

# 110 BUILDING

Exterior Renovation

110 E Atlantic Avenue, Delray Beach, FL 33444

**M E N I N**



**González Architects**  
Commercial

**GONZALEZ ARCHITECTS**

14 NE 1st Avenue, Suite 507  
Miami, FL 33132  
305.455.4216

Registration Seal  
AA 0002305  
AR 0008134

**CLASS I APPLICATION**  
**September 14, 2020**

ACT	ACOUSTIC CEILING TILE	EQ	EQUAL	IN	INCH	PLMB	PLUMBING
AFF	ABOVE FINISHED FLR.	EQP	EQUIPMENT	INSUL	INSULATION	PLYWD	PLYWOOD
AL	ALUMINUM	EXP	EXPANSION	INT	INTERIOR	PSI	POUNDS/SQUARE INCH
BSMT	BASEMENT	EXIST	EXISTING	JAN	JANITOR	PSF	POUNDS/SQUARE FEET
BLKG	BLOCKING	EXT	EXTERIOR	JT	JOINT	PL	PROPERTY LINE
BLDG	BUILDING	FT	FEET	JST	JOIST	REF	REFRIGERATOR
CAB	CABINET	FL	FLASHING	KP	KICK PLATE	REQD	REQUIRED
CPT	CARPET	FLR	FLOOR	LAV	LAVATORY	REV	REVISION
CLG	CEILING	FD	FLOOR DRAIN	LG	LENGTH	RM	ROOM
CEM	CEMENT	FLUOR	FLUORESCENT	LT	LIGHT	SECT	SECTION
CL	CENTER LINE	FTG	FOOTING	MATL	MATERIAL	SHT	SHEET
CT	CERAMIC TILE	FND	FOUNDATION	MFR	MANUFACTURER	SIM	SIMILAR
CLR	CLEAR	FR	FRAME	MAX	MAXIMUM	SPEC	SPECIFICATION
COL	COLUMN	GALV	GALVANIZED	MECH	MECHANICAL	SQ	SQUARE
CONF	CONFERENCE	GC	GENERAL CONTRACTOR	MTL	METAL	STD	STANDARD
CONC	CONCRETE	GL	GLASS	MEZZ	MEZZANINE	SS	STAINLESS STEEL
CONST	CONSTRUCTION	GR	GROUND, GRADE	MIN	MINIMUM	STRUC	STRUCTURE
CJ	CONTROL JOINT	GFI	GROUND FAULT INTERRUPT	MTD	MOUNTED	SV	SMOKE VENT
CONT	CONTINUOUS	GYP	GYPSUM	NOM	NOMINAL	TYP	TYPICAL
CMU	CONCRETE MASONRY	GWB	GYPSUM WALL BOARD	NIC	NOT IN CONTRACT	UON	UNLESS OTHERWISE NOTED
	UNIT	HC	HANDICAP	NTS	NOT TO SCALE	VIF	VERIFY IN FIELD
DIA	DIAMETER	HDWR	HARDWARE	OC	ON CENTER	VEST	VESTIBULE
DIM	DIMENSION	HDWD	HARDWOOD	OA	OVERALL	VCT	VINYL COMP. TILE
DISP	DISPENSER	HTR	HEATER	OFD	OVERFLOW DRAIN	WC	WATER CLOSET
DWG	DRAWING	HT	HEIGHT	PR	PAIR	WH	WATER HEATER
EWC	ELECTRIC WATER COOLER	HM	HOLLOW METAL	PTD	PAINTED	W/O	WITHOUT
ELEV	ELEVATION	HB	HOSE BIBB	PNL	PANEL	WB	WOOD BLOCKING
		HW	HOT WATER	PLAM	PLASTIC LAMINATE	WD	WOOD

1	Abbreviations
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	ROOM NAME		DOUBLE USB JACK		PULL STATION		ALUMINUM
	ELEVATION TARGET		DOORBELL BUTTON		FIRE STROBE		STEEL
	DOOR NUMBER TAG		EXHAUST		SMOKE DETECTOR		GENERIC HATCH
	PARTITION TYPE TAG		SWITCH		WALL MNT. SMOKE DETECTOR		PLYWOOD
	DETAIL TARGET		THERMOSTAT		FIRE SPRINKLER		ACOUSTICAL TILE
	SECTION TARGET		J-BX		WALL MNT. FIRE SPRINKLER		BATT INSULATION
	GRID LINE		ACCESS PANNEL		FIRE EXTIGUISHER CABINET		RIGID INSULATION
	DATUM/ HT. AFF		OUTLET		EXIT		GYPSUM BD. (LARGE SCALE)
	WINDOW NUMBER TAG		QUAD. OUTLET		LIGHTED MIRROR		SEALANT BACKER ROD
	DOOR NUMBER TAG		HUB		EARTH		FIBROUS FIRE SAFING
	DIRECTIONAL DOWNLIGHT		TELEVISION		GRANULAR FILL		CERAMIC TILE
	DO NOT DISTURB		PLATE		CONCRETE		GRANITE
	WATERPROOF RECESSED CAN		EXISTING SCONCE		BRICK		WOOD FRAMING
	DOUBLE PHONE JACK		NEW SCONCE		CMU		FINISH WOOD
			LIGHT FIXTURE		STONE (CUT OR CAST)		SHIMS/BLOCKING

## 2 General Symbols Legend

<b>GENERAL PROJECT DATA</b>	
APPLICANT:	GONZALEZ ARCHITECTS 14 NE 1st AVENUE, SUITE 507 MIAMI, FL. 33132
BUILDING ADDRESS:	233-279 NE 2ND AVENUE DELRAY BEACH, FL 33444
<b>RELEVANT CODE INFORMATION</b>	
FLORIDA BUILDING CODE - BUILDING	2017
FLORIDA BUILDING CODE - PLUMBING	2017
FLORIDA BUILDING CODE - MECHANICAL	2017
NATIONAL ELECTRIC CODE (NEC)	2014
FLORIDA FIRE PREVENTION CODE - 6TH ADDITION	2017
NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)	2015
1 and 101 Life Safety Code, Florida FFPC 6th Amendments	
ADA STANDARDS FOR ACCESSIBLE DESIGN	2010
<b>GENERAL BUILDING DATA</b>	
BUILDING HEIGHT:	50'-0"
NUMBER OF LEVELS:	4 LEVELS ABOVE GRADE (EXISTING) 1 LEVELS BELOW GRADE (GARAGE)
USE GROUP (PRIMARY):	A-2 RESTAURANT
<b>CONSTRUCTION TYPE:</b>	
ZONE:	CB (CENTRAL BUSINESS DISTRICT)
FIRE SUPPRESSION:	YES (EXISTING)
<b>PROJECT DATA</b>	
TOTAL AREA:	+/- 43,611 sq.ft.

3	Codes/Data	4	Vicinity Map Not To Scale
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[illegible]

5	Index of Drawings
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M E N I N

## 110 BUILDING

### Exterior Renovation

## Class I Application

110 E Atlantic Avenue  
Delray Beach, FL 33444



Registration Seal	Address
AA 0002305	14 NE 1st Avenue, Suite 507 Miami, FL 33132
AR 0008134	T +1 (305) 455 4216

Issued/Revised		
No	Date	Description

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Drawing Title

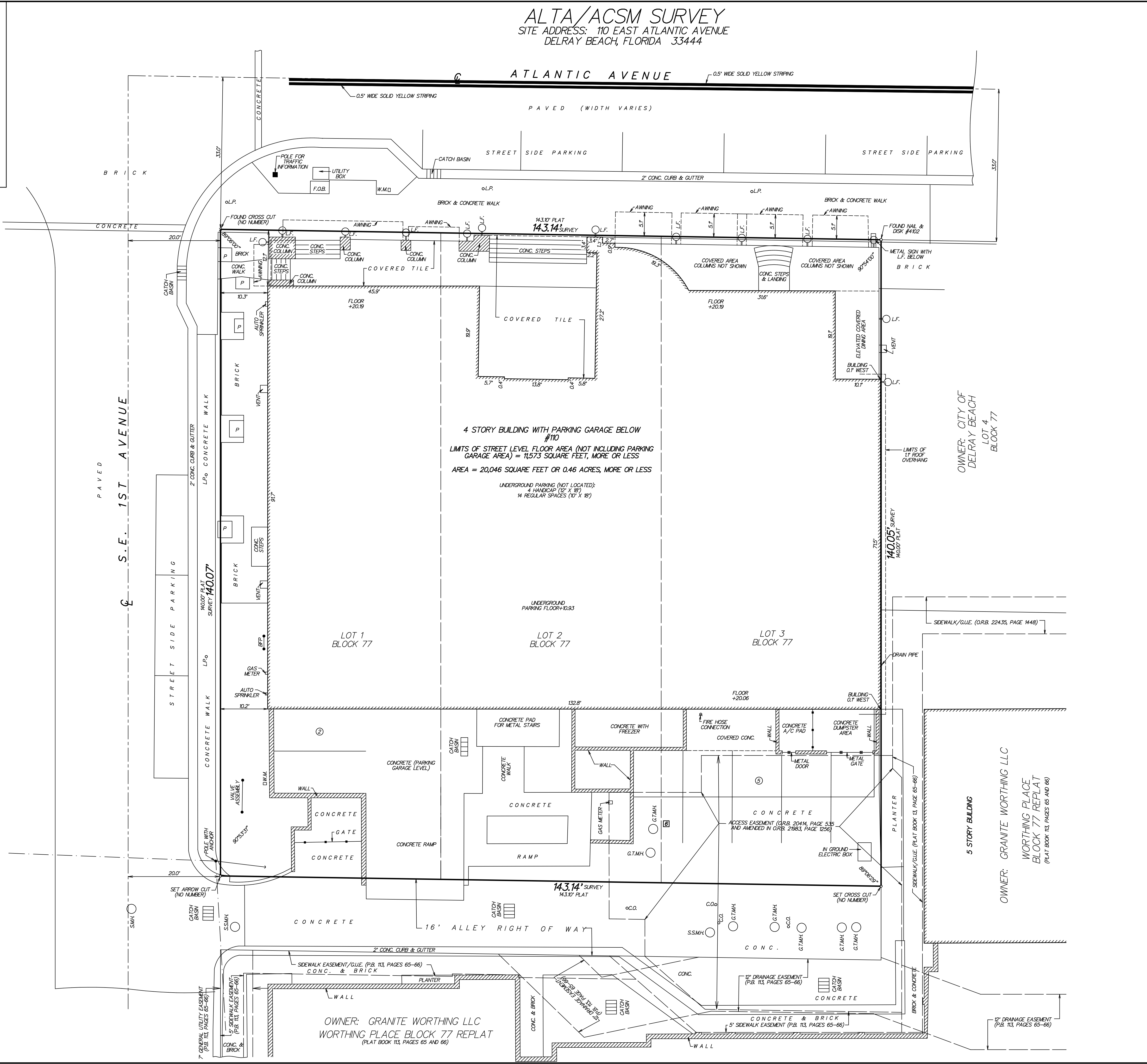
## Sheet Index and Project Data

Scale	As Noted
Date	September 10th, 2020
Drawn By	AN, MD, MQ, SD
Project No.	19001
Drawing No.	

Drawing No. \_\_\_\_\_

T1.01





**TITLE NOTES:**

PARCEL SUBJECT TO TURN-AROUND AMENITY RECIPROCAL EASEMENT AGREEMENT AS RECORDED IN O.R.B. 20414, PAGE 535, AND AMENDED IN O.R.B. 21983, PAGE 1256.

**DESCRIPTION:**

LOT 1, 2 AND 3, BLOCK 77, TOWN OF LINTON (NOW DELRAY BEACH), AS RECORDED IN PLAT BOOK 1, PAGE 3, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

**SITE INFORMATION:**

USE CODE: 1800 - OFFICE MULTISTORY

ZONING: CBD - CENTRAL BUSINESS (12 - DELRAY BEACH)

PROPERTY ADDRESS: 110 EAST ATLANTIC AVENUE  
DELRAY BEACH, FLORIDA 33444

UNDERGROUND PARKING SPACES:  
4 HANDICAP (12' X 18')  
14 REGULAR SPACES (10' X 18')

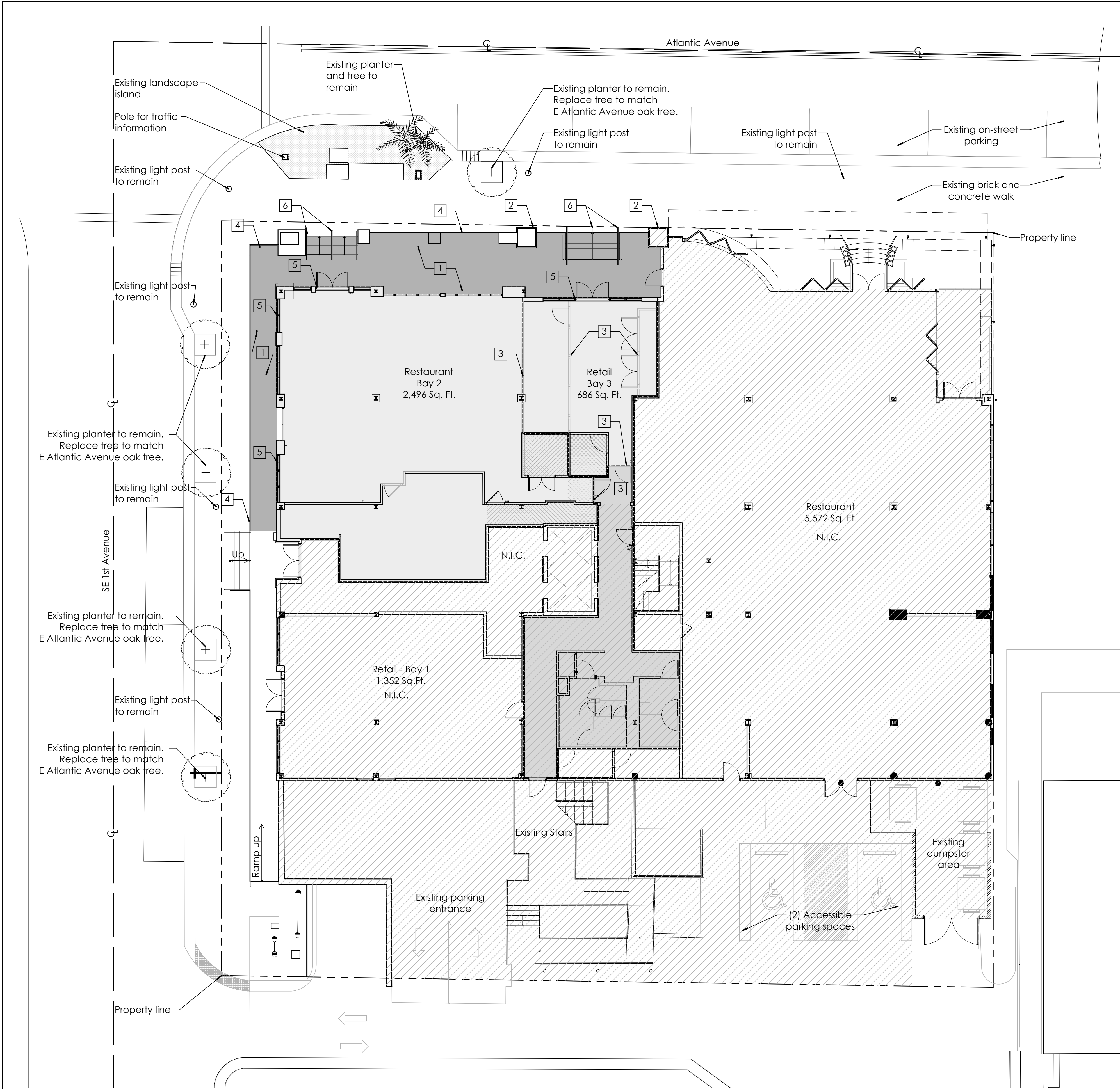
FLOOD ZONE: X  
NATIONAL FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 125102 0004 D, MAP REVISED JANUARY 5, 1989

NOT VALID WITHOUT THE SIGNATURE AND  
THE ORIGINAL RAISED SEAL OF A FLORIDA  
LICENSED SURVEYOR AND MAPPER

*Paul D. Engle*  
\_\_\_\_\_  
PAUL D. ENGLE  
SURVEYOR & MAPPER #5702

DATE OF SURVEY SEPT. 1, 2015	SCALE: 1" = 10'
FIELD BOOK PAGE NO. D.278 14	ORDER NO.: 04-121db

Progress Set: Not For Construction



LEGEND

- 1 Existing floor finish to be removed and receive new slip-resistance grade porcelain tile.
- 2 Entrance Porch cladding to be removed and receive new wood horizontal cladding system.
- 3 Interior partition wall to be removed as shown. Patch remaining surfaces to match existing adjacent and prepare to receive new finishes. Remove any electrical devices and pull wires back to panel.
- 4 Existing Railing to be removed. Prepare to receive new side mounted mullionless glass railing.
- 5 Existing exterior doors and storefront to remain and receive new white paint finish.
- 6 Existing stairs hand railing to be removed. New handrails to be installed.

Existing Program and Parking Breakdown

Area	Use	Sq.Ft.
Bay 1	Retail (Existing to remain)	1,352 Sq.Ft.
Bay 2	Restaurant (Existing to be combined with Bay 3)*	2,496 Sq.Ft.
Bay 3	Retail (to be combined with Bay 2 and use to be changed to Restaurant)*	686 Sq.Ft.
Bay 4		4,715 Sq.Ft.
Bay 5		4,391 Sq.Ft.
Bay 6	Business and Professional	4,715 Sq.Ft.
Bay 7	Office (Existing to remain)	4,715 Sq.Ft.
Bay 8		4,391 Sq.Ft.
Bay 9		4,391 Sq.Ft.
Restaurant	Restaurant (Existing to remain)	5,572 Sq.Ft.

\* The existing total Sq.Ft. of Bay 2 and Bay 3 is 3,182 SqFt. The proposed plan combines parts of Bay 2 and Bay 3 for a proposed revised restaurant of 2,957 SqFt. The proposed plan adds the remainin 225 SqFt to the office building common area (Mechanical and Electrical Rooms) of the building.

- Area of Bays to be converted to Common Area
- Bays to be combined
- Common Area
- Elements to be demolished
- Not In Scope

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No.	Date	Description
Drawing Title		

Site Demolition Plan

Scale  
Date  
Drawn By  
Project No.  
Drawing No.

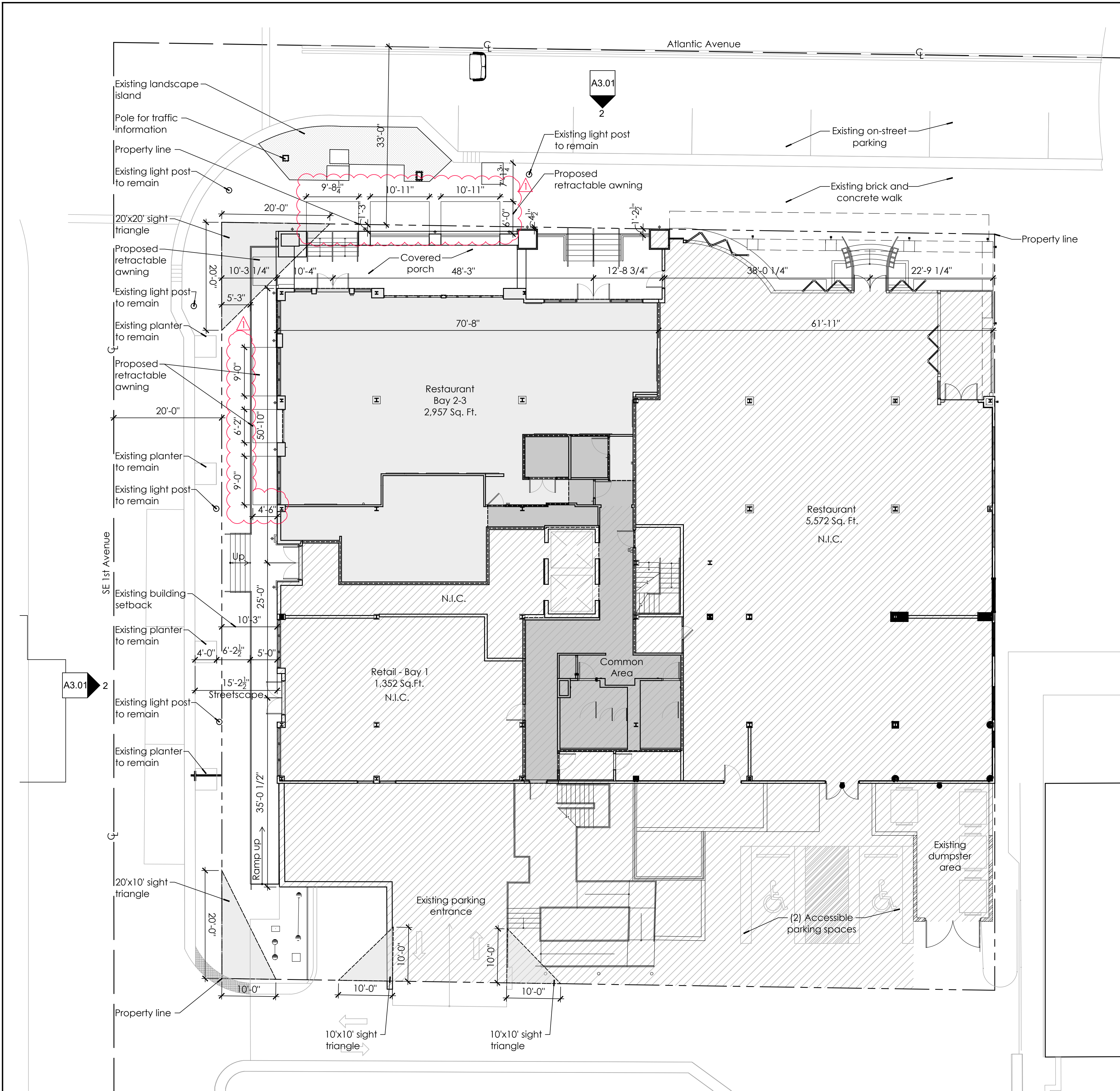
SD1.01

1 Site Demolition Plan  
1"=10'

3 General Notes



Progress Set: Not For Construction



1 Proposed Site Plan  
1"=10'

Proposed Program and Parking Breakdown			
Area	Use	Sq.Ft.	Parking Calculation
Bay 1	Retail (Existing)	1,352 Sq.Ft.	1 per 500 Sq.Ft.
Bay 2-3	Restaurant (Proposed)	2,957 Sq.Ft.	12 spaces per 1,000 SqFt for the first 6,000 SqFt, plus 15 spaces per each additional 1,000 SqFt
Bay 4	Business and Professional Office (Existing)	4,715 Sq.Ft.	1 per 500 Sq.Ft. net
Bay 5		4,391 Sq.Ft.	
Bay 6		4,715 Sq.Ft.	
Bay 7		4,715 Sq.Ft.	
Bay 8	Restaurant (Existing)	4,391 Sq.Ft.	12 spaces per 1,000 SqFt for the first 6,000 SqFt, plus 15 spaces per each additional 1,000 SqFt
Bay 9		5,572 Sq.Ft.	

\* The existing total Sq.Ft. of Bay 2 and Bay 3 is 3,182 SqFt. The proposed plan combines parts of Bay 2 and Bay 3 for a proposed revised restaurant of 2,957 SqFt. The proposed plan adds the remainin 225 SqFt to the office building common area (Mechanical and Electrical Rooms) of the building.

Use	Sq.Ft.	Parking Calculation	Parking Required
Retail	1,352 Sq.Ft.	1 per 500 Sq.Ft.	2.7 spaces
Restaurant	6,000 Sq.Ft.	12 spaces per 1,000 SqFt for the first 6,000 SqFt	72 spaces
	2,529 Sq.Ft.	15 spaces per each additional 1,000 SqFt above 6,000 SqFt	37.94 spaces
Office	8,529 Sq.Ft.	1 per 500 Sq.Ft. net	54.63 spaces
			167.27

**Section 4.4.13 (1)(2)(e):**  
Properties located within 750 feet of a public parking garage or the Planned Tri-Rail Coastal Link station (See Figure 4.4.13-5) are not required to provide additional parking resulting from a change in use, except for new restaurant and lounge uses, within an existing building, provided additional floor area is not created. The distance shall be measured along the closest pedestrian route between nearest building entrances/the planned station location.

USE	REQUIRED	WEEKDAY			WEEKEND	
		NIGHT MIDNIGHT TO 6 A.M.	DAY 9 A.M. TO 4 P.M.	EVENING 6 P.M. TO MIDNIGHT	DAY 9 A.M. TO 4 P.M.	EVENING 6 P.M. TO MIDNIGHT
Office	54.63	(5%)=2.7	(100%)=54.63	(10%)=5.5	(10%)=5.5	(5%)=2.7
Commercial/Retail	2.7	(5%)=0.14	(70%)=1.89	(60%)=2.43	(100%)=2.7	(70%)=1.89
Restaurant	109.94	(10%)=10.9	(50%)=54.97	(100%)=109.94	(50%)=54.97	(100%)=109.94
TOTALS	159.49	14	112	118	63	115

**\* Section 4.6.9 (C) (8): Multiple Uses - Shared Parking**  
Shared Parking Calculations Table - Use for multiple use projects.  
According to this section of the code, the **minimum total parking requirement is 118 parking spaces**, which is the highest sum of the vertical columns.

**\* Table 4.4.13(K)**  
**Minimum Number of Bicycle Parking Spaces Required in the CBD**

Use	Bicycle Parking Requirements	Quantity Provided	Bicycle spaces required
Professional Office <50,000	1 space per 5,000 SqFt net floor area	27,318 SqFt/5,000 = 5.46	10
Retail, Restaurant and Commercial Uses	1 space per 2,500 SF of gross floor area	9,881/1,000 = 3.95	

Location of Parking Provided	Number of Spaces
Federspiel Parking Garage (full-time, from previous application)	55 spaces
Federspiel Parking Garage (part-time, from previous application)	40 spaces
Surface parking	2 spaces
Garage Space (below grade)	24 spaces
Paid in-lieu (from previous application)	10 spaces
<b>Total Spaces Provided</b>	<b>131</b>
<b>Total Spaces Required</b>	<b>110</b>

Frontage Type: Porch LDR Table 4.4.13(E) - Dimensional Requirements for Porches		
Description	Required	Proposed
Building Setback	10ft min/15ft max	10'-2" (Existing to Remain)
Depth	8ft./12ft.	5'-0" (SE 1st Ave, Existing to Remain) 8'-0" (Atlantic Ave, Existing to Remain)
Width	40%-100% Facade	100% (SE 1st Ave, Existing to Remain) 50% (Atlantic Ave, Existing to Remain)
Floor Elevation	0.5ft./4ft.	3'-0" (Existing to Remain)
Allowable Encroachment	8ft. maximum	N/A

- Common Area
- Bay 2-3 in scope
- Not In Scope

**General Notes**

-Proposed work to encompass change of use of Bay 3 (from Retail to Restaurant), and facade material changes

-Common area noted in plan to encompass: Mechanical/Electrical Rooms, Common Restrooms, Common Hallways, Lobby, etc).

3 General Notes

M E N I N

# 110 BUILDING Exterior Renovation

Class I Application

110 E Atlantic Avenue  
Delray Beach, FL 33444



North

Registration Seal  
AA 0002025  
AR 0008134

Address  
14 NE 1st Avenue, Suite 507 Miami, FL 33132  
T +1 (305) 455 4216

Issued/Revised

No. Date Description

10-07-2020 Revision 1

Drawing Title

Proposed Site Plan

Scale As Noted

Date September 10th, 2020

Drawn By AN, MD, MG, SD

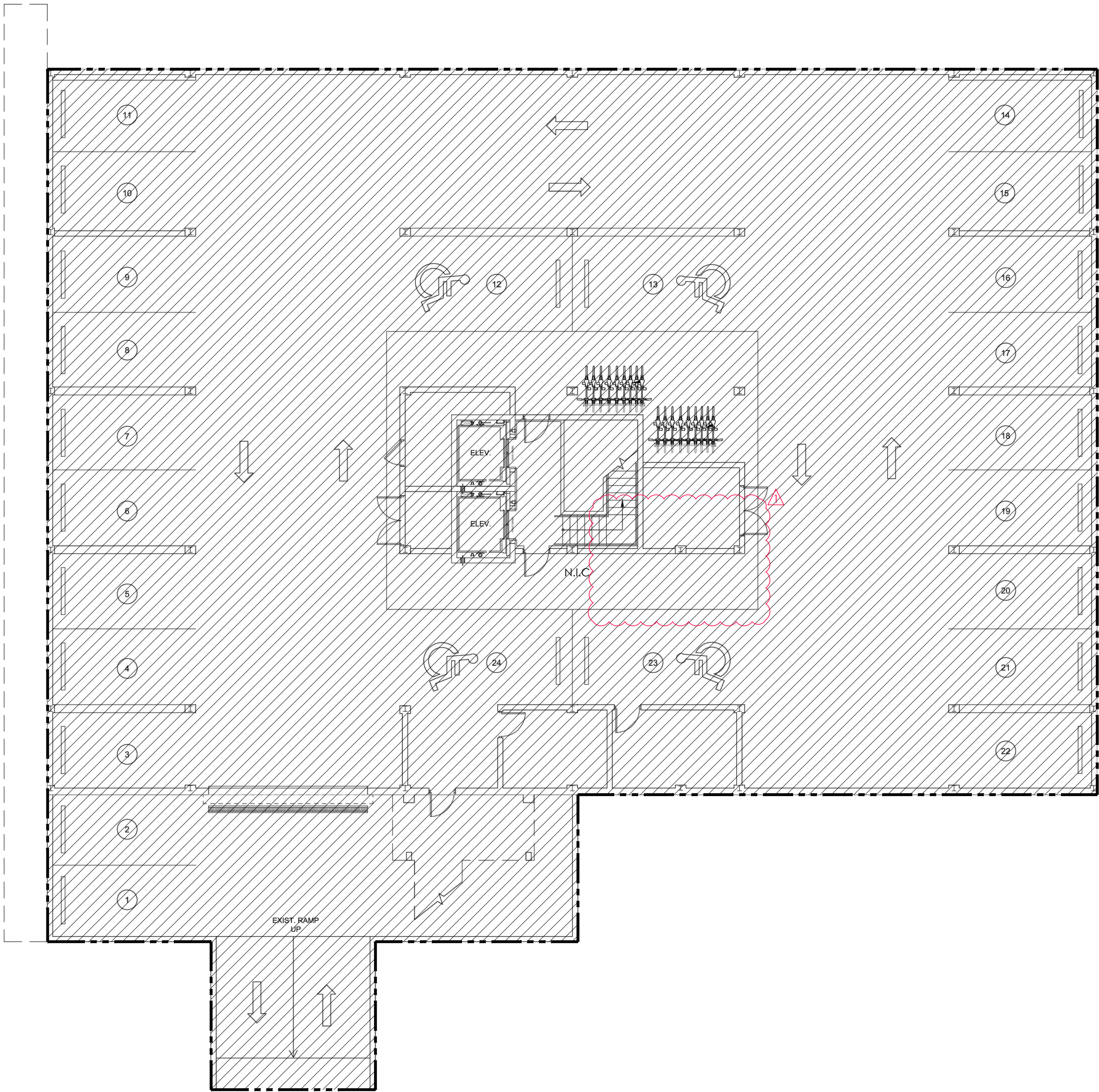
Project No. 19001

Drawing No.

ST1.01



Progress Set: Not For Construction



 Not In Scope

General Notes:

- GC to familiarize him/herself with field conditions prior to commencement of work and notify Architect of any discrepancies or unforeseen conditions prior to commencement of work.
- All finishes, flooring, doors, windows, trim, wall paneling, and moldings that are existing to remain shall be protected during demolition and construction. Repair as required.
- All existing structural elements to remain and be protected during demolition and construction.
- Any discrepancy between Architectural drawings and Consultant drawings (i.e. Interiors etc.) is to be immediately brought to the attention of the Architect in writing prior to the continuation of work.
- Existing fire alarm sprinkler and life safety components to remain undisturbed and operational for the duration of demolition and construction. Any items removed as required to facilitate work to be performed shall be promptly reinstalled in new or existing locations, to face of new construction as required in order to maintain code required coverage.
- Any modifications to the life safety systems shall be performed as a design build system by a qualified contractor. Design build contractor shall assume the responsibility of preparing all documents needed to obtain all required permits while meeting all applicable codes.

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No.	Date	Description
1	10-07-2020	Revision 1

Drawing Title

Lower Level  
Parking Plan

Scale	As Noted
Date	September 10th, 2020
Drawn By	AN, MD, MG, SD
Project No.	19001
Drawing No.	

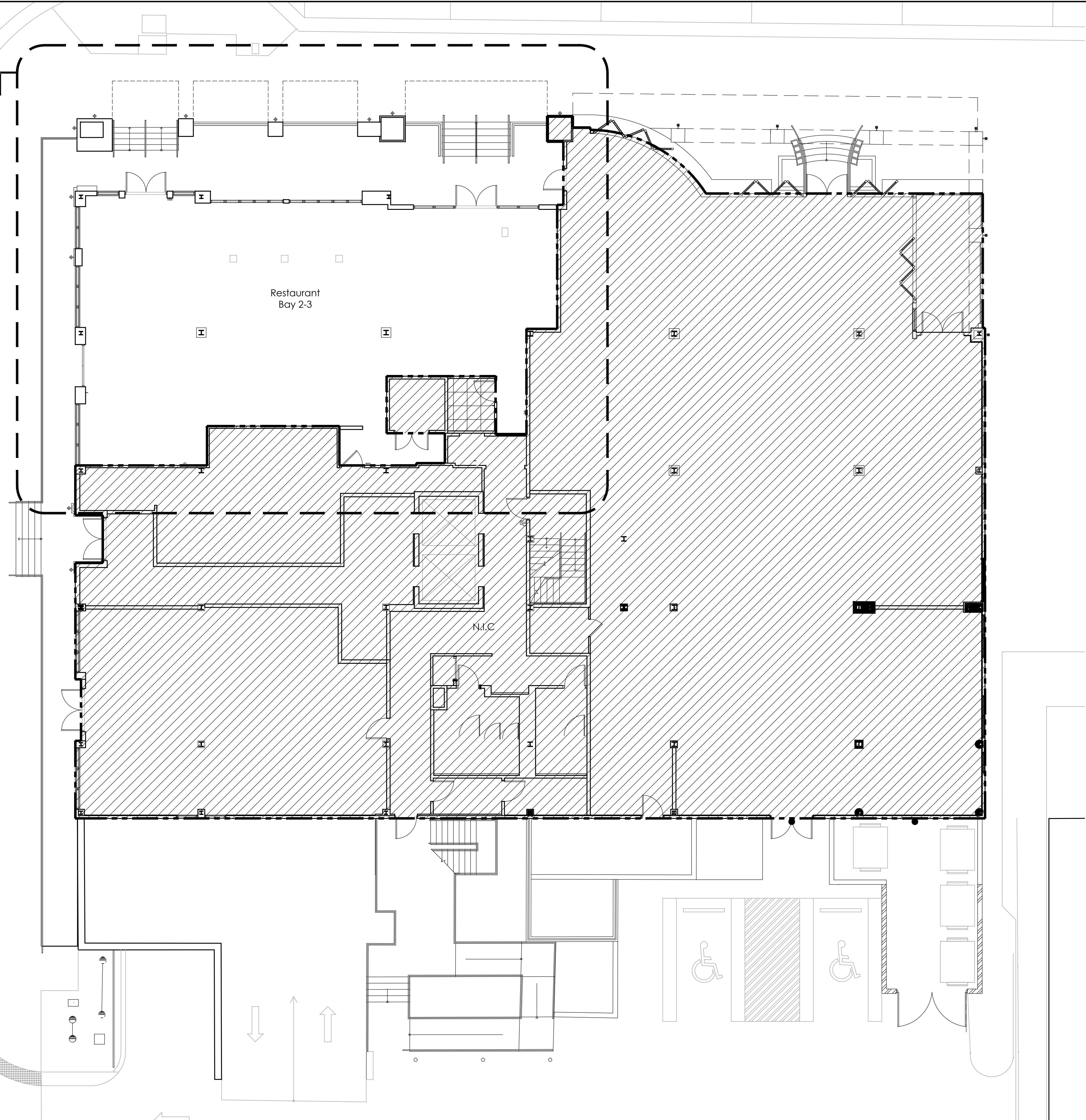
A1.01

1 Lower Level Parking Plan  
1/8"=1'-0"

2 General Notes

Progress Set: Not For Construction

1 A2.01  
See enlarged  
for proposed  
notes



1 Ground Level Plan  
1/4"=1'-0"

Not In Scope

General Notes:

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3 General Notes

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No.	Date	Description

Drawing Title

Ground Level  
Plan

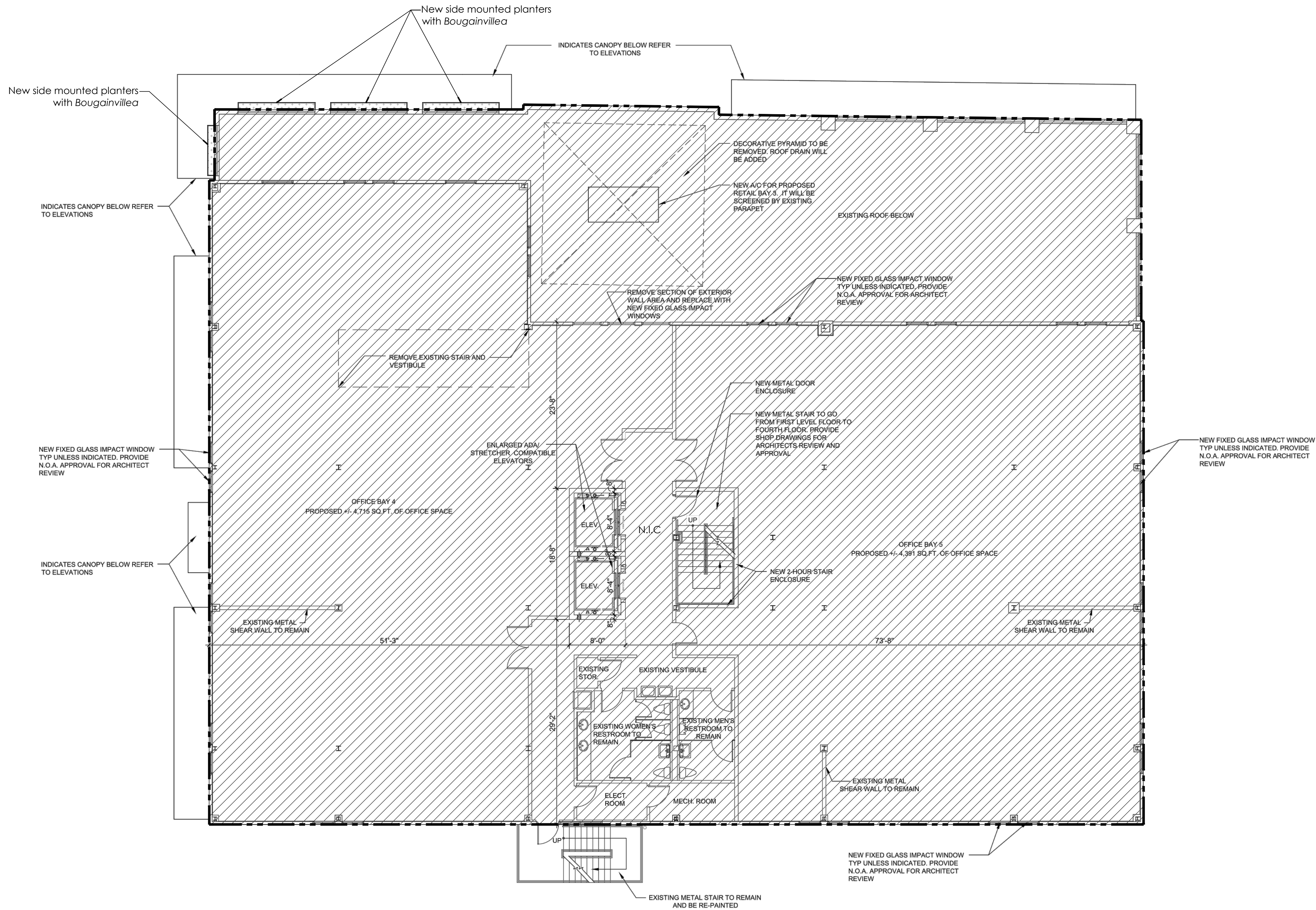
Scale  
Date  
Drawn By  
Project No.  
As Noted  
September 10th, 2020  
AN, MD, MG, SD  
19001

Drawing No.

A1.02



Progress Set: Not For Construction



Not In Scope

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Issued/Revised  
No. Date Description

Drawing Title

Second Level  
Plan

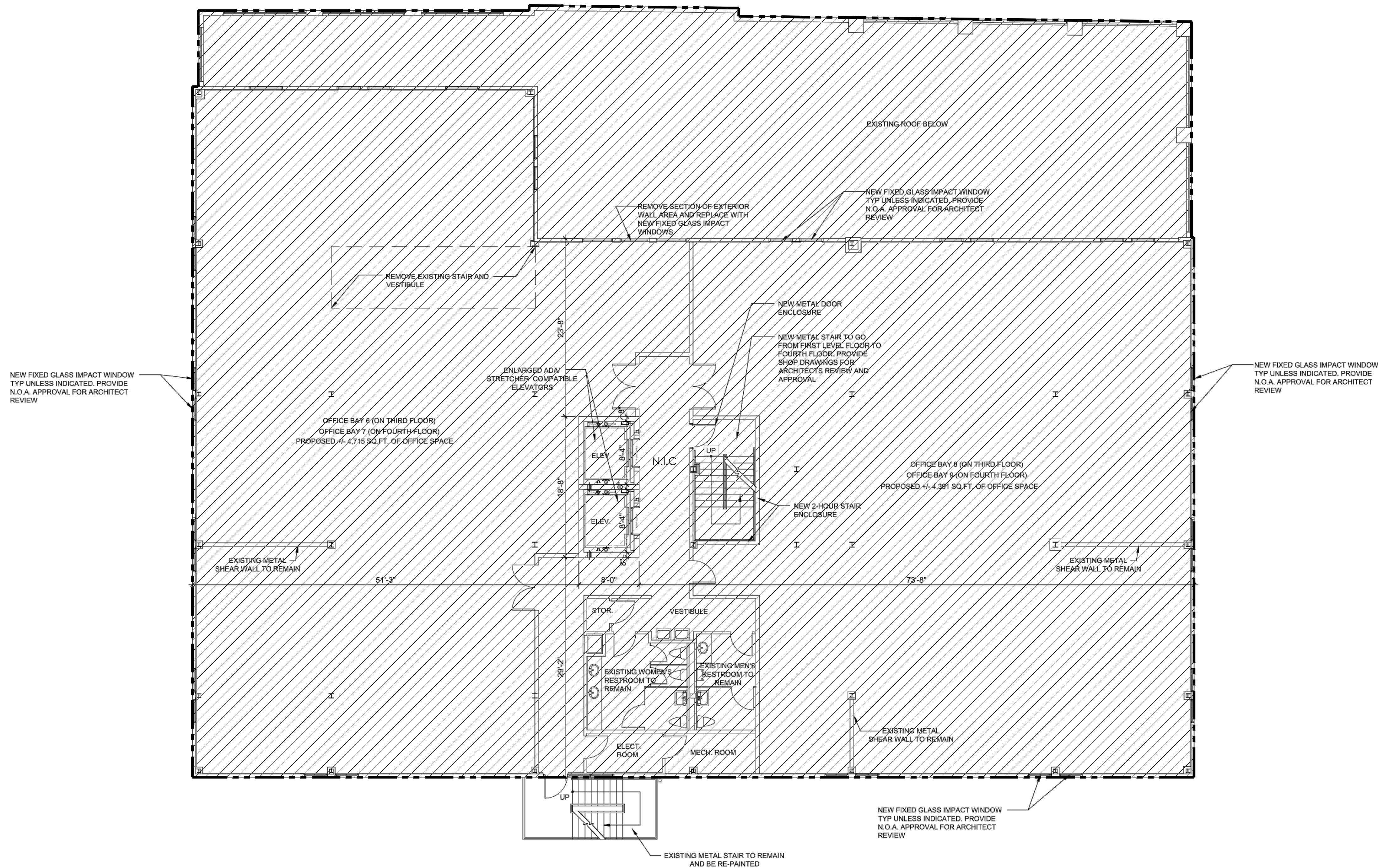
Scale As Noted  
Date September 10th, 2020  
Drawn By AN, MD, MG, SD  
Project No. 19001  
Drawing No.

A1.03

1 Second Level Plan (Not in Scope - for reference only)  
1/8"=1'-0"



Progress Set: Not For Construction



 Not In Scope

1 Third and Fourth Level Plan (Not in Scope - for reference only)  
1/8"=1'-0"


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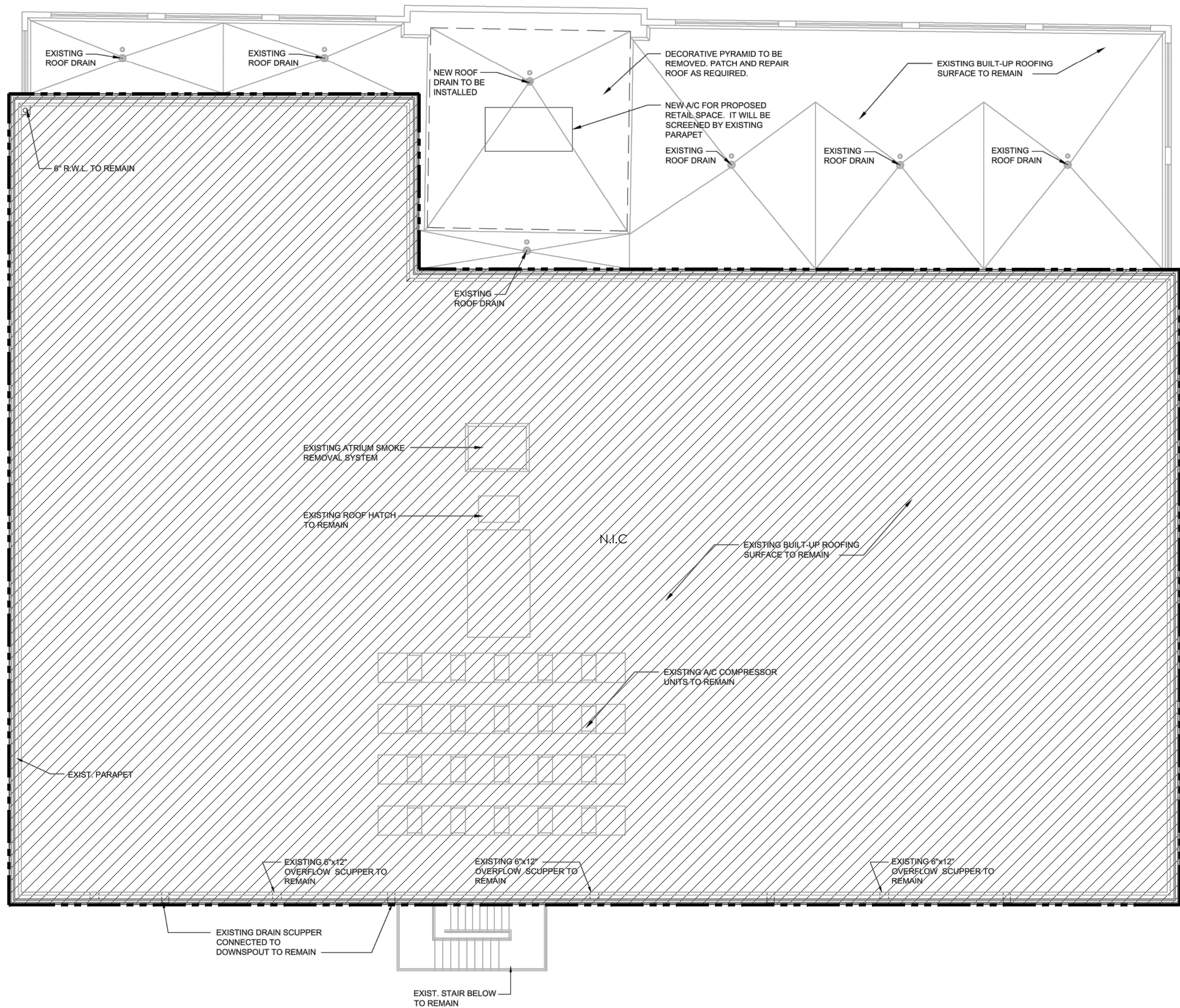
Issued/Revised		
No.	Date	Description
Drawing Title		

Third and Fourth  
Level Plan

Scale	As Noted
Date	September 10th, 2020
Drawn By	AN, MD, IMG, SD
Project No.	19001
Drawing No.	

A1.04

Progress Set: Not For Construction



1 Roof Level Plan (Not in Scope - for reference only)  
1/8"=1'-0"

Not In Scope

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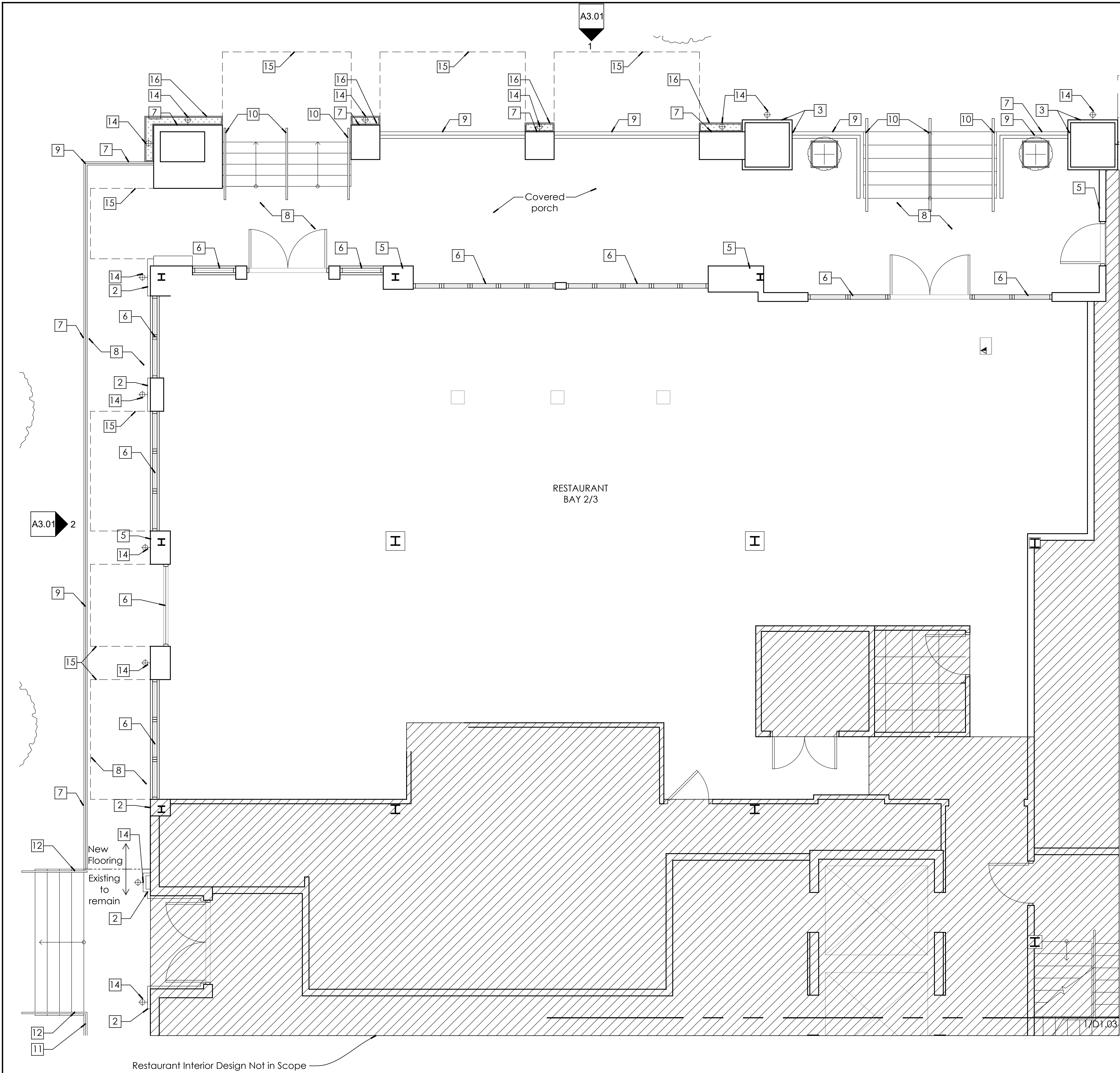
Roof Level Plan

Scale	As Noted
Date	September 10th, 2020
Drawn By	AN, MD, MG, SD
Project No.	19001
Drawing No.	

A1.05



Progress Set: Not For Construction



1 Enlarged Ground Floor Plan  
1/4"=1'-0"

LEGEND

- 1 Not Used.
- 2 New vertical slot cladding system.
- 3 New horizontal wood planks cladding system.
- 4 Not Used.
- 5 Existing stucco wall to receive new gray paint finish.
- 6 Existing storefront to receive new white paint finish.
- 7 Existing stone cladding to receive new white paint finish.
- 8 New floor tile finish.
- 9 New mullionless glass railing on side mounted shoe.
- 10 New handrail.
- 11 Existing railing to remain and be protected during construction, typical.
- 12 Existing handrail to remain and be protected during construction, typical.
- 13 Not Used.
- 14 New lighting fixture.
- 15 New retractable fabric awning
- 16 New Planter. Refer to Landscape Plan.

Not In Scope

2 Notes

General Notes:

- Architectural Style: Masonry Modern(Existing to Remain)
- GC to familiarize him/herself with field conditions prior to commencement of work and notify Architect of any discrepancies or unforeseen conditions prior to commencement of work.
- All finishes, flooring, doors, windows, trim, wall paneling, and moldings that are existing to remain shall be protected during demolition and construction. Repair as required.
- All existing structural elements to remain and be protected during demolition and construction.
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No.	Date Description

Drawing Title

Enlarged Ground Floor Plan

Scale	As Noted
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Project No.	19001
Drawing No.	

A2.01







1 | E Atlantic Ave - North Elevation View  
1/4"=1'-0"



2 | SE 1st Ave - West Elevation View  
1/4"=1'-0"



3 | E Atlantic Ave - Corner View  
1/4"=1'-0"



4 | Entrance View  
1/4"=1'-0"

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No. Date Description

Drawing Title

Existing Conditions

Scale As Noted

Date September 10th, 2020

Drawn By AN, MD, IMG, SD

Project No. 19001

Drawing No.

A4.01

Progress Set: Not For Construction



Progress Set: Not For Construction



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Exterior Renovation

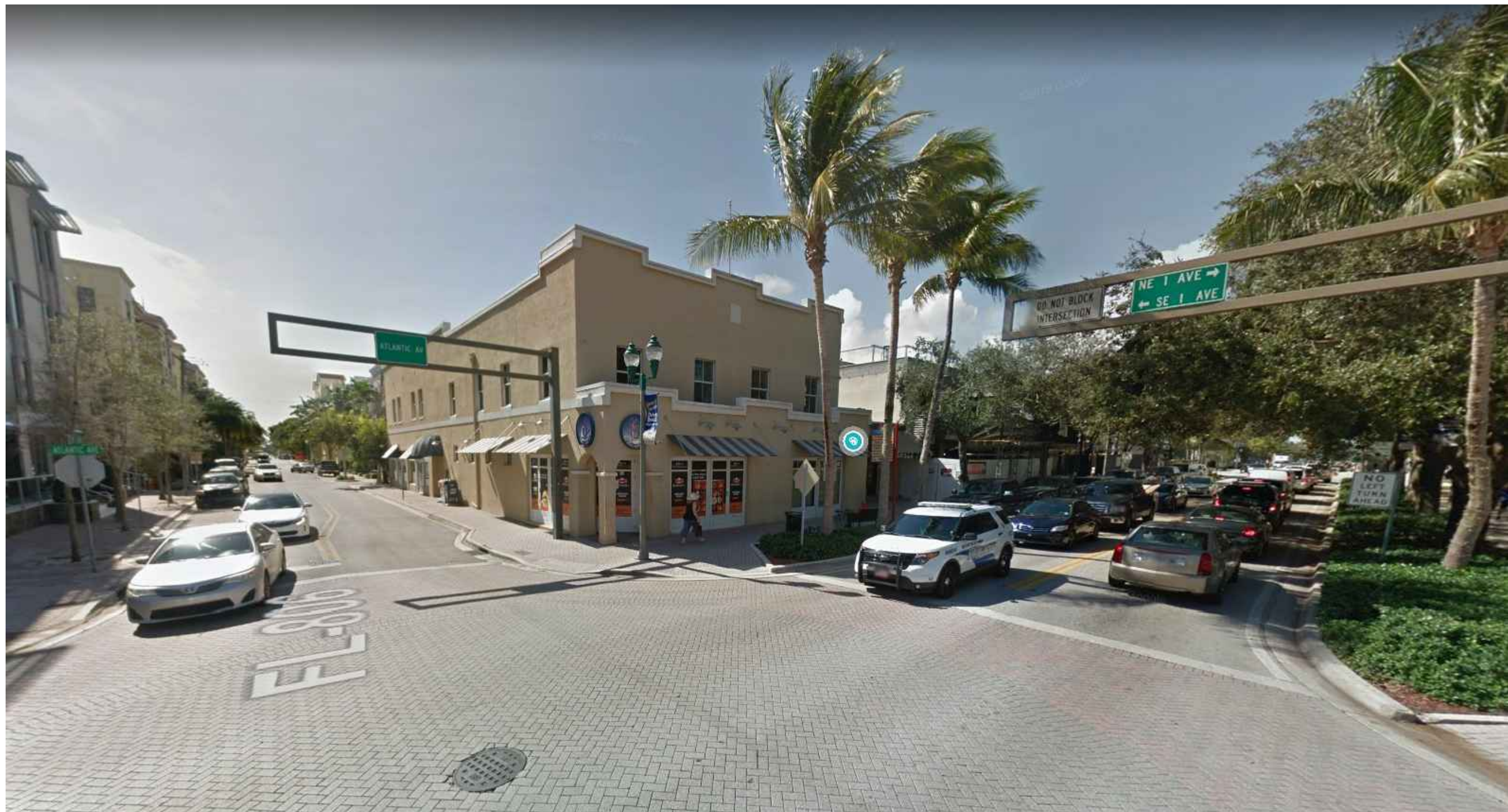
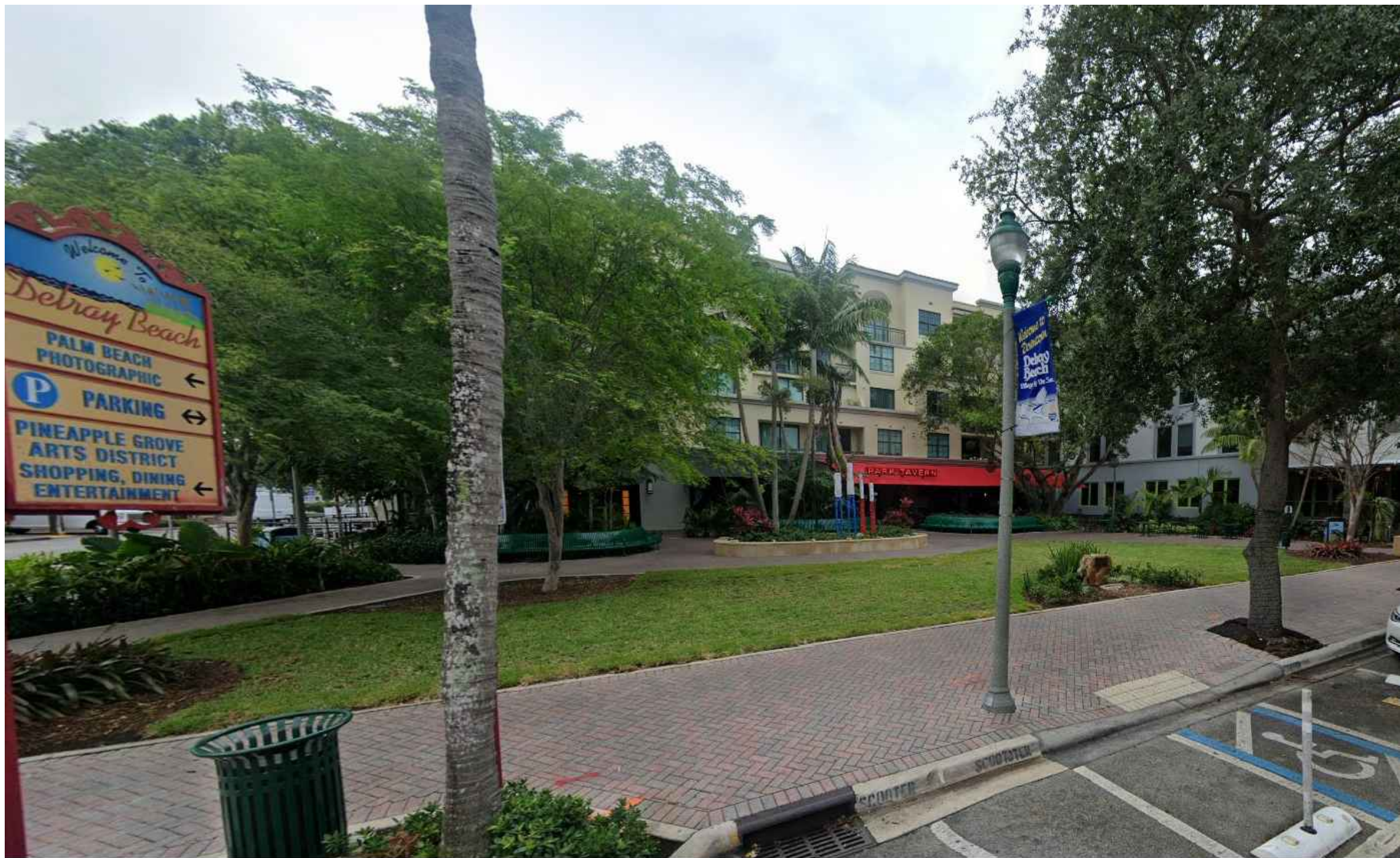
Class I Application

110 E Atlantic Avenue  
Delray Beach, FL 33444



1 | E Atlantic Ave (Building North of the Property)

2 | Worthing Place (South of Property)



3 | 184 E Atlantic Ave (Building East of the Property)

5 | E Atlantic Ave (Corner West of the Property)

Registration Seal  
AA 0002305  
AR 0008134

Address  
14 NE 1st Avenue, Suite 507 - Miami, FL 33132  
T +1 (305) 455 4216

Issues/Revised

No. Date Description

Drawing Title

Existing Surrounding  
Conditions

Scale As Noted

Date September 10th, 2020

Drawn By AN, MD, MG, SD

Project No. 19001

Drawing No.

A4.02



Progress Set: Not For Construction



1 | E Atlantic Ave - North Elevation View  
1/4"=1'-0"



2 | SE 1st Ave - West Elevation View  
1/4"=1'-0"



3 | E Atlantic Ave - Corner View  
1/4"=1'-0"



4 | Entrance View  
1/4"=1'-0"

# M E N I N

## 110 BUILDING Exterior Renovation

Class I Application

110 E Atlantic Avenue  
Delray Beach, FL 33444



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AA 0002305  
AR 0008134

Address  
14 NE 1st Avenue, Suite 507  
Miami, FL 33132  
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Issues/Revised

No. Date Description

Drawing Title

Renderings

Scale As Noted

Date September 10th, 2020

Drawn By ANI, MD, IMG, SD

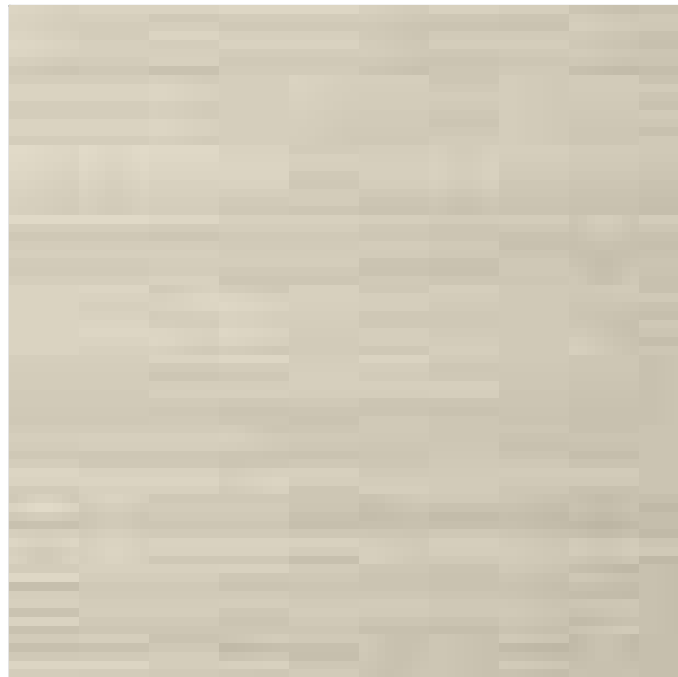
Project No. 19001

Drawing No.

A5.01



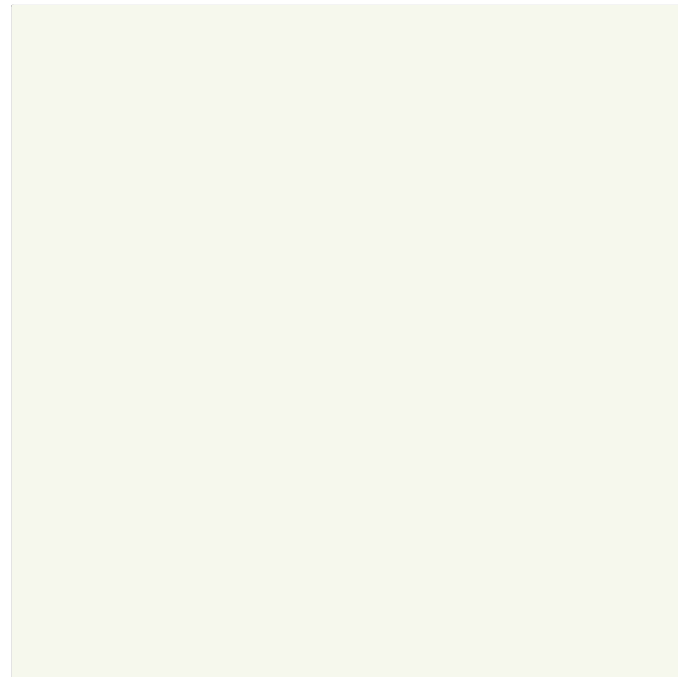
Progress Set: Not For Construction



1 Wood Horizontal Cladding  
@Entrance Porch  
WoodN - Finish: Bianco



2 Wood Vertical Cladding  
@ Building Walls  
WoodN - Finish: Cafe Bogota



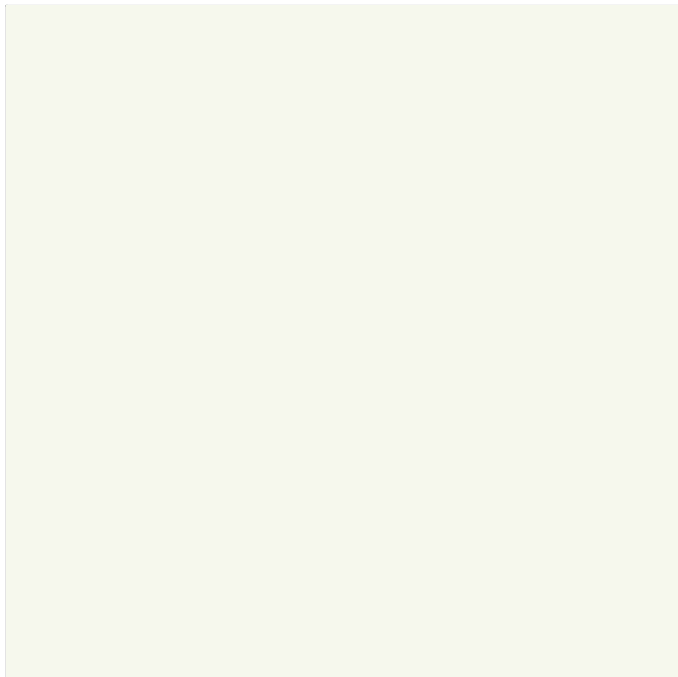
3 White Paint @ Brickwall and  
Stucco Bands  
Benjamin Moore  
Simply White OC117



4 Gray Paint @ Stucco Walls  
Benjamin Moore  
Coventry Gray HC -116



5 Clear Glass @ Railing



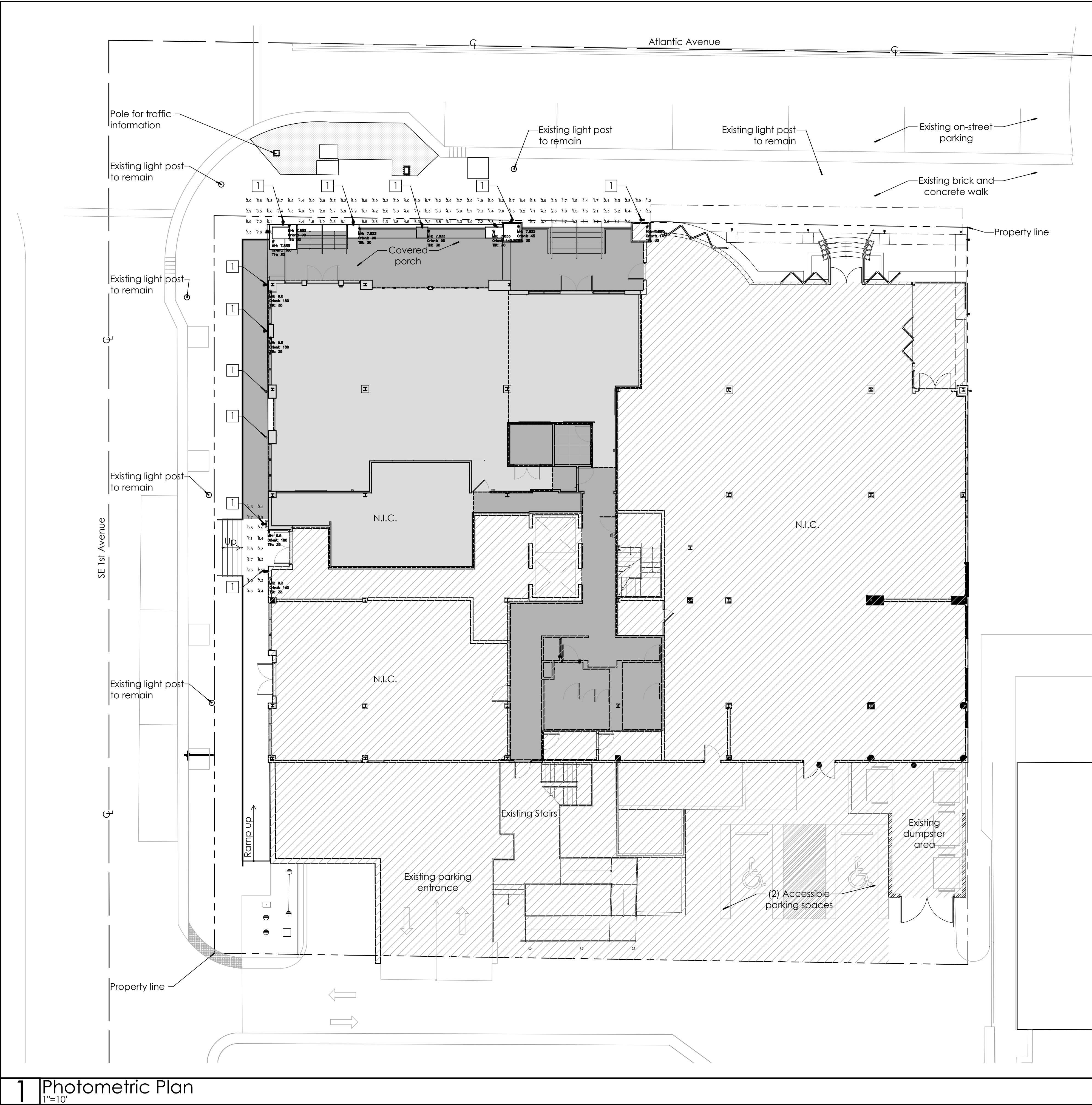
6 White Finish @ Storefront  
Benjamin Moore  
Simply White  
OC 117



7 Stripped Fabric @ Awning  
Sunbrella Shade  
Beaufort Cloud



Progress Set: Not For Construction



General Notes

-Photometrics to reflect the fc. values of the replaced sconces along Atlantic Avenue and SE 1st Ave. All other fixtures/site lighting is existing to remain.

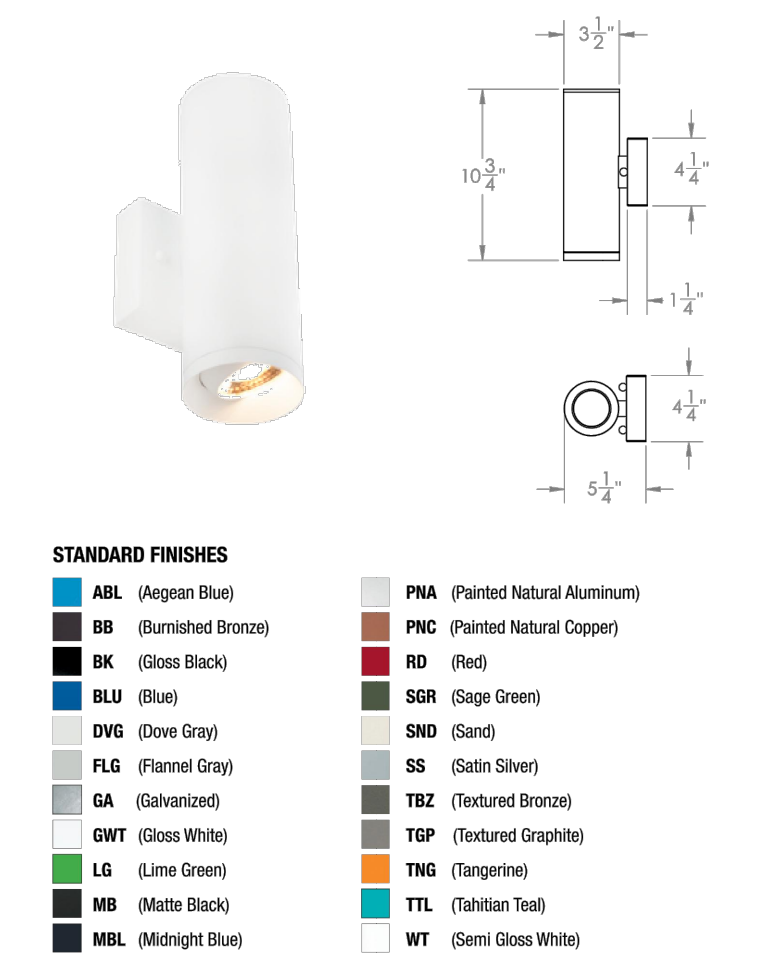
Luminaire Schedule									
Project: 110 E ATLANTIC AVENUE - SITE_REV 2 DELRAY BEACH, FL 10/15/2020									
Symbol	Qty	Label	Arrangement	Manufacturer	Description	Luminaire Lumens	LPF	Luminaire Watts	Assembly Watts
	11	W	SINGLE	Tray-CSS, Lighting Inc	LWS-SFT-20-100-40-50 Mt. WALL MOUNT AFF. (bottom of fixture)	1300	0.93	15	15

Calculation Summary							
Project: 110 E ATLANTIC AVENUE - SITE_REV 2 DELRAY BEACH, FL 10/15/2020							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
NORTH SIDEWALK	Bumblance	Fc	4.83	6.1	1.0	4.83	6.10
HW BUILDING CORNER	Bumblance	Fc	6.80	8.3	2.2	6.85	4.23
WEST ENTRANCE	Bumblance	Fc	6.54	8.0	3.3	2.04	2.97

Legend

- 1 LT-01 - Thorburn Narrow Wall Sconce - Dark Aluminum

GyroShift 3" Wall Mount Cylinder  
25W LED Downlight  
Round



Catalog #:  
Project:  
Notes:  
Type:  
Date:

Electrical Data				
CCT	CRI	Wattage	Delivered Lumens	Efficacy
2700K	90 CRI	25W	1550 lm	62 lpw
3000K	90 CRI	25W	1640 lm	65 lpw
3500K	90 CRI	25W	1725 lm	69 lpw
4000K	90 CRI	25W	1795 lm	72 lpw
Warm Dim	-	10W	608 lm	61 lpw

Lumens will vary depending on CCT, optic & lens option

Specifications

- Field Replaceable LED Light Engine**
- 25W LED with 2 SDICM binning
  - 2700K, 3000K, 3500K and 4000K at 90 CRI
  - 10°, 30° and 50° optics included
  - 45° adjustability with 360° aiming

- Field Replaceable Dimming Driver**
- Multiple dimming drivers available
  - Power factor > 0.9, 50/60Hz

Downlight Cylinder

Utilizes one LED to illuminate in one direction

**Mounting**  
Square 4-1/4" x 1-1/4" canopy included with standard universal dim driver.  
(7-1/2" x 6" x 1-1/4" canopy included with Lutron and doloLED drivers)

**Finishes**  
Available in 22 standard finishes with optional coastal coating to protect finish in coastal environments

Listing / Warranty

- Five (5) year limited warranty
- UL listed to US and Canadian standards for damp location

Order Matrix

GyroShift 3" Wall Mount Cylinder (Example: LW3-SFT-10S2710ABL-NLNL-0)

Series	Wattage	Driver	CCT / CRI	Optic	Finishes	Coastal Coating Option	Media 1	Media 2	Rev
LW3-SFT (Round)	-10 (10W)	✓	5° (ERP Universal Dim, Triac/ELVIO-10W)	27 (2700K/90 CRI)	10	<input type="checkbox"/> (blank) (No coating)	-NL (No Lens)	NL	-0
	-15 (15W)	✓	10° (120-277V)	30 (3000K/90 CRI)	30	<input type="checkbox"/> -C (Coating)	-CL (Clear Lens)	CL	
	-20 (20W)	✓	L1* (Lutron Hi-Lume® 2-Wire 1% 120V)	35 (3500K/90 CRI)	50		-FR (Frosted Lens)	FR	
	-25 (25W)	✓	L2* (Lutron Hi-Lume® 5% 120-277V)	40 (4000K/90 CRI)			-LS (Soft Lens)	LS	
		✓	L3* (Lutron Hi-Lume® Flicker-Free 1% 120-277V)	WDP* (1850-3000K)			-LSS (Linear Spread)	LSS	
		✓	EL1* (eoloLED DALI 1% 120-277V)				-HEX* (Hex Louver)		
		✓	EL2* (eoloLED 5-10W 1% 120-277V)				-WW* (Wall Wash)		
		✓	DMX* (DMX 1% 120-277V)						

1. Includes larger canopy  
2. Forward and reverse dimming at 120V only

Media		Emergency	
<input type="checkbox"/> S3-LENS-CL-0 (Clear Lens)	<input type="checkbox"/> S3-LENS-LG-0 (Linear Spread)	<input type="checkbox"/> EM-1000 (25W LED Remote Inverter)	
<input type="checkbox"/> S3-LENS-FR-0 (Frosted Lens)	<input type="checkbox"/> S3-LENS-HEX-0* (Hex Louver)	<input type="checkbox"/> EM-1002 (10W LED Remote Emergency Driver)	
<input type="checkbox"/> S3-LENS-MP-0 (Soft Lens)	<input type="checkbox"/> S3-LENS-WW-0* (Wall Wash)		

Patent: csllighting.com/patents  
14058 Nelson Ave. City of Industry, CA 91744 • Tel: 626.336.4211 • Fax: 626.330.4268 • www.csllighting.com  
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- Common Area  
Bay 2-3 in scope  
Not In Scope

3 General Notes

M E N I N

110 BUILDING  
Exterior Renovation

Class I Application

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Delray Beach, FL 33444



North  
Registration Seal  
AA 0002305 14 NE 1st Avenue, Suite 507 Miami, FL 33132  
AR 0008134 T +1 (305) 455 4216

Issued/Revised

No. Date Description

Drawing Title

Photometric Plan

Scale As Noted

Date September 10th, 2020

Drawn By AN, MD, MG, SD

Project No. 19001

Drawing No.

PH1.01