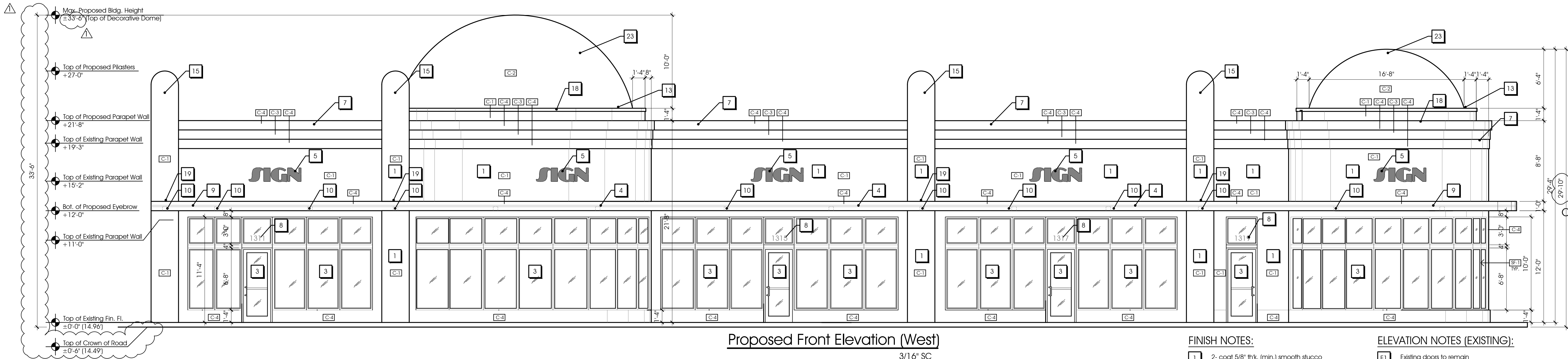


Existing Front Elevation (West) - Demolition

3/16" SC



Proposed Front Elevation (West)

3/16" SC

COLOR LEGEND

- [C-1] Color 1/ Base (Stucco)
Benjamin Moore
2123-70 Ice Mist
Satin Finish
- [C-2] Color 2/ Accent (Trim)
Benjamin Moore
2047-70 Baby Green
Satin Finish
- [C-3] Color 3/ Accent (Trim)
Benjamin Moore
2047-60 Ocean Spray
Satin Finish
- [C-4] Color 4/ Accent (Trim)
Benjamin Moore
2047-50 Shore House Green
Satin Finish
- [C-5] Color 5/ Accent (Metal
Doors/Signs and Numbers)
Benjamin Moore
2047-50 Shore House Green
Enamel Finish
- [SF-1] Storefront
EPS White Finish
& Clear Glass

FINISH NOTES:

- 1 2- coat 5/8" thk. (min.) smooth stucco over app. water resistive barrier over CMU
Existing stucco over CMU to remain.
- 2 New Impact rated glass (clear & low-E) storefront with white aluminum frame clear per NOA and pre-engineered shop drawings.
- 3 Cont. embed LED cold neon light
See Photometrics plan for lights specifications. Contractor to provide recess centered in concrete canopy's front edge, as required by light specifications so that no wiring is exposed or visible
- 4 Future sign (sep. permit by others): Reverse channel/ back lit/ building numbers 16' H
- 5 Roof access ladder with security door. Install 2' above sidewalk
- 6 New (3) 12'-high hard foam bands at raised parapet wall with smooth stucco finish
- 7 Premises identification: proposed address number 6' min. on a contrasting background. GC to verify correct address with City prior to installing
- 8 12" high eyebrow with stucco finish
- 9 Lights recessed on the underside of canopy. See Photometrics plan for location & specifications
- 10 Not used
- 11 Wall mounted Light fixture. See Photometrics plan for Specifications
- 12 LED lights around perimeter. See Photometrics plan for location and specifications
- 13 New infill CMU walls with 2- coat 5/8" thk. (min.) smooth stucco finish
- 14 New rounded top pilasters with 2- coat 5/8" thk. (min.) smooth stucco finish
- 15 Aluminum gates for trash enclosure per approved shop drawings
- 16 New Impact rated windows to replace existing jalousie windows and metal frames. GC shall field verify existing opening dimensions and order proposed windows accordingly
- 17 4' high raised stucco band with painted galvanized metal cap
- 18 Up lights recessed above canopy. See Photometrics plan for lights specifications
- 19 New 6" steel bollards, concrete filled
- 20 Proposed A/C units
- 21 Location of existing electrical meters
- 22 New pre-engineered metal frame decorative dome (Submit shop drawings) with (3) coat smooth stucco (min. 3/8" thick) over water resistive barrier on paper-backed galvanized metal lath on 5/8" CDX exterior grade plywood sheathing

ELEVATION NOTES (EXISTING):

- E1 Existing doors to remain
- E2 Existing Leader/ downspout to remain. GC to repair as required
- E3 Existing 8"x8" secondary drain scupper
- E4 Approximate location of roof deck elevation (GC to field verify)

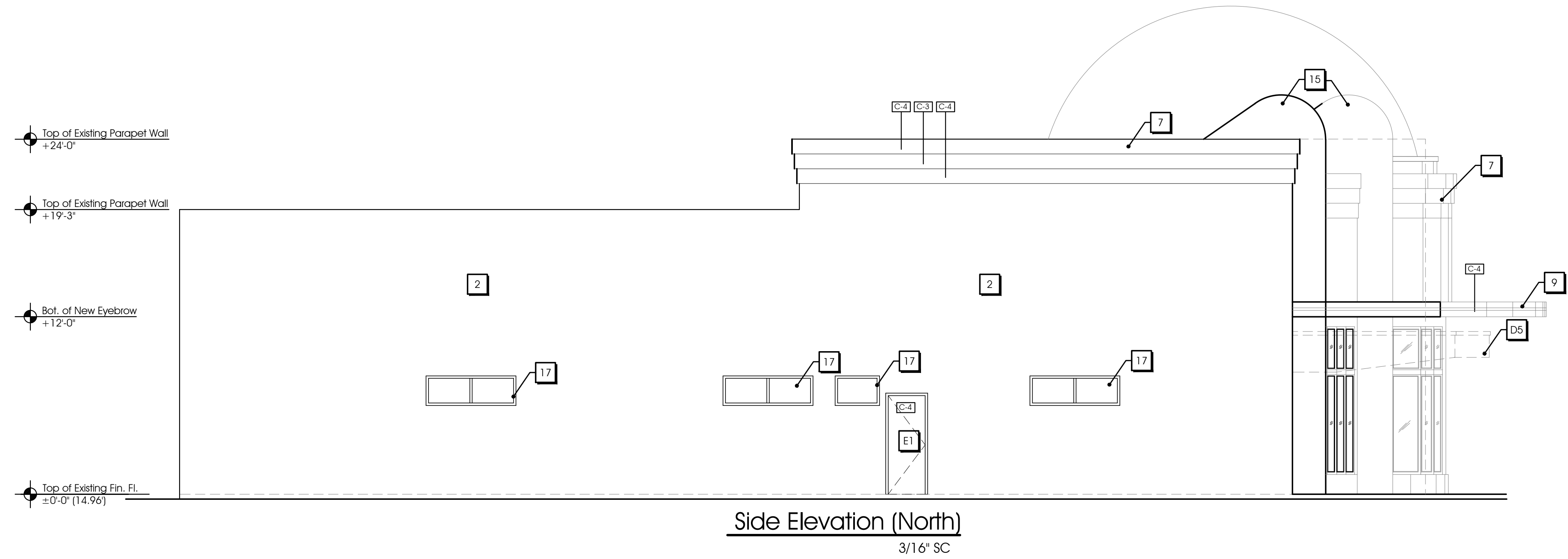
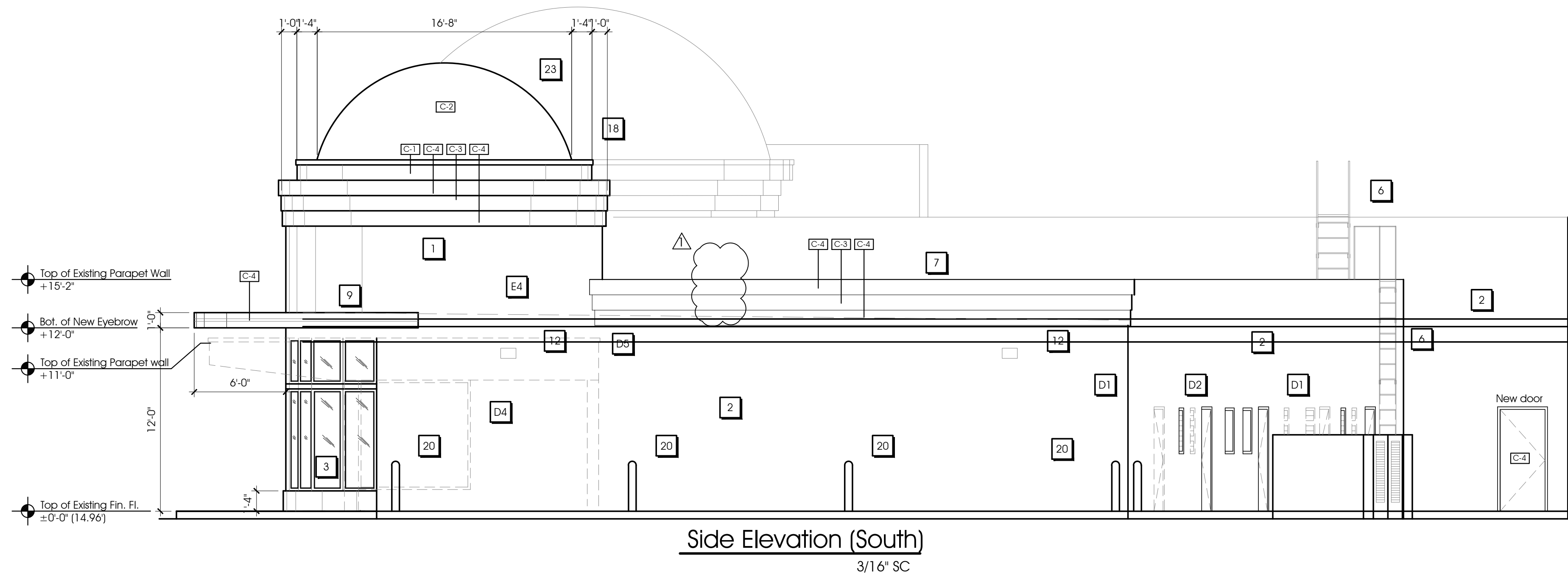
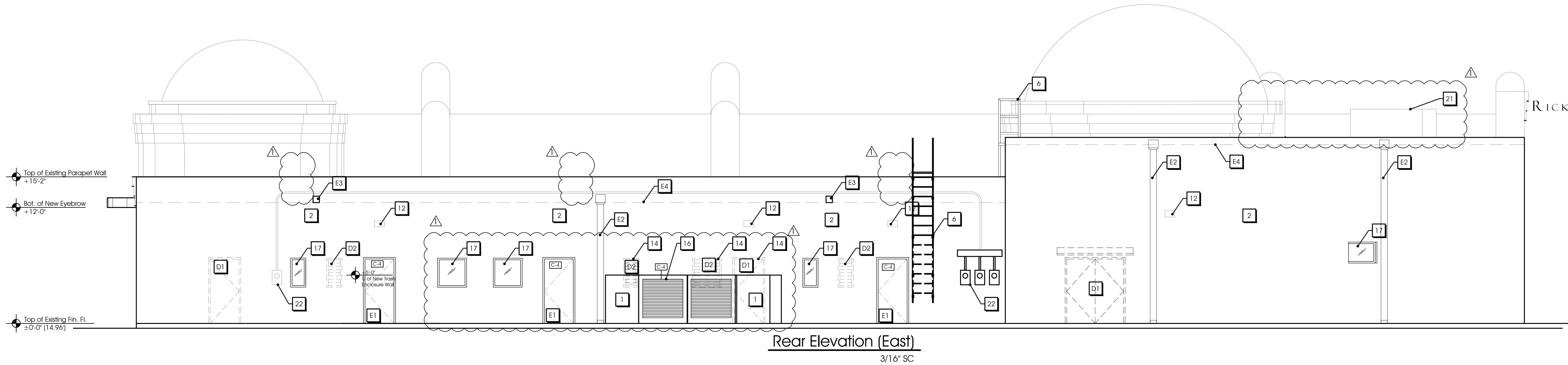
ELEVATION NOTES (DEMOLITION):

- D1 Remove existing doors & frame as shown dashed and infill existing opening. Masonry infill details to be included in construction documents
- D2 Remove existing jalousie window & frame as shown dashed and infill existing opening. Masonry infill details to be included in construction documents
- D3 Remove existing steel/canvas canopy and building overhang - shown dashed
- D4 Remove existing storefronts and frames - shown dashed
- D5 Existing canopy to be removed

SIGN NOTE:

All signs are illustrative and will require a separate submittal and approval

Existing/Demolition/Proposed Front Elevations 3/16" SC



COLOR LEGEND	
C-1	Color 1/ Base (Stucco) Benjamin Moore 2123-70 Ice Mist Satin Finish
C-2	Color 2/ Accent (Trim) Benjamin Moore 2047-70 Baby Green Satin Finish
C-3	Color 3/ Accent (Trim) Benjamin Moore 2047-60 Ocean Spray Satin Finish
C-4	Color 4/ Accent (Trim) Benjamin Moore 2047-50 Shore House Green Satin Finish
C-5	Color 5/ Accent (Metal Doors/Signs and Numbers) Benjamin Moore 2047-50 Shore House Green Enamel Finish
SF-1	Storefront EPS White Finish & Clear Glass

FINISH NOTES:

- 2-coat 5/8" thk. (min.) smooth stucco over app. water resistive barrier over CMU
- Existing stucco over CMU to remain
- New Impact rated glass (clear & low-E) storefront with white aluminum frame clear per NOA and pre-engineered shop drawings.
- Cont. embed LED cold neon light
See Photometrics plan for lights specifications.
Contractor to provide recess centered in concrete canopy's front edge, as required by light specifications so that no wiring is exposed or visible
- Future sign (sep. permit by others); Reverse channel/ back lit/ building numbers 16" H
- Roof access ladder with security door. Install 2' above sidewalk
- New (3) 12"-high hard foam bands at raised parapet wall with smooth stucco finish
- Premises identification: proposed address number 6' min. on a contrasting background. GC to verify correct address with City prior to installing
- 12' high eyebrow with stucco finish
- Lights recessed on the underside of canopy. See Photometrics plan for location & specifications
- Not used
- Wall mounted Light fixture. See Photometrics plan for Specifications
- LED lights around perimeter. See Photometrics plan for location and specifications
- New infill CMU walls with 2-coat 5/8" thk. (min.) smooth stucco finish
- New rounded top pilasters with 2-coat 5/8" thk. (min.) smooth stucco finish
- Aluminum gates for trash enclosure per approved shop drawings
- New Impact rated windows to replace existing jalousie windows and metal frames. GC shall field verify existing opening dimensions and order proposed windows accordingly
- 4" high raised stucco band with painted galvanized metal cap
- Up lights recessed above canopy. See Photometrics plan for lights specifications
- New 6' steel bollards, concrete filled
- Proposed A/C units
- Location of existing electrical meters
- New pre-engineered metal frame decorative dome (Submit shop drawings) with (3) coat smooth stucco (min. 3/8" thick) over water resistive barrier on paper-backed galvanized metal lath on 3/8" CDX exterior grade plywood sheathing

ELEVATION NOTES (EXISTING):

- | | |
|----|--|
| E1 | Existing doors to remain |
| E2 | Existing Leader/ downspout to remain. GC to repair as required |
| E3 | Existing 8"x8" secondary drain scupper |
| E4 | Approximate location of roof deck elevation (GC to field verify) |

ELEVATION NOTES (DEMOLITION):

- | | |
|----|--|
| D1 | Remove existing doors & frame as shown dashed and infill existing opening. Masonry infill details to be included in construction documents |
| D2 | Remove existing jalousie window & frame as shown dashed and infill existing opening. Masonry infill details to be included in construction documents |
| D3 | Remove existing steel/canvas canopy and building overhang - shown dashed |
| D4 | Remove existing storefronts and frames - shown dashed |
| D5 | Existing canopy to be removed |

Delray Park Plaza
Class III Site Plan Modification
Level 2 Alterations
for Delray Park Plaza LLC
1311-1319 N. Federal Hwy
Delray Beach
Florida
RBA.PN.15618.12

© 2-12-20:SPRAB Set
© :Permit Set
© :G.C. Bid Set
© :Owner Review
Plan Set

REVISIONS
7-24-20 :SPRAB Comm

Proposed Improvements on
Existing Elevations 3/16" SC