

HISTORIC PLANNING BOARD SUBMISSION:

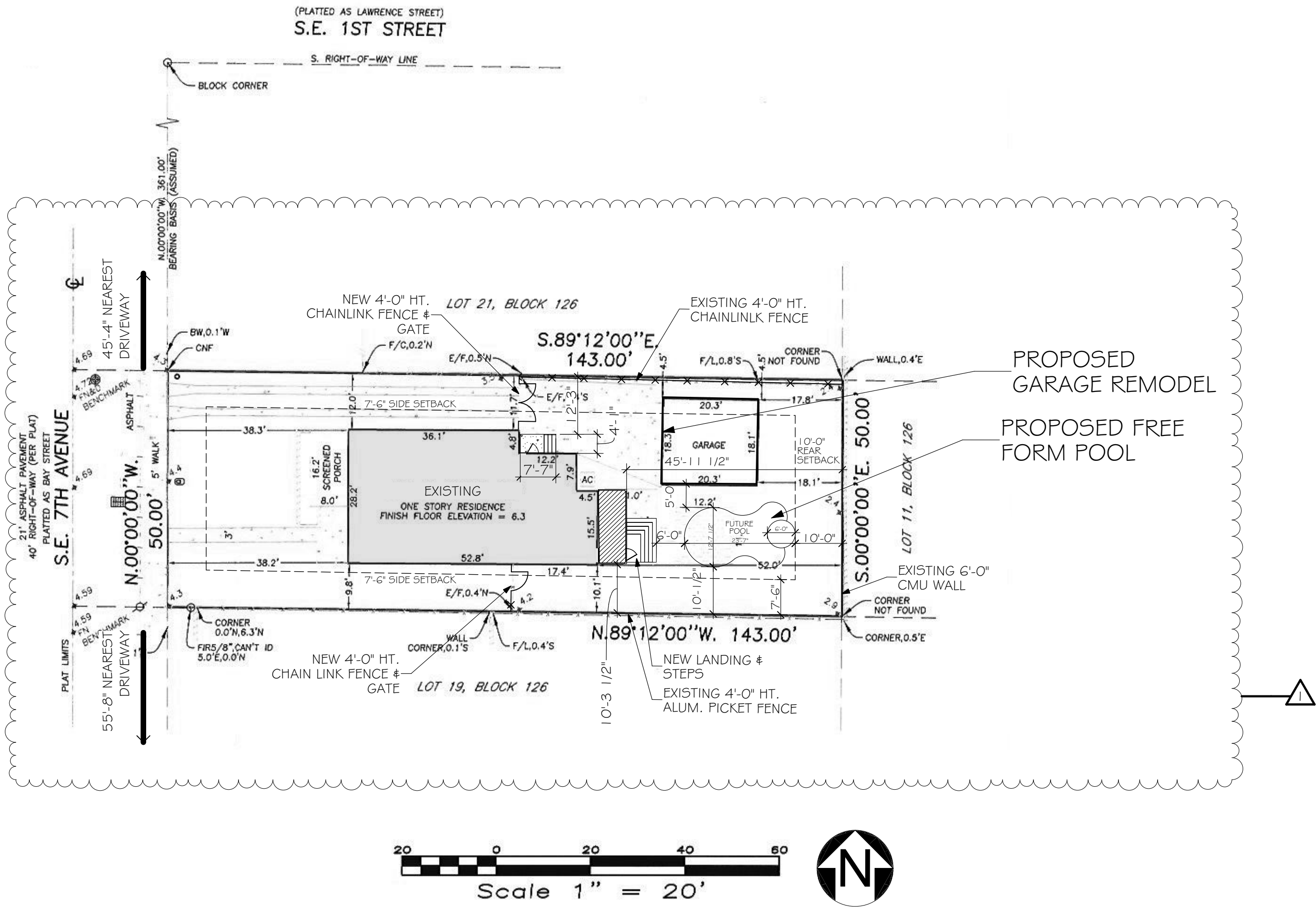
# The Marchand Residence

DELRAY BEACH , FLORIDA



GARAGE PERSPECTIVE

NOT TO SCALE



ARCHITECTURAL SITE PLAN

SCALE: 1" = 20'

PROJECT DATA:

PROJECT DESCRIPTION:

PROPOSED IMPROVEMENT TO HISTORIC GARAGE INCLUDES THE REMOVAL OF NON-HISTORIC METAL OVERHEAD DOOR AND REPLACING IT WITH A NEW SINGLE OVERHEAD DOOR AND WINDOW (WEST ELEVATION) PLUS THE ADDITION OF (1) MAN-CONVENIENCE DOOR AS SHOWN ON THESE DRAWINGS. PROJECT ALSO INCLUDES THE ADDITION OF A FREEFORM POOL BY OTHERS (SEE SITE PLAN).

PROJECT & OWNER INFORMATION:

OWNER: RICHARD & STEPHANIE MANCHARD  
ADDRESS: 131 SE 7TH AVENUE  
DELRAY BEACH, 33483  
P.C.N.: 12-43-46-16-01-126-0200  
LEGAL: TOWN OF DELRAY LT 20 BLK 126

ZONING AND CODE INFORMATION:

ZONING: RM - MEDIUM DENSITY RESIDENTIAL (12-DELRAY BEACH)  
CONSTRUCTION TYPE: VB  
CURRENT USE: SINGLE FAMILY - 0100  
PROPOSED USE: SINGLE FAMILY HOME  
FLU: MD - MEDIUM DENSITY RESIDENTIAL

FLORIDA BUILDING CODE:  
FBC-2017 BUILDING CODE & FBC-2017 6TH EDITION RESIDENTIAL  
FBC EC=FLORIDA BUILDING CODE ENERGY CONSERVATION 2017  
FLORIDA FIRE PREVENTION CODE, 5TH EDITION  
NEC NFPA 70 2014 EDITION, NATIONAL ELECTRICAL CODE  
F5= FLORIDA STATUTES

SITE/LAND DATA:

	REQUIRED	PROPOSED
TOTAL SITE AREA:	+/-7,126.4 SF (.1636 AC)	
MIN. LOT SIZE:	7,500 SF	EXISTING
MIN. LOT WIDTH:	60/80'	EXISTING
MIN. LOT DEPTH:	100'	EXISTING
LOT FRONTAGE:	60/80'	EXISTING
MIN. FLOOR AREA:	1,000 SF	1,938 SF
MAX. LOT COVERAGE:	NA	27.2%
MIN. OPEN SPACE:	25%	59.6%
MAX. HEIGHT:	35'	EXISTING

SETBACKS:

	REQUIRED	EXISTING HOUSE	EXISTING GARAGE
FRONT:	25'	38.2'	106'
REAR:	10'	52'	17.8'
SIDE INTERIOR (NORTH):	7.5'	11.7'	4.5'
SIDE INTERIOR (SOUTH):	7.5'	9.8'	27.58'

BUILDING DATA:

EXISTING HOUSE (UA)= 1,354 SF  
EXISTING COVERED PORCH (UC)= 125 SF  
EXISTING DETACHED GARAGE (UC)= 368 SF  
TOTAL EXISTING SF= 1,847 SF

NEW COVERED PORCH SF (UC)= 91 SF  
TOTAL GROSS SF= 1,938 SF

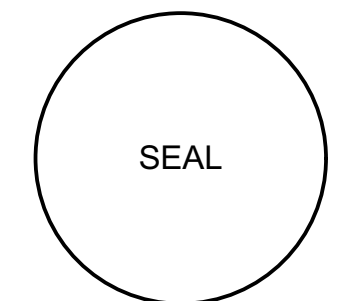
FUTURE POOL (13'-4" x 23'-7") 255 SF

\* THE POOL DESIGN SHOWN IS DIAGRAMMATIC AND IS SHOWN FOR LOCATION ONLY. SEE SHOP DRAWINGS BY POOL CONTRACTOR FOR FINAL LAYOUT

AERIAL MAP:



STEVE SIEBERT  
ARCHITECTURE  
466 N. FEDERAL HIGHWAY  
BOYNTON BEACH, FL 33435  
PH: 561.880.7894  
Steve@stevesiebert.com  
www.stevesiebert.com



STEVEN W. SIEBERT  
FLORIDA AR0017834  
NEW JERSEY 21A101517500  
TEXAS 26934

RENOVATION FOR:  
**MARCHAND RESIDENCE**  
131 SE 7TH AVENUE  
DELRAY BEACH ,FL 33483

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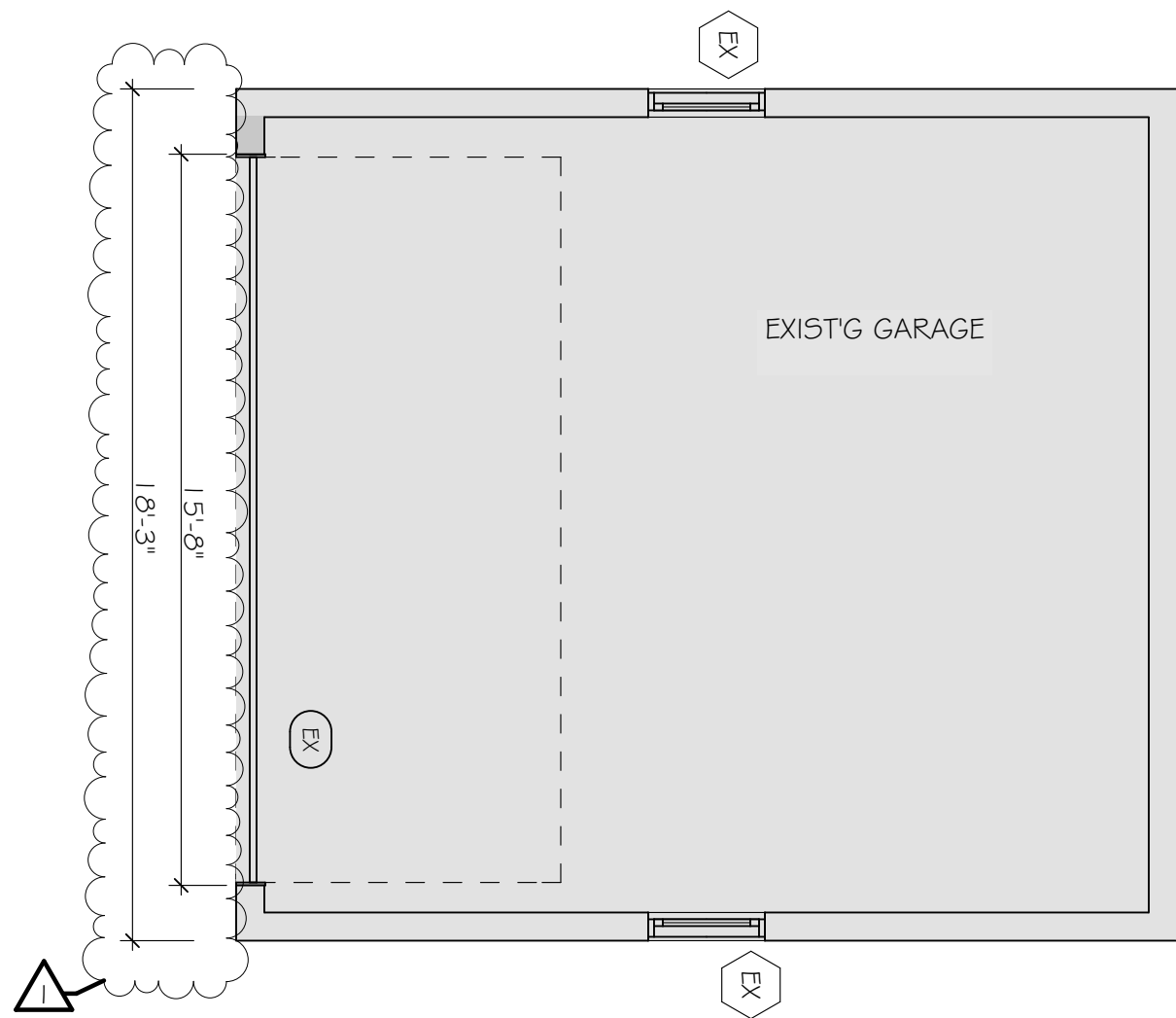
PROJECT NO: 19-217  
DATE: 3/26/20  
DRAWN BY: BRT  
CHECKED BY: S.S.  
REVISIONS:  
TAC COMMENTS 6.29.20

SITE PLAN

SP1.1







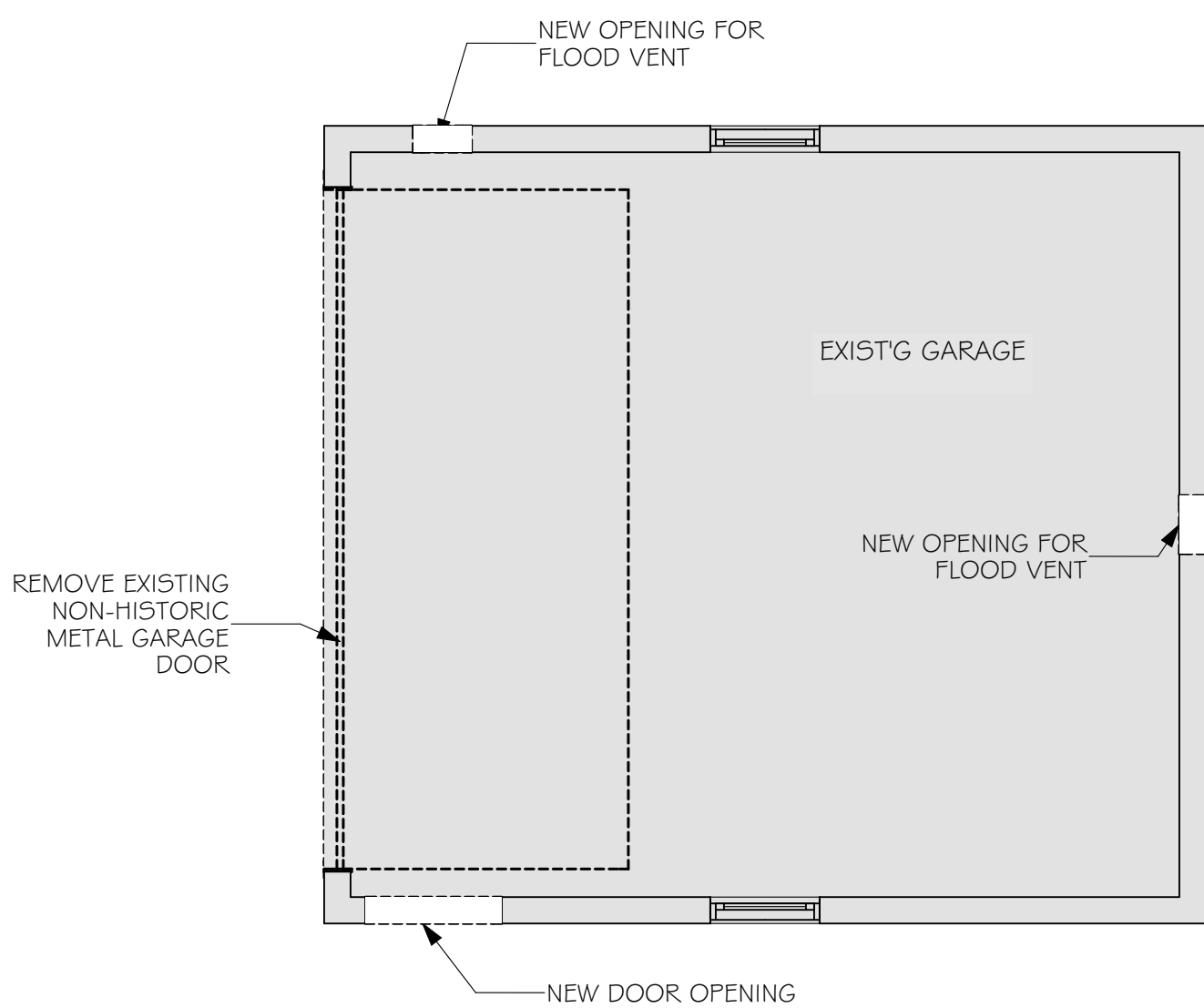
AS-BUILT PLAN

SCALE: 1/4" = 1'-0"



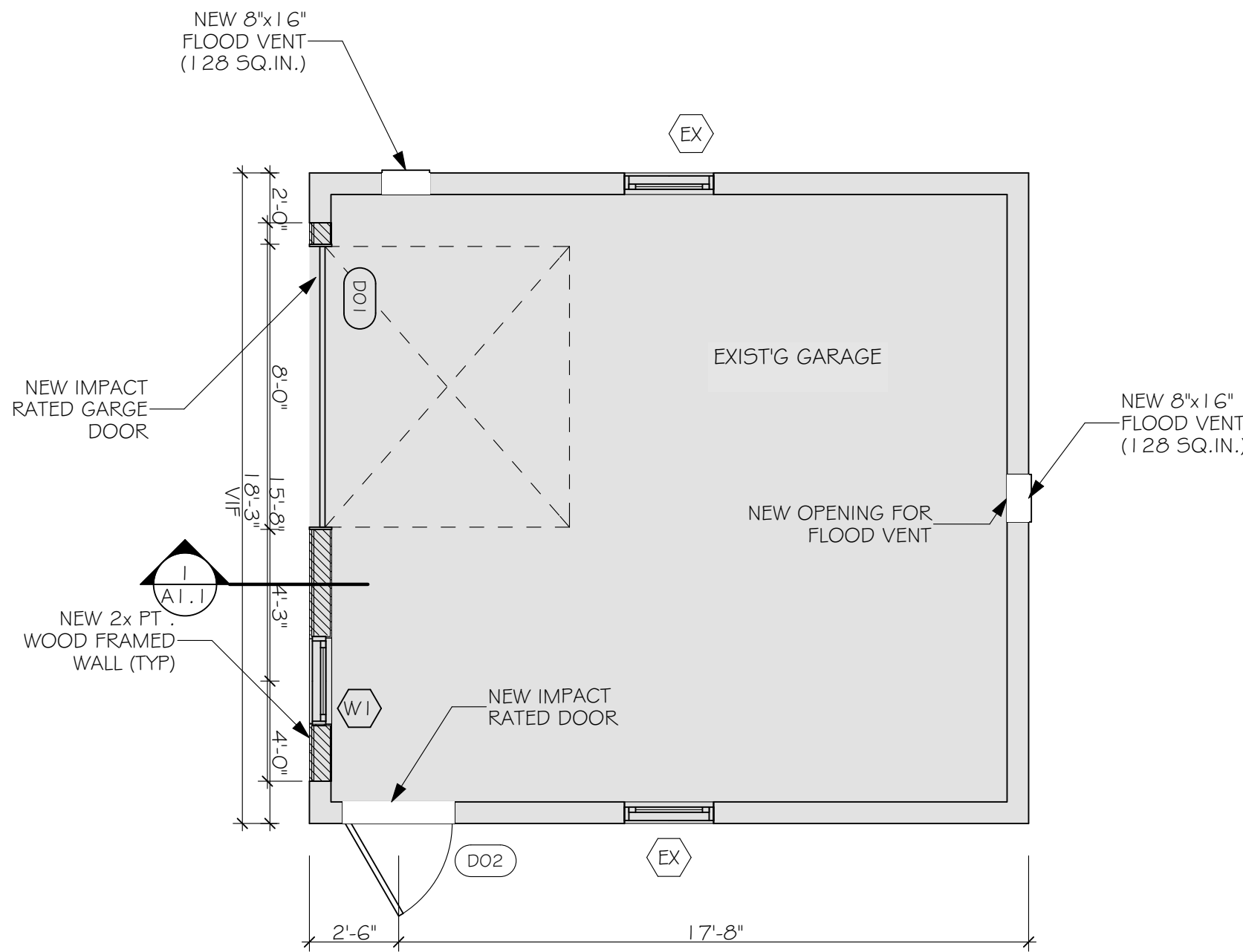
DEMOLITION NOTES

1. DEMOLITION PLANS SHOW APPROXIMATE LAYOUT OF EXISTING BUILDING AND ARE NOT INTENDED TO REPRESENT "AS-BUILT" CONDITIONS. CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE ACTUAL CONDITIONS WHEN BIDDING THE WORK PRIOR TO THE START OF CONSTRUCTION.
2. WALLS, PARTITIONS, DOORS, FRAMES AND OTHER ITEMS TO BE REMOVED ARE SHOWN DASHED. SERVICES (ELECTRICAL, PLUMBING, LOW VOLTAGE, ETC.) WITHIN DASHED (WALLS) SHALL ALSO BE REMOVED.
3. ALL ELECTRICAL DEMOLITION (DISCONNECT) WORK, SHALL BE PERFORMED BY A FLORIDA LICENSED ELECTRICAL CONTRACTOR. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL CURRENT APPLICABLE CODES.
7. ASBESTOS REPORT FOR DEMOLITION SHALL BE COMPLETED AND SUBMITTED BY THE G.C.
8. THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL DEBRIS FROM THE SITE.
9. ANY AND ALL HAZARDOUS MATERIAL TO BE REMOVED SHALL BE PROPERLY REMOVED AS REQUIRED BY AN EPA LICENSED AND IN SURED MATERIAL CONTAINMENT CONTRACTOR.
10. SELECTIVE DEMOLITION SHALL BE PERFORMED WITH A METHOD DESIGNED TO PRESERVE ADJACENT MATERIAL SCHEDULED TO REMAIN. THE DEMOLITION CONTRACTOR SHALL TAKE EXTRA CARE TO PRESERVE THE EXISTING BRICK PLANTERS FOR REINSTALLATION.
11. PROVIDE ALL NECESSARY SHORING, BRACING, AND SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURE OR ELEMENT TO BE DEMOLISHED, AND ADJACENT STRUCTURE OR ELEMENT SHOWN TO REMAIN (IF APPLICABLE). SHORING AND BRACING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE LOCAL JURISDICTION IF REQUIRED.
12. REMOVE THE EXISTING GARAGE DOOR AND EQUIPMENT.
13. CUT OPENING FOR NEW DOOR AND WINDOW AS INDICATED ON THE DWGS.
14. PROVIDE NEW OPENINGS IN FRAME WALL FOR FLOOD VENTS AS INDICATED ON THE DWGS.



DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



FLOOR PLAN

SCALE: 1/4" = 1'-0"



EXIST'G GARAGE WEST (FRONT) ELEVATION

NOT TO SCALE



EXIST'G GARAGE SOUTH (SIDE) ELEVATION

NOT TO SCALE



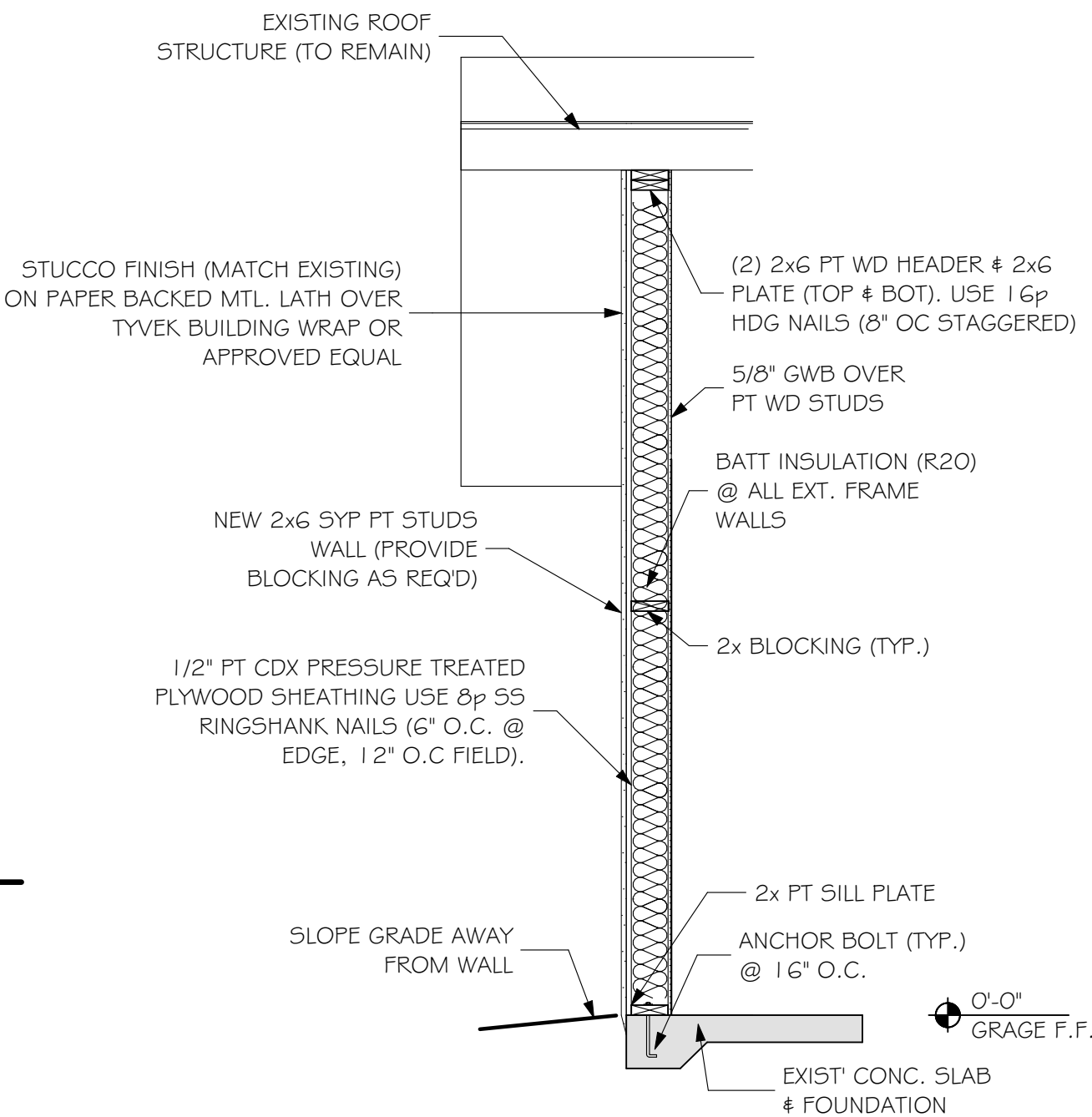
EXIST'G GARAGE EAST (REAR) ELEVATION

NOT TO SCALE



EXISTG GARAGE NORTH (SIDE) ELEVATION

NOT TO SCALE



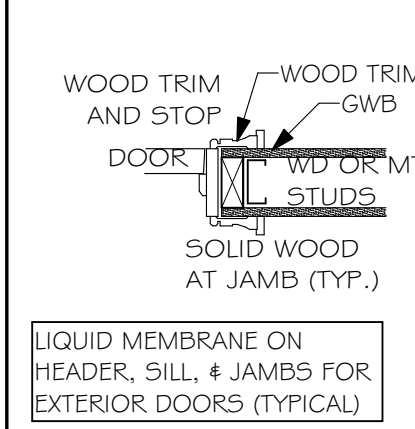
WALL SECTION (TYP.)

SCALE: 1/2" = 1'-0"

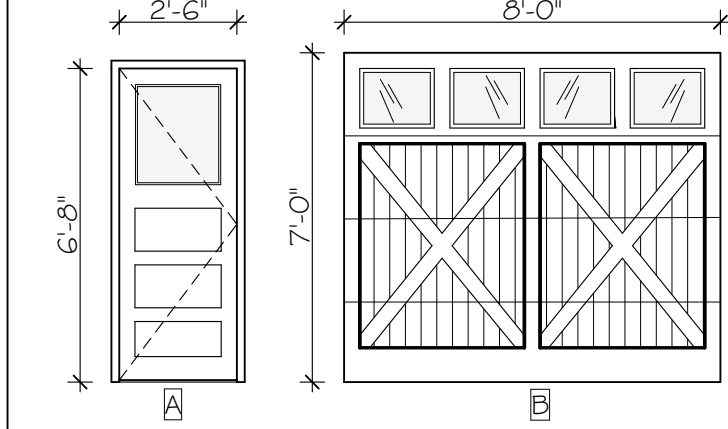
WINDOW SCHEDULE												
NO.	W	HT	TYPE	COLOR	MATERIAL	ZONE	REQUIRED PRESSURES	APPROVED PRESSURES	PRODUCT APPROVAL	MULLION BARS	GLS	COMMENTS
W1	2'-6"	4'-6"	A	TBD	WD/GLS	5	+37.7/-62.9	+/-80 PSF	NOA17-0630.08	N	CLEAR	

DOOR SCHEDULE													
NO.	W	HT	THK	MATERIAL	ZONE	REQUIRED PRESSURES	APPROVED PRESSURES	PRODUCT APPROVAL	STYLE	HRDWR	JAMB	COLOR	COMMENT5
DO1	8'-0"	7'-0"	MANU	WD/GLS	5	+37.7/-62.9	BY GC	BY GC	B	MANU	1	TBD	COACHMAN STYLE ROLL UP DOOR
DO2	3'-0"	6'-8"	1 3/4"	WD/GLS	5	+37.7/-62.9	+/-75 PSF	17-0504.01	A	LOCK	2	TBD	

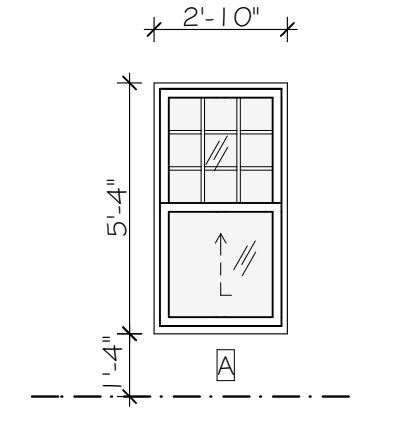
JAMB SECTIONS (NO-SCALE)



DOOR TYPES: (1/4"= 1'-0")



WINDOW TYPES: (1/4"= 1'-0")

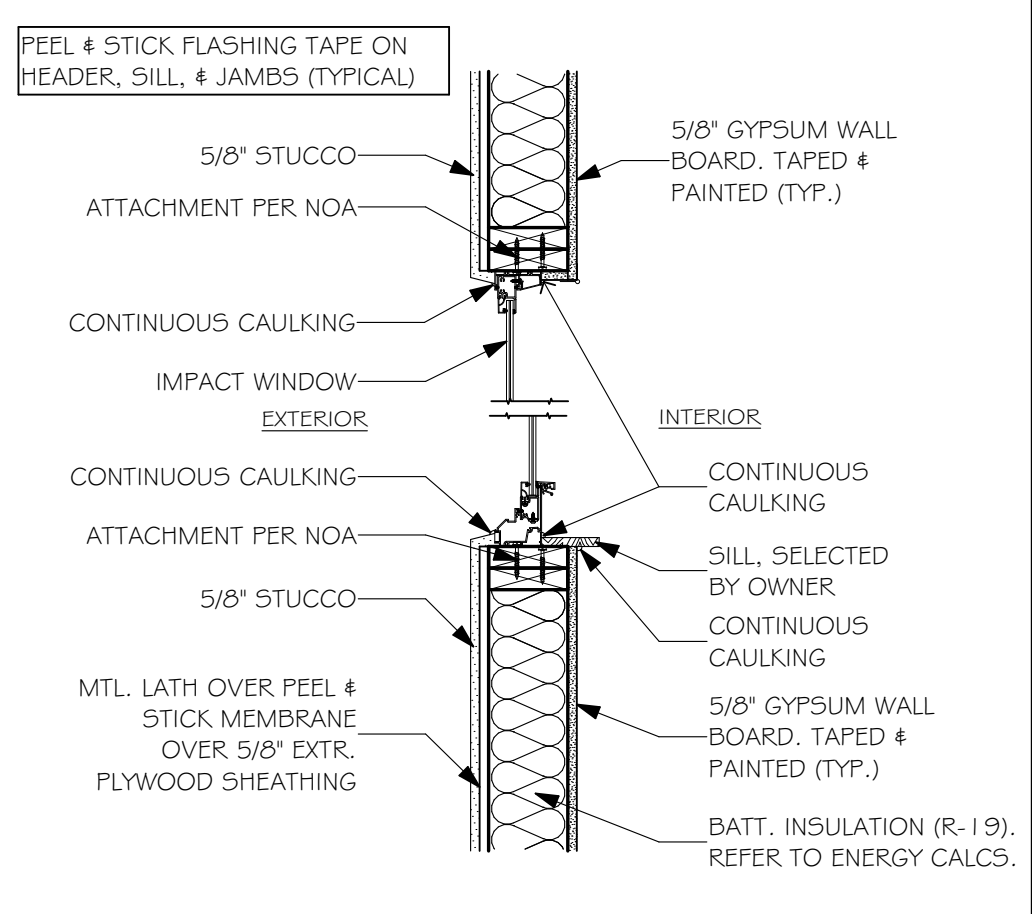


DOOR HARDWARE:

DOOR HARDWARE GROUP	DESCRIPTION					
	PAIR OF BUTTS	KEYED LOCK	LEVER - PRIVACY SET	LEVER - PASSAGE SET	WALL STOP	WEATHER STRIPING
GROUP A	1 1/2	•	-	-	-	•
GROUP B	1 1/2	-	•	-	•	•
GROUP C	1 1/2	-	-	•	•	-
GROUP D	1 1/2	-	-	-	-	•

8'0" HT. DOORS REQUIRE (2) PAIR OF BUTTS

TYP. WINDOW HEADER & SECTION SECTION: (NTS)



RENOVATION FOR:

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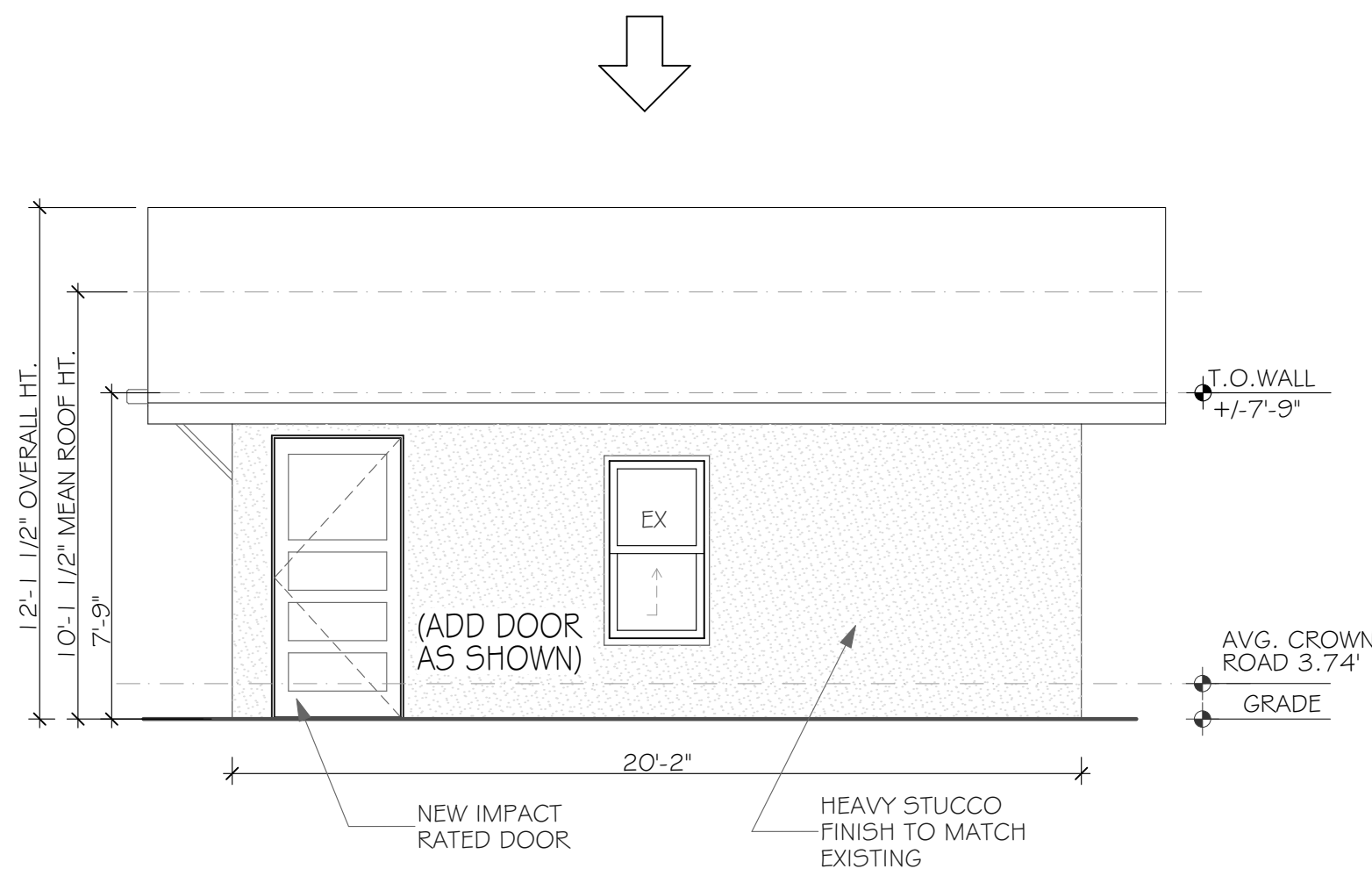
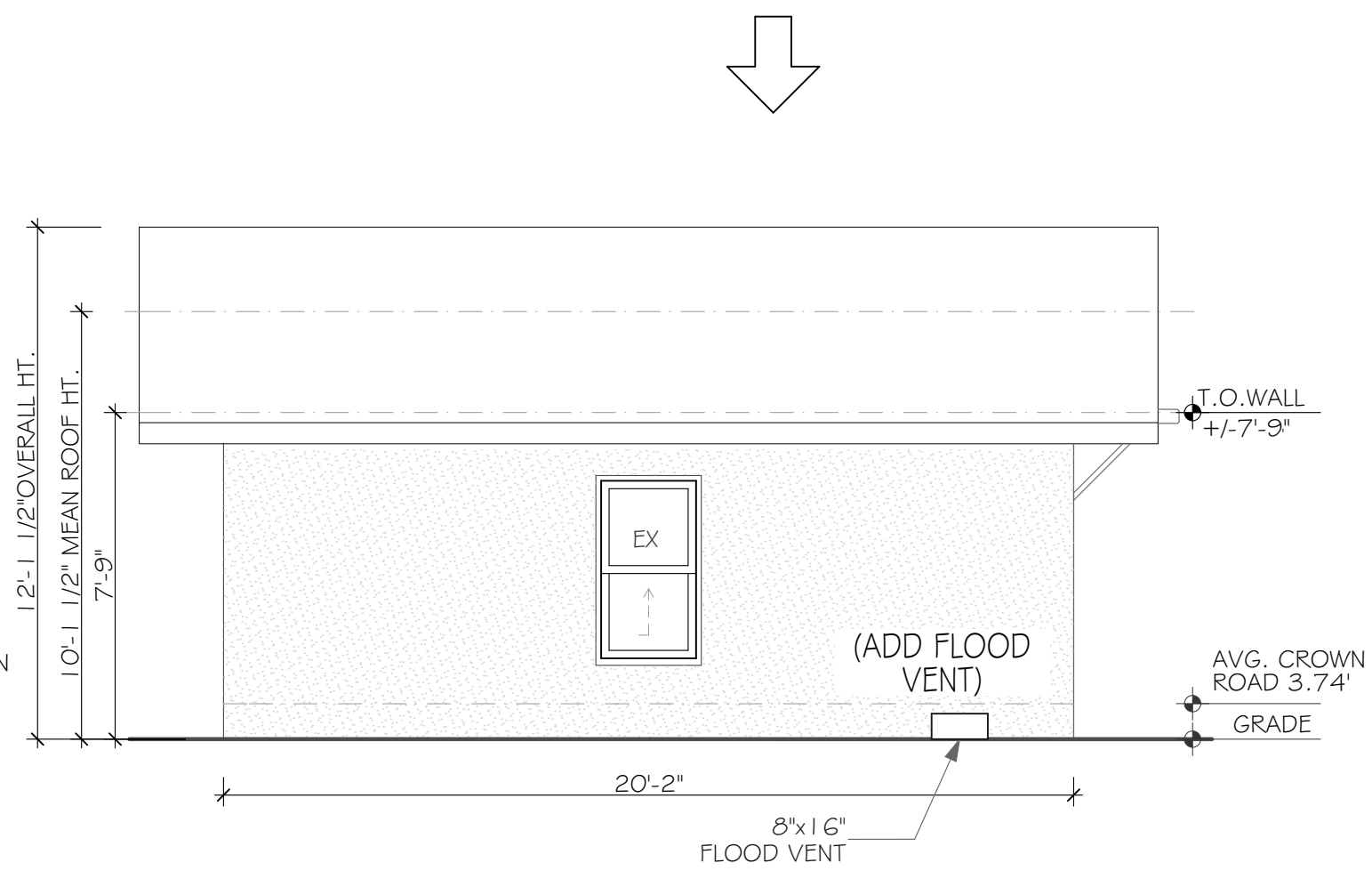
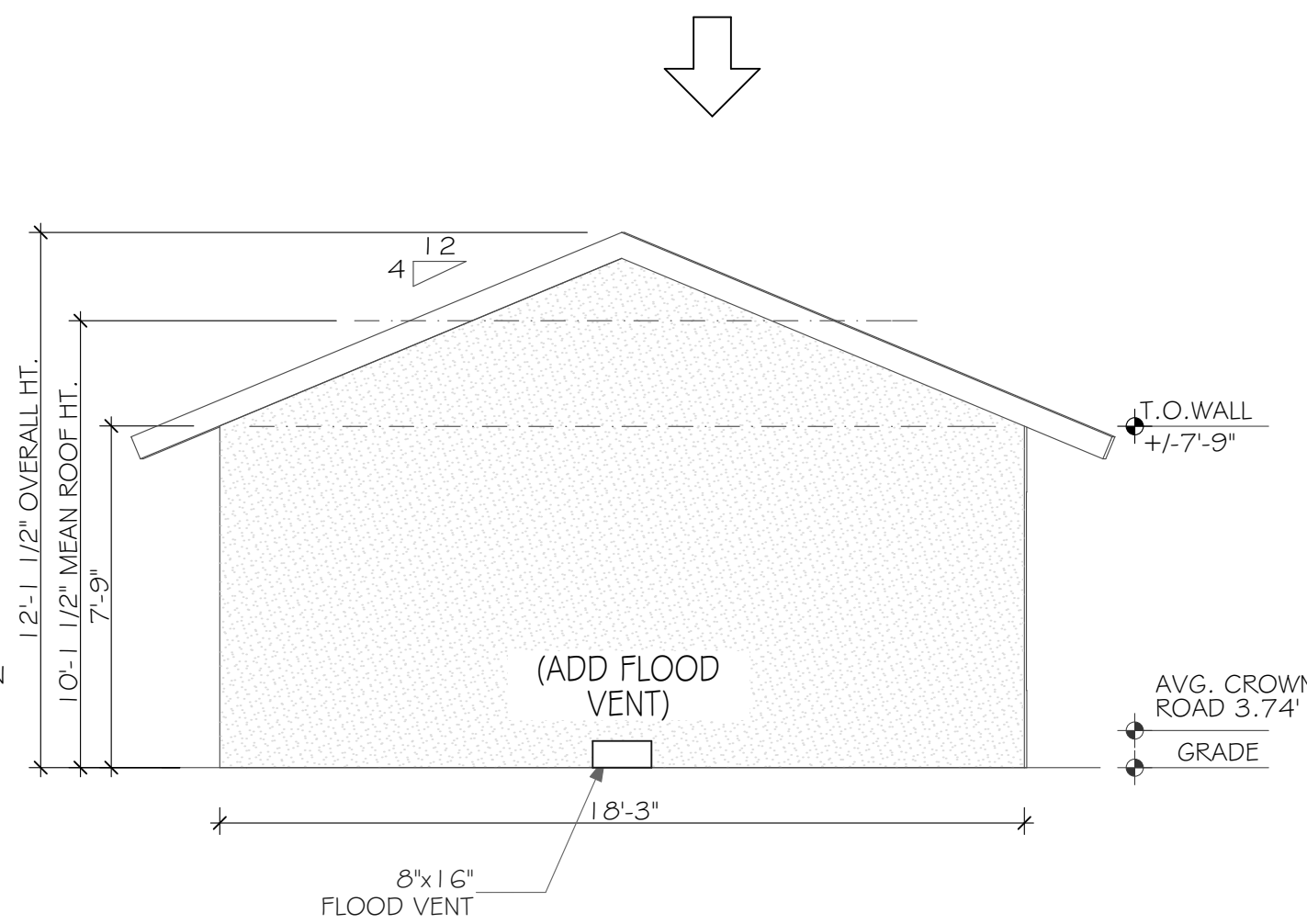
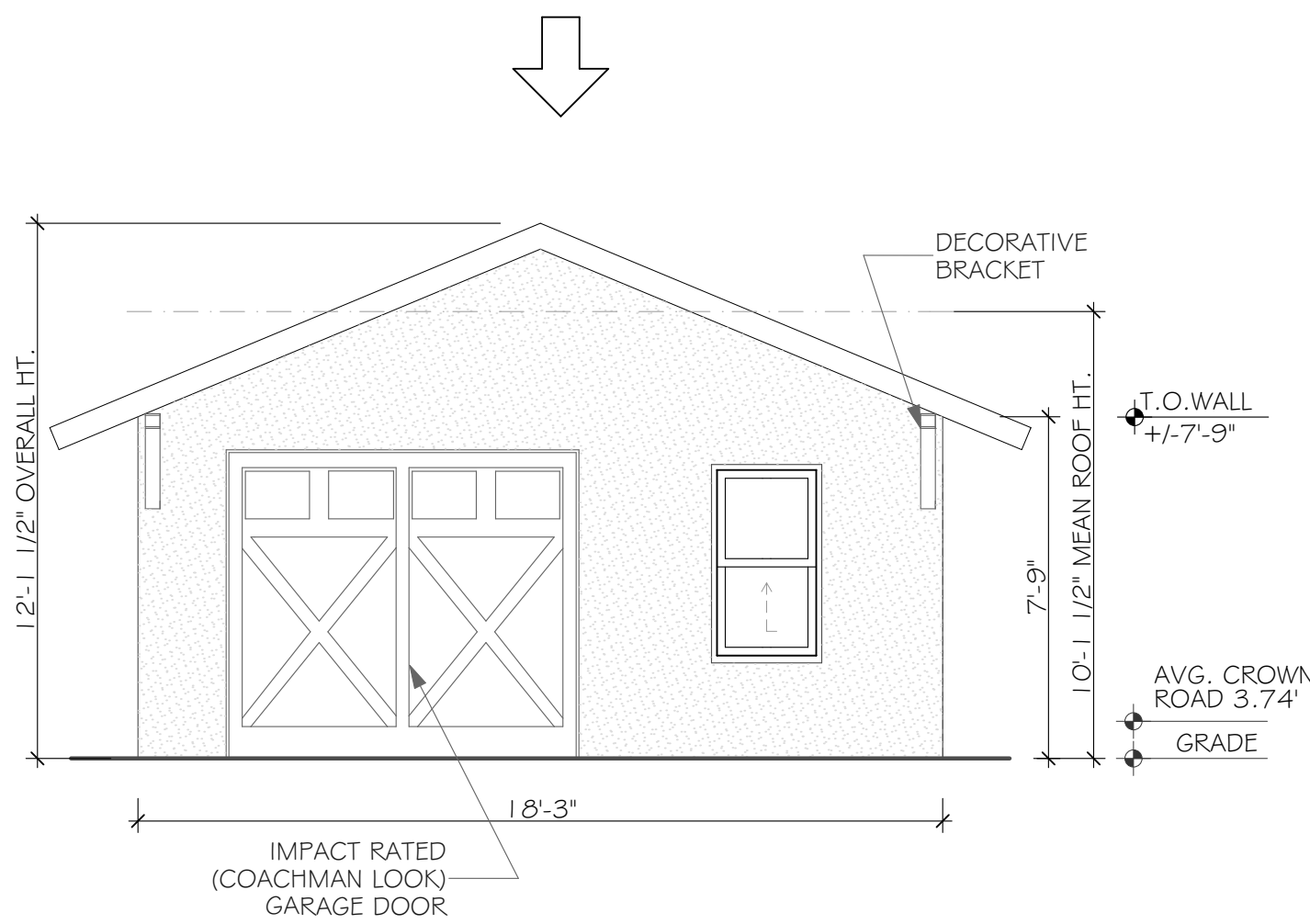
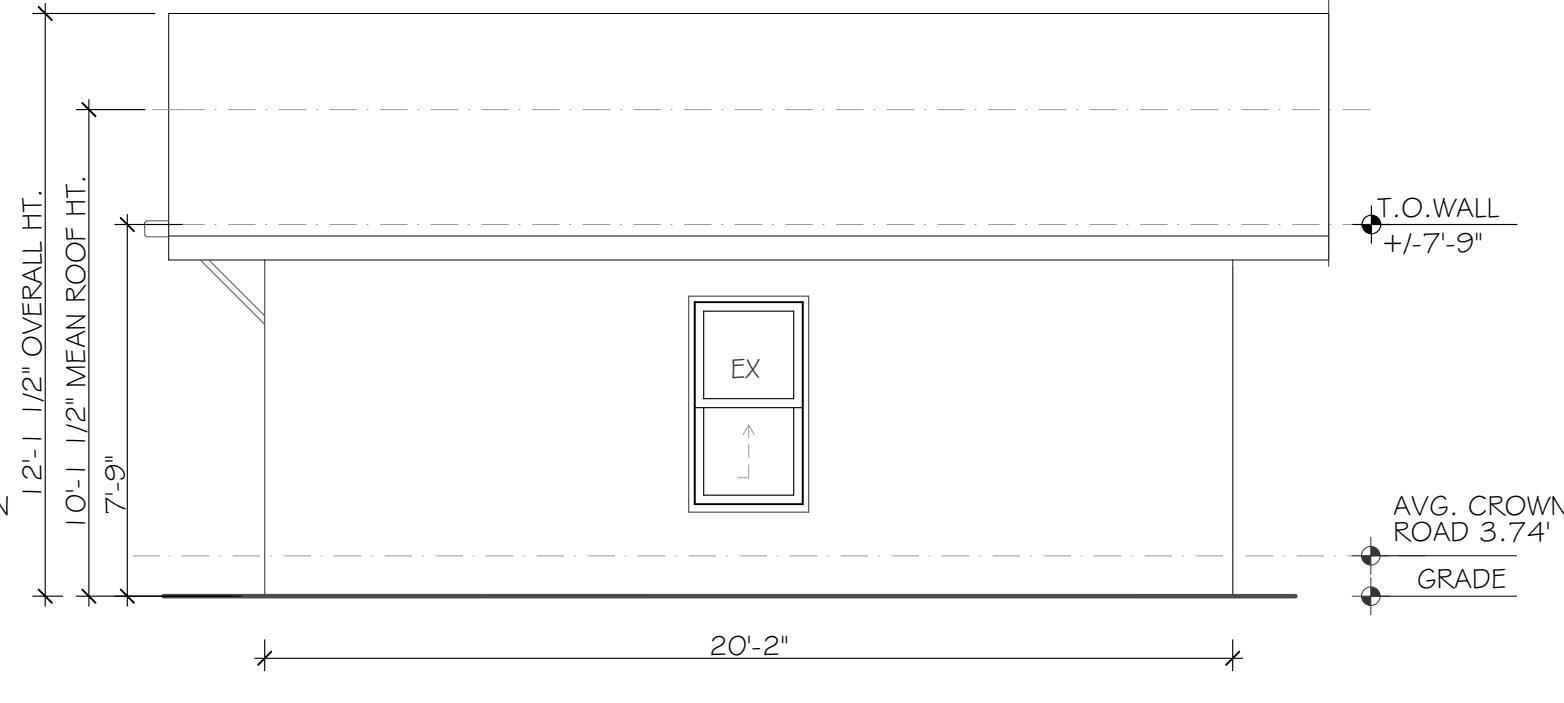
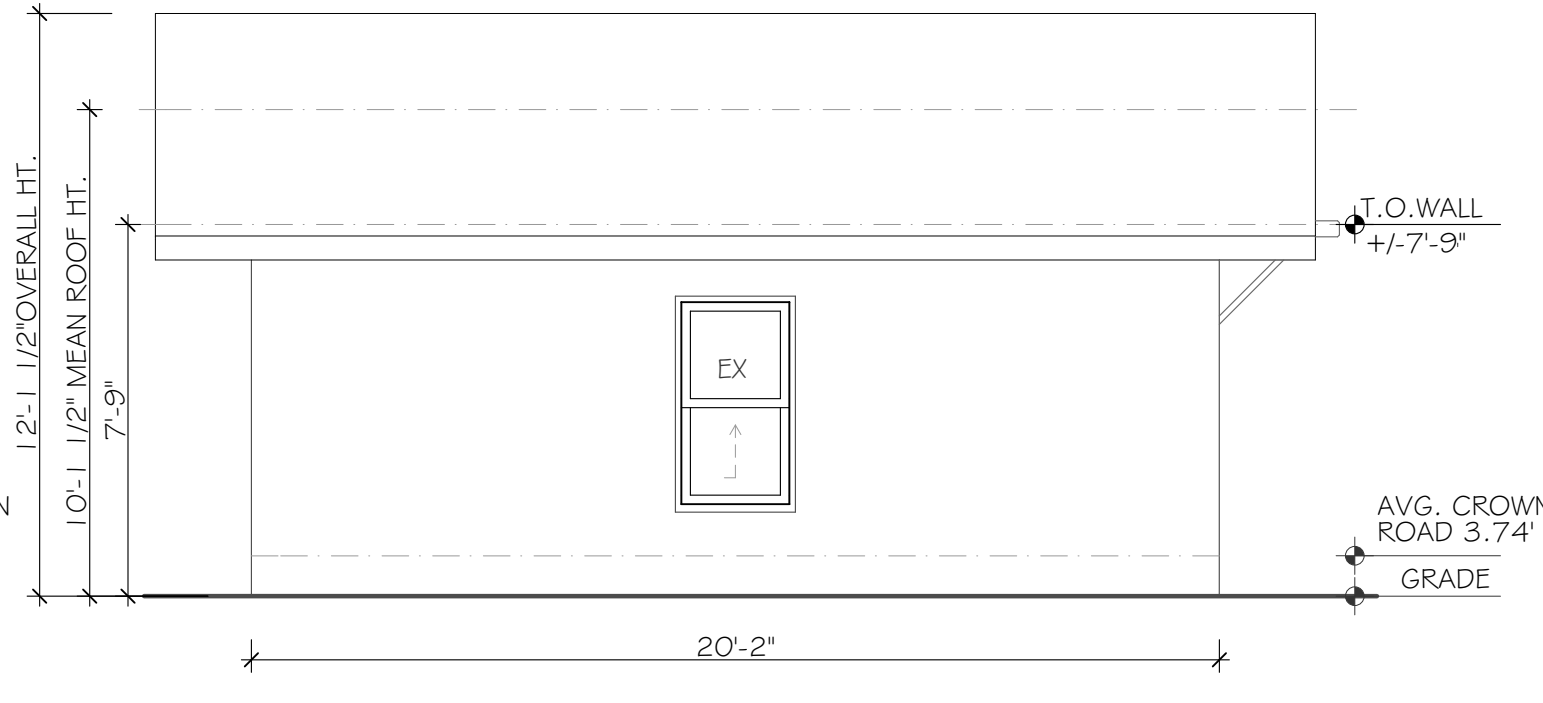
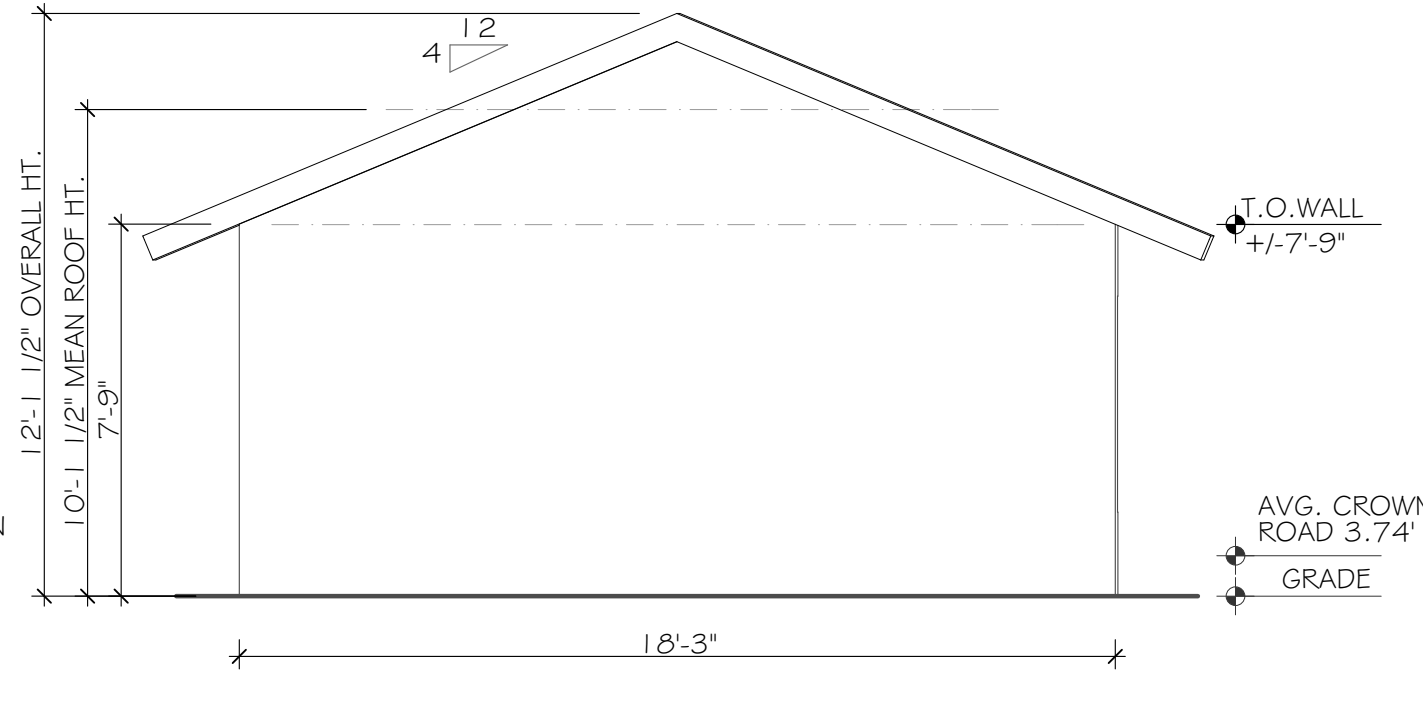
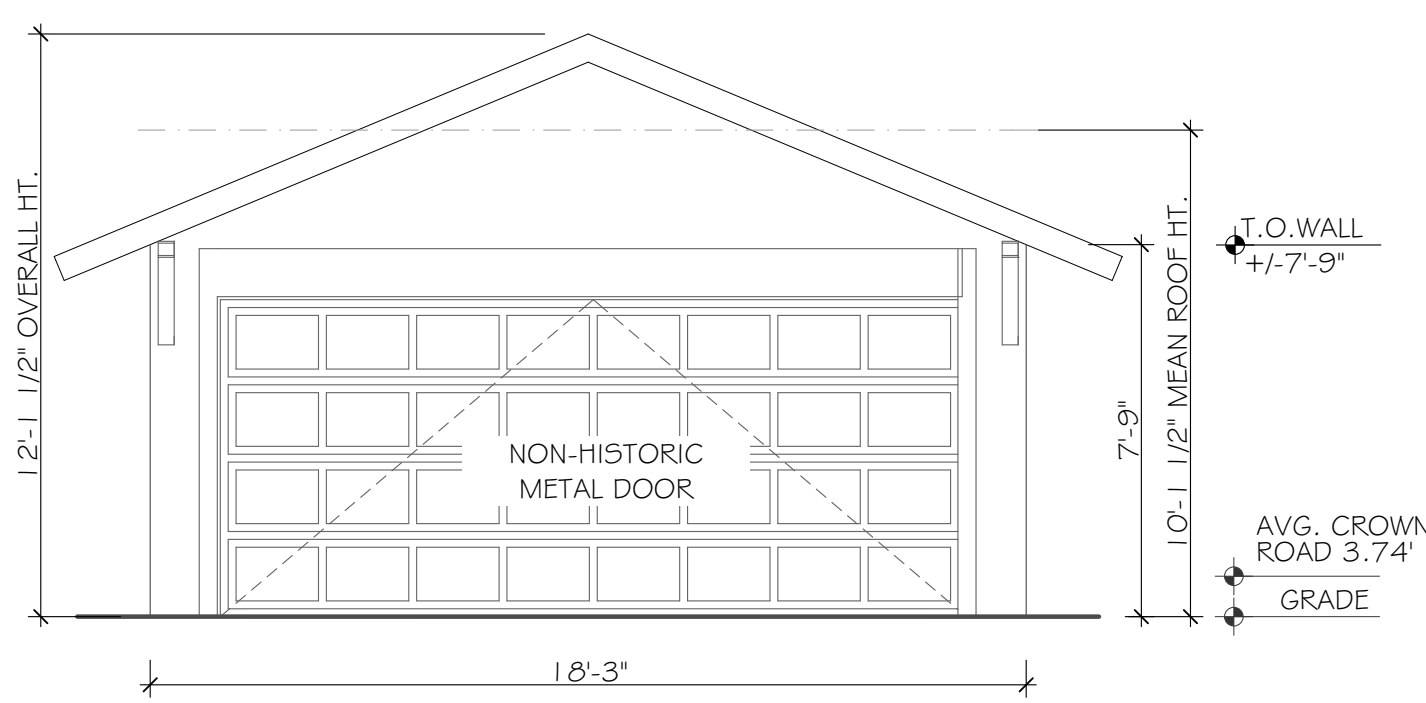
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TAC COMMENTS 6.29.20

PROPOSED FLOOR PLAN

A1.1

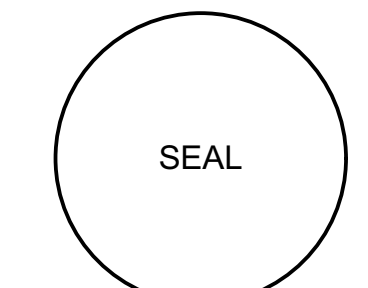




(REMOVE NON-HISTORIC METAL DOOR. ADD SINGLE DOOR & WINDOW AS SHOWN)



STEVE SIEBERT  
ARCHITECTURE  
466 N. FEDERAL HIGHWAY  
BOYNTON BEACH, FL 33435  
PH. 561.860.7694  
Steve@stevesiebert.com  
www.stevesiebert.com



STEVEN W. SIEBERT  
FLORIDA AR0017834  
NEW JERSEY 21A101517500  
TEXAS 26934

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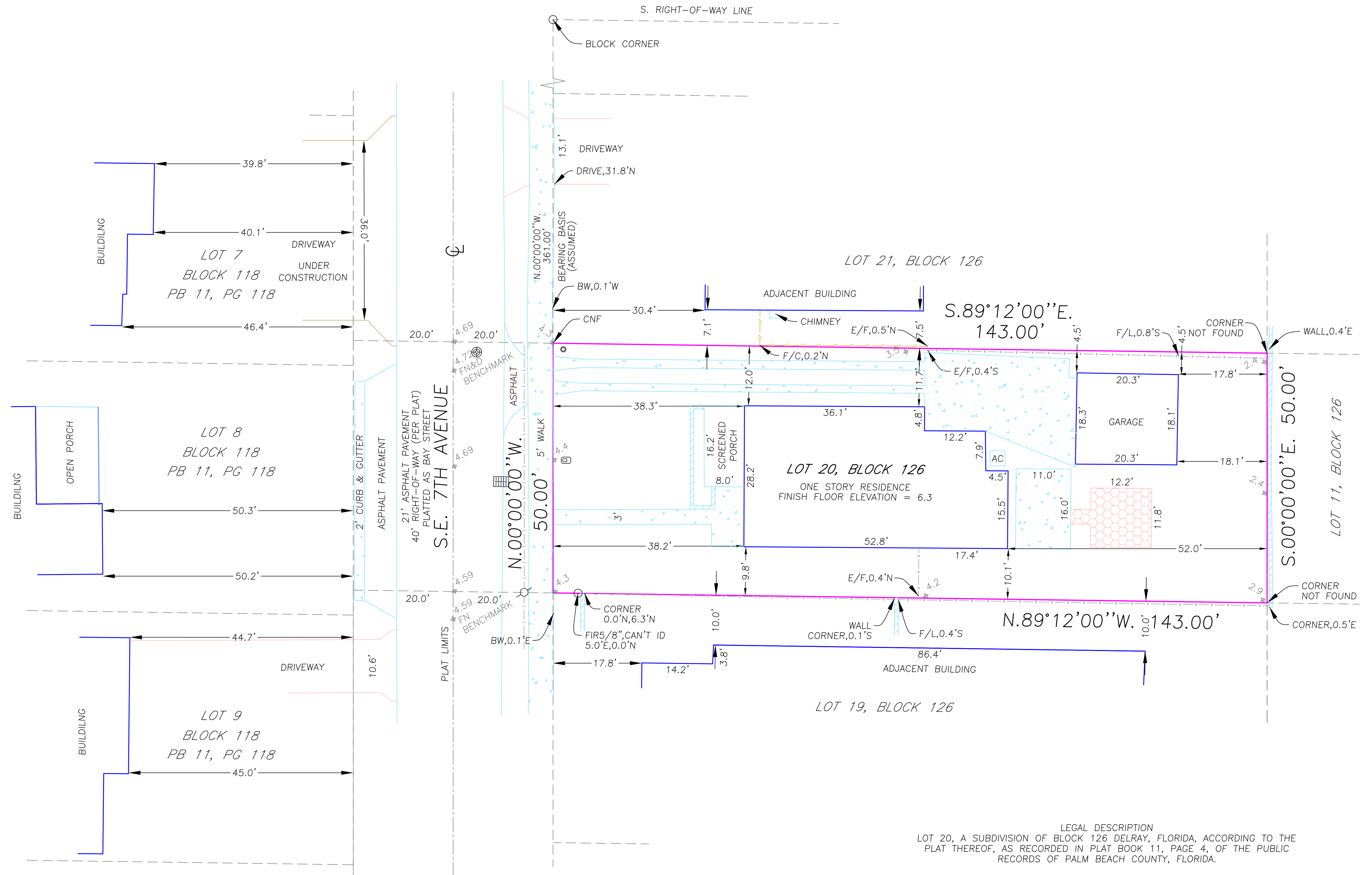
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GARAGE ELEVATIONS

A2.1

(PLATTED AS LAWRENCE STREET)  
S.E. 1ST STREET



LEGAL DESCRIPTION  
LOT 20, A SUBDIVISION OF BLOCK 126 DELRAY, FLORIDA, ACCORDING TO THE  
PLAT THEREOF, AS RECORDED IN PLAT BOOK 11, PAGE 4, OF THE PUBLIC  
RECORDS OF PALM BEACH COUNTY, FLORIDA.

CERTIFIED TO:  
Stephanie Marchand

PROPERTY ADDRESS  
131 SE 7TH AVENUE  
DELRAY BEACH, FL 33483

BOUNDARY SURVEY  
INVOICE # 41857U2  
SURVEY DATE 05/09/19  
ADDITIONAL INFORMATION DATE 10/03/19  
UPDATED SURVEY DATE 07/23/20

FLOOD ZONE AE-6  
MAP DATE 10/05/17  
MAP NUMBER 125102 0979F

SURVEY NOTES

1. BASIS OF BEARINGS AS INDICATED ON SKETCH.

2. LEGAL DESCRIPTION PROVIDED BY CLIENT.

3. THE LAND SURVEY HEREON WAS OBTAINED BY THIS OFFICE FOR EASEMENTS, RIGHT-OF-WAY, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.

4. UNDERGROUND OR INTERIOR PORTIONS OF FOOTINGS, FOUNDATIONS, WALLS, OR OTHER STRUCTURES ARE NOT SHOWN.

5. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 UNLESS OTHERWISE SHOWN.

6. DIMENSIONS ARE TO THE CENTER-LINE OF FENCE. WALL THICKS ARE TO THE FACE OF WALL.

7. IN SOME INSTANCES GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE CONTROL. THE LOCATION OF THE CORNERS IS TO BE DETERMINED BY THE FOLLOWING:

8. THE DIMENSIONS AND DIRECTIONS SHOWN HEREON ARE IN SUBSTANTIAL AGREEMENT WITH RECORD VOLUMES UNLESS OTHERWISE NOTED.

9. THE CENTER LINE OF THE ROAD SHOWN HEREON IS 67.7' WIDE UNLESS OTHERWISE NOTED.
















10. THE CORNERS IDENTIFIED BY WITNESS PROPERTY CORNERS ARE:

11. OBSTRUCTED CORNERS ARE WRITTEN BY IMPROVEMENTS.


12. NO ATTEMPT WAS MADE TO LOCATE WRITTEN OR UNWRITTEN EASEMENTS OR OTHER RIGHTS OF THIRD PARTIES.

ABBREVIATIONS	
BC	BUILDING CORNER
BW	BACK OF WALK
CA	CALCULATED
M	MEASURED
CNF	CORNER NOT FOUND
OPB	OPEN PORCH
ORB	ORIGINAL RECORDS BOOK
PC	POINT OF CURVATURE
PGB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
PG	PAGE
PRC	POINT OF REVERSE CURVE
PRM	PERMANENT REFERENCE MONUMENT
PT	POINT OF TANGENCY
FE	EDGE OF FENCE
EP	EDGE OF PAVEMENT
EW	EDGE OF WATER
FC	FENCE CORNER
FL	FENCE LINE
FP	FENCE POST
IP	IRON PIPE
FI	FOUND IRON ROD
FN	FOUND NAIL
FN&D	FOUND NAIL & DISC
FP&L	FLORIDA POWER AND LIGHT
R	RECORD
RAD	RADIUS
SN&D	SET NAIL & DISC # 5495
SP	SCREENED PORCH
SP&C	1/2" PIN & CAP # 5495

LEGEND

-  CABLE JUNCTION BOX
-  CATCH BASIN
-  CLEAN OUT
-  CONTROL VALVE
-  ELECTRIC SERVICE
-  FIRE HYDRANT
-  FP&L PAD
-  GUY ANCHOR
-  MANHOLE
-  POOL EQUIPMENT
-  POWER/LIGHT POLE
-  SPRINKLER SYSTEM
-  WATER METER
-  WATER VALVE
-  WELL

BRICK PAVERS  
CENTERLINE  
CONCRETE/CHAT  
CONCRETE WALL  
ELEVATION  
METAL FENCE  
OVERHEAD WIRES  
WOOD DECK/DOCK  
WOOD FENCE



**ATLANTIC COAST**  
SURVEYING INC.

*Paul J. Stowell*

PAUL J. STOWELL  
PROFESSIONAL LAND SURVEYOR  
FLORIDA CERTIFICATION NO. 5241  
ATLANTIC COAST SURVEYING, INC.  
6129 STIRLING RD SUITE 2 DAVIE, FLORIDA 33314

