

GRABOW RESIDENCE RENOVATION

GENERAL NOTES

- [illegible]

DESIGN CRITERIA

1. BASIC WIND SPEED (WIND VELOCITY)
170 MPH (VULT)
132 MPH (VASD)
2. RISK CATEGORY II
3. BUILDING DESIGNED AS ENCLOSED
4. WIND IMPORTANCE FACTOR 1.0
5. INTERNAL PRESSURE COEFFICIENT= +/- .18
6. EXPOSURE= C
7. NOMINAL WIND LOAD AS PER 1603.1.4 FBC

ALTERATION LEVEL 3

SCOPE INCLUDES CONVERTING
OUTDOOR PORCH TO USEABLE INTERIOR
SPACE (KITCHEN), INTERIOR
RENOVATION TO MAIN HOUSE, INTERIOR
RENOVATION TO GUEST COTTAGE,
OUTDOOR LOGGIA.
ADDITIONAL UPGRADES BY OTHERS
INCLUDE A LOW WALL SURROUNDING
PROPERTY, POOL, DEMARCATED
PARKING AREA AND LANDSCAPE
UPGRADES.

TRADES UNDER THE SCOPE INCLUDE
STRUCTURAL, MECHANICAL,
ELECTRICAL, PLUMBING AND
ARCHITECTURE.

CONSULTANTS

OWNER
JAMES AND MARIE GRABOW
246 NORTH SWINTON AVENUE
DELRAY BEACH, FL 33444

CIVIL ENGINEER
NOT APPLICABLE

LANDSCAPE ARCHITECT
NOT APPLICABLE

MECHANICAL, ELECTRICAL,
PLUMBING ENGINEER

THE EVERGLADES ARCHITECTURE
GROUP
719 N DIXIE HIGHWAY
WEST PALM BEACH, FL. 33401
(561)912-0400
(561)912-0442

STRUCTURAL ENGINEER
TBD

CONTRACTOR
TBD

OTHER
NOT APPLICABLE

EXISTING PLANTS



	ROOM NUMBER		HEIGHT ABOVE FINISHED FLOOR
	DOOR NUMBER		SECTION NUMBER
	WINDOW TYPE		SHEET NUMBER
	WALL TYPE		ALIGN W/ ESTABLISHED SURFACE
	DETAIL NUMBER		DETAILED AREA
	ELEVATION		ROOM FINISH DESIGNATION
	SHEET NUMBER		

[illegible]

DRAWING INDEX

CS SURVEY	COVER SHEET
ARCHITECTURE	
A-001	EXISTING SITE PLAN
A-020	EXISTING FLOOR PLAN
A-051	EXISTING ROOF PLAN
A-070	EXISTING MAIN HOUSE ELEVATIONS
A-071	EXISTING GUEST HOUSE ELEVATIONS
A-100	SITE PLAN AND DATA
A-101	DEMOITION PLAN
A-200	OVERALL FLOOR PLAN
A-201a	GUEST HOUSE ENLARGED FLOOR PLAN
A-201b	MAIN HOUSE ENLARGED FLOOR PLAN
A-202	ROOF PLAN
A-401	EXTERIOR ELEVATIONS
A-402	EXTERIOR ELEVATIONS CONTINUED
A-601	DOOR AND WINDOW SCHEDULE

NO.	REVISIONS	BY

THE
EVERGLADES



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AA26002671

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GRABOW
RESIDENCE
Renovation
246 NORTH SWINTON AVENUE
DELRAY BEACH, FL. 33444
(CITY OF DELRAY BEACH)

CLIENT:
JAMES & MARIE GRABOW
246 NORTH SWINTON AVENUE
DELRAY BEACH, FL. 33444

PROJECT LOCATION,
DELRAY BEACH, FL

LOCATION MAP

				NORTH	
EARTH		WOOD		PLASTER	
GRAVEL		SHIM		STUCCO	
SAND		FINISHED WOOD		ACOUSTICAL CEILING	
CONCRETE		PLYWOOD		CERAMIC TILE	
BRICK		STEEL		CARPET	
MASONRY UNIT		INSULATION BATT		GLASS	
MARBLE		INSULATION RIGID		SPANDREL	
GRANITE		GYPSON WALL BOARD			

MATERIAL LEGEND

CS-1

FLORIDA REGISTRATION AR97928

SITE PLAN NOTES

1. BOUNDARY INFORMATION TAKEN FROM PLAT DATED 04/26/17 MILLER LAND SURVEYING
2. TYPE OF CONSTRUCTION: CLASS V, UNPROTECTED, GROUP B EXISTING OCCUPANCY, 2018 FLOODING CODE
3. SEE LANDSCAPE DRAWINGS IN LANDSCAPE ARCHITECT UNDER SEPARATE PERMIT. (SLOPE DRAINAGE TO LANDSCAPE AREAS)
4. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES AND UTILITIES, ANY DAMAGE DUE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT ITS EXPENSE TO THE SUBJECT UTILITY. CALL "GUYHANE" (1-800-433-4770) 48 HOURS BEFORE YOU DIG.
5. ALL HUCK UNDER THE SUSPENDED DRIVEWAY SHALL BE REMOVED AND REPLACED WITH COMPACTED ACCEPTABLE FILL IN ONE FOOT LIFTS TO 98 PERCENT DENSITY.
6. ALL MATERIAL, INSTALLATION, TESTING AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CLEAR BEACH STAFF AND THE GOVERNING, PERMITTING AND LICENSING AGENCIES WHEN APPLICABLE.
7. ALL UNDERGROUND UTILITIES AND DRAINAGE IS TO BE INSTALLED BEFORE SURGRADE IS CONSTRUCTED.
8. ALL DRAINAGE PIPES IF USED SHALL BE CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE SPECIFIED.
9. ALL ELEVATIONS REFER TO A G.V.D. NATIONAL GEODETIC VERTICAL DATUM OF 1929.
10. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. ALL INSTALLATIONS SHALL BE MADE BY SUCH A MANAGER AS NOT TO INTERFERE WITH EXISTING OR NEW UTILITIES.
11. BENCHMARK ELEVATION TO BE ESTABLISHED PRIOR TO FINAL INSPECTION OF THE DRAINAGE SYSTEM.
12. LOCATION OF EXISTING UNDERGROUND UTILITIES HAS BEEN PREPARED BY THE CITY OF CLEAR BEACH AND IS AVAILABLE TO THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND TO OBTAIN PERMISSION OF CONSTRUCTION.
13. EXCAVATION SHALL BE SUPERVISED BY A LICENSED PROFESSIONAL ENGINEER IN CIVIL ENGINEERING IN ACCORDANCE WITH APPLICABLE STATE SAFETY REQUIREMENTS OF CIVIL SAFETY AND HEALTH STANDARD FOR CONSTRUCTION (29 CFR 1926).
14. PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD FOR THE FOLLOWING: JOINT MANHOLES, CATCHBASINS, FIRE HYDRANTS, VALVES, PIPE MATERIAL AND ALL REQUIRED ACCESSORIES. IF IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVALS, IF REQUIRED.
15. UPON COMPLETION OF EACH SECTION OF DRAINAGE SYSTEM, THE SECTION IS TO BE GRADED AND THE INSTALLATIONS SHALL BE REINSPECTED BY LAMPING EACH SECTION BETWEEN STRUCTURES. EXAMINATION FOR PROBLEMS SHALL BE SMALL BORE (4" TO 6" DIA) SIGHT ALL REPAIRS NECESSARY BY THE INSPECTION ARE TO BE MADE: COLLAPSED PIPE, DISJOINTED JOINTS, DISPLACEMENTS, SLOPE AND LAY LEFT TRUE TO LINE AND GRADE. ENTIRELY CLEAN AND READY TO USE.
16. RECORD INFORMATION (AS-BUILTS) CERTIFIED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA SHALL BE SUBMITTED TO THE ENGINEER OF RECORD PRIOR TO FINAL ACCEPTANCE OF THE SYSTEM.

SITE DATA

(ZONING)	ALLOWED	PROPOSED	%	PROPOSED	%
NORTH	OSHAHD	OSHAHD			
SOUTH	OSHAHD	OSHAHD			
EAST	OSHAHD	OSHAHD			
WEST	OSHAHD	OSHAHD			

FLOOD ZONE

X

PROPOSED

TOTAL SITE	7242.1	5097	70%	7341.1	100%
TOTAL AREA	1760.4	24.35%		1737.9	23.67%
MARSH/NOOD	1000.4	14.80%		1143.9	15.58%

COLLECTED UNIT

X

PROPOSED

UNITS	594	8.00%		594	8.00%
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DRAINAGE

X

PROPOSED

PLOTS	293	3.99%		241.09	3.09%
ACRES	0	0%		231.9	3.15%
FEET	376.8	5.05%		378.78	5.06%
PAVED AREA	158.95	21.65%		2152.01	29.31%

PERCENT

X

PROPOSED

CROWN OF ROAD	3211.1	4.4%		4662.9	64.20%
PERCENT	376.8	5.05%		378.78	5.06%

BUILDING

X

PROPOSED

GROWN OF ROAD	21.5' NGVD	21.5' NGVD		13'-4"	18.0' (TO PEAK)
BUILDING HEIGHT	34'-4"	14'-4" (TO PEAK)		15'-0"	14'-0" (TO PEAK)

STREETS

X

PROPOSED

NORTH	15'-0"	13'-4"		EXISTING	EXISTING
SOUTH	7'-6"	7'-3"		RESIDENCE	EXISTING
EAST	37'-6"	37'-6"		EXISTING	EXISTING
WEST	30'-0"	4'-0"		EXISTING	RESIDENCE

LEGAL DESCRIPTION

SUBJECT PROPERTY IS MILLER LAND SURVEYING (2018)

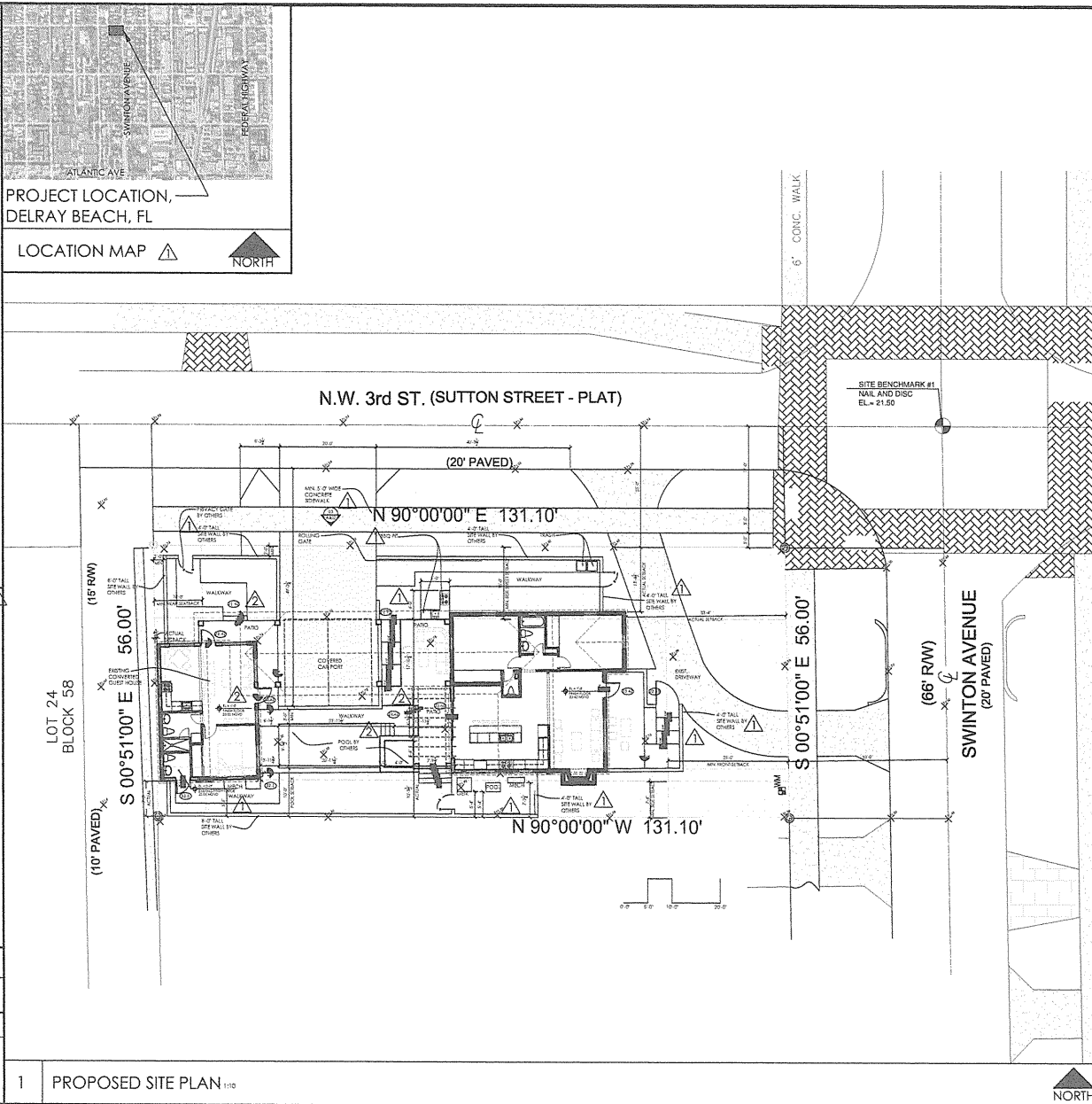
LOT 1, BLOCK 4 OF METCALFE SUBDIVISION OF BLOCK 50 AND 50 THOUS OF 20044, FLORIDA, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 13, PAGE 47, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

LEGEND

EXISTING GRADE

PROPOSED GRADE

PREVIOUS GRADE



NO.	REVISIONS	BY
1	HISTORIC 9/20/17	JFD
2	CLIENT REV 10/03/17	JFD



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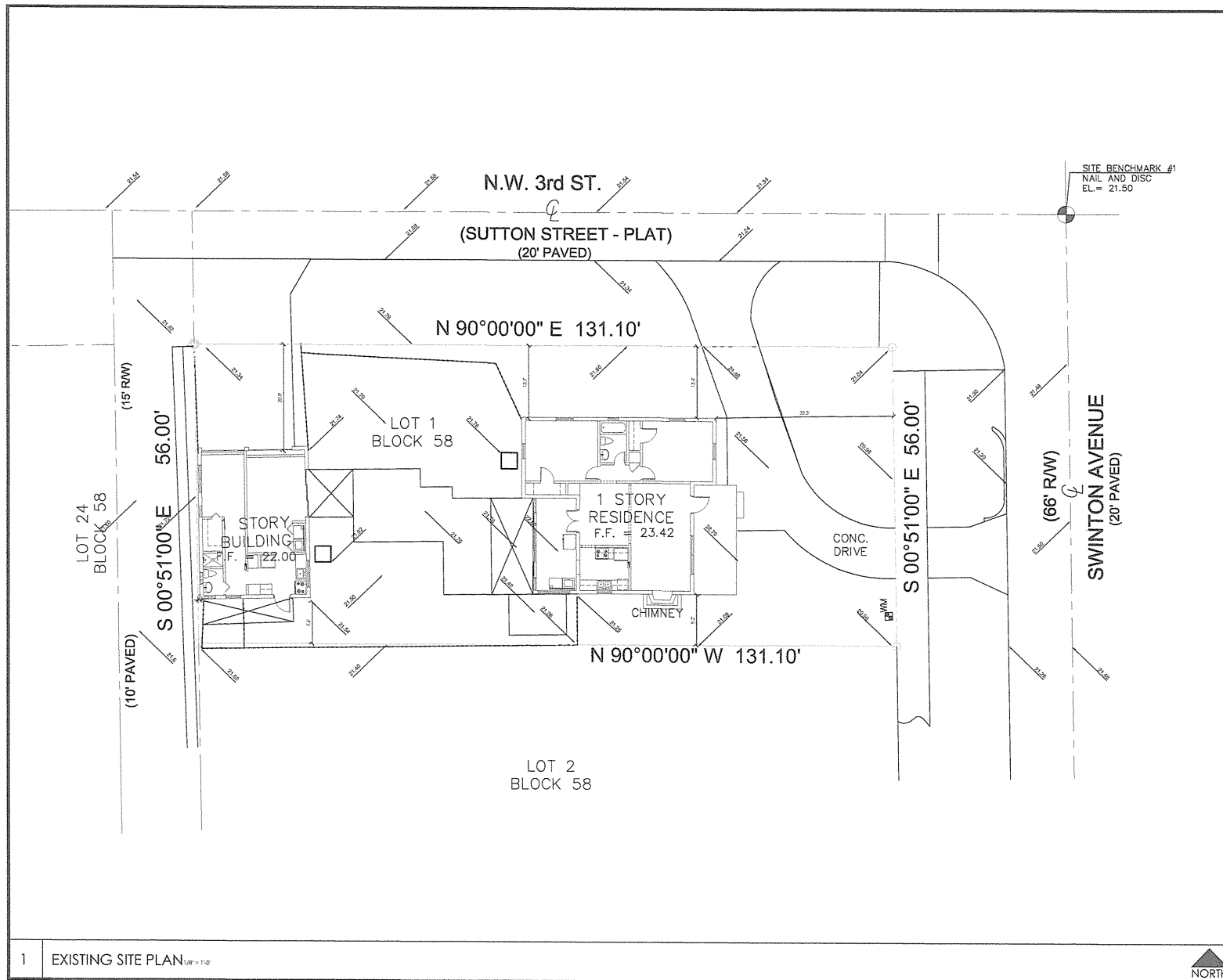
Renovation
246 NORTH SWINTON AVENUE
DELRAY BEACH, FL. 33444
(CITY OF DELRAY BEACH)

CLIENT:
JAMES & MARIE GRABOW
246 NORTH SWINTON AVENUE
DELRAY BEACH, FL, 33444

PROJECT PHASE		DRAWN
☐	SITE PLANNING	JFD
☒	SCHEMATIC DESIGN	CHECKED EJL
☐	DESIGN DEVELOPMENT	DATE 06/12/2017
☐	CONSTRUCTION DOCUMENTS	SCALE AS NOTED
		JOB NO. 17-016
		SHEET

A-101

FLORIDA REGISTRATION A92792



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246 NORTH SWINTON AVENUE
DELRAY BEACH, FL. 33444

EXISTING SITE PLAN

PROJECT PHASE	DRAWN
☐ SITE PLANNING	JFD
☐ SCHEMATIC DESIGN	CHECKED EAT
☐ DESIGN DEVELOPMENT	DATE 06/17/2017
☐ CONSTRUCTION DOCUMENTS	SCALE AS SHOWN
	JOB NO. 17-0116
	SHEET

A-001

FLORIDA REGISTRATION: APT7925



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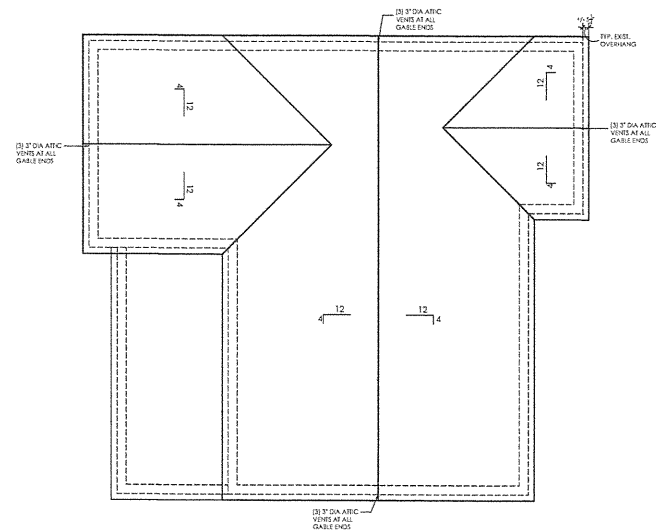
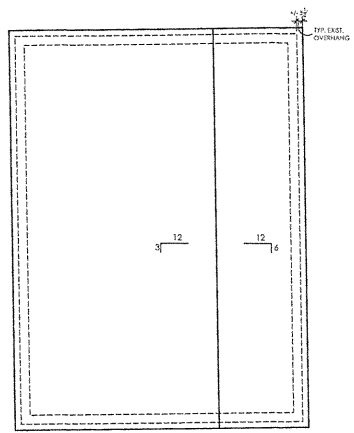
CLIENT:
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246 NORTH SWINTON AVENUE
DELRAY BEACH, FL. 33444

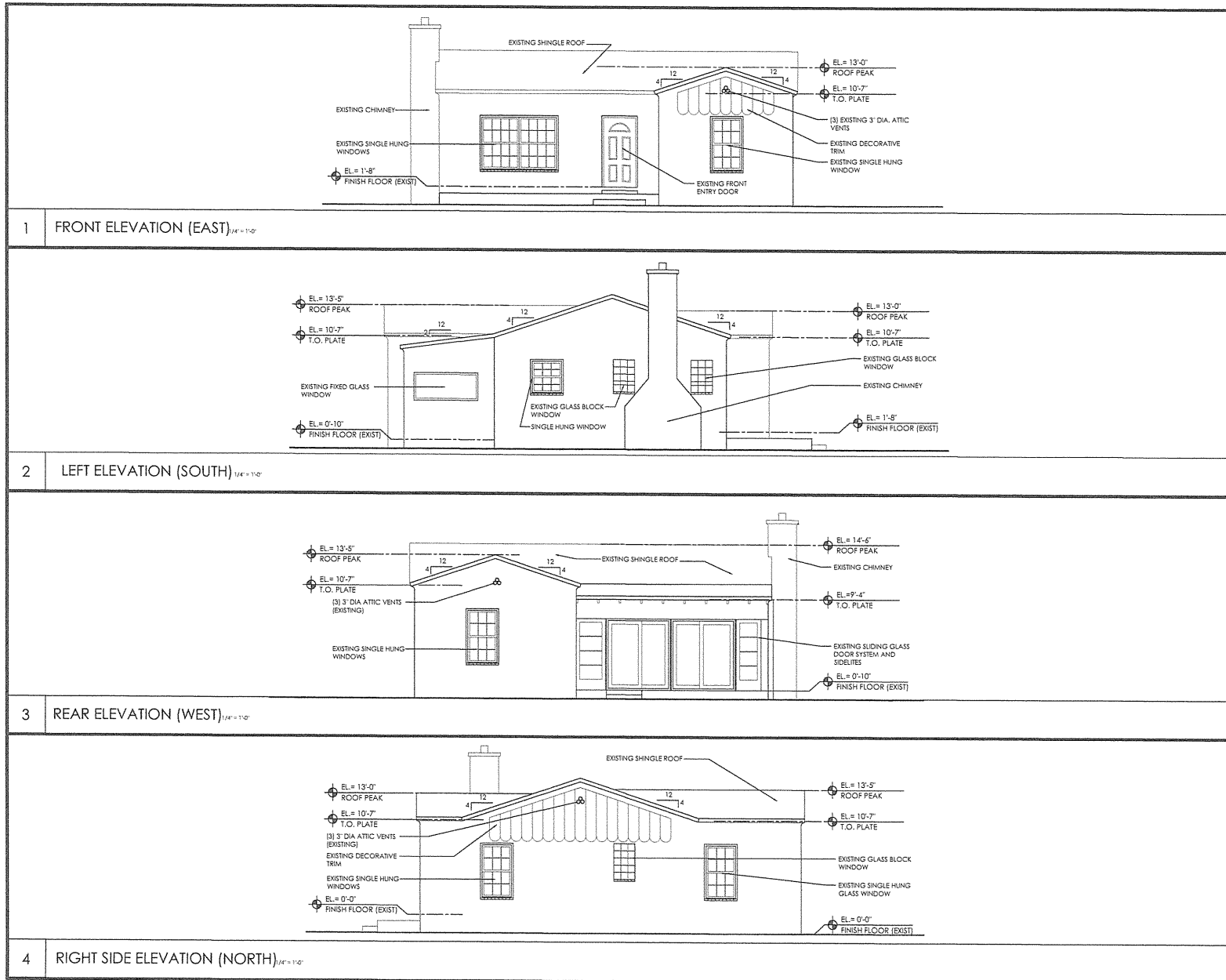
EXISTING ROOF PLAN

PROJECT PHASE	DRAWN
☐ SITE PLANNING	JFD
☐ SCHEMATIC DESIGN	CHUCKLE
☐ DESIGN DEVELOPMENT	SAE
☐ CONSTRUCTION DOCUMENTS	06/17/2017
	SCALE
	AS SHOWN
	JOB NO.
	17-016
	SHEET

A-051

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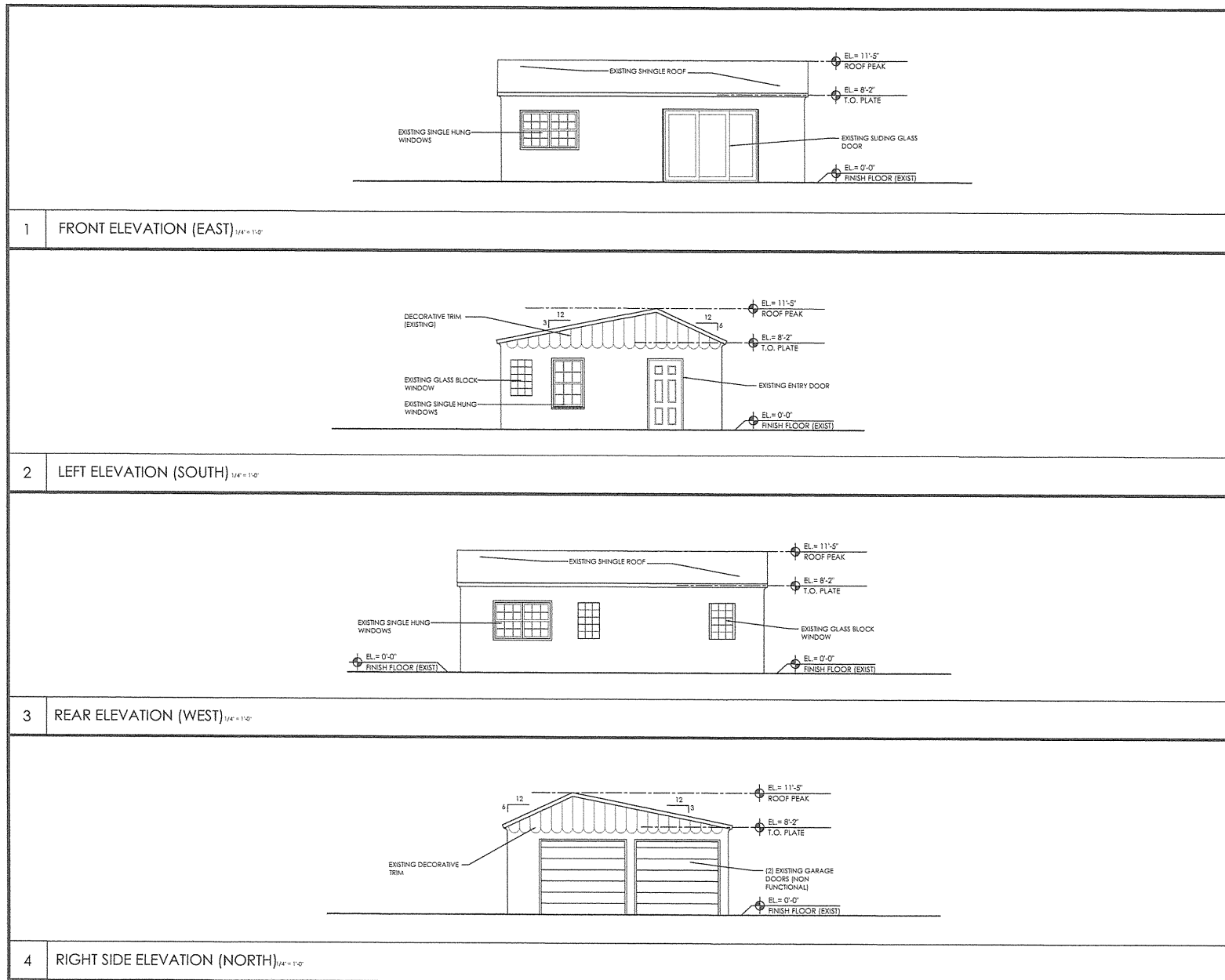
CLIENT:
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246 NORTH SWINTON AVENUE
DELRAY BEACH, FL. 33444

MAIN HOUSE EXTERIOR ELEVATIONS

PROJECT PHASE	DRAWN
☐ SITE PLANNING	JFS
☐ SCHEMATIC DESIGN	CHECKED EA
☐ DESIGN DEVELOPMENT	DATE 06/17/2017
☐ CONSTRUCTION DOCUMENTS	SCALE AS NOTED
	JOB NO. 17-014
	SHEET

A-070

FLORIDA REGISTRATION AB77928



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DELRAY BEACH, FL. 33444

GUEST HOUSE
EXTERIOR ELEVATIONS

PROJECT PHASE	DRAWN
☐ SITE PLANNING	JTD
☒ SCHEMATIC DESIGN	CHECKED EAG
☐ DESIGN DEVELOPMENT	DATE 06/17/2017
☐ CONSTRUCTION DOCUMENTS	SCALE AS NOTED
	JOS TJD 17-016
	SHEET

A-071

FLORIDA REGISTRATION: AR19725

DEMOLITION NOTES

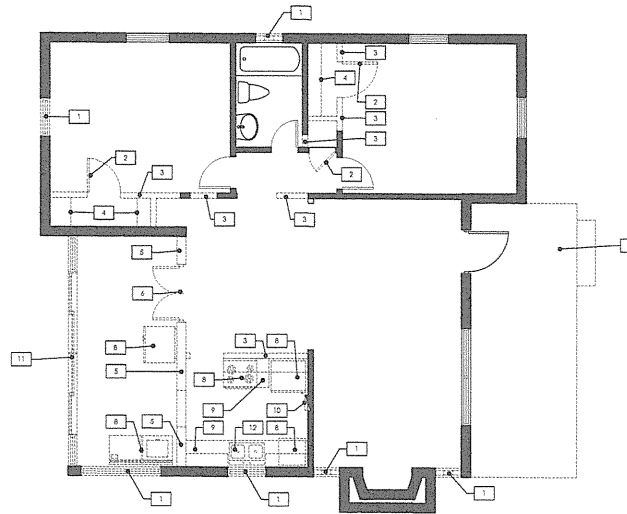
1. THESE DEMOLITION PLAN DRAWINGS WERE CREATED FROM EXISTING WORKING DRAWINGS. THESE DEMOLITION DRAWINGS ARE INTENDED TO SHOW THE GENERAL CONDITIONS WHICH ARE EXPECTED TO OCCUR.
2. CONTRACTOR TO VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH THE DEMOLITION WORK IN AN AREA.
3. WHERE DISCREPANCIES INVOLVE STRUCTURAL COMPONENTS, REPORT SUCH DIFFERENCES TO THE ARCHITECT AND SECURE INSTRUCTIONS BEFORE PROCEEDING IN THE AFFECTED AREA.
4. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE THE SALVAGE OF LIGHT FIXTURES, DOORS, FURNISHINGS, AND MISC. EQUIPMENT.
5. THE CONTRACTOR SHALL REMOVE EXISTING WALLS AND OTHER ASSOCIATED CONSTRUCTION AS INDICATED ON THE DEMOLITION PLANS WITH DASHED LINES.
6. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT THE OWNER AND GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK. SEE NFPA 241 AND OSHA.
7. THE CONTRACTOR SHALL REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK IMMEDIATELY OR AS SOON AS POSSIBLE AFTER DAMAGE OCCURS.
8. ALL EXISTING TO REMAIN SURFACES DAMAGED DURING THE DEMOLITION/ CONSTRUCTION PROCESS SHALL BE PAINTED, PATCHED AND OR REPAIRED AS REQUIRED.
9. REMOVE ALL UNUSED DEVICES, CONDUIT, AND WIRING IN ALL THE AREAS SLATED FOR DEMOLITION.
10. DEMOLITION DEBRIS SHALL BE REMOVED DAILY.
11. ALL FLOORS AND CEILING SHALL BE REMOVED THROUGHOUT WHERE SPECIFICALLY NOTED.
12. REMOVE ALL DRYWALL. MAKE NOTE ANY ISSUES PERTAINING TO MOLD.
13. ADDITIONAL SELECTIVE DEMOLITION MAY BE NECESSARY FOR OPENINGS IN EXISTING WALLS TO RECEIVE NEW DOORS OR WINDOWS.

KEYED NOTES

- 1 REMOVE EXISTING WINDOW
- 2 REMOVE EXISTING INTERIOR DOOR
- 3 REMOVE PORTIONS OF INTERIOR WALL
- 4 REMOVE EXISTING CLOSER RODS
- 5 REMOVE PORTIONS OF EXTERIOR WALLS
- 6 REMOVE EXTERIOR SWINGING DOOR
- 7 REMOVE FLOORING THROUGHOUT
- 8 REMOVE EXISTING APPLIANCES
- 9 REMOVE EXISTING CASE WORK AND SHELVING
- 10 REMOVE EXISTING ELECTRICAL PANEL
- 11 REMOVE EXISTING EXTERIOR DOUBLE SLIDING GLASS DOOR SYSTEM WITH SQUELIES
- 12 REMOVE EXISTING PLUMBING FIXTURE AND CAP WATERLINES AND DRAIN BELOW SLAB OR BEHIND WALL
- 13 EXTERIOR GARAGE DOORS TO BE REMOVED
- 14 EXISTING PLUMBING FIXTURES TO REMAIN
- 15 REMOVE EXISTING FRONT RAISED STOOP

PARTITION LEGEND

-  EXISTING WALLS TO REMAIN.
-  EXISTING EXTERIOR, INTERIOR PARTITIONS, DOORS, WINDOWS AND FIXTURES TO BE REMOVED.



1 DEMOLITION PLAN MAIN HOUSE 1/4" = 1'-0"



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DELRAY BEACH, FL. 33444

DEMOLITION PLANS

PROJECT PHASE	DRAWN
☐ SITE PLANNING	JFD
☐ SCHEMATIC DESIGN	CE/CE/ES
☐ DESIGN DEVELOPMENT	DALE
☐ CONSTRUCTION DOCUMENTS	06/17/2017
	SCALE
	AS NOTED
	208 T.O.
	17-016
	SHEET

A-150

FLORIDA REGISTRATION: AP17720

DEMOLITION NOTES

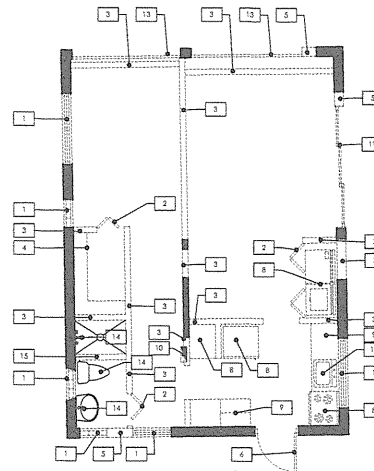
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7. THE CONTRACTOR SHALL REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK IMMEDIATELY OR AS SOON AS POSSIBLE AFTER DAMAGE OCCURS.
8. ALL EXISTING TO REMAIN SURFACES DAMAGED DURING THE DEMOLITION/ CONSTRUCTION PROCESS SHALL BE PAINTED, PATCHED AND OR REPAIRED AS REQUIRED.
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- 15 REMOVE EXISTING FRONT RAISED STOOP

PARTITION LEGEND

-  EXISTING EXTERIOR CMU AND INTERIOR PARTITIONS TO REMAIN.
-  EXISTING EXTERIOR CMU, INTERIOR PARTITIONS, DOORS, WINDOWS AND FIXTURES TO BE REMOVED.



1

DEMOLITION PLAN GUEST HOUSE 1/4" = 1'-0"



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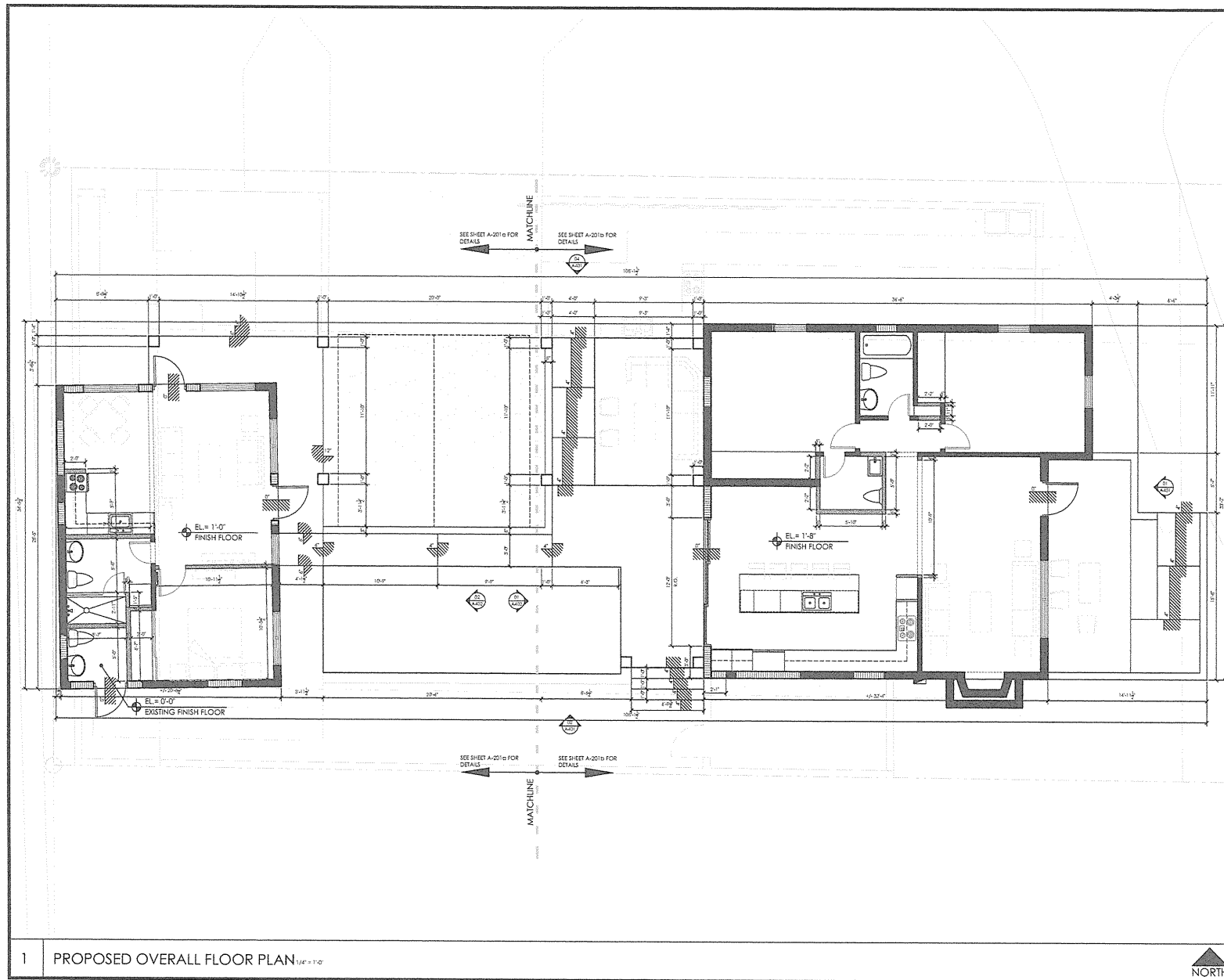
CLIENT:
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DELRAY BEACH, FL. 33444

DEMOLITION PLANS

PROJECT PHASE	DRAWN
☐ SITE PLANNING	JFD
☐ SCHEMATIC DESIGN	CEA
☐ DESIGN DEVELOPMENT	DATE
☐ CONSTRUCTION DOCUMENTS	06/17/2017
	SCALE
	AS NOTED
	7/28/16
	12/21/16
	SHEET

A-151

FLORIDA REGISTRATION: AP07928



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FLOOR PLAN

PROJECT PHASE	DRAWN
☐ SITE PLANNING	JPS
☒ SCHEMATIC DESIGN	EAL
☐ DESIGN DEVELOPMENT	DATE
☐ CONSTRUCTION DOCUMENTS	06/17/2017
	SCALE
	AS NOTED
	17-016
	SHEET

A-200

FLORIDA REGISTRATION AR7725

FLOOR PLAN NOTES

1. PROVIDE 2 X 4 DIMENSIONED FIRE RETARDANT BLOCKING IN PARTITIONS TO RECEIVE WALL MOUNTED SINKS, CABINETS, AND SHELVING.
2. DIMENSIONS SHOWN ON FLOOR PLANS, SECTIONS, ELEVATIONS, AND DETAILS ARE TO FINISH FACE OF STUD, MASONRY, CONCRETE, GROUND, UNLESS OTHERWISE NOTED.
3. THE RESIDENCE SHALL REQUIRE WITH FLORIDA PRODUCT APPROVALS HIGH-IMPACT RESISTANT GLASS AT ALL NEW DOORS AND WINDOWS (UNLESS OTHERWISE NOTED).
4. CONTRACTOR SHALL COORDINATE DOOR AND WINDOW OPENINGS WITH DOOR AND WINDOW MANUFACTURER PRIOR TO BLOCK WALL INSTALLATION AND TIE BEAM POUR.
5. ALL BEAM HEIGHTS ARE MEASURED FROM 0'-0".
6. ALL CEILING HEIGHTS ARE MEASURED FROM THE FINISH FLOOR OF EACH ROOM.
7. ALL WINDOW HEIGHTS ARE MEASURED FROM THE FINISH FLOOR OF EACH ROOM.
8. ALL GLASS IN DOORS AND ALL SLIDING GLASS DOORS TO BE TEMPERED.
9. ALL GLASS SHOWER AND TUB ENCLOSURES TO BE TEMPERED.
10. GLASS OR MIRRORS IMMEDIATELY SURROUNDING A BATHRUB OR SHOWER ENCLOSURE SHALL BE SAFETY GLAZED WHERE LESS THAN 40" ABOVE FLOOR OF TUB OR SHOWER.
11. ALL MIRROR INSTALLATION PER MANUFACTURER SPECIFICATIONS TO REST ON FLOOR, BASE, COUNTER TOP OR BACK SPLASH AS REQUIRED.
12. ALL BATHROOM FLOORS AND BASE MOLDING SHALL BE MADE OF IMPERVIOUS MATERIAL.
13. ALL FIXED GLASS SHALL BE 1/2" THICK (MIN).
14. ALL OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT AND 5.7 SF. IN AREA.

KEYED NOTES

1. ALL CLOSETS SHALL BE MANUFACTURED AND PROVIDED BY OWNER
2. EFFICIENCY SIZE COMBINATION OVEN AND STOVE
3. SINK
4. UNDER COUNTER REFRIGERATOR
5. DISHWASHER
6. COMBINATION WASHER/DRYER
7. SAFETY TEMPERED HERCULES GLASS DOOR, CONFIRM OPENING AFTER WALL INSTALLATION, CUSTOM SIZE x 6'-0" TALL
8. DASHED LINE DENOTES HEADER ABOVE
9. PEDESTAL STYLE SINK
10. RELOCATED ELECTRICAL PANEL
11. UPPER CABINETS TO BE SELECTED BY OWNER
12. CABINET AND COUNTER TO BE SELECTED BY OWNER

AREA CALCULATIONS

FIRST FLOOR	
EXISTING UNDER AIR	0' 106.4
PROPOSED UNDER AIR	588.2
PROPOSED UNDER AIR	1992 SQFT
EXISTING UNDER AIR	1,143.9
PROPOSED UNDER AIR	588.2
EXISTING COVERED AREA	293 SQFT
PROPOSED COVERED AREA	605 SQFT
	313 SQ FT INCREASE

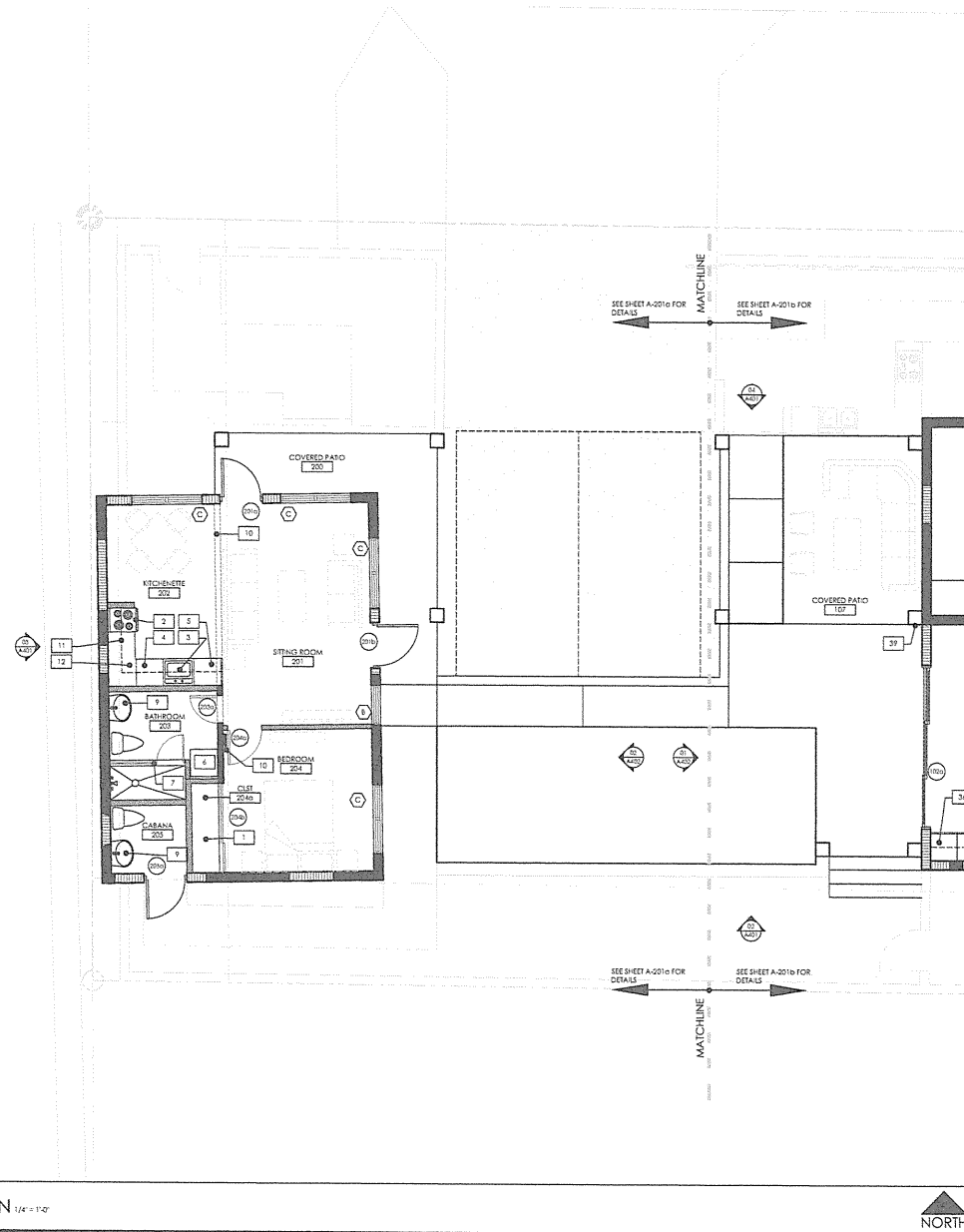
OCCUPANCY AND CONST. TYPE

R-3
TYPE V UNPROTECTED

WALL TYPES

- EXISTING EXTERIOR, OR INTERIOR PARTITION PATCH AND REPAIR AS NECESSARY TO MATCH EXISTING.
- 3-1/2" STUD WALL 2" GYP. BD (USE M.R. BOARD OR equivalent AT WET AREAS) ON BOTH SIDES SOUND ATTENUATION AT CAVITY.
- 3-1/2" STUD WALL 2" GYP. BD (USE M.R. BOARD OR equivalent AT WET AREAS) ON INTERIOR SIDE 2 COATS STUCCO (WITH LINE FLASH) OVER PAPERBACKED METAL LATH, OVER VAPOR BARRIER OVER 1/2" CDX PLYWOOD, 6-19 BATT INSULATION IN CAVITY.

1 PROPOSED FLOOR PLAN 1/4" = 1'-0"



NO.	REVISIONS	BY

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FLOOR PLAN

PROJECT PHASE	DRAWN
☐ SITE PLANNING	JFG
☐ SCHEMATIC DESIGN	CE/CEC
☐ DESIGN DEVELOPMENT	DATE
☐ CONSTRUCTION DOCUMENTS	04/17/2017
	SCALE
	AS NOTED
	FOOTING
	12-01a
	SHEET

A-201a

FLORIDA REGISTRATION AB77928

FLOOR PLAN NOTES

1. PROVIDE 2 X 12 DIMENSIONED FIRE RESISTANT BLOCKING IN PARTITIONS TO RECEIVE WALL MOUNTED FIXTURES, CABINETS, AND SHELVING.
2. DIMENSIONS SHOWN ON FLOOR PLANS, SECTIONS, ELEVATIONS, AND DETAILS ARE TO FINISH FACE OF STUD, MASONRY, CONCRETE, GROUND, UNLESS OTHERWISE NOTED.
3. THE RESIDENCE SHALL REQUIRE WITH FLORIDA PRODUCT APPROVALS HIGH-IMPACT RESISTANT GLASS AT ALL NEW DOORS AND WINDOWS, (UNLESS OTHERWISE NOTED).
4. CONTRACTOR SHALL COORDINATE DOOR AND WINDOW OPENINGS WITH DOOR AND WINDOW MANUFACTURER PRIOR TO BLOCK WALL INSTALLATION AND THE BEAM POUR.
5. ALL BEAM HEIGHTS ARE MEASURED FROM 0'-0".
6. ALL CEILING HEIGHTS ARE MEASURED FROM THE FINISH FLOOR OF EACH ROOM.
7. ALL WINDOW HEIGHTS ARE MEASURED FROM THE FINISH FLOOR OF EACH ROOM.
8. ALL GLASS IN DOORS AND ALL SLIDING GLASS DOORS TO BE TEMPERED.
9. ALL GLASS SHOWER AND TUB ENCLOSURES TO BE TEMPERED.
10. GLASS OR MIRRORS IMMEDIATELY SURROUNDING A BATHTUB OR SHOWER ENCLOSURE SHALL BE SAFETY GLAZED WHERE LESS THAN 40" ABOVE FLOOR OF TUB OR SHOWER.
11. ALL MIRROR INSTALLATION PER MANUFACTURER SPECIFICATIONS TO REST ON FLOOR, BASE, COUNTER TOP OR BACK SPLASH AS REQUIRED.
12. ALL BATHROOM FLOORS AND BASE MOLDING SHALL BE MADE OF IMPERVIOUS MATERIAL.
13. ALL FIXED GLASS SHALL BE 1/2" THICK (JND).
14. AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT AND 5.7 SF. IN AREA.

KEYED NOTES

- | | |
|----|---|
| 20 | ALL CLOSETS SHALL BE MANUFACTURED AND PROVIDED BY OWNER |
| 21 | CUSTOM SHELVING |
| 22 | NEW TUB |
| 23 | NEW TOILET |
| 24 | NEW PEDESTAL STYLE SINK |
| 25 | NEW CUSTOM WALL MOUNTED TOILET |
| 26 | NEW CUSTOM WALL MOUNTED SINK |
| 27 | DASHED LINE DENOTES HEADER ABOVE |
| 28 | EXISTING COLUMN IN THIS AREA |
| 29 | CUSTOM KITCHEN ISLAND |
| 30 | WALL OVEN |
| 31 | UPPER CABINETS TO BE SELECTED BY OWNER |
| 32 | COUNTERTOP STOVE |
| 33 | BASE CABINET AND COUNTER TO BE SELECTED BY OWNER |
| 34 | SIDE BY SIDE REFRIGERATOR |
| 35 | UNDER COUNTER WASHING MACHINE |
| 36 | UNDER COUNTER DRYER |
| 37 | SINK WITH GARBAGE DISPOSAL |
| 38 | DISHWASHER |
| 39 | WOOD COLUMN POST (TYPICAL) |

AREA CALCULATIONS

FIRST FLOOR	
EXISTING UNDER AIR	7,106.4
PROPOSED UNDER AIR	586.2
PROPOSED UNDER AIR	1,192.5
PROPOSED UNDER AIR	1,143.9
PROPOSED UNDER AIR	586.2
EXISTING COVERED AREA	293.52 SF
PROPOSED COVERED AREA	406.50 SF
	113.00 FT INCREASE

OCCUPANCY AND CONST. TYPE

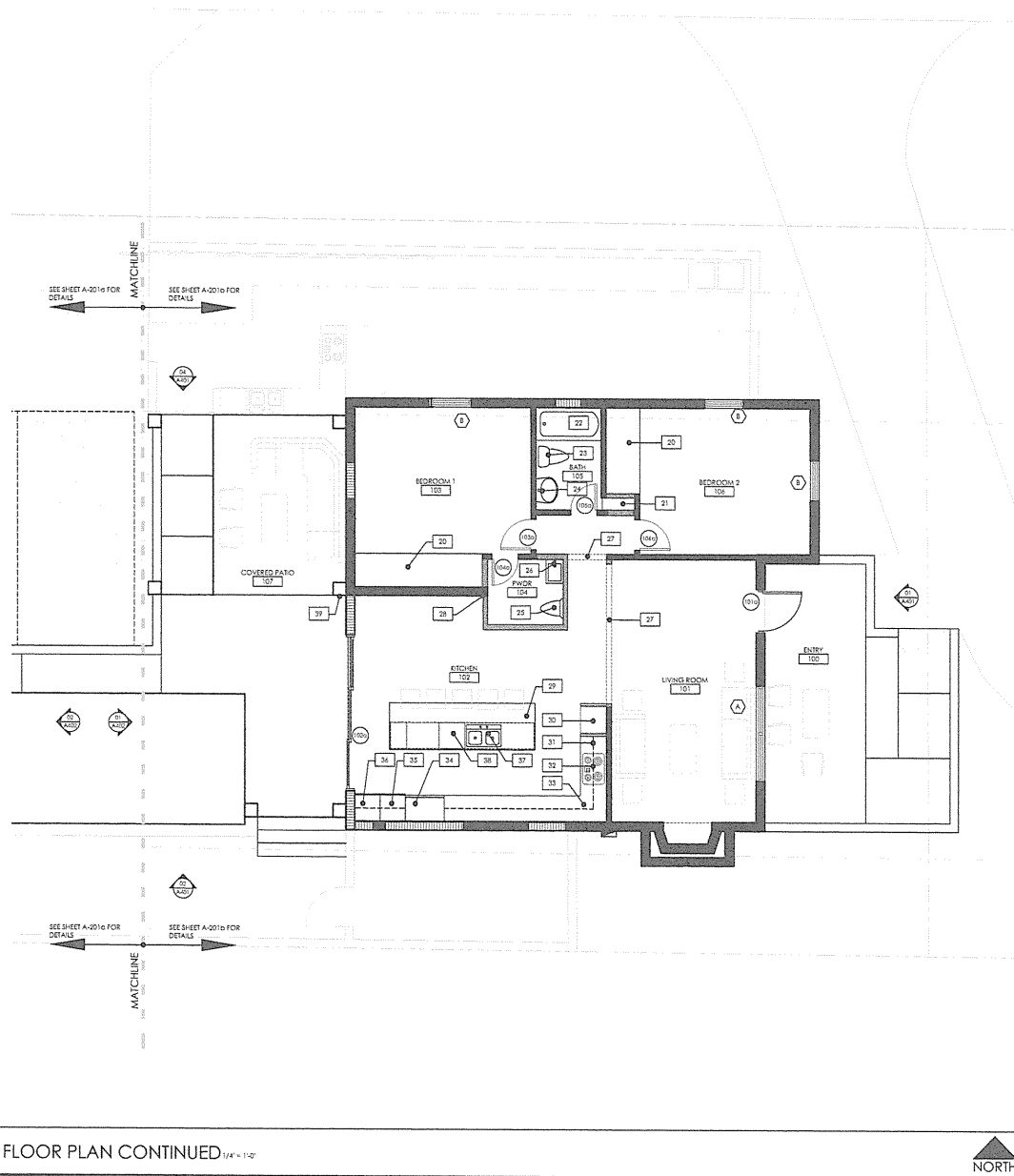
R-3
TYPE V UNPROTECTED

WALL TYPES

- EXISTING EXTERIOR, OR INTERIOR PARTITION PATCH AND REPAIR AS NECESSARY TO MATCH EXISTING.**
- 3-1/2" STUD WALL 2" GYP. BD (USE M.B. BOARD OR DUROCK AT WET AREAS) ON BOTH SIDES SOUND ATTENUATION AT CAVITY.**
- 3-1/2" STUD WALL 2" GYP. BD (USE M.B. BOARD OR DUROCK AT WET AREAS) ON INTERIOR SIDE 2 COATS STUCCO (WITH LINE FINISH) OVER PAPERBACKED METAL LATH, OVER VAPOR BARRIER OVER 1/2" CDX PLYWOOD, R-19 BATT INSULATION IN CAVITY.**

1

PROPOSED FLOOR PLAN CONTINUED 1/4" = 1'-0"



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FLOOR PLAN

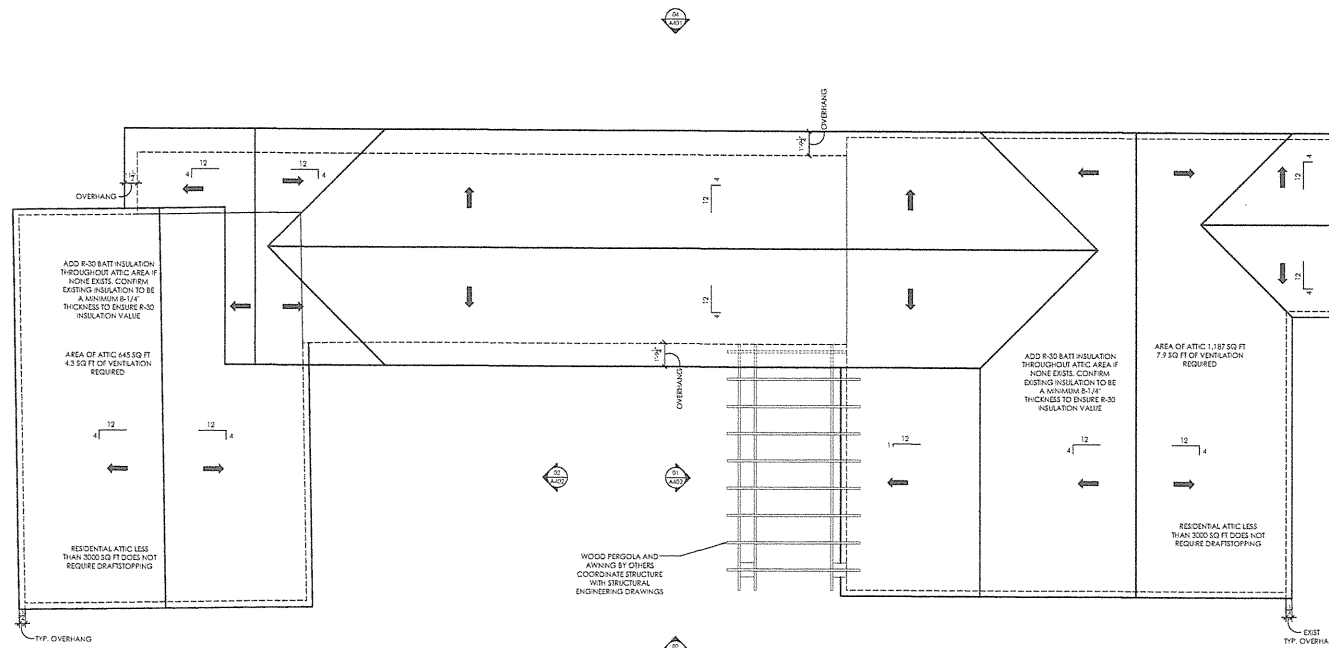
PROJECT PHASE	DRAWN
☐ SITE PLANNING	JTD
☐ SCHEMATIC DESIGN	CAL
☐ DESIGN DEVELOPMENT	DATE
☐ CONSTRUCTION DOCUMENTS	5/6/17/2017
	SCALE
	AS NOTED
	2028 TIO
	12/016
	SHEET

A-201b

FLORIDA REGISTRATION AR87928

ATTIC VENTILATION NOTE:

1. PROVIDE 1 SQ. FT. OF FREE AIR PER EVERY 150 SQ. FT. OF CEILING AREA.
2. ONE 6" X 24" VENT = 1 SQUARE FOOT
3. VENT OPENING SCREENING MESH SHALL NOT HAVE OPENINGS SMALLER THAN 1/4" OF AN INCH OR LARGER THAN 1/8" FOR BUG AND RODENT PROTECTION.



1 PROPOSED ROOF PLAN 1/8" = 1'-0"

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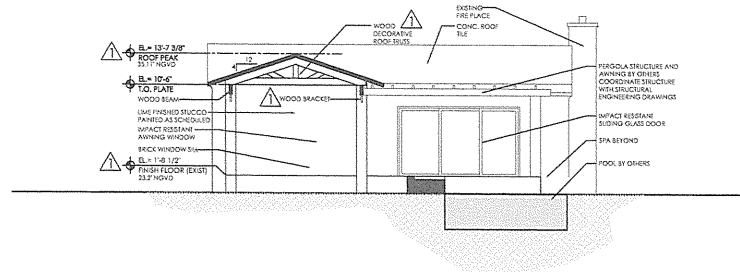
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ROOF PLAN

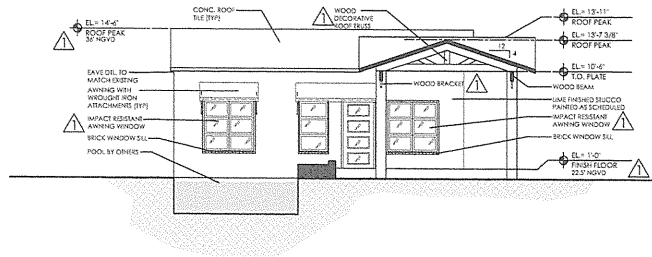
PROJECT PHASE	DRAWN
☐ SITE PLANNING	JPD
☒ SCHEMATIC DESIGN	CHUCKED
☐ DESIGN DEVELOPMENT	E/L
☐ CONSTRUCTION DOCUMENTS	DATE 06/17/2017 SCALE AS NOTED 20% TYP. 17.016 SHEET

A-202

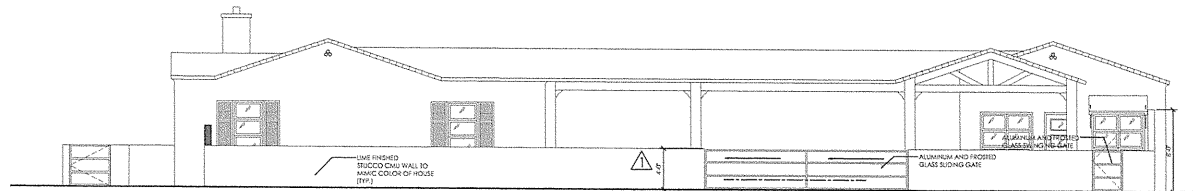
FLORIDA REGISTRATION: AR27928



1 COURTYARD WEST ELEVATION $\frac{3/16\"=1'-0\"}$



2 COURTYARD EAST ELEVATION $\frac{3/16\"=1'-0\"}$



3 EXTERIOR MAIN GATE NORTH ELEVATION $\frac{3/16\"=1'-0\"}$

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1	HISTORIC 9/20/17	JFD

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EXTERIOR ELEVATIONS

PROJECT PHASE	DRAWN
☐ SITE PLANNING	JFD
☐ SCHEMATIC DESIGN	CHECKED EJA
☐ DESIGN DEVELOPMENT	DATE 04/11/2017
☐ CONSTRUCTION DOCUMENTS	SCALE AS NOTED
	2/31/16
	17.01.6
	SHEET

A-402

FLORIDA REGISTRATION: AR97928

DOOR NUMBER

DOOR TYPE

PAIR

DOOR

FRAME

HARDWARE

REMARKS

		SIZE		MAT'L	FINISH	HARDWARE																DOOR NUMBER		REMARKS											
		2-0" x 6-8" x 1 3/4"	2-4" x 6-8" x 1 3/4"	2-6" x 6-8" x 1 3/4"	2-8" x 6-8" x 1 3/4"	3-0" x 6-8" x 1 3/4"	6-7" (package width) x 4-8" (package width) x 6-8"	12-0" (package width) x 6-8"	ALUMINUM/GLASS	PREPARED GLASS	SOLID CORE WOOD	HOLLOW METAL	SMOOTH FLUSH GLAZED	PAINT	WHITE ANODIZED	EXISTING	ALUMINUM	WOOD	HOLLOW METAL	PACKAGE HARDWARE	1/2 PR. 4 1/2 x 4 1/2 MORRIS RINGES	PRIVACY LOCKSET	PASSAGE SET		ENTRANCE LOCKSET	KICKED DEADBOLT W/ INT. THUMB LATCH	DEAD BOLT	DUMMY TRIM	STORE ROOM LOCKSET	CLOSER	FIRE RATED DOOR SWEEP	THRESHOLD	WEATHERSTRIPPING	DOOR STOP	DOOR STOP
1010	A																																	1010	
1020	B																																	1020	1:4:5
1030	C																																	1030	1:4
1040	C																																	1040	1:2
1050	C																																	1050	1:2
1060	C																																	1060	1
2010	A																																	2010	1:4:5
2010	B																																	2010	1:4:5
2030	C																																	2030	1:2
2040	C																																	2040	1
2040	D																																	2040	1:4:5
2050	A																																	2050	1

DOOR TYPE

ALUMINUM AND GLASS
HIGH IMPACT RESISTANT

ALUMINUM AND GLASS
HIGH IMPACT RESISTANT

SOLID CORE WOOD
INTERIOR DOOR

SOLID CORE WOOD
INTERIOR DOOR

EGRESS OPENINGS

THE MODE OF OPERATION OF OPENINGS, INDICATED IN SCHEDULE, SHALL NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT. SUCH CLEAR OPENINGS SHALL BE NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT, 5 1/2 SQ. FT. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 48" OFF THE FINISHED FLOOR AND NOT PART OF THE OPERATING MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE FINISHED FLOOR.

OPENINGS BASED ON POURED CONC. SILLS
ALL DOORS TO BE PRE HUNG

VERIFY ALL MASONRY OPENINGS W/ PURCHASED WINDOW (TYP.)

WINDOW TYPES

ALUMINUM AND GLASS
HIGH IMPACT RESISTANT
AWNING (PROJECT OUT) WINDOWS

ALUMINUM AND GLASS
HIGH IMPACT RESISTANT
AWNING WINDOWS

ALUMINUM AND GLASS
HIGH IMPACT RESISTANT
AWNING WINDOWS

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1	HISTORIC 9/20/17	JFD

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DETAILS

PROJECT PHASE		DRAWN
☐ SITE PLANNING		JFD
☒ SCHEMATIC DESIGN		CHECKED EJL
☐ DESIGN DEVELOPMENT		DATE 04/17/2017
☐ CONSTRUCTION DOCUMENTS		SCALE AS NOTED
		JOB NO. 17-016
		STUDENT

A-601

FLORIDA REGISTRATION ABSTY2