed in the rear Cottage but is considered a component of the residence, therefore two (2) parking spaces are required overall, both of which occur within the rear drive. Banker's Row has provided a supplemental space on the nearby corner parking lot..*

Comment #4: **“Pursuant to LDR Section 4.5.1(E) Development Standards.....”**

Response: *Our proposal meets and/or exceeds all Visual Compatibility Standards as well as meeting the Secretary of the Interior Standards for Rehabilitation. Our proposal has no negative or adverse effect on the existing historic structure, but in fact, enhances not only our existing historic structure but the entire block of similar structures on the East side of Banker's Row. Our proposal will set the watermark for appropriate design on NE 1st Ave..*

“Use of clerestory windows.....”

Response: *Our proposal includes four (4) clerestory windows, three (3) in the Main Cottage and one (1) in the rear Cottage. We are willing to eliminate the one (1) located within the Master Walk-In Closet, we justify the use of the one (1) located within the Master Shower as it is a perfect way to provide natural light yet complete privacy in such a space that demands both, we justify the use of the one (1) within the Master Bedroom itself with the same rationale as the shower as our neighbors to the South are in close proximity to this space. Finally, we justify the use of the one (1) within the rear Cottage as it IS appropriate for early 1960's concrete block residential design. The Main Cottage windows are NOT visible from ANY public right-of-way..*

“Use of Clear, Low E glass in lieu of clear glass.....”

Response: *Our proposal utilizes “clear, low E glass, which has a very slight natural green tint – because that is all that is allowed in historic Districts, is the most energy efficient, is closely replicating old fashion clear glass of the 1937 era because THAT glass also has a natural light green tint. We see no issues here.*

“Reconfiguration of interior spaces & windows.....”

Response: *Our proposal has only altered one (1) single existing window configuration. That unit located in the West facing wall of the original open-air Carport. Because this window is not authentic, nor original we justified reducing it's height to create more privacy within that space. At the same time, we recognize the entire existing East exterior wall is lost in it's entirety. Therefore those associated windows are not visible.*

“Shutters.....”

Response: *Please see revised exterior elevations where ALL shutters have been revised to be ½ the width of the window they serve. A lone exception is the window referred to above: it's shutters shall be 1/3 the width of the window/ two (2) shutters stacked on top of each other on one (1) side only. ALL shutters will be set up with hardware (hinges and shutter dogs) making them appear to be operable. They are, in fact, decorative.*

“Pursuant to LDR Section 4.5.1(E)(7)(m), Additions to individually designated...”

Response:

- 1. Our proposal's new addition is primarily located to the rear, or least public side, of the existing historic structure – as recommended by the guidelines.*
- 2. Our existing accessory structure is located far beyond the established front wall plane of the existing historic structure.*
- 3. Characteristic features of the existing historic structure are NOT being destroyed nor are obscured.*
- 4. Our proposal was designed in such a way so that if EVER removed, minimal basic form and character of the original historic structure is disturbed.*
- 5. NO NEW ARCHITECTURAL STYLE has been introduced. We have been pragmatic designers.*

6. Our proposal is subordinate to the existing historic structure and is, therefore, not overwhelming in any way, shape or form.

“Standards 1, 2, 3, 5, 9 and 10.....”

*Response: Please know the introduction of the new Porch feature does NOT, in our opinion, compromise any of the Secretary Of The Interior Standard's. We studied EVERY single similar house on this side of Banker's Row – presented photos of EACH to Staff and offer our solution as a modest new feature not dissimilar to those around us. We chose NOT to introduce such feature in canvas awning, as once recommended by Staff – so as to not diminish the rich architectural aesthetic of the property. Our solution is tasteful and elegant. If ever removed, it will not disturb any basic form nor character of the original structure.
Relocating the Kitchen within the structure does not compromise any aspect of historic preservation as it relates to the Secretary Of The Interior Standards For Rehabilitation.*

Comment #5: “Pursuant to LDR Section 4.6.9(D)(2), Dimension the proposed parking areas to.”

Response: Please see revised Site Plan, sheet A2.0

Comment #6: “On sheet A9.0 indicate materials and colors of windows & doors”

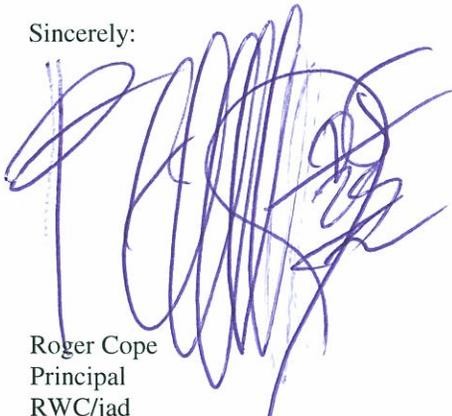
Response: Sheet A9.0 already provides that information: all windows and doors are of aluminum (al) construction and finished in a dark anodized bronze (dab) color/finish – no action required.

Comment #7: “Provide a digital copy of all documents provided for resubmittal.....”

Response: Please see attached Flashdrive and new 11x17 hard copy as requested.

This concludes our response letter. Please do not hesitate to call should you require anything further. We look forward to being scheduled before the HPB Board on your upcoming JUNE 2020 hearing. Thank you.

Sincerely:



Roger Cope
Principal
RWC/jad

Cc Robin Marino, Client
Gary Miller, General Contractor