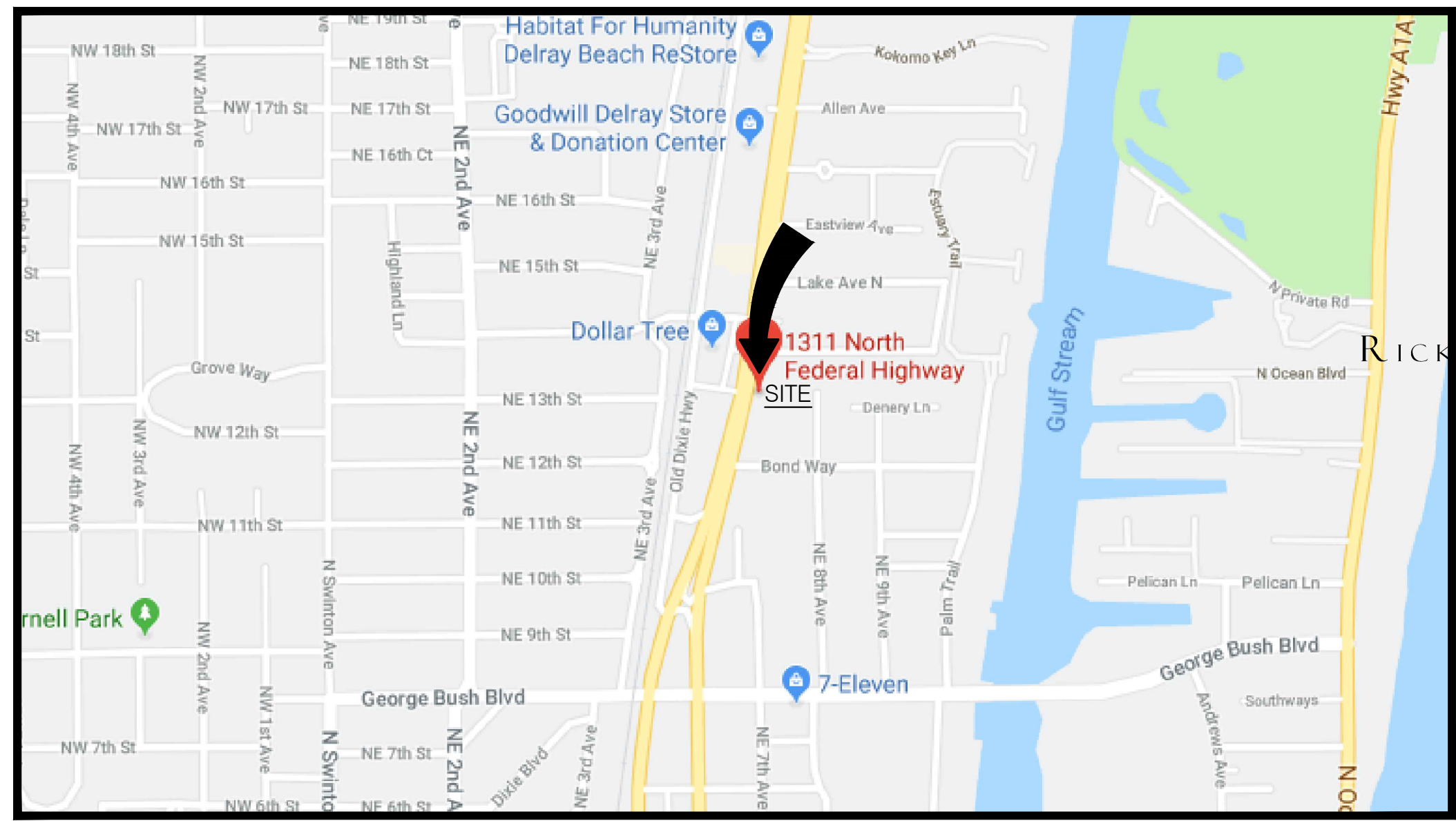


1 Site Plan
1"=20' SC.

Commercial General Notes:

- The architect will not be responsible for and will not have control or charge of construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the work, and he will not be responsible for the contractor's failure to carry out the work in accordance with the contract documents. The architect will not be responsible for or have control or charge over the acts or omissions of the contractor, subcontractors, or any of their agents or employees, or any other persons performing any of the work.
- All codes having jurisdiction shall be observed strictly in the construction of the project, including all applicable state, city, and county building, zoning, electrical, mechanical, plumbing, fire codes. Contractor shall verify all code requirements and the construction documents.
- Errors and omissions which may occur in contract documents shall be brought to the attention of the architect in writing and written instructions shall be obtained before proceeding with the work. The contractor will be held responsible for the results of any errors, discrepancies, or omissions which the contractor failed to notify the architect of before construction and/or fabrication of the work.
- Contractor and subcontractors are to verify all dimensions and job conditions at the job site sufficiently in advance of work to be performed to assure the orderly progress of work. Do not scale drawings. Architect shall be notified in writing, prior to commencing any work, of any errors or discrepancies in drawings or between prepared drawings and field conditions.
- It is the purpose of these plans and specifications to describe a complete and finished project other than items marked "N.I.C." (not in contract).
- The contractor shall maintain the premises clean and free of all trash, debris and shall protect all adjacent work from damage, soiling, paint overspray, etc. All fixtures, equipment, glazing, floors, etc. Shall be left clean and ready for occupancy upon completion of the project.
- All work is to be done under the supervision of the general contractor, in accordance with the owner-contractor agreement.
- All wood in contact with concrete or masonry or below finished floor is to be pressure treated.
- All materials and products used for and in construction are required to have applicable products control code approval.
- Contractor shall carry all necessary insurance as required by law and hold harmless the owner or architect from any loss, liability, claim or demand for damages arising out of or relating to the performance of the work as described by these drawings.
- The owner shall effect and maintain fire, extended coverage and vandalism insurance for 100% of the insurable value of all construction on the site.
- The general contractor shall guarantee all work specified and/or described by these drawings free from any defects or malfunctions for a period of one year commencing from the substantial completion date or from the time of occupancy, whichever occurs first. The general contractor is responsible for all work executed by subcontractors or other trades, plumbing equipment.
- The contractor shall acquire all permits and licenses and pay all fees necessary for the execution of the work.



LOCATION MAP:

ZONING:			
GC GENERAL COMMERCIAL & NORTH FEDERAL HWY OVERLAY DISTRICT			
SITE DATA:			
TOTAL SITE AREA: 30,585 S.F. APPROX. (0.7 Acres)			
BUILDING DATA:	EXISTING TO REMAIN (A/C)	PROPOSED (A/C)	TOTAL (A/C)
PRINCIPAL USE: Retail (4 Bays)	8,485 S.F. (RETAIL) (40 S.F. DEMO)	130 S.F. (RETAIL)	8,615 S.F. (RETAIL)
Total Impervious Area:		25,122 S.F. 82%	
-Proposed Building Footprint:		8,615 S.F. 28%	
-Proposed Pavement:		14,175 S.F. 46%	⚠️
-Proposed Pavers:		1,765 S.F. 6%	
-Proposed Concrete:		567 S.F. 2%	
Open Space (Lanscaped):		5,463 S.F. 18%	
PARKING:			
Use		Required	
Required Parking (Retail)		4.5 spaces/1,000 SF: 8,615 SF / 222.22 = 39	
Compact Spaces		30% max. allowed: 39 x .3 =12	
Accessible Spaces:		Per FBC Accessibility: 26-50 spaces.....2	
Standard Spaces:	25	
Existing 15 parking spaces to be removed (non-conformity)			
TOTAL PARKING PROPOSED: 21 SPACES (Including 1 HC, 7 Compact, 13 Standard) - Improved the existing non-conformity			
⚠️			

- Applicable Codes
- Florida Building Code 2017 Edition
 - Florida Fire Prevention Code 2017 6th Edition
 - NFPA 1 - Fire Code, Florida Edition
 - Florida Specific NFPA 101 - Life Safety Code, 2015 Edition
 - Florida Accessibility Code for Building Construction in Florida Building Code 2017 Edition
 - City of Delray Beach Zoning & Land Development Regulations

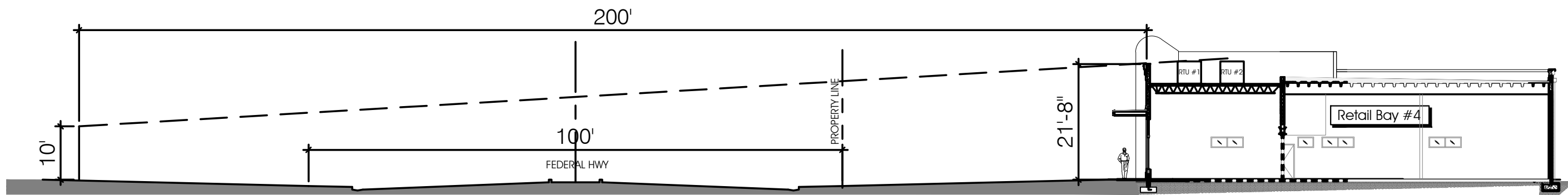
PROJECT:

This project consist of site improvements and renovation of existing one story CBS building . Retail Use is to remain

SEE SHEET A2.1 FOR ENLARGED SITE PLAN, NOTES & DETAILS

Anticipated Employees for this Project is as for its existing use which is less than 20 employees. There is no new use area or the establishment of a new use that will result in an addition on the premises of more than 50 employees (Transportation Demand Management Program is not required)

SITE DATA TABLE PER LDR DEVELOPMENT STANDARDS MATRIX (NON-RESIDENTIAL):													
ZONING: GC GENERAL COMMERCIAL (GC) & NORTH FEDERAL HWY OVERLAY DISTRICT													
	MINIMUM				MAXIMUM LOT COVERAGE	MINIMUM FLOOR AREA	SETBACKS (ft.)					HEIGHT ft. (Max.)	MINIMUM DEVELOPMENT AREA
	LOT SIZE s.f.	LOT WIDTH ft.	LOT DEPTH ft.	LOT FRONTAGE ft.			PERIMETER	FRONT	SIDE STREET	SIDE INTERIOR	REAR		
REQUIRED	0	0	0	0	Minimum 25% non-vehicular open space	N/A	N/A	10 ft. ***	10 ft.	0 ft.	10 ft.	48	N/A
EXISTING	30,585 s.f.	140.10 ft.	172.61 ft.	176.49 ft.	Open Space 1,749 ft. (5.7%)	N/A	N/A	60'-3"	N/A	0' (north)	43'-10"	24	N/A
PROPOSED					Open Space 4,990 ft. (16%)			56'-11"		22' (south)		33'-6"	
***PER LDR 4.4.9 (F) (1) & (2) NORTH FEDERAL HIGHWAY AREA:													
1. (1) For a side interior lot, a ten-foot setback is required only on one side. [Amd. Ord. 21-04 5/4/04] - PROVIDED													
2. (2) (a)Parcels shall have a minimum front building setback of five feet measured from the ultimate right-of-way line. The maximum setback shall be 15 feet, unless it can be demonstrated to the Site Plan Review and Appearance Board that it is not feasible to comply with this standard. [Amd. Ord. 17-99 6/15/99] - NOT FEASIBLE (Exist. Bldg.)													



2 Graphic Illustration of proposed roof top units screened by proposed parapet wall
1"=20' SC.

Proposed Site Plan &
Project Data
1"=20' SC

SEE SHEET A2 FOR MORE INFORMATION ON ADJACENT PROPERTY

EXISTING DRIVEWAY AT
ADJACENT PROPERTY
(SEE SURVEY)

SEE SHEET A2 FOR MORE INFORMATION ON ROW

1 Enlarged Site Plan

1 Enlarged Site Plan

 $1'' = 10^1 \text{ SC}$

SEE CIVIL PLANS FOR LOCATION OF ALL
PROPOSED UTILITIES. SEE SURVEY FOR
LOCATION OF EXISTING UTILITIES.

EXIST
BLDG.

EXIST.
SIGN

PAVED DRIVEWAY

EXIST.
SIGN

1

EXIST.




SP-1	Existing Two-Way Entry Driveway to remain
SP-2	Proposed light pole. See photometrics plan
SP-3	Proposed Landscape area (see Landscape Plans)
SP-4	Proposed parking/stripping/paving dtls. See Civil plans
SP-5	New 2 (3) Bike Racks (6 bikes). See detail A/A2.1
SP-6	New 6" Conc. Curb Typ. (See Civil Plans)
SP-7	ADA parking sign
SP-8	Existing Power Pole to remain
SP-9	Existing overhead electrical lines to remain
SP-10	Existing concrete block low wall to remain
SP-11	Existing fence to remain
SP-12	Proposed sign by others, under a separate permit
SP-13	Location to be determined by owner
SP-13	Proposed paver walkway
SP-14	New concrete filled steel bollard. See detail B/A2.1
SP-15	Existing 8' wide alley to be abandoned - by owner
SP-15	New paver walkway to extend 4' into abandoned alley
SP-16	Extend existing ROW concrete sidewalk and eliminate the existing landscape strip, as requested by City
SP-17	Accessible route provided from public ROW to connect with exist. ROW conc. sidewalk - Path of ingress for pedestrians
SP-18	Approximate location of adjacent Property's Lot line

USE	REQUIREMENTS	PROVIDED
Shopping Centers	5/100,000 SF GROSS FLOOR AREA (5) REQUIRED	(6) PROVIDED

- FD-1** Knox Box @+6' Ab. Fin. Walk. adjacent to each tenant space's main front entry door
- FD-2** Min. 6"H. Bldg. Numbers (see elevations)
- FD-3** Existing Fire Hydrants are located appropriately along Federal Hwy

Notes:

1. Type of construction is type VB.
Existing building is NOT sprinklered (highest top of existing roof deck is 19'-0" A.F.F.)
2. See Sheet A3 for Life Safety plan

	Existing walls to remain
	Existing Steel column to remain
	Existing to be removed, unless noted otherwise
	New Interior Partition/Demising wall: metal stud with $\frac{5}{8}$ " gypsum board each side
	New 4" Interior Partition: metal stud with $\frac{5}{8}$ " gypsum board each side

LOADING WILL ONLY BE ALLOWED DURING NON-BUSINESS HOURS TO AVOID BLOCKING OF CUSTOMER PARKING

RBA.PN.15618.12

☐ 2-12-20:SPRAB Set
☐ 8-13-20:G.C. Bid Set
☐ 8-26-20:Permit Set
☐ :Owner Review
 Plan Set

REVISIONS

1	7.24.20	:SPRAB Comm
2	10.2.20	:SPRAB Comm

3 -Bike Rack Detail

 Bollard Data

CIVIL ENGINEERING NOTE:
See Civil Engineering drawings for Spot elevations
pavement striping, curb details and site drainage

LANDSCAPE NOTE:
See landscape plans for street trees and related landscape.

Proposed Enlarged Site Plan

$$1'' = 10' \text{ SC}$$

2.1

© PAUL RICHARD BRAUTIGAN, ARCHITECT AR0011073