



150 MARINE WAY

150 MARINE WAY
DELRAY BEACH, FLORIDA

RICHARD JONES

ARCHITECTURE

10 S.E. FIRST AVENUE | SUITE 102
DELRAY BEACH, FLORIDA 33444
V 561.274.9186 | F 561.274.9196
AA26001617 | IB26001056

WWW.RJARCHITECTURE.COM

150 MARINE WAY
DELRAY BEACH, FLORIDA

FLORIDA LICENSURE

AA26001617 | IB26001056

COMMISSION # 19-019
DESIGNER: RJ
DRAWN BY: JH/RB
PLAN REVIEW: RJ

SUBMITTALS:
ISSUE TO HPB: 07.21.20

REVISIONS:
1. TAC COMMENTS: 09.15.20

COVER SHEET

CVR

RICHARD JONES ARCHITECTURE

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DRAWING INDEX

CVR COVER SHEET
S-1 SURVEY

ARCHITECTURAL

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CODE RESEARCH

PROPOSED PROJECT: SINGLE FAMILY-RESIDENTIAL GROUP R

GOVERNING CODE: FBC 6th EDITION (2017), FFPC 6th EDITION (2017), NFPA 1 UFC FLORIDA 2015 EDITION, NFPA 101 LSC FLORIDA 2018 EDITION

MEAN ROOF HEIGHT: 26'-1" (ABOVE B.B.E. = 7.00' NAVD)

TYPE OF CONSTRUCTION: TYPE V UNSPRINKLERED

BUILDING DESIGNED: ENCLOSED

WIND SPEED: 170 MPH ULTIMATE WIND SPEED

EXPOSURE: C

ZONING DISTRICT: RM - HISTORIC DISTRICT - CITY OF DELRAY BEACH

FLOOD ZONE: ZONE AE (6.00' NAVD)

SETBACKS: REQUIRED: FRONT SETBACK = 25'-0"
REAR SETBACK = 10'-0"
SIDE INTERIOR SETBACK= 7'-6"

PROVIDED: (EAST) FRONT SETBACK = 36'-4 1/2"
(WEST) REAR SETBACK = 10'-2 1/2"
(NORTH) SIDE SETBACK = 7'-6"
(SOUTH) SIDE SETBACK = 7'-6"

DESIGN PARAMETERS

OCCUPANCY (SINGLE FAMILY, DUPLEX, MULTI-FAMILY, COMMERCIAL, INDUSTRIAL - DESCRIBE) SINGLE FAMILY

EXPOSURE CONDITION C ☒ SEC. R301.2.1.4.3 6th EDITION (2017) FLORIDA RESIDENTIAL CODE

MEAN ROOF HEIGHT 26'-1" (ABOVE B.B.E.) ☒ ASCE 7-10 CHAPTER 26

BUILDING HEIGHT ☒ ≤ 60 FT. (MAY USE LOW RISE PROVISIONS OF THE 6th EDITION (2017) FLORIDA RESIDENTIAL CODE) ☐ > 60 FT. (ASCE 7-10 CHAPTER 26)

BUILDING DESIGNED AS ☐ PARTIALLY ENCLOSED ☒ ENCLOSED ☐ OPEN ☐ TESTED (WIND TUNNEL)

IMPORTANCE FACTOR (DETERMINED BY BUILDING USE/OCCUPANCY, REFER TO 6th EDITION (2017) FLORIDA RESIDENTIAL CODE OR ASCE 7-10 CHAPTER 26) 1.0

BASIC WIND VELOCITY PRESSURES : 6th EDITION (2017) FLORIDA RESIDENTIAL CODE
VERIFY APPROPRIATE POSITIVE/NEGATIVE PRESSURE COEFFICIENTS HAVE BEEN APPLIED TO MAIN WIND FORCE RESISTING SYSTEM, OR BUILDING ENVELOPE COMPONENTS AND CLADDING AS APPLICABLE:

FBC 2017 ULTIMATE WIND SPEED 170 (3 SECOND GUST) BASIC VELOCITY PRESSURE 40 PSF

ASCE 7-10 CH 26 WIND SPEED NA (3 SECOND GUST) BASIC VELOCITY PRESSURE NA PSF

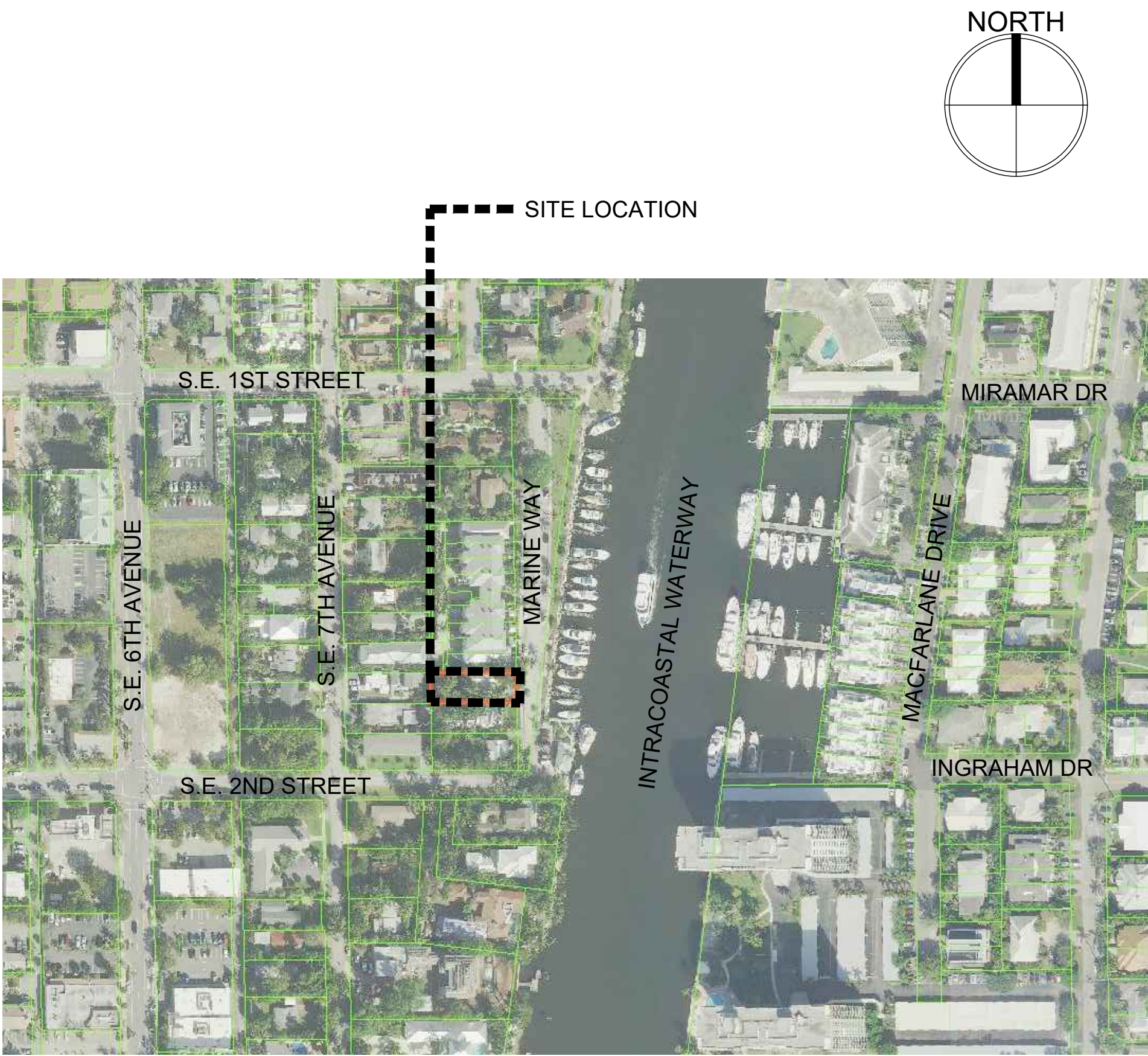
NOTE: ACTUAL DESIGN PRESSURES FOR ALL EXTERIOR WINDOWS, DOORS, GARAGE DOORS, AND SIMILAR ENVELOPE ELEMENTS MUST BE INDICATED ON CONSTRUCTION PLANS.

ROOF DEAD LOAD (ACTUAL DEAD LOAD OF MATERIAL USED FOR DETERMINING UPLIFT REACTIONS) 5 PSF

SOIL BEARING CAPACITY 2500 PSF

REVIEWED FOR SHEAR WALL REQUIREMENTS ☒ YES ☐ NO (IF NO, INDICATE REASON)

LOCATION MAP



OWNER

AZURE 150 MARINE LLC
290 SE 6TH AVENUE
SUITE 5
DELRAY BEACH, FL 33483

ARCHITECT

RICHARD JONES ARCHITECTURE
10 S.E. FIRST AVENUE, SUITE 102
DELRAY BEACH, FL. 33444
TELEPHONE: 561-274-9186

STRUCTURAL

ENGINEERING PLUS
19528 SEDGFIELD TERRACE
BOCA RATON, FL 33498
CELL: 561-756 4106
FAX: 561-479 3743

LANDSCAPE

PLA DESIGN STUDIO,PLLC
LANDSCAPE ARCHITECTURE
2385 NW EXECUTIVE CENTER DR
SUITE 240
BOCA RATON FL, 33431
PHONE: 561-904-1556

CIVIL ENGINEER

ENVIRODESIGN ASSOCIATES, INC.
298 NE 2ND AVENUE
DELRAY BEACH, FL 33444
TELEPHONE: 561-274-6500
FAX: 561-274-8558

LAND SURVEYOR

O'BRIEN, SUITER & O'BRIEN
955 NW 17TH AVENUE SUITE K-1
DELRAY BEACH FL. 33445
TELEPHONE: 561-276-4501
FAX: 561-276-2390



Scale: 1"=10'



SP-1

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GROUND FLOOR,
SECOND FLOOR &
ROOF PLAN

A-1

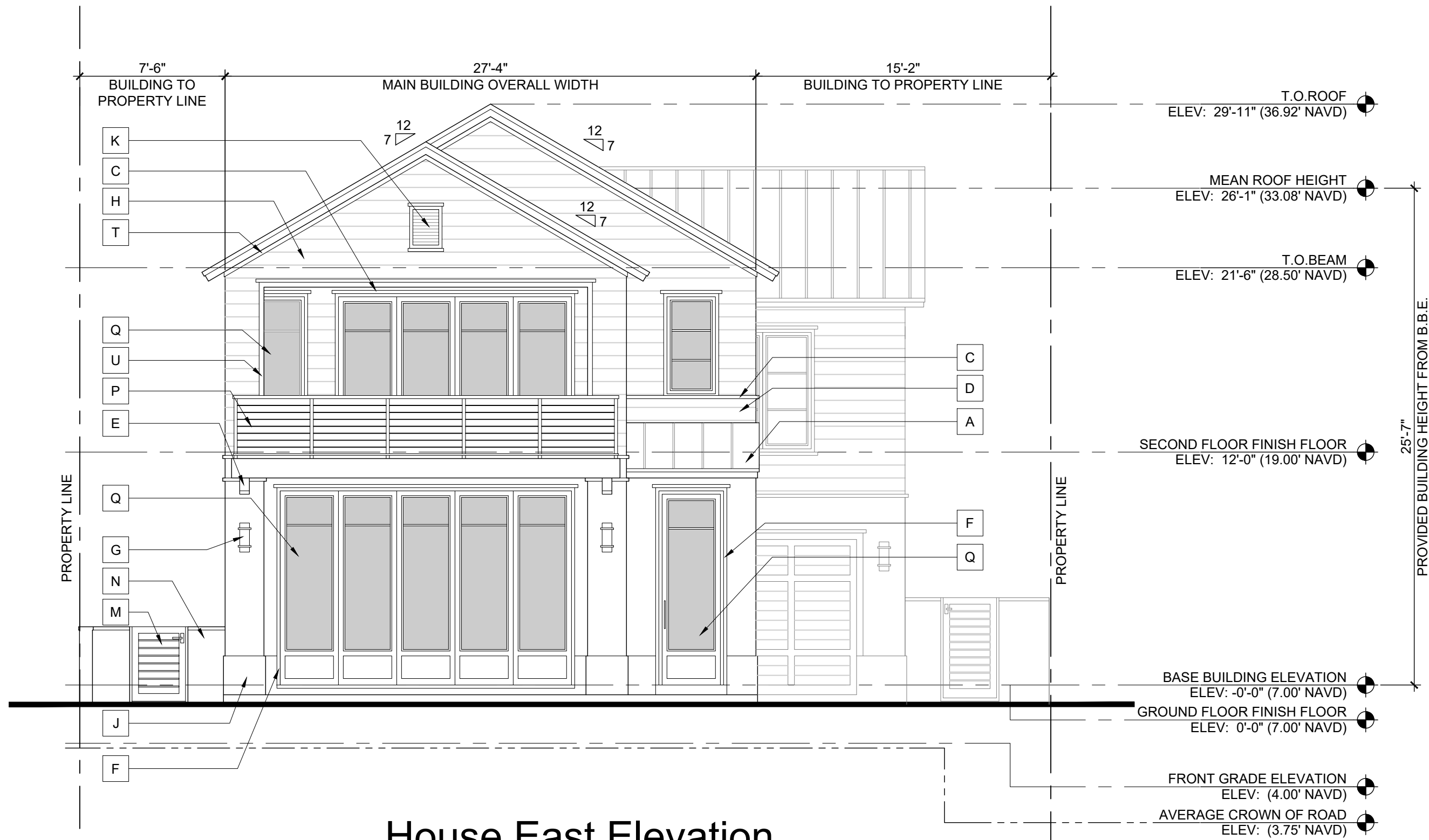
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The architectural drawings consist of three main plans: a Roof Plan, a Second Floor Plan, and a Ground Floor Plan. The Roof Plan shows the layout of the roof with gable ends, open terraces, and balconies. The Second Floor Plan details the bedrooms, bathrooms, and living areas. The Ground Floor Plan shows the main living, dining, and kitchen areas, along with a two-car garage and a courtyard. Each plan includes detailed room layouts, dimensions, and annotations for construction and materials.

Roof Plan
Scale: 3/16"=1'-0" NORTH

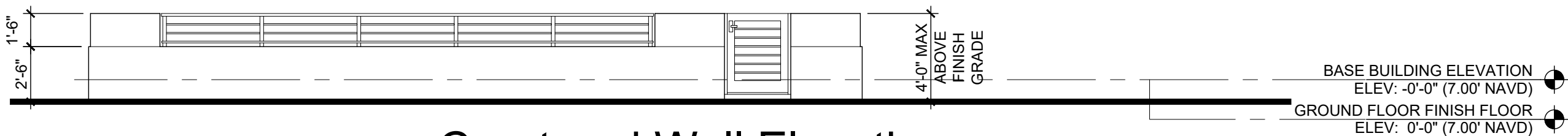
Second Floor Plan
Scale: 3/16"=1'-0" NORTH

Ground Floor Plan
Scale: 3/16"=1'-0" NORTH



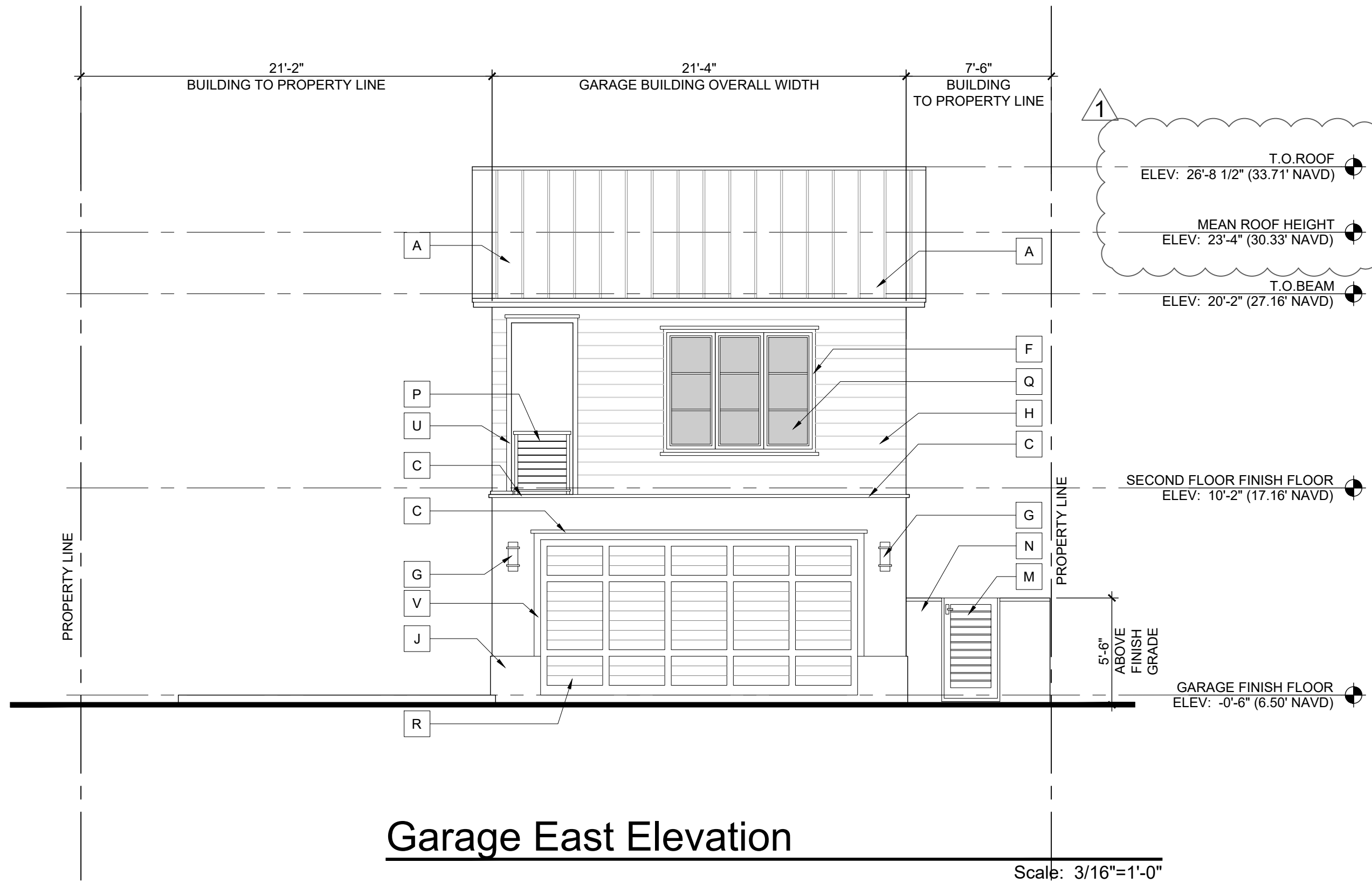
House East Elevation

Scale: 3/16"=1'-0"



Courtyard Wall Elevation

Scale: 3/16"=1'-0"



Garage East Elevation

Scale: 3/16"=1'-0"



South Elevation

Scale: 3/16"=1'-0"

ELEVATION NOTES

A	DARK BRONZE STANDING SEAM ROOF BY ENGLERT. PROVIDE NOA & SAMPLE FOR ARCHITECT'S REVIEW	L	CONCRETE STAIR WITH BRONZE COLOR ALUMINUM RAILING
B	SMOOTH STUCCO FINISH.	M	ALUMINUM GATE WITH BRONZE COLOR. REFER TO DETAIL & PROVIDE SHOP DRAWINGS WHITE FINISH
C	2" SMOOTH STUCCO BAND W/2" PROJECTION	N	SMOOTH STUCCO FINISH MASONRY GARDEN WALL. REFER TO DETAIL
D	39" HIGH ABOVE FINISH FLOOR MASONRY BALCONY WALL. REFER TO STRUCTURAL DRAWINGS	P	39" HIGH ALUMINUM RAIL WITH METAL CABLES. REFER TO DETAIL BRONZE FINISH
E	PAINTED CYPRESS BRACKET. REFER TO DETAIL	Q	IMPACT RESISTANT WINDOW AND DOOR (BRONZE FINISH) REFER TO SCHEDULE
F	2" SMOOTH STUCCO WINDOW SURROUND W/1" PROJECTION	R	INSULATED METAL GARAGE DOOR WITH APPLIED PAINTED CYPRESS VENEER
G	LIGHT FIXTURE WITH BRONZE FINISH. REFER TO OWNER FOR SELECTION	S	2" SMOOTH STUCCO WINDOW SILL & HEADER W/2" PROJECTION
H	6" WHITE SMOOTH STUCCO SIMULATED SIDING	T	SMOOTH STUCCO FRIEZE BOARD AT SOFFIT - TYPICAL
J	1" SMOOTH STUCCO FINISH RAISED BASE	U	3" SMOOTH STUCCO BAND W/1" PROJECTION
K	DECORATIVE ALUMINUM LOUVER BRONZE COLOR. REFER TO DETAIL	V	4" SMOOTH STUCCO BAND W/1" PROJECTION

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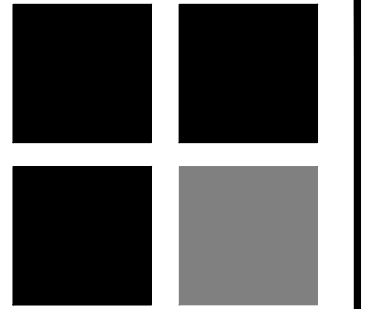
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EAST &
SOUTH
BUILDING
ELEVATIONS

A-2

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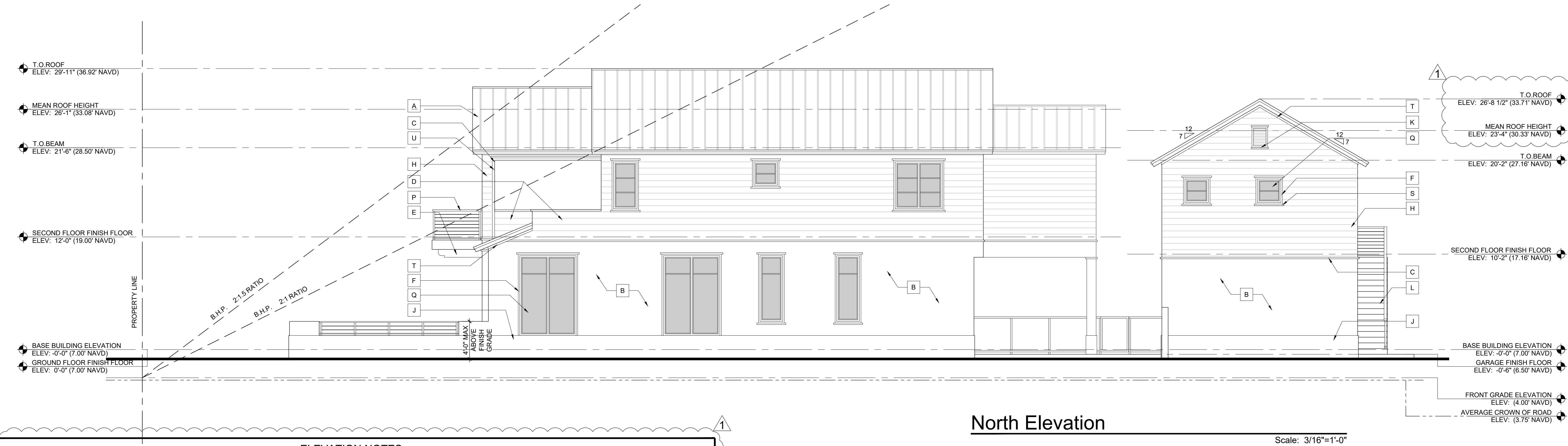
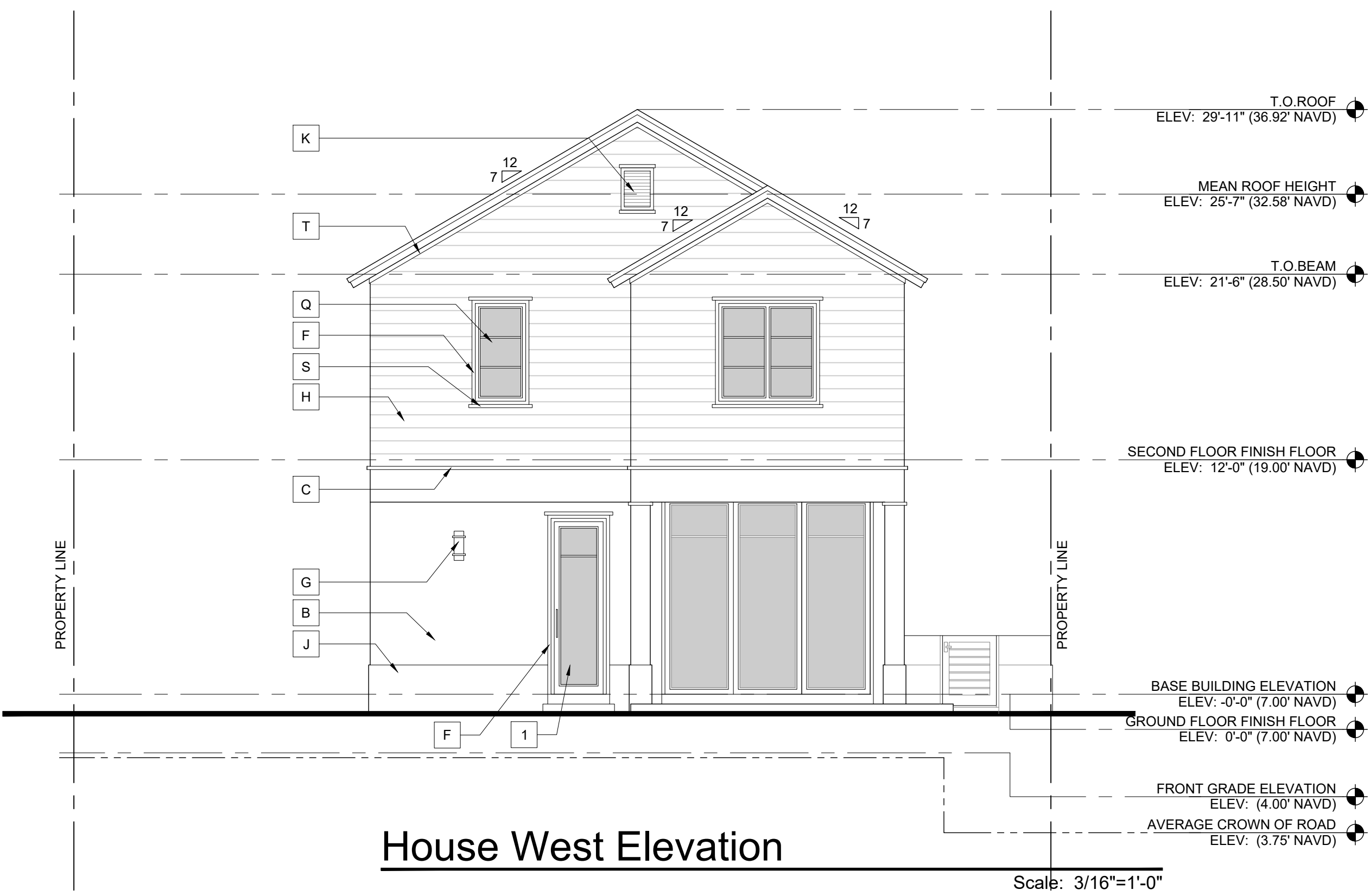
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1	TAC	09.15.20
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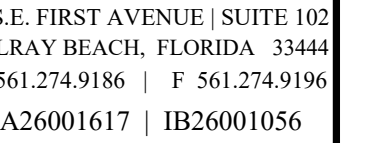
WEST &
NORTH
BUILDING
ELEVATIONS

A-3

RICHARD JONES ARCHITECTURE



ELEVATION NOTES			
A	DARK BRONZE STANDING SEAM ROOF BY ENGLERT. PROVIDE NOA & SAMPLE FOR ARCHITECT'S REVIEW	L	CONCRETE STAIR WITH BRONZE COLOR ALUMINUM RAILING
B	SMOOTH STUCCO FINISH.	M	ALUMINUM GATE WITH BRONZE COLOR. REFER TO DETAIL & PROVIDE SHOP DRAWINGS WHITE FINISH
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E	PAINTED CYPRESS BRACKET. REFER TO DETAIL	Q	IMPACT RESISTANT WINDOW AND DOOR (BRONZE FINISH) REFER TO SCHEDULE
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STREET SCAPE

A-4

East Side Street Elevation

Scale: n.t.s.

[illegible]

Figure 1 illustrates typical window and door details, showing six cross-sections (A through F) relative to the TOP OF SLAB.

- Detail A (FIXED):** A double-hung window with a total width of 6'-0" (split into two equal parts, EQ.) and a total height of 9'-0". The window opening is 7'-6" high and 3'-0" wide. The sill is 1'-6" above the slab.
- Detail B (FIXED):** A single-hung window with a total width of 2'-5" and a total height of 9'-0". The window opening is 6'-0" high and 3'-0" wide. The sill is 3'-0" above the slab.
- Detail C (FIXED):** A tripart window with a total width of 2'-6" and a total height of 8'-0". The window opening is 5'-0" high and 3'-0" wide. The sill is 3'-0" above the slab.
- Detail D (CASEMENT):** A double-hung window with a total width of 5'-0" (split into two 2'-6" sections) and a total height of 8'-0". The window opening is 5'-0" high and 3'-0" wide. The sill is 3'-0" above the slab.
- Detail E (CASEMENT):** A tripart window with a total width of 2'-6" and a total height of 8'-0". The window opening is 5'-0" high and 3'-0" wide. The sill is 3'-0" above the slab.
- Detail F (FIXED):** A single-hung window with a total width of 2'-6" and a total height of 8'-0". The window opening is 2'-6" high and 3'-0" wide. The sill is 5'-6" above the slab.
- Detail G (FIXED):** A tripart window with a total width of 7'-6" (split into three 2'-6" sections) and a total height of 8'-0". The window opening is 6'-0" high and 2'-0" wide. The sill is 2'-0" above the slab.

[illegible]

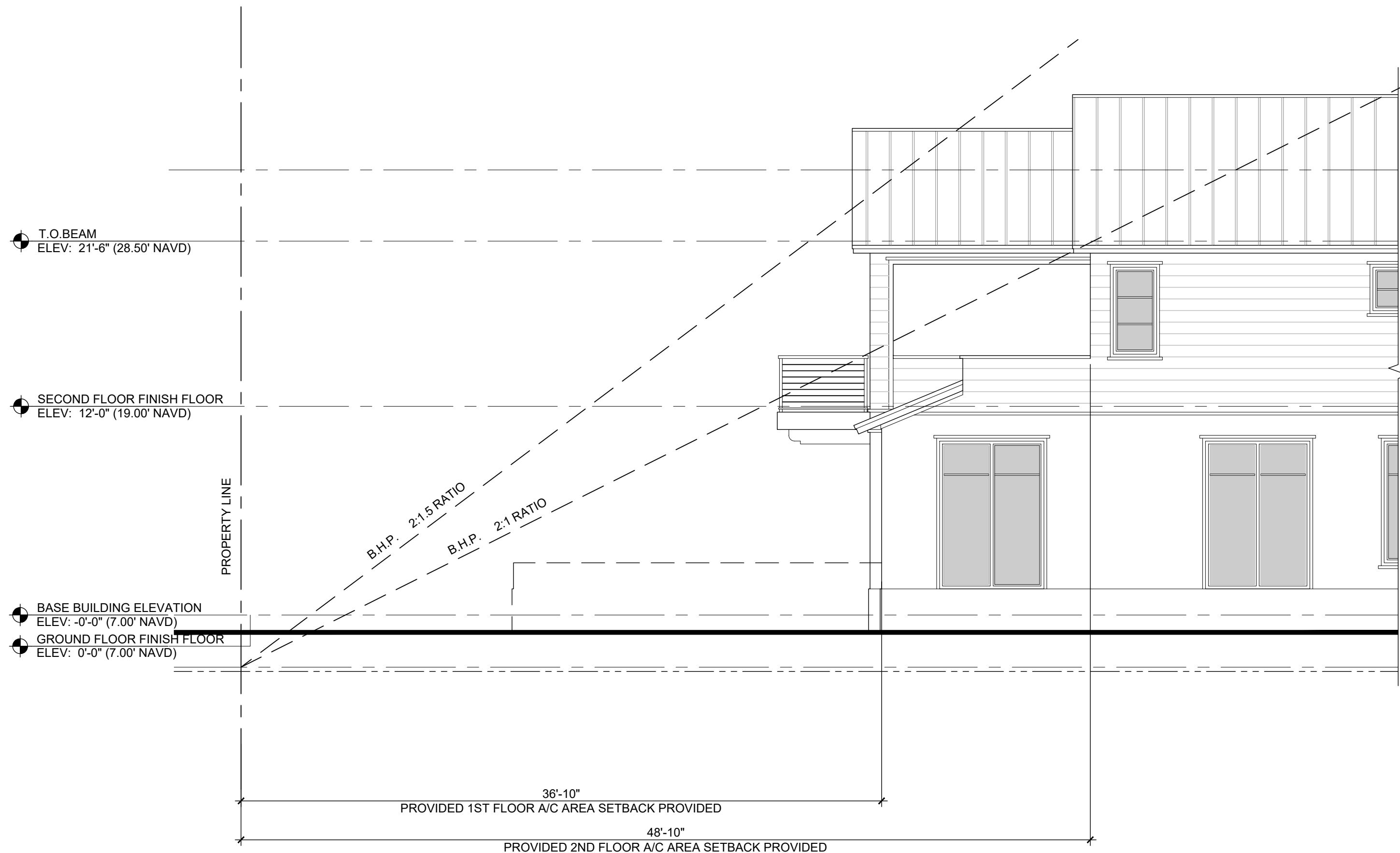
1. ALL EXTERIOR GLAZING UNITS SHALL BE IMPACT RESISTANT WITH FLORIDA PRODUCT APPROVAL.
(SHADING COEFFICIENT OF GLAZING SHALL COMPLY WITH FLORIDA ENERGY CALCULATIONS).
2. COORDINATE ALL ROUGH OPENINGS WITH WINDOW / DOOR MANUFACTURER - ALL DIMENSIONS ARE NOMINAL (CONCRETE OR ROUGH OPENING DIMENSIONS SHALL BE 1/2" LARGER THAN WINDOW / DOOR DIMENSIONS).
3. ALL WINDOWS / DOORS SHALL COMPLY WITH F.B.C. 6TH EDITION (2017).
4. PROVIDE SHOP DRAWINGS FOR ALL GLAZING FOR ARCHITECTS REVIEW AND APPROVAL PRIOR TO FABRICATION.
5. ALL DOORS TO COMPLY WITH CODE. IMPACT AND WIND LOAD REQUIREMENTS (SUBMIT MANUFACTURERS CUT SHEET / PRODUCT APPROVALS).
6. FIELD VERIFY ALL WINDOW AND DOOR OPENINGS PRIOR TO FABRICATION.
7. ALL WINDOWS NOTED AS EGRESS WINDOWS SHALL COMPLY WITH F.B.C. SILL HEIGHT SHALL NOT EXCEED 44" A.F.F. MIN. OPG. HT. SHALL BE 20" MIN. CLEARANCE ABOVE ARCHITECT'S FINISH FLOOR. (SILL HEIGHT SHALL BE 5.7 SQ. FT. @ 1ST FLOOR).
8. ALL EGRESS WINDOWS IN SLEEPING ROOM SHOULD HAVE A MINIMUM CLEAR OPENING OF 5.7 SQ. FT.
9. ALL EXTERIOR DOORS / WINDOWS SHALL BE INSTALLED PER FLORIDA PRODUCT APPROVAL.
10. ALL MUNTINS TO BE 1" WIDE RAISED TYPE ON BOTH INSIDE AND OUTSIDE OF WINDOW.
11. APPLY SHERWIN WILLIAMS SAIR-CRETE FLEXIBLE CONCRETE WATER PROOF (TEXTURED A5 SERIES) AT EXTERIOR PERIMETER OF ALL DOOR & WINDOW MASONRY OPENINGS TO A DISTANCE OF 12" FROM EDGE OF OPENING UNLESS OTHERWISE NOTED.
12. USE LOW RATED DOOR AT HVAC CLOSET IF NO RETURN AIR IS PROVIDED.
13. ALL WINDOW FRAMES TO BE BRONZE ALUMINUM.
14. REFER TO ELEVATIONS AND SECTIONS FOR OPERABLE WINDOW SWING ORIENTATION.
15. ALL GLAZING TO BE CLEAR NON-REFLECTANT.

Figure 1 displays eight elevation views of window and door types, labeled 1 through 8, showing their dimensions and panel configurations. The views are arranged in three rows, with a horizontal line labeled "TOP OF SLAB" indicating the base level for each.

- View 1:** A single door with a solid recessed panel. Dimensions: 3'-4" wide, 3'-0" high, and 10'-0" tall. Label: "SOLID RECESSED PANEL".
- View 2:** A row of five windows with solid recessed panels. Dimensions: 15'-0" wide, 10'-0" tall. Each window is 3'-0" wide and 3'-0" high. Label: "SOLID RECESSED PANEL TYP".
- View 3:** A row of three windows with solid recessed panels. Dimensions: 10'-6" wide, 10'-0" tall. Each window is 3'-6" wide and 3'-0" high.
- View 4:** A single door with a solid recessed panel. Dimensions: 2'-10" wide, 2'-6" high, and 9'-0" tall.
- View 5:** A row of five windows with solid recessed panels. Dimensions: 16'-4" wide, 8'-0" tall. Each window is 3'-2" wide and 3'-0" high. The total height is 8'-0" (3'-0" + 3'-0" + 2'-0").
- View 6:** A row of four windows with solid recessed panels. Dimensions: 12'-0" wide, 8'-0" tall. Each window is 3'-0" wide and 3'-0" high.
- View 7:** A single door with a solid recessed panel. Dimensions: 2'-10" wide, 2'-6" high, and 8'-0" tall.
- View 8:** A row of three windows with solid recessed panels. Dimensions: 10'-0" wide, 8'-0" tall. Each window is 3'-0" wide and 3'-0" high.

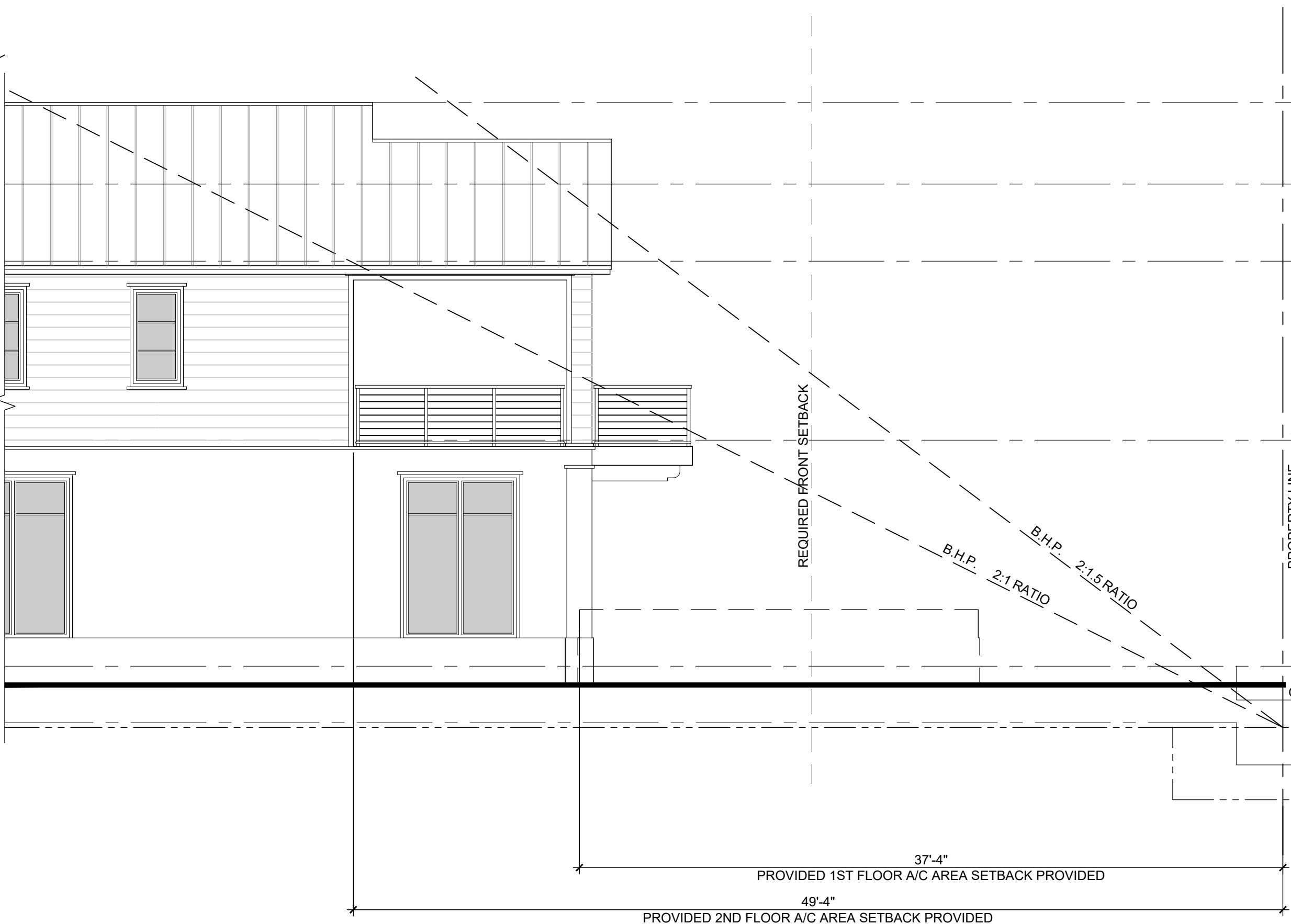
A-5

RICHARD JONES ARCHITECTURE



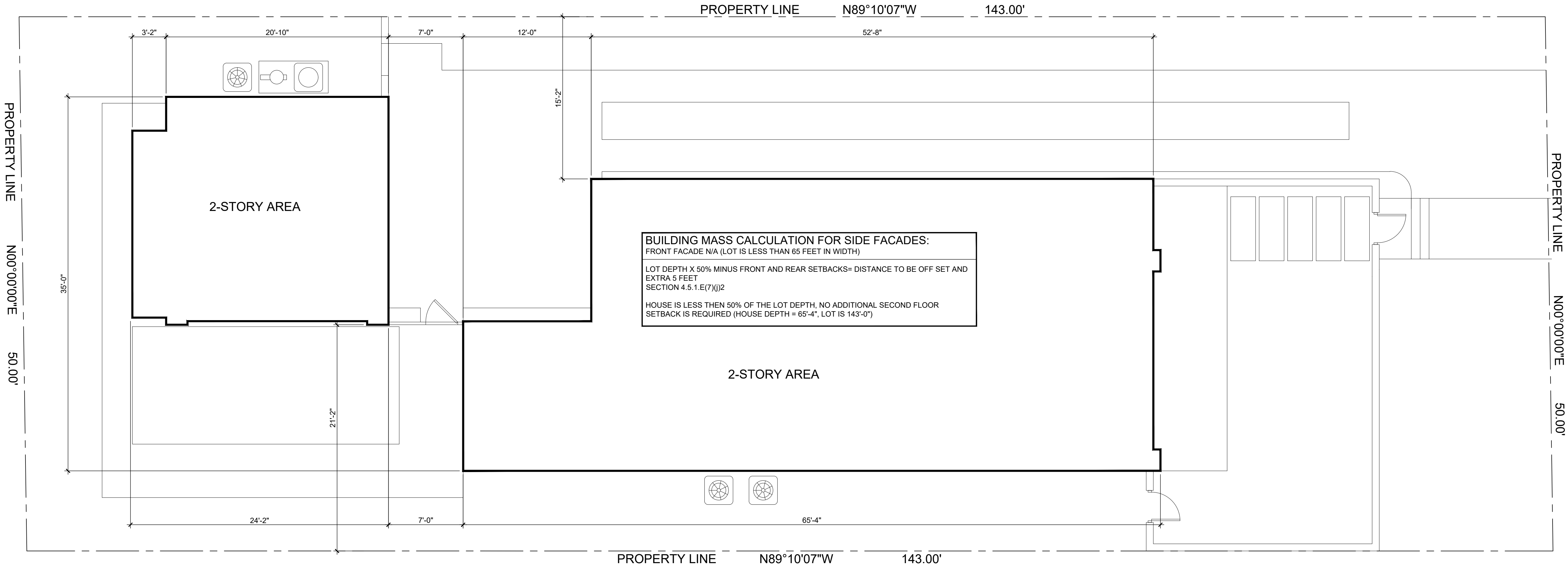
North Elevation & B.H.P. Diagram

Scale: 3/16"=1'-0"



South Elevation & B.H.P. Diagram

Scale: 3/16"=1'-0"



Site Setbacks Diagram (Second Floor)

Scale: 3/16"=1'-0"



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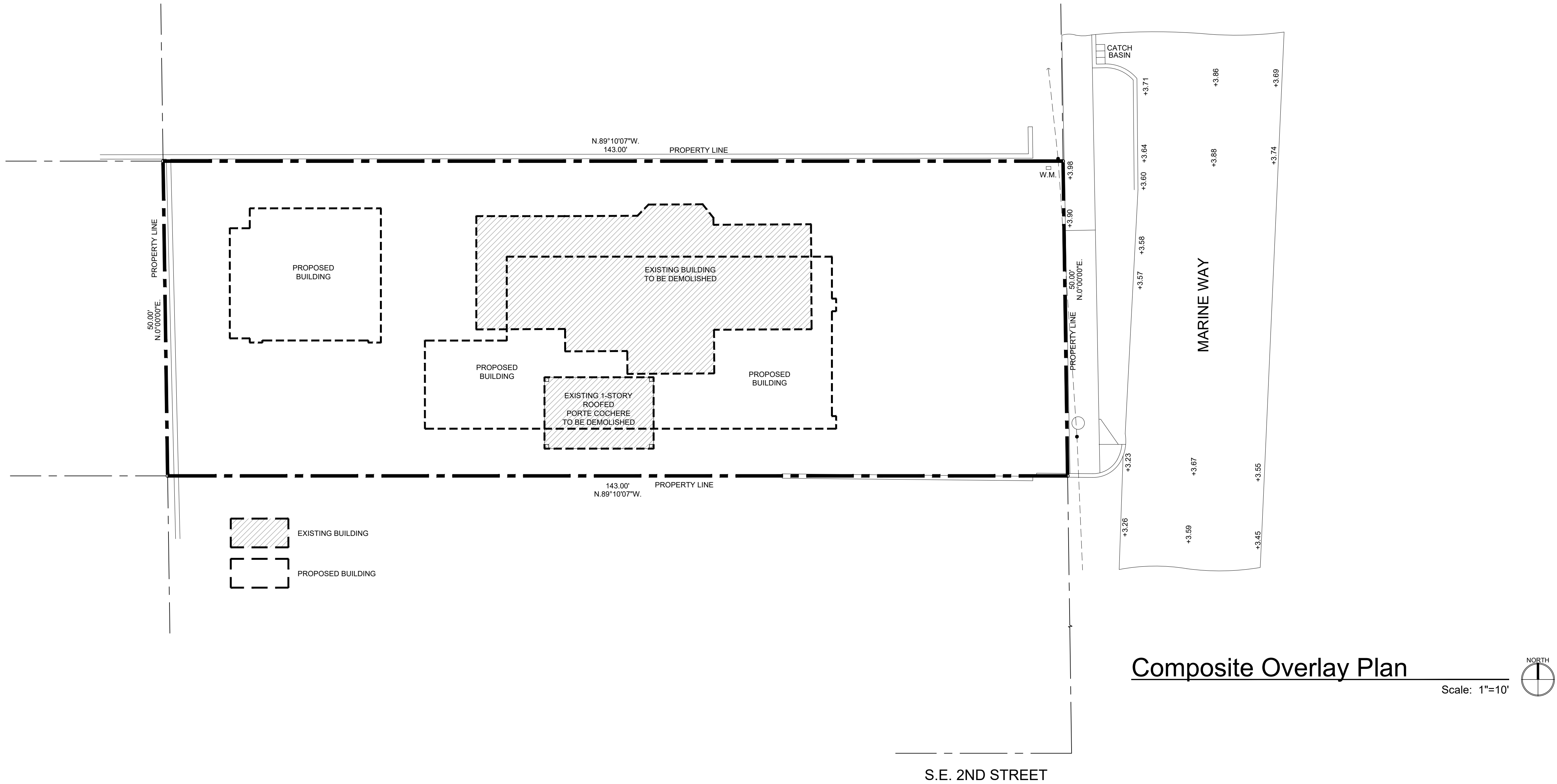
REVISIONS:
1 TAC COMMENTS: 09.15.20

SITE & SIDE
ELEVATION
SETBACK
DIAGRAM

A-6

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Composite Overlay Plan



Scale: 1"=10'

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COMPOSITE
OVERLAY
PLAN

A-7



ADJACENT PROPERTY TO SOUTH



EXISTING PROPERTY



AJACENT PROPERTY TO NORTH



SURVEYOR'S REPORT/LEGEND:

C = CENTERLINE

W.M. = WATER METER

A/C = CONCRETE A/C PAD

O.R.B. = OFFICIAL RECORDS BOOK

U.B. = UTILITY BOX

T.P. = CONCRETE TRANSFORMER PAD

THE EAST LINE OF LOT 13 IS ASSUMED TO BEAR N0°00'00"E.

+3.59 = ELEVATION BASED ON NORTH AMERICAN VERTICAL DATUM 1988. SOURCE: "L-NET GPS NETWORK"

FLOOD ZONE: AE (EL 6)
COMMUNITY PANEL NO. 125102
MAP NO.: 12099C0979

SUFFIX: F
EFFECTIVE DATE: OCTOBER 5, 2017

ALL DIMENSIONS SHOWN BASED ON STANDARD U.S. FOOT

THIS SURVEY MEETS THE CLOSURE OF 1 FOOT PER 10,000 FEET AS REQUIRED FOR COMMERCIAL HIGH RISK PROPERTY.

THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL OF CLOSURE OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR COMMERCIAL HIGH RISK PROPERTY CLOSURE WAS ACHIEVED BASED ON A REDUNDANCY OF MEASUREMENTS FOR VERTICAL HORIZONTAL AND ANGULAR DIMENSIONS.

NO TITLE WAS REVIEWED OR SEARCH OF THE PUBLIC RECORDS WAS MADE IN REGARD TO EASEMENTS THAT MAY AFFECT SUBJECT PARCEL.

NO SUBSURFACE SEARCH WAS MADE FOR UTILITIES OR UNDERGROUND FOOTERS

TITLE NOTES:

THIS SURVEY SHOWS ALL EASEMENTS AND RIGHTS OF WAY AS SHOWN ON SCHEDULE B-II OF OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NUMBER: 694129, DATED JUNE 5, 2019.

☒ PARCEL SUBJECT TO TERMS AND CONDITIONS OF CITY OF DELRAY BEACH ORDINANCE NO. 156-88 AS RECORDED IN O.R.B. 6620, PAGE 1712.

DESCRIPTION:

LOT 13, BLOCK 126, A SUBDIVISION OF BLOCK 126, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 11, PAGE 4, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

CERTIFIED TO:

AZURE 150 MARINE, LLC

LAW FIRM OF JOHN C. PRIMEAU, P.A.

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
SEACOAST NATIONAL BANK, ISAOA/ATIMA

WARD DAMON, PL

MAP OF AS-BUILT SURVEY

SITE ADDRESS: 150 MARINE WAY,
DELRAY BEACH, FLORIDA 33483
PARCEL CONTROL NO. 12-43-46-16-01-126-0130

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

PAUL D. ENGLE
SURVEYOR & MAPPER #5708

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

O'BRIEN, SUITER & O'BRIEN, INC.
LAND SURVEYORS

CERTIFICATE OF AUTHORIZATION #LB353
SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE
955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445
(561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY
SEPT. 15, 2020
FIELD BOOK
D.320

PAGE NO.
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SCALE:
1" = 10'
ORDER NO.:
19-15db