



## *Development Services Department*

### **BOARD ACTION REPORT – APPEALABLE ITEM**

**Project Name:** 20 & 22 N. Swinton Avenue (2020-188)

**Project Location:** 20 & 22 N. Swinton Avenue, Old School Square Historic District

**PCN:** 12-43-46-16-01-060-0120

**Request:** Certificate of Appropriateness

**Board:** Historic Preservation Board

**Meeting Date:** October 7, 2020

**Board Vote:** Approved on a 5-0 vote

#### **Board Actions:**

Approve the Certificate of Appropriateness, Class IV Site Plan request (2020-188) associated with the conversion of a 2-story structure to office on the individually designated property known as “The Monterrey House” and “The Wellbrock House” by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations subject to the following conditions:

1. That either the site plan or traffic approval is revised to correctly reflect the proposed building square foot calculations.

#### **Project Description:**

The subject property is on the west side of N. Swinton Avenue between W. Atlantic Avenue and NW 1st Street and is within the Locally and Nationally Designated Old School Square Historic District. It contains Lot 12, less the south 4 feet thereof, Block 60, Town of Delray, Florida, as recorded in Plat Book 1, Page 3, of the Public Records of Palm Beach County, Florida. The property address is 20 & 22 N. Swinton Avenue and contains “The Monterey House”, which is individually listed on the Local Register of Historic Places. Also, situated on the subject property is a 1937 two-story, Colonial Revival style, structure known as “The Wellbrock House”, which was relocated to the subject site on November 17, 2019. The structure was approved for listing to the Local Register of Historic Places on September 10, 2020.

In April 2019, a local developer acquired 215 NE 7<sup>th</sup> Avenue where The Wellbrock House was originally located. The developer planned to redevelop the site with a new duplex structure. In its previous location, The Wellbrock House was not within a historic district nor was it individually designated to the Local Register of Historic Places and it was proposed for demolition. Once informed of the proposed demolition, the Delray Beach CRA preserved the structure by relocating it to the subject property.

Also, existing on the subject property is a 2-story Monterey Style structure known as The Monterey House, which houses the CRA offices. The Monterey House was designed as a single-family residence by prominent Palm Beach architect, Belford Shoumate in 1939. Mr. Shoumate (1903-1991) was in active practice in Palm Beach for over 50 years and during that time he designed over 1,500 buildings in south Florida, including his first commission in 1930, a home in the Art Moderne style at 1221 N. Lake Way in Palm Beach. Shoumate won first prize in architecture for the design of this structure at the 1939 World's Fair and the house was named “The House of the Future”. Originally, The Monterey House was located in the Hillcrest neighborhood in West Palm Beach. It was relocated to its current address in 1994 by way of the Intracoastal Waterway, along with two other structures - 24 N. Swinton Avenue (“The Historic Bungalow”) and 516 N. Swinton Avenue (“The Harden-Hart House”). Prior to the move, this building was considered eligible for listing in the National Register of Historic Places. The move provided an alternative to demolition, which would have occurred due to the Palm Beach International Airport expansion. At the time of relocation, the structure contained 2,300 square feet and following its move to Delray Beach in 1995, a 600 square foot addition was approved and constructed. The structure was then listed on the City of Delray Beach Local Register of Historic Places.

The recently relocated and individually designated Wellbrock House (22 N. Swinton Avenue) was designed by Samuel Ogren, Sr., Delray Beach's first registered architect. The two-story home was designed in the wood frame Colonial Revival style and was built as a residence for John Charles (J.C.) Wellbrock, who was a local produce shipper in Delray Beach in the early to mid-1900's.

## Appealable Item Report

In June 2019, the CRA Board approved the purchase and relocation agreement for the structure located at 215 NE 7th Avenue and submitted a Certificate of Appropriateness to the City of Delray Beach to relocate the structure to the subject property. At its meeting of July 3, 2019, the Historic Preservation Board (HPB) approved the Certificate of Appropriateness (2019-255) request for the relocation of a single-family residence subject to the following conditions:

1. That following the relocation, an application be submitted for the individual designation of the structure to the Local Register of Historic Places; and,
2. That an application for a change of use and site plan modification be submitted following the relocation of the structure to 20 N. Swinton Avenue.

The request before the board was consideration of the conversion of the newly relocated 1,793 sq. ft. single-family residence to additional office space for the CRA. The site will now contain a total of 4,540 square feet of building area.

### **Board Comments:**

All members of the board were supportive of the proposal.

### **Public Comments:**

There was no public comment.

### **Associated Actions:**

N/A

### **Next Action:**

The HPB action is final unless appealed by the City Commission



# DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING  
100 NW 1<sup>ST</sup> AVENUE, DELRAY BEACH, FLORIDA 33444  
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## HISTORIC PRESERVATION BOARD STAFF REPORT

### 20 & 22 North Swinton Avenue

Meeting	File No.	Application Type
October 7, 2020	2020-188	Certificate of Appropriateness and Class IV Site Plan

### REQUEST

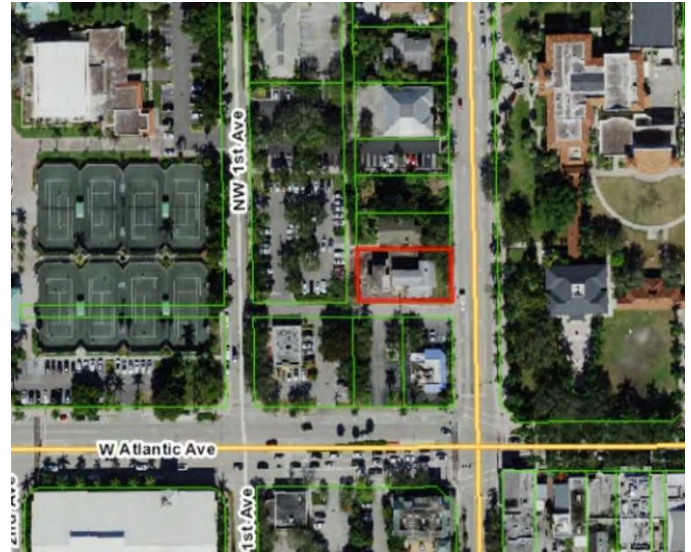
The item before the Board is in consideration of a Certificate of Appropriateness and Class IV Site Plan request (2020-188) associated with the conversion of a 2-story structure to office on the individually designated property known as “The Monterrey House” and “The Wellbrock House”, located at **20 & 22 North Swinton Avenue, Old School Square Historic District**.

### GENERAL DATA

**Agent:** Tara Toto  
**Owner:** Delray Beach Community Redevelopment Agency (CRA)  
**Location:** 22 North Swinton Avenue  
**PCN:** 12-43-46-16-01-060-0120  
**Property Size:** 0.21 Acres  
**Zoning:** OSSHAD – Old School Square Historic Arts District  
**LUM:** HMU (Historic Mixed Use)  
**Historic District:** Old School Square Historic District  
**Adjacent Zoning:**

- OSSHAD (North)
- OSSHAD (East)
- OSSHAD (South)
- OSSHAD (West)

**Existing Land Use:** Residential & Commercial Office  
**Proposed Land Use:** Commercial Office



### BACKGROUND INFORMATION AND PROJECT DESCRIPTION

The subject property is on the west side of N. Swinton Avenue between W. Atlantic Avenue and NW 1st Street and is within the Locally and Nationally Designated Old School Square Historic District. It contains Lot 12, less the south 4 feet thereof, Block 60, Town of Delray, Florida, as recorded in Plat Book 1, Page 3, of the Public Records of Palm Beach County, Florida. The property address is 20 & 22 N. Swinton Avenue and contains “The Monterey House”, which is individually listed on the Local Register of Historic Places. Also, situated on the subject property is a 1937 two-story, Colonial Revival style, structure known as “The Wellbrock House”, which was relocated to the subject site on November 17, 2019. The structure was approved for listing to the Local Register of Historic Places on September 10, 2020.

In April 2019, a local developer acquired 215 NE 7<sup>th</sup> Avenue where The Wellbrock House was originally located. The developer planned to redevelop the site with a new duplex structure. In its previous location,

Project Planners:  
Michelle Hoyland, Principal Planner  
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Katherina Paliwoda, Planner  
PaliwodaK@mydelraybeach.com

Review Dates:  
HPB: October 7, 2020

Attachments:  
1. Architectural Plans  
2. Justification Statements  
3. Photos

The Wellbrock House was not within a historic district nor was it individually designated to the Local Register of Historic Places and it was proposed for demolition. Once informed of the proposed demolition, the Delray Beach CRA preserved the structure by relocating it to the subject property.

Also, existing on the subject property is a 2-story Monterey Style structure known as The Monterey House, which houses the CRA offices. The Monterey House was designed as a single-family residence by prominent Palm Beach architect, Belford Shoumate in 1939. Mr. Shoumate (1903-1991) was in active practice in Palm Beach for over 50 years and during that time he designed over 1,500 buildings in south Florida, including his first commission in 1930, a home in the Art Moderne style at 1221 N. Lake Way in Palm Beach. Shoumate won first prize in architecture for the design of this structure at the 1939 World's Fair and the house was named "The House of the Future". Originally, The Monterey House was located in the Hillcrest neighborhood in West Palm Beach. It was relocated to its current address in 1994 by way of the Intracoastal Waterway, along with two other structures - 24 N. Swinton Avenue ("The Historic Bungalow") and 516 N. Swinton Avenue ("The Harden-Hart House"). Prior to the move, this building was considered eligible for listing in the National Register of Historic Places. The move provided an alternative to demolition, which would have occurred due to the Palm Beach International Airport expansion. At the time of relocation, the structure contained 2,300 square feet and following its move to Delray Beach in 1995, a 600 square foot addition was approved and constructed. The structure was then listed on the City of Delray Beach Local Register of Historic Places.

The recently relocated and individually designated Wellbrock House (22 N. Swinton Avenue) was designed by Samuel Ogren, Sr., Delray Beach's first registered architect. The two-story home was designed in the wood frame Colonial Revival style and was built as a residence for John Charles (J.C.) Wellbrock, who was a local produce shipper in Delray Beach in the early to mid-1900's.

In June 2019, the CRA Board approved the purchase and relocation agreement for the structure located at 215 NE 7th Avenue and submitted a Certificate of Appropriateness to the City of Delray Beach to relocate the structure to the subject property. At its meeting of July 3, 2019, the Historic Preservation Board (HPB) approved the Certificate of Appropriateness (2019-255) request for the relocation of a single-family residence subject to the following conditions:

1. That following the relocation, an application be submitted for the individual designation of the structure to the Local Register of Historic Places; and,
2. That an application for a change of use and site plan modification be submitted following the relocation of the structure to 20 N. Swinton Avenue.

#### **Previous Development History of the Site:**

On July 19, 2017, the HPB approved a Certificate of Appropriateness and Class IV Site Plan request for the expansion of the CRA offices. Specifically, the request included the following:

- Construction of a 1,400 sq. ft. one-story building addition to the rear of the existing, 2,920 sq. ft. two-story individually designated Monterey House structure;
- Site improvements including a new walkway and site lighting; and,
- Minor landscape improvements.

The improvements were not constructed and the approval subsequently expired.

The request now before the board is consideration of the conversion of the newly relocated 1,793 sq. ft. single-family residence to additional office space for the CRA. The site will now contain a total of 4,540 square feet of building area.



## REVIEW AND ANALYSIS

### ZONING AND USE REVIEW

#### **LDR Section 4.4.24 – Old School Square Historic Arts District (OSSHAD)**

**Pursuant to LDR Section 4.4.24(B)(3) – Principal Uses and Structures: Within the OSSHAD zoning district, Business, Professional, and Medical offices are listed as a Permitted Use.**

The existing and expanded use of a business office is permitted within the OSSHAD zoning district. It is noted that plan sheet AS-102 indicates the building square foot calculations for the Monterey House to be based upon the Palm Beach County Property Appraiser's website. An added Site Plan Technical Item is that the square foot calculations for the existing and new structures be updated to reflect actual site conditions.

**Pursuant to LDR Section 4.3.4.(K) – Property Development Standards: The standards as set forth in Section 4.3.4 shall apply:**

	Required	Existing The Monterey House	Proposed The Wellbrock House
<b>Lot Coverage (Max)</b>	40%	17.1%	10.9% (TOTAL - 28.17%)
<b>Setbacks</b>			
<b>Front (East)</b>	25'	28'2"	No Change
<b>Side Interior (North)</b>	7'6"	28'	12'10"
<b>Side Interior (South)</b>	7'6"	7'6"	7'6"
<b>Rear (West)</b>	10'	50'	14'6"
<b>Open Space (Min)</b>	25%*	TBD*	49.44%*

\*Required Minimum, Existing, and Provided Open Space calculations are incorrectly depicted in the Site Data Chart on plan sheet AS-102 and needs to be corrected, this item is attached as a site plan technical item

The chart above illustrates compliance with the required development standards; therefore, positive findings with this code requirement can be made.

**Pursuant to LDR Section 4.4.24(G)(4)(d) – Parking Requirements: Business and professional offices shall provide one (1) space per 300 sq. ft. of total new or existing net floor area being converted to office use.**

**Based upon the LDR Definitions, Net Floor Area is defined as:**

**NET FLOOR AREA.** The total floor area of a building, measured from the finished interior wall surface of the outer building walls, excluding major vertical penetrations of the floor (elevator and other mechanical shafts, stair wells), mechanical equipment, parking areas, common restrooms, common lobbies, and common hallways. Storage area is included in the net square feet calculation unless it is demonstrated that it cannot be converted to habitable space.

Based upon the above, the total 4,540 square feet of building area (2,747 sq. ft. existing and 1,793 sq. ft. new) requires 15 parking spaces and ample parking exists within the 92 space parking lot to the west of the structure. There are 51 parking spaces in this lot that are dedicated to the CRA; therefore, this requirement has been met.

It is noted however, that the building square foot calculations need to be clarified as to whether they are based upon actual floor area or net floor area. Additionally, the site data chart incorrectly notes that 21 parking spaces are required where only 15 spaces are required if the calculation is based upon actual floor area. The parking requirement may be reduced further if the net calculation is utilized. The required and provided parking calculation needs to be corrected and is added as a site plan technical item.

**Pursuant to LDR Section 4.4.24(G)(2), The perimeter landscaping requirements of Section 4.6.16(H)(3)(e) shall not apply.**

Based upon the above, perimeter landscaping is not proposed.

#### **Article 4.6, Supplemental District Regulations**

**Pursuant to LDR Section 4.6.8 – Lighting:** All developments/redevelopments are encouraged to utilize energy efficiency lighting. The maximum height for luminaires on buildings and structures is 25' or eave overhang, whichever is lower, and 25' for a parking lot. All perimeter exterior lighting shall be full cutoff luminaires to minimize spillover on adjacent properties. In order to decrease urban glow, no luminaires shall be directed upwards.

**Light control and spillage.** For perimeter exterior lighting, only full cutoff luminaires will be approved. The applicant is encouraged to minimize light spillage from building and site and to reduce urban-glow for the development/redevelopment proposed. Maximum allowable illumination at the property line of any adjoining parcel or public right-of-way is 0.25 horizontal and vertical foot-candles measured at six feet above grade level.

**Pursuant to LDR Section 4.6.8(A)(3) – Illumination Standards:** The applicable illumination standards are as follows:

	FOOT CANDLES		
	Maximum Permitted	Minimum Permitted	Provided
<b>Building Entrances</b>	10	1.0	1.0 – 8.8

Wall mounted decorative light fixtures are proposed as well as 8' tall free standing decorative light poles with acorn fixtures. It is noted that a maximum of 0.25 foot candles of light spillage at the property line is permitted and the photometric plan proposes a maximum of 0.19 foot candles. Therefore, compliance with the Illumination Standards has been achieved.

#### **LANDSCAPE ANALYSIS**

**Pursuant to LDR Section 4.6.16(A) – Landscape Regulations –** The objective of this article is to improve the appearance of setback and yard areas in conjunction with the development of commercial, industrial, and residential properties, including off-street vehicular parking and open-lot sales and service areas in the City, and to protect and preserve the appearance, character and value of the surrounding neighborhoods and thereby promote the general welfare by providing minimum standards for the installation and maintenance of landscaping.

The site is minimally landscaped presently and the proposal includes the installation of new landscaping adjacent to the new addition to meet the requirements of LDR Section 4.6.16; thus, technical review of the landscaping adjacent to the new addition has been found to be compliant the subject Landscape Regulations.

#### **ARCHITECTURAL ELEVATIONS**

**Pursuant to LDR Section 4.6.18(E), Criteria for Board Action, the following criteria shall be considered by the Historic Preservation Board (HPB) in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:**

- 1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.**

2. **The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.**
3. **The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.**

A complete review of the elevations and aesthetics can be found in the Historic Analysis section of this report.

The development proposal is also subject to the requirement for Visual Compatibility pursuant to LDR Section 4.5.1(E)(7) which provides for a specific analysis of the historic exterior of the proposal. The existing structure is a Monterey style and the new structure is Colonial Revival style. The two styles are different but complimentary to one another as they are each wood frame and two-story. The proposal provides for the protection of historic structures within the Old School Square Historic District while also ensuring the longevity of the district through protection of historic resources.

#### **HISTORIC PRESERVATION DISTRICTS AND SITES**

**Pursuant to LDR Section 2.4.6(H)(5), Certificate of Appropriateness – Findings. Prior to approval, a finding must be made that any Certificate of Appropriateness which is to be approved is consistent with Historic Preservation purposes pursuant to Objective A-4 of the Land Use Element of the Comprehensive Plan and specifically with provisions of Section 4.5.1, the Delray Beach Historic Preservation Design Guidelines, and the Secretary of the Interior’s Standards for Rehabilitation.**

In accordance with the above, the previously noted criteria have been analyzed throughout this report.

**Pursuant to LDR Section 4.5.1(E), Development Standards, all new development or exterior improvements on individually designated historic properties and/or properties located within historic districts shall, comply with the goals, objectives, and policies of the Comprehensive Plan, the Delray Beach Historic Preservation Design Guidelines, the Secretary of the Interior’s Standards for Rehabilitation, and the Development Standards of this Section.**

In accordance with the above, the previously noted criteria have been analyzed throughout this report.

**Pursuant to LDR Section 4.5.1(E)(2)(b)2 – Major and Minor development: The subject proposal is classified as Major Development as it is “the construction, reconstruction, or alteration of a building in excess of twenty-five percent (25%) of the existing floor area.”**

In accordance with the above, the subject proposal has been reviewed as a Major Development.

**Pursuant to LDR Section 4.5.1(E)(3)(b)1 – Buildings, Structures, Appurtenances and Parking: Parking areas shall strive to contribute to the historic nature of the properties/districts in which they are located by use of creative design and landscape elements to buffer parking areas from adjacent historic structures. At a minimum, the following criteria shall be considered:**

- a. **Locate parking adjacent to the building or in the rear.**
- b. **Screen parking that can be viewed from a public right-of-way with fencing, landscaping, or a combination of the two.**
- c. **Utilize existing alleys to provide vehicular access to sites.**
- d. **Construct new curb cuts and street side driveways only in areas where they are appropriate or existed historically.**
- e. **Use appropriate materials for driveways.**
- f. **Driveway type and design should convey the historic character of the district and the property.**

The subject proposal complies with the intent of this subject regulation, as all parking is existing and is situated to the rear of the subject property.

**Pursuant to LDR Section 4.5.1(E)(5) – Standards and Guidelines: A historic site, building, structure, improvement, or appurtenance within a historic district shall only be altered, restored, preserved, repaired, relocated, demolished, or otherwise changed in accordance with the Secretary of the Interior's Standards for Rehabilitation, and the Delray Beach Historic Preservation Design Guidelines, as amended from time to time.**

**Standard 1**

**A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.**

**Standard 2**

**The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.**

**Standard 3**

**Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.**

**Standard 4**

**Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.**

**Standard 5**

**Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.**

**Standard 6**

**Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.**

**Standard 7**

**Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.**

**Standard 8**

**Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.**

**Standard 9**

**New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.**

## **Standard 10**

**New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**

In consideration of the applicable Standards noted above, the proposal meets their intent by providing additional office space on the subject property through the relocation and adaptive reuse of a two-story structure that is now joins the existing Monterey House on the site, both are listed to the Local Register of Historic Places.

The newly relocated structure sits in the rear of the property so as not to detract from the street view of the existing Monterey House. No exterior modifications are proposed to the existing structure other than a new canvas breezeway that will provide a connection between the two office buildings on the north side of the site. The proposal meets the intent of the Secretary of the Interior's Standards for Rehabilitation.

**Pursuant to LDR Section 4.5.1(E)(7)(a-m) – Visual Compatibility Standards: new construction and all improvements to both contributing and noncontributing buildings, structures and appurtenances thereto within a designated historic district or on an individually designated property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.1(E)(2) shall be determined by utilizing criteria contained in (a)-(m) below:**

- a. Height:** The height of proposed buildings or modifications shall be visually compatible in comparison or relation to the height of existing structures and buildings in a historic district for all major and minor development. For major development, visual compatibility with respect to the height of residential structures, as defined by 4.5.1(E)(2)(a), shall also be determined through application of the Building Height Plane.
- b. Front Facade Proportion:** The front facade of each building or structure shall be visually compatible with and be in direct relationship to the width of the building and to the height of the front elevation of other existing structures and buildings within the subject historic district.
- c. Proportion of Openings (Windows and Doors):** The openings of any building within a historic district shall be visually compatible with the openings exemplified by prevailing historic architectural styles of similar buildings within the district. The relationship of the width of windows and doors to the height of windows and doors among buildings shall be visually compatible within the subject historic district.
- d. Rhythm of Solids to Voids:** The relationship of solids to voids of a building or structure shall be visually compatible with existing historic buildings or structures within the subject historic district for all development, with particular attention paid to the front facades.
- e. Rhythm of Buildings on Streets:** The relationship of buildings to open space between them and adjoining buildings shall be visually compatible with the relationship between existing historic buildings or structures within the subject historic district.
- f. Rhythm of Entrance and/or Porch Projections:** The relationship of entrances and porch projections to the sidewalks of a building shall be visually compatible with existing



architectural styles of entrances and porch projections on existing historic buildings and structures within the subject historic district for all development.

- g. **Relationship of Materials, Texture, and Color:** The relationship of materials, texture, and color of the facade of a building and/or hardscaping shall be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district.
- h. **Roof Shapes:** The roof shape, including type and slope, of a building or structure shall be visually compatible with the roof shape of existing historic buildings or structures within the subject historic district. The roof shape shall be consistent with the architectural style of the building.
- i. **Walls of Continuity:** Walls, fences, evergreen landscape masses, or building facades, shall form cohesive walls of enclosure along a street to ensure visual compatibility with historic buildings or structures within the subject historic district and the structure to which it is visually related.
- j. **Scale of a Building:** The size of a building and the building mass in relation to open spaces, windows, door openings, balconies, porches, and lot size shall be visually compatible with the building size and mass of historic buildings and structures within a historic district for all development. To determine whether the scale of a building is appropriate, the following shall apply for major development only:
  - a. For buildings wider than sixty percent (60%) of the lot width, a portion of the front façade must be setback a minimum of seven (7) additional feet from the front setback line:
  - b. For buildings deeper than fifty percent (50%) of the lot depth, a portion of each side façade, which is greater than one story high, must be setback a minimum of five (5) additional feet from the side setback line:
- k. **Directional Expression of Front Elevation:** A building shall be visually compatible with the buildings, structures, and sites within a historic district for all development with regard to its directional character, whether vertical or horizontal.
- l. **Architectural Style:** All major and minor development shall consist of only one (1) architectural style per structure or property and not introduce elements definitive of another style.
- m. **Additions to individually designated properties and contributing structures in all historic districts:** Visual compatibility shall be accomplished as follows:
  - 1. Additions shall be located to the rear or least public side of a building and be as inconspicuous as possible.
  - 2. Additions or accessory structures shall not be located in front of the established front wall plane of a historic building.
  - 3. Characteristic features of the original building shall not be destroyed or obscured.
  - 4. Additions shall be designed and constructed so that the basic form and character of the historic building will remain intact if the addition is ever removed.
  - 5. Additions shall not introduce a new architectural style, mimic too closely the style of the existing building nor replicate the original design but shall be coherent in design with the existing building.
  - 6. Additions shall be secondary and subordinate to the main mass of the historic building and shall not overwhelm the original building.

The proposal meets the visual compatibility standards by providing additional office space on the subject property through the relocation and adaptive reuse of a two-story structure that is now joins the existing Monterey House on the site, both are listed to the Local Register of Historic Places. The relocated structure is situated to the rear of the existing Monterey style structure and can be considered appropriate and compatible.

The newly relocated structure sits in the rear of the property so as not to detract from the street view of the existing Monterey House. No exterior modifications are proposed to the existing structure other than a new canvas breezeway that will provide a connection between the two office buildings on the north side of the site. The two structures are similar in scale and mass and are compatible with one another with respect to height, width, mass, scale and façade of the original structure will be minimally affected, safeguarding the structures contribution as an asset to the Old School Square Historic District.

Overall, the proposal has been designed to meet the Visual Compatibility Standards and the requirements for architectural elevations and aesthetics while allowing for the adaptive reuse and conversion of another structure on the subject property for office use. Further, this structure sits at a prominent corner within the middle of the Old School Square Historic District; thus, the proposed updates are considerate to the district by demonstrating compatibility with the built environment. The proposal will maintain a residential appearance and allow for a neighborhood-based use. Based upon the above, the proposal is appropriate and compatible with the requirements for Visual Compatibility.

The applicant has submitted a justification statement, which is attached.

#### **REQUIRED FINDINGS**

**Pursuant to LDR Section 2.4.5(G)(1)(d) (Class IV Site Plan Modification), a Class IV site plan modification is a modification to a site plan which represents either a significant change in the intensity of use or significant changes which affect the spatial relationship among improvements on the land, requiring full review of Performance Standards found in Section 3.1.1. and 3.2.3, as well as required findings of LDR Section 2.4.5(G).**

**Pursuant to LDR Section 2.4.5(G)(5) - Findings. Formal findings for a Class IV modification is subject to the same findings required of a new submittal.**

**Pursuant to LDR Section 2.4.5(F)(5) – Findings. In addition to provisions of Chapter 3, the approving body must make a finding that development of the property as represented by the Class V site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.**

The subject property and its uses currently exist. The proposed changes incorporate a change of use that does intensify the subject property as new habitable space is proposed in the newly relocated 2-story structure. Further discussion and analysis regarding the uses is provided below. Therefore, a positive finding can be made with respect to LDR Section 2.4.5(F)(5) & (G)(5).

#### **LDR SECTION 3.1.1(A) - FUTURE LAND USE MAP**

The subject property has a Land Use Map (LUM) designation of OMU (Other Mixed Use) and a zoning designation of OSSHAD (Old School Square Historic Arts District). The zoning district is consistent with the Land Use Map designation. The proposed commercial office is permitted. Positive findings can be made with respect to Future Land Use Map consistency

#### **LDR SECTION 3.1.1(B) - CONCURRENCY**

As described in Appendix “A”, a positive finding of concurrency can be made as it relates to water and sewer, streets and traffic, drainage, and solid waste.

#### **LDR SECTION 3.1.1(C) - CONSISTENCY**

As described in Appendix “B”, a positive finding of Consistency can be made as it relates to Standards for Site Plan Actions (LDR Section 3.2.3).

### **LDR SECTION 3.1.1(D) - COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS**

As described under the Site Plan Analysis section of this report, a positive finding of compliance with the LDRs can be made.

### **COMPREHENSIVE PLAN POLICIES**

A review of the objectives and policies of the adopted Comprehensive Plan was conducted, and the following applicable objectives or policies are noted:

**Pursuant to the Historic Preservation Element (HPE), Objective 1.4, Historic Preservation Planning: Implement appropriate and compatible design and planning strategies for historic sites and properties within historic districts.**

The objective shall be met through continued adherence to the City's Historic Preservation Ordinance and, where applicable, to architectural design guidelines through the following policies:

#### **HPE Policy 1.4.1**

**Continue to require that the Historic Preservation Board make findings that any land use or development application for a historic structure, site or within a historic district, is consistent with the provisions of the Secretary of the Interior's Standards for Rehabilitation, the Land Development Regulations, and Delray Beach Historic Preservation Design Guidelines.**

The development proposal involves establishing additional professional office space through the conversion of a recently relocated single-family residence on the subject property. The conversion can be found to be an appropriate intensity and density for the site. Parking exists on the west side of the site to meet the requirements of the code as generated by the additional office space. There are no concerns with respect to soil, topographic or other physical considerations. With respect to the adjacent land uses, the property is in an area surrounded by a mix of residential and office uses. The property is zoned for both residential and business/professional office use. The proposed improvements demonstrate the investment the property owner is making to support the historic fabric of the community. Further, the office-based use is appropriate and assists in the maintenance and protection of the historic district. A complete review of LDR Section 4.5.1 and the Delray Beach Design Guidelines was conducted, and the proposal can be found to be in compliance.

### **REVIEW BY OTHERS**

At the meeting of July 13, 2020, the **Downtown Development Authority (DDA)** reviewed the development proposal and recommended approval based on the resubmittal of the parking agreement.

### **OPTIONAL BOARD MOTIONS FOR ACTION ITEMS**

- A. Move to continue with direction
- B. Approve Certificate of Appropriateness (2020-188), request for the property located at **20 & 22 North Swinton Avenue, Old School Square Historic District** by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations.
- C. Approve Certificate of Appropriateness (2020-188), requests for the property located at **20 & 22 North Swinton Avenue, Old School Square Historic District** by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations subject to the following conditions:
  - 1. That either the site plan or traffic approval is revised to correctly reflect the proposed building square foot calculations.

**Site Plan Technical Items:**

1. Correct the required, existing, and provided Open Space calculations in the Site Data Chart on plan sheet AS-102;
2. That square foot calculations for the existing and new structures be updated; and,
3. That the parking requirements and calculations be updated on the site data chart to indicate that 15 parking spaces are required.

D. Deny Certificate of Appropriateness (2020-188), requests for the property located at **20 & 22 North Swinton Avenue, Old School Square Historic District**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in the Land Development Regulations.

**PUBLIC AND COURTESY NOTICES**

☒ Courtesy Notices are not applicable to this request.

☒ Agenda was posted on (9/30/20), 5 working days prior to meeting.

## APPENDIX "A" CONCURRENCY FINDINGS

**Pursuant to LDR Section 3.1.1(B), Concurrency, as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan, must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:**

### Water and Sewer:

Water and sewer services are existing on site. Pursuant to the Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South-Central County Waste Water Treatment Plant for the City at build-out. Based upon the above, positive findings can be made with respect to this level of service standard.

### Drainage:

Drainage and water run-off will be addressed through the on-site retention. There should be no impact on drainage as it relates to this level of service standard.

### Traffic:

The applicant has provided a traffic statement stating the 4,391 square foot office (2,747 sq. ft. existing and 1,644 sq. ft. new) will generate 24 New Daily Trips and it is not anticipated to significantly affect traffic circulation nor cause negative impacts upon the surrounding area. Palm Beach County Traffic Engineering Division provided an approval letter stating the project will not have significant peak hour traffic impact on the roadway network and, therefore, meets the Traffic Performance Standards of Palm Beach County. It is noted that the site plan drawings indicate the building area to be 4,540 square feet, which does not match the square foot calculation approved by Palm Beach County. An added condition of approval is that either the site plan or traffic approval is revised to correctly reflect the proposed building square foot calculations.

### Parks and Recreation:

Non-residential uses are not considered to have an impact on the City's Parks and Recreation facilities.

### Solid Waste:

A total of 4,540 square feet of office use will exist on the subject property and (2747 sq. ft. existing and 1,793 sq. ft. new) will generate a total of 12.25 tons of solid waste per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to handle all development proposals until the year 2046, thus a positive finding with respect to this level of service standard can be made.

### Schools:

School concurrency findings do not apply for non-residential uses. Thus, the proposed development will not have an impact with respect to this level of service standard.



**APPENDIX "B"**  
**CONSISTENCY FINDINGS & STANDARDS FOR SITE PLAN ACTIONS**

- A. Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists, and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

- D. The City shall evaluate the effect that any street widening, or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.**

Not applicable   X    
Meets intent of standard \_\_\_\_\_  
Does not meet intent \_\_\_\_\_

- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.**

Not applicable   X    
Meets intent of standard \_\_\_\_\_  
Does not meet intent \_\_\_\_\_

- F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

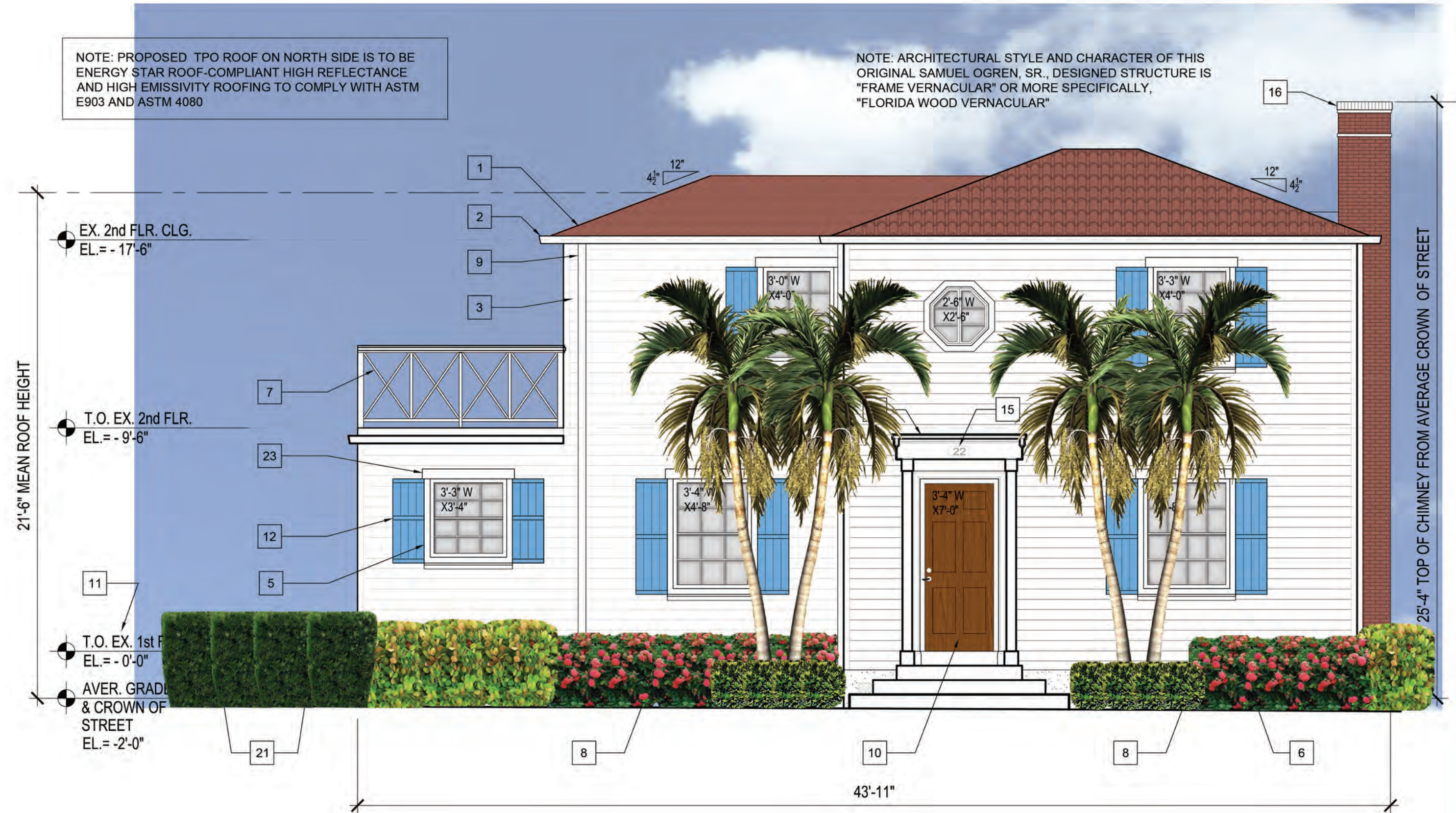
- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile, and meet the housing needs identified in the Housing Element. This shall**







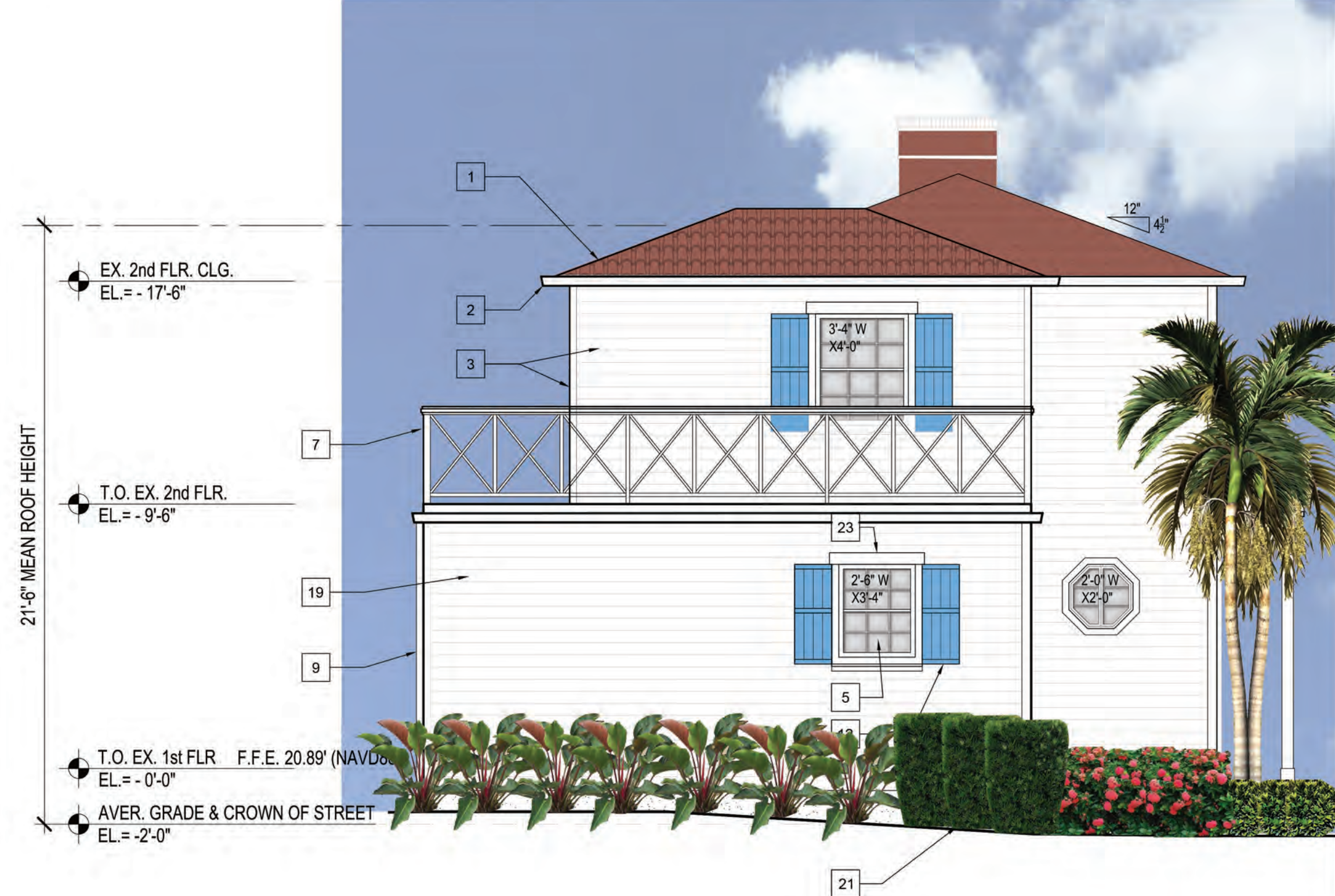
**2 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

- KEY NOTES ELEVATIONS**
- 1 TILE ROOF
  - 2 POWDER COATED ALUMINUM GUTTER (TYP.)
  - 3 HORIZONTAL WOOD SIDING (SHIPLAP) WITH WOOD TRIM AT THE CORNERS
  - 4 BRICK CHIMNEY
  - 5 WINDOWS WITH WOODEN SURROUNDS AND SILLS
  - 6 RAISED, CONTINUOUS BLOCK WALL BASE WITH STUCCO FINISH
  - 7 DECORATIVE RAILING
  - 8 8"x16" OPENINGS IN 2ND COURSE FROM TOP FOR CRAWL SPACE VENTILATION. COVER OPENINGS W/ GALV. WIRE MESH BUG SCREENS. UTILIZE LOCATION WHERE BLOCK WAS TEMPORARILY LEFT OUT FOR TEMPORARY BEAMS USED TO MOVE HOUSE (FIELD VERIFY)
  - 9 DOWNSPOUT (POWDER COATED ALUMINUM DOWNSPOUT)
  - 10 EXISTING DOOR
  - 11 FINISHED FLOOR ELEVATION
  - 12 NEW BOARD AND BATTEN SHUTTERS, TYPICAL
  - 13 WOOD DECK
  - 14 WOOD RAMP
  - 15 ADDRESS SIGNAGE
  - 16 RECONSTRUCT TOP OF CHIMNEY TO ORIGINAL CONDITION - REUSE SAVED BRICK
  - 17 DECORATIVE WALL MOUNTED LIGHT FIXTURE
  - 18 HARDWARE OF THIS DOOR ASSEMBLY TO BE REMOVED AND DOOR TO BE PERMANENTLY CLOSED
  - 19 EXTERIOR PAINT COLOR OPTIONS (ALL COLORS BELOW ARE BY BENJAMIN MOORE. (FINAL COLORS TO BE DETERMINED BY CITY STAFF AND THE HISTORIC PRESERVATION BOARD):  
HC-4 HAWTHORNE YELLOW  
796 NOVA SCOTIA BLUE  
HC-135 LAFAYETTE GREEN (SHUTTERS)  
HC-174 LANCASTER WHITEWASH  
NEW IMPACT RATED WINDOW ASSEMBLY WITH CLEAR, NON-REFLECTIVE GLASS, WOODEN SURROUNDS, TRIM, AND SHUTTERS  
AC CONDENSER ON 3'x3' CONC. PAD (TO BE SCREENED BY LANDSCAPE BUFFER)
  - 20 EXTERIOR COVERED PORCH TO BE RE-INSTALLED AND RESTORED TO ORIGINAL CONDITION
  - 21 ALL MOLDINGS SHALL EXTEND A MINIMUM OF 2" FROM THE SURFACE PLANE OF THE BUILDING WALL
  - 22
  - 23

**5 KEY NOTES**

REV	DATE	DESCRIPTION

DESIGN  
DELIVERABLE: SITE PLAN APPLICATION  
ISSUE DATE: 04/24/2020

PROJECT NUMBER: 1552-191106  
DRAWN BY: OV  
CHECKED BY: MS

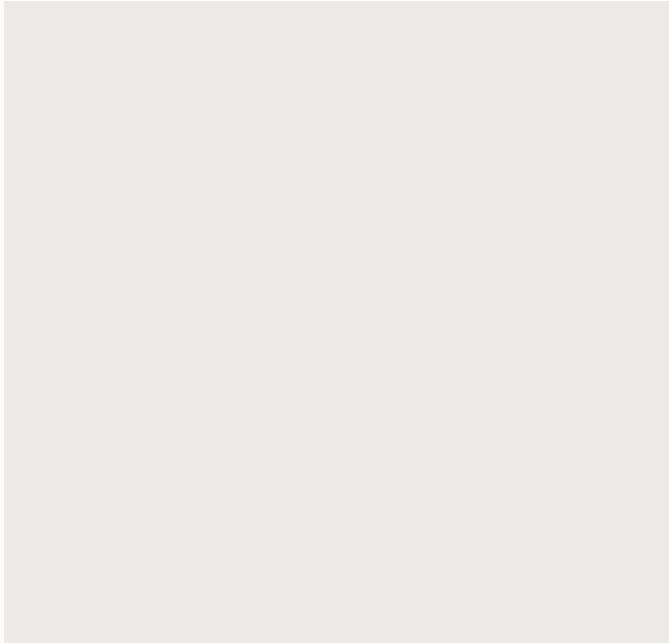
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All Rights Reserved.

SHEET TITLE:  
**PROPOSED BUILDING ELEVATIONS**

SHEET NUMBER:  
**A-201**



**Sherwin Williams**  
**Snowbound**  
**#SW 7004**



**Sherwin Williams**  
**Regale Blue**  
**#SW 6801**



## Contemporary Tier in Valencia 59" Hogh Relic Nebbia Fountain



### PRODUCT DETAILS

Handcrafted in the USA, this large outdoor fountain sits in a wide water pool.

#### Additional Info:

In rich relic nebbia, this three-tiered outdoor floor water fountain creates a sense of style in your garden or courtyard. From Henri Studio, it boasts three sleek tiers that cascade water and create a lovely tinkling tone. Over five feet wide for dramatic presence, the fountain arrives with a pump and connections for immediate enjoyment. Made in the USA.

- 59" high x 64" wide. Weighs 734 lbs.
- Traditional three-tiered outdoor floor water fountain in Valencia pool.
- Made in the U.S.A. by Henri Studio. Custom made-to-order, please allow extra time for delivery.
- Relic nebbia finish. Cast stone construction. Because the design is handcrafted from natural material, each may vary slightly in color and pattern. Finish variation chart available upon request.
- Includes pump and connections. Ships in multiple sections, assembly needed.



RIPLEY COLLECTION

Ripley™ 1 Light Wall Light Olde Bronze®  
49060OZ (Olde Bronze)



Project Name: \_\_\_\_\_  
Location: \_\_\_\_\_  
Type: \_\_\_\_\_  
Qty: \_\_\_\_\_  
Comments: \_\_\_\_\_

Certifications/Qualifications

Dark Sky Compliant	Yes
Location Rating	Wet
<a href="http://www.kichler.com/warranty">www.kichler.com/warranty</a>	

Dimensions

Base Backplate	5.87 DIA
Extension	11.25"
Weight	1.00 LBS
Height from center of Wall opening (Spec Sheet)	3.00"
Height	9.00"
Width	10.00"

Mounting/Installation

Interior/Exterior	Exterior
Mounting Style	Wall Mount

Primary Lamping

Lamp Included	Not Included
Lamp Type	R14FL
Light Source	Incandescent
Max or Nominal Watt	40W
# of Bulbs/LED Modules	1
Socket Type	Medium
Socket Wire	150

Product/Ordering Information

SKU	49060OZ
Patent	US Patent Pending
Finish	Bronze
Style	Lodge / Country
UPC	783927301091

Specifications

Material	ALUMINUM
----------	----------

Additional Finishes



Olde Bronze

Kichler  
7711 East Pleasant Valley Road Cleveland, Ohio 44131-8010  
Toll free: 866.558.5706 or [kichler.com](http://kichler.com)

Notes:  
1) Information provided is subject to change without notice.  
All values are design or typical values when measured under laboratory conditions.  
2) Incandescent Equivalent: The incandescent equivalent as presented is an approximate number and is for reference only.

KICHLER®

# LIGHTOLIER

by @signify

## Downlighting

EasyLyte

Z4RDL 4" Round Aperture



Adaptable, and flexible for your changing project needs. It is your best choice without sacrificing ease of installation or product quality.

Project: \_\_\_\_\_

Location: \_\_\_\_\_

Cat.No: \_\_\_\_\_

Type: \_\_\_\_\_

Lamps: \_\_\_\_\_ Qty: \_\_\_\_\_

Notes: \_\_\_\_\_

### Frame

(frame + trim = complete product)

example: 4RN

Series	Aperture	Installation	Options
<b>4</b> 4-inch Non-IC	<b>R</b> Round	<b>N</b> New construction (Non-IC) <b>R</b> Remodeler (Non-IC) <b>A</b> AirSeal (IC) <sup>1</sup>	<b>—</b> Universal 120/277V (specify for Power Over Ethernet) <b>LC</b> Chicago Plenum <sup>2</sup> <b>EM</b> Emergency <sup>2,4</sup> <b>3</b> 347V (not compatible with ELV dimming) <b>3IP</b> 347V with Interact Pro (for use with 0-10V engines only) <sup>2,3</sup> <b>IP</b> Interact Pro (for use with 0-10V engines only) <sup>2,3</sup>

### Trim

example: Z4RDL20835WOCZ10U

Series	Lumen	CRI/CCT	Beam	Style	Reflector	Dimming	Voltage
<b>Z4RDL</b> EasyLyte 4-inch Round	<b>05</b> 500lm <b>10</b> 1000lm <b>15</b> 1500lm <b>20</b> 2000lm <b>25</b> 2500lm	<b>827</b> 80CRI / 2700K <b>830</b> 80CRI / 3000K <b>835</b> 80CRI / 3500K <b>840</b> 80CRI / 4000K	<b>W</b> Wide	<b>O</b> Open <b>S</b> Step baffle	<b>CD</b> Clear diffuse (applied finish) <b>BK</b> Black (matte) <b>WH</b> White (matte) <b>DB</b> Dark Bronze	<b>Z10</b> 0-10V 1% <b>L</b> Lutron LDE1 EcoSystem (fade-to-black) <b>E</b> ELV <sup>5</sup> <b>P</b> Power over Ethernet (PoE) Only compatible with 1000 (10) to 2500 (25) lumen options	<b>U</b> Universal 120/277/347V <b>1</b> 120V <b>E</b> Ethernet 48V DC Only compatible with 1000 (10) to 2500 (25) lumen options

1. There is a 2000lm (20) limit with 4" (4RA) IC housings.

2. Interact Pro (IP), Emergency (EM) and Chicago Plenum (LC) are only available with New construction (N) installs.

3. Integral Interact Pro RF sensor enables network lighting control; to be specified with 0-10V light engines only.

4. Emergency (EM) frame comes with emergency battery pack and ceiling mountable test switch.

5. ELV (E) dimming is only compatible with 1000lm (10), 1500lm (15), 2000lm (20) configurations.

Note: Consult factory for additional dimming options.

Reflector mounted test switch requires above ceiling access and 1.25" max ceiling thickness for downlight only. See LED-EM spec sheet for more details.



interact  
ready.

# Z4RDL EasyLyte 4"

## Round Downlight

### Features

#### Optics

- Provides a 70° cutoff (physical and reflected)
- Wide beam distribution for general illumination
- Spun aluminum outer reflector with integral flange painted white
- Injection molded plastic trim inserts in splay and baffle options
- Reflectors available in painted clear diffuse, white, black and dark bronze

#### Quality of light

- Lumen Maintenance: L70 at 60,000 hours
- Color consistency: 3 SDCM
- 80 CRI minimum

### Construction (New Construction)

- Galvanized stamped steel for dry / plaster ceilings.
- Pre-installed telescoping mounting bars (13" - 24")
- Frame accommodates C- channel, black iron, and 3/4" EMT for mounting distances greater than 24" between joists.
- Manufactured from 20 gage galvanized steel construction with rolled edge aperture to guide cutting tools for perfect hole cutting.

**Max ceiling thickness is 1.5" (38 mm). Including PoE frame 4.88" (124 mm).**

### Patented install Mounting frame

- Pre-installed mounting bars allow for fast and tool-less install into T-grid and hat channel ceilings
- Close-cut aperture design eliminates an undesired gap between ceiling material and reflector.
- Simple plug-and-play connection between frame and light engine from below the ceiling allows for:
  - Easy upgrades
  - Technology changes
  - Repairs and troubleshooting

### Dimming

- Advance 0-10V 1% dimming
- Lutron Hi-lume EcoSystem H Series 1% dimming

### Interact Pro (IAP)

- Interact Pro brings the power of connected lighting to small and medium businesses without the complexity usually associated with connected lighting.
- Interact Pro includes an app, a portal and a broad portfolio of wireless Luminaires, lamps and retrofit kits all working on the same system.
- Commissioning via Interact Pro App (Android or iPhone)
- Prepare commissioning remotely via Interact Pro portal
- Requires compatible Interact Pro Gateway and internet connectivity for commissioning
- Compatible with UID8451/10 ZigBee Greenpower wireless dimmer switch
- Compatible with wireless Occ sensor (OCC SENSOR IA CM IP42 WH 10/1) or wireless Day/Occ sensor (OCC MULTI SENSOR IA CM WH 10/1)
- For more information on Interact Pro visit: [www.interact-lighting.com/pro](http://www.interact-lighting.com/pro)
- For more information on Interact Ready visit: [www.philips.com/interactready](http://www.philips.com/interactready)

### Power over Ethernet

**Powered via Philips PoE lighting controller:** complies with FCC rules per Title 47 part 15 (Class A) for EMI / RFI (conducted & radiated). PoE lighting controller accessible from below ceiling.

**Rated life:** 60,000 hrs at 70% lumen maintenance based on IES LM-80-08 and TM-21-11.

### ENERGY STAR® exceptions

- 500lm configurations
- Black & Dark bronze finishes
- Power Over Ethernet drivers

### Labels and Listings

- cULus listed for wet location
- ENERGY STAR® certified
- RoHS certified

### Warranty



5 year limited warranty  
Visit [Signify.com/warranties](http://Signify.com/warranties) for more information on Signify's standard 5-year limited warranty on complete luminaire systems.

### Electrical

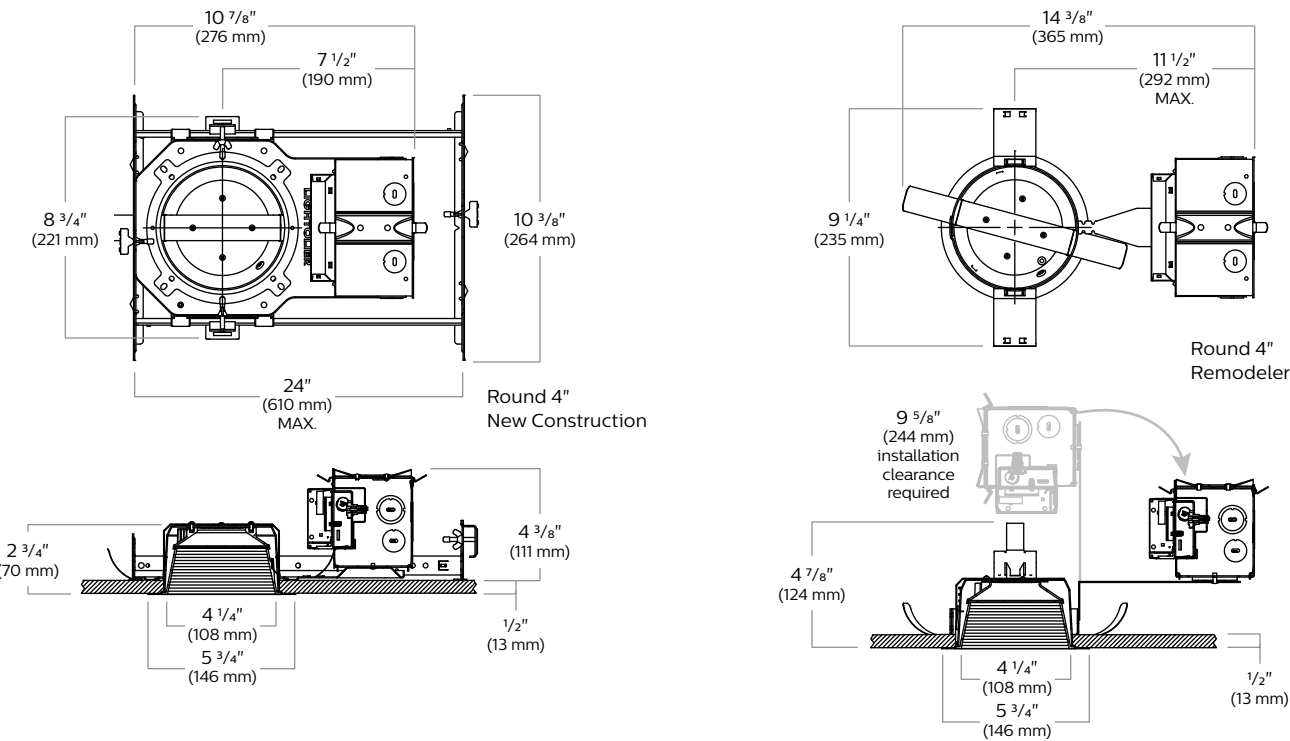
All have an input frequency of 50/60Hz

Light engine	Input volts	Input current	Input power
P4•05•Z10U	120 V	0.06 A	7 W
	277 V	0.03 A	7 W
P4•10•Z10U	120 V	0.12 A	11 W
	277 V	0.04 A	10 W
P4•15•Z10U	120 V	0.13 A	15 W
	277 V	0.06 A	16 W
P4•20•Z10U	120 V	0.18 A	21 W
	277 V	0.08 A	21 W
P4•25•Z10U	120 V	0.22 A	26 W
	277 V	0.10 A	27 W

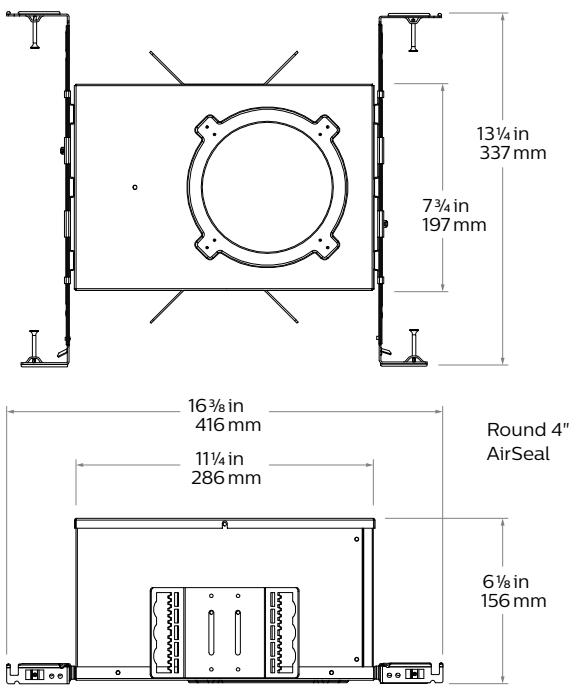
# Z4RDL EasyLyte 4"

## Round Downlight

### Dimensions



### AirSeal (A)

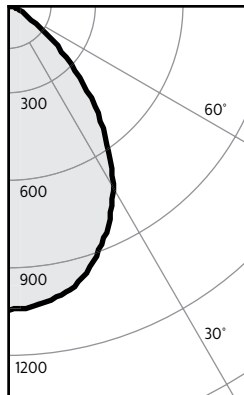


# Z4RDL EasyLyte 4"

## Round Downlight

### Z4RDL20835WOBKZ10U • 20W LED, 80 CRI, 3500 K

#### Candela Curves



#### Report<sup>1</sup>: 1592GFR

Output lumens:	1443 lms	Efficacy:	72.1lm/w
Spacing Criterion:	1.1	CCT <sup>3</sup> :	3500 K
Beam Angle:	75°	CRI:	80 min
Input Watts <sup>2</sup> :	20.0 W		

Angle	Mean CP	Lumens
0	1042	98
5	1032	
10	1008	
15	965	270
20	892	
25	809	370
30	705	
35	584	362
40	450	
45	317	244
50	192	
55	92	87
60	32	
65	5	9
70	2	
75	1	1
80	0	
85	0	0
90	0	

#### Single unit data

Height to Lighted Plane	Initial center beam foot-candles	Beam dia. (ft)*
5'	42	5.5'
6'	29	6.6'
7'	21	7.7'
8'	16	8.8'
9'	13	9.9'

\* Beam diameter is where foot-candles drop to 50% of maximum.

#### Multiple unit data - RCR 2

Spacing on center	Initial center beam foot-candles	Watts per sq.ft.
5'		0.89
6'		0.58
7'		0.42
8'		0.35
9'		0.28

38"x38"x10' Room, Workplane 2.5' above floor, 80/50/20% Reflectances

#### Coefficients of utilization

Ceiling	80%				70%		50%		30%		0%	
Wall	70	50	30	10	50	10	50	10	50	10	0	
RCR	Zonal cavity method - Effective floor reflectance = 20%											
Room Cavity Ratio	0	119	119	119	119	116	116	111	111	106	106	100
	1	113	109	107	104	107	102	103	99	99	96	92
	2	106	100	96	92	98	91	95	89	92	87	83
	3	99	92	86	81	90	81	88	79	85	78	75
	4	93	84	78	73	83	72	81	72	79	71	68
	5	87	78	71	66	77	65	75	65	73	64	62
	6	82	72	65	60	71	59	69	59	68	58	56
	7	77	66	59	54	65	54	64	54	63	54	52
	8	72	61	55	50	61	50	60	49	59	49	47
	9	68	57	50	46	57	46	56	46	55	45	44
10	65	53	47	42	53	42	52	42	51	42	40	

#### Zonal lumens & percentages

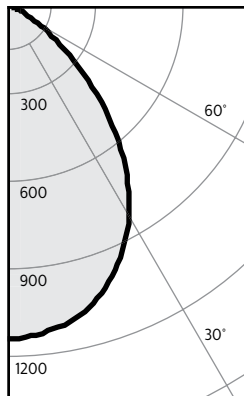
Zone	Lumens	%Luminaire
0-30	738	51.2%
0-40	1100	76.3%
0-60	1431	99.2%
0-90	1443	100.0%

#### Adjustment factors

2500lm	125%
2000lm	100%
1500lm	74%
1000lm	52%
500lm	34%

### Z4RDL20835WOCZ10U • 20W LED, 80 CRI, 3500 K

#### Candela Curves



#### Report<sup>1</sup>: 1590GFR

Output lumens:	1868 lms	Efficacy:	93.4lm/w
Spacing Criterion:	1.1	CCT <sup>3</sup> :	3500 K
Beam Angle:	80°	CRI:	80 min
Input Watts <sup>2</sup> :	20.0 W		

Angle	Mean CP	Lumens
0	1136	107
5	1127	
10	1106	
15	1067	300
20	1002	
25	926	424
30	827	
35	707	439
40	570	
45	429	330
50	294	
55	181	166
60	106	
65	64	67
70	43	
75	27	29
80	15	
85	6	7
90	0	

#### Single unit data

Height to Lighted Plane	Initial center beam foot-candles	Beam dia. (ft)*
5'	45	5.5'
6'	32	6.6'
7'	23	7.7'
8'	18	8.8'
9'	14	9.9'

\* Beam diameter is where foot-candles drop to 50% of maximum.

#### Multiple unit data - RCR 2

Spacing on center	Initial center beam foot-candles	Watts per sq.ft.
5'		0.89
6'		0.58
7'		0.42
8'		0.35
9'		0.28

38"x38"x10' Room, Workplane 2.5' above floor, 80/50/20% Reflectances

#### Coefficients of utilization

Ceiling	80%				70%		50%		30%		0%	
Wall	70	50	30	10	50	10	50	10	50	10	0	
RCR	Zonal cavity method - Effective floor reflectance = 20%											
Room Cavity Ratio	0	119	119	119	119	116	116	111	111	106	106	100
	1	112	108	105	102	106	101	102	97	98	94	90
	2	104	98	93	88	96	87	93	85	90	83	80
	3	97	89	82	77	87	77	84	75	82	74	71
	4	90	81	74	68	79	68	77	67	75	66	63
	5	84	74	66	61	73	61	71	60	69	59	57
	6	79	68	60	55	67	55	65	54	64	54	52
	7	74	62	55	50	61	49	60	49	59	49	47
	8	69	58	50	45	57	45	56	45	55	45	43
	9	65	53	46	41	53	41	52	41	51	41	39
10	61	50	43	38	49	38	48	38	47	38	36	

#### Zonal lumens & percentages

Zone	Lumens	%Luminaire
0-30	831	44.5%
0-40	1269	67.9%
0-60	1766	94.5%
0-90	1868	100.0%

#### Adjustment factors

2500lm	125%
2000lm	100%
1500lm	74%
1000lm	52%
500lm	34%

1. Tested using absolute photometry as specified in LM79: IESNA Approved Method for the Electrical and Photometric Measurements of Solid-State Lighting Products.
2. Wattage: controlled to within 5%
3. Correlated Color Temperature: within specs as defined in ANSI\_NEMA\_ANSI C78.377-2008: Specifications for the Chromaticity of Solid State Lighting Products.

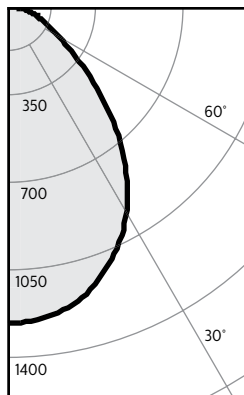


# Z4RDL EasyLyte 4"

## Round Downlight

### Z4RDL20835WOWHZ10U • 20W LED, 80 CRI, 3500 K

#### Candela Curves



Angle	Mean CP	Lumens
0	1259	
5	1249	
10	1225	
15	1183	332
20	1114	
25	1034	474
30	932	
35	810	503
40	672	
45	533	410
50	399	
55	287	261
60	210	
65	159	160
70	122	
75	87	92
80	54	
85	25	28
90	0	

#### Single unit data

Height to Lighted Plane	Initial center beam foot-candles	Beam dia. (ft)*
5'	50	5.5'
6'	35	6.6'
7'	26	7.7'
8'	20	8.8'
9'	16	9.9'

\* Beam diameter is where foot-candles drop to 50% of maximum.

#### Multiple unit data - RCR 2

Spacing on center	Initial center beam foot-candles	Watts per sq.ft.
5'		0.89
6'		0.58
7'		0.42
8'		0.35
9'		0.28

38"x38"x10' Room, Workplane 2.5' above floor, 80/50/20% Reflectances

#### Coefficients of utilization

Ceiling		80%				70%		50%		30%		0%
Wall		70	50	30	10	50	10	50	10	50	10	0
RCR		Zonal cavity method - Effective floor reflectance = 20%										
Room Cavity Ratio	0	119	119	119	119	116	116	111	111	106	106	100
	1	110	106	103	100	104	98	100	95	96	92	87
	2	102	95	89	84	93	83	90	81	87	80	76
	3	94	85	78	73	84	72	81	71	78	70	66
	4	87	77	69	63	76	63	73	62	71	61	59
	5	81	70	62	56	69	56	67	55	65	55	52
	6	76	64	56	50	63	50	61	49	59	49	47
	7	71	58	50	45	58	45	56	44	55	44	42
	8	66	54	46	41	53	41	52	40	51	40	38
	9	62	50	42	37	49	37	48	37	47	37	35
10	58	46	39	34	46	34	45	34	44	34	32	

#### Zonal lumens & percentages

Zone	Lumens	%Luminaire
0-30	925	38.9%
0-40	1428	60.0%
0-60	2099	88.2%
0-90	2379	100.0%

#### Adjustment factors

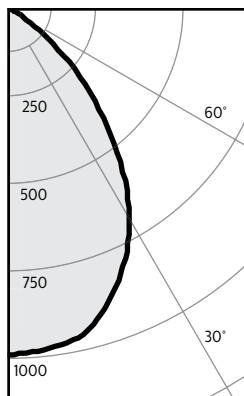
2500lm	125%
2000lm	100%
1500lm	74%
1000lm	52%
500lm	34%

#### Report<sup>1</sup>: 1588GFR

Output lumens:	2379 lms	Efficacy:	118.9 lm/w
Spacing Criterion:	1.1	CCT <sup>3</sup> :	3500 K
Beam Angle:	83°	CRI:	80 min
Input Watts <sup>2</sup> :	20.0 W		

### Z4RDL20835WSBKZ10U • 20W LED, 80 CRI, 3500 K

#### Candela Curves



Angle	Mean CP	Lumens
0	984	
5	978	
10	965	
15	931	261
20	865	
25	787	360
30	688	
35	570	353
40	439	
45	309	238
50	188	
55	91	87
60	33	
65	8	11
70	3	
75	1	1
80	0	
85	0	0
90	0	

#### Single unit data

Height to Lighted Plane	Initial center beam foot-candles	Beam dia. (ft)*
5'	39	5.5'
6'	27	6.6'
7'	20	7.7'
8'	15	8.8'
9'	12	9.9'

\* Beam diameter is where foot-candles drop to 50% of maximum.

#### Multiple unit data - RCR 2

Spacing on center	Initial center beam foot-candles	Watts per sq.ft.
5'		0.89
6'		0.58
7'		0.42
8'		0.35
9'		0.28

38"x38"x10' Room, Workplane 2.5' above floor, 80/50/20% Reflectances

#### Coefficients of utilization

Ceiling	80%				70%		50%		30%		0%	
Wall	70	50	30	10	50	10	50	10	50	10	0	
RCR	Zonal cavity method - Effective floor reflectance = 20%											
Room Cavity Ratio	0	119	119	119	119	116	116	111	111	106	106	100
	1	113	109	107	104	107	102	103	99	99	96	92
	2	106	100	95	92	98	91	95	89	92	87	83
	3	99	92	86	81	90	81	88	79	85	78	75
	4	93	84	78	73	83	72	81	71	79	71	68
	5	87	77	71	66	76	65	74	65	73	64	62
	6	82	71	64	59	71	59	69	59	67	58	56
	7	77	66	59	54	65	54	64	54	63	53	51
	8	72	61	54	50	61	49	59	49	58	49	47
	9	68	57	50	46	56	46	55	45	54	45	43
10	64	53	47	42	53	42	52	42	51	42	40	

#### Zonal lumens & percentages

Zone	Lumens	%Luminaire
0-30	714	50.8%
0-40	1067	76.0%
0-60	1391	99.1%
0-90	1404	100.0%

#### Adjustment factors

2500lm	125%
2000lm	100%
1500lm	74%
1000lm	52%
500lm	34%

#### Report<sup>1</sup>: 1593GFR

Output lumens:	1404 lms	Efficacy:	70.2 lm/w
Spacing Criterion:	1.1	CCT <sup>3</sup> :	3500 K
Beam Angle:	76°	CRI:	80 min
Input Watts <sup>2</sup> :	20.0 W		

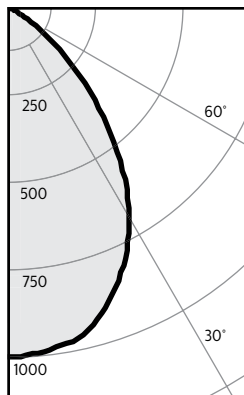
1. Tested using absolute photometry as specified in LM79: IESNA Approved Method for the Electrical and Photometric Measurements of Solid-State Lighting Products.
2. Wattage: controlled to within 5%
3. Correlated Color Temperature: within specs as defined in ANSI\_NEMA\_ANSI C78.377-2008: Specifications for the Chromaticity of Solid State Lighting Products.

# Z4RDL EasyLyte 4"

## Round Downlight

### Z4RDL20835WSDBZ10U • 20W LED, 80 CRI, 3500 K

#### Candela Curves



#### Report<sup>1</sup>: 1591GFR

Output lumens:	1422 lms	Efficacy:	71.1 lm/w
Spacing Criterion:	1.1	CCT <sup>3</sup> :	3500 K
Beam Angle:	76°	CRI:	80 min
Input Watts <sup>2</sup> :	20.0 W		

Angle	Mean CP	Lumens
0	995	100
5	986	
10		
15	939	266
20		
25	790	366
30		
35	570	358
40		
45	312	242
50		
55	97	87
60		
65	13	13
70		
75	5	6
80		
85	1	1
90	0	

#### Single unit data

Height to Lighted Plane	Initial center beam foot-candles	Beam dia. (ft)*
5'	50	5.5'
6'	35	6.6'
7'	26	7.7'
8'	20	8.8'
9'	16	9.9'

\* Beam diameter is where foot-candles drop to 50% of maximum.

#### Multiple unit data - RCR 2

Spacing on center	Initial center beam foot-candles	Watts per sq.ft.
5'		0.89
6'		0.58
7'		0.42
8'		0.35
9'		0.28

38'x38'x10' Room, Workplane 2.5' above floor, 80/50/20% Reflectances

#### Coefficients of utilization

Ceiling		80%				70%		50%		30%		0%
Wall		70	50	30	10	50	10	50	10	50	10	0
RCR		Zonal cavity method - Effective floor reflectance = 20%										
Room Cavity Ratio	0	119	119	119	119	116	116	111	111	106	106	100
	1	112	109	106	104	107	102	103	99	99	96	91
	2	106	100	95	91	98	90	95	88	92	86	83
	3	99	91	86	81	90	80	87	79	85	78	75
	4	93	84	77	72	83	72	80	71	78	70	67
	5	87	77	70	65	76	65	74	64	72	64	61
	6	81	71	64	59	70	59	69	58	67	58	56
	7	77	66	59	54	65	54	64	53	62	53	51
	8	72	61	54	49	60	49	59	49	58	49	47
	9	68	57	50	45	56	45	55	45	54	45	43
10	64	53	46	42	52	42	52	42	51	41	40	

#### Zonal lumens & percentages

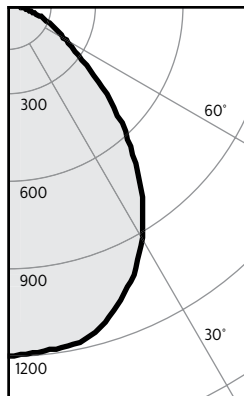
Zone	Lumens	%Luminaire
0-30	717	50.4%
0-40	1070	75.3%
0-60	1399	98.4%
0-90	1422	100.0%

#### Adjustment factors

2500lm	125%
2000lm	100%
1500lm	74%
1000lm	52%
500lm	34%

### Z4RDL20835WSWHZ10U • 20W LED, 80 CRI, 3500 K

#### Candela Curves



#### Report<sup>1</sup>: 1589GFR

Output lumens:	2361 lms	Efficacy:	118.0 lm/w
Spacing Criterion:	1.2	CCT <sup>3</sup> :	3500 K
Beam Angle:	85°	CRI:	80 min
Input Watts <sup>2</sup> :	20.0 W		

Angle	Mean CP	Lumens
0	1192	113
5	1186	
10	1177	
15	1150	323
20	1087	
25	1011	164
30	913	
35	795	495
40	664	
45	531	409
50	402	
55	294	268
60	220	
65	168	168
70	127	
75	88	94
80	54	
85	25	28
90	0	

#### Single unit data

Height to Lighted Plane	Initial center beam foot-candles	Beam dia. (ft)*
5'	48	6.0'
6'	33	7.2'
7'	24	8.4'
8'	19	9.6'
9'	15	10.8'

\* Beam diameter is where foot-candles drop to 50% of maximum.

#### Multiple unit data - RCR 2

Spacing on center	Initial center beam foot-candles	Watts per sq.ft.
5'		0.89
6'		0.58
7'		0.42
8'		0.35
9'		0.28

38'x38'x10' Room, Workplane 2.5' above floor, 80/50/20% Reflectances

#### Coefficients of utilization

Ceiling	80%				70%		50%		30%		0%	
Wall	70	50	30	10	50	10	50	10	50	10	0	
RCR	Zonal cavity method - Effective floor reflectance = 20%											
Room Cavity Ratio	0	119	119	119	119	116	116	111	111	106	106	100
	1	110	106	103	99	104	98	100	95	96	92	87
	2	102	95	89	84	93	83	89	81	86	79	76
	3	94	85	78	72	83	71	81	70	78	69	66
	4	87	77	69	63	75	62	73	62	71	61	58
	5	81	69	61	55	68	55	66	55	64	54	51
	6	75	63	55	49	62	49	61	49	59	48	46
	7	70	58	50	44	57	44	56	44	54	44	41
	8	66	53	45	40	53	40	51	40	50	40	38
	9	62	49	42	37	49	36	48	36	47	36	34
10	58	46	38	34	45	33	44	33	43	33	31	

#### Zonal lumens & percentages

Zone	Lumens	%Luminaire
0-30	899	38.1%
0-40	1394	59.1%
0-60	2071	87.7%
0-90	2361	100.0%

#### Adjustment factors

2500lm	125%
2000lm	100%
1500lm	74%
1000lm	52%
500lm	34%

1. Tested using absolute photometry as specified in LM79: IESNA Approved Method for the Electrical and Photometric Measurements of Solid-State Lighting Products.
2. Wattage: controlled to within 5%
3. Correlated Color Temperature: within specs as defined in ANSI\_NEMA\_ANSI C78.377-2008: Specifications for the Chromaticity of Solid State Lighting Products.




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**SRS**

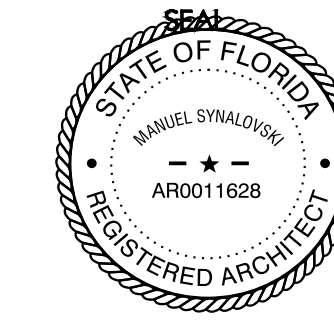
**SYNALOVSKI ROMANIK SAY**  
*Architecture • Planning • Interior Design*

1800 Eller Drive, Suite 500  
 Fort Lauderdale, FL 33316

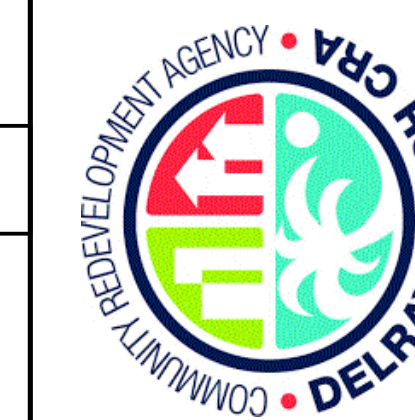
T 954.961.6806  
 F 954.961.6807

[www.synalovskid.com](http://www.synalovskid.com)

Manuel Synalovski, AIA  
AR 0011628



LICENSE NO. AA26001863



# HISTORIC WELLBROCK HOUSE

222 NORTH SWINTON AVENUE  
DELRAY BEACH, FL 33444

CLIENT: DELRAY BEACH CRA

[illegible]

DESIGN  
DELIVERABLE: SITE PLAN APPLICATION  
ISSUE DATE: 04/24/2020

PROJECT NUMBER: 1552-191106  
DRAWN BY: OV  
CHECKED BY: MS  
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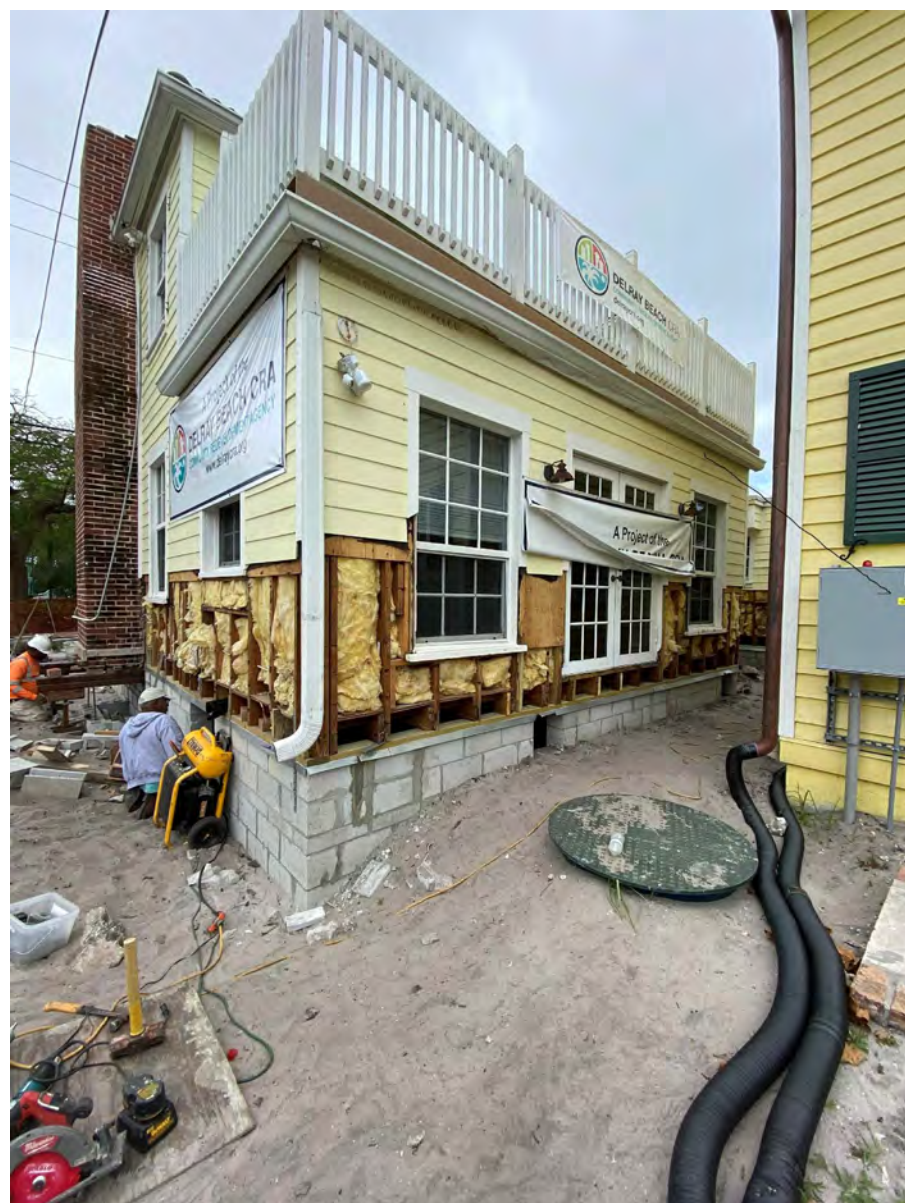
SHEET TITLE:

**PHOTOS OF  
EXISTING BUILDING**

SHEET NUMBER

# AS-103

4	EXISTING NORTHEAST CORNER
---	---------------------------



8	EXISTING SOUTHEAST CORNER
---	---------------------------

3	EXISTING NORTH ELEVATION
---	--------------------------



<b>7</b>	EXISTING PARTIAL EAST ELEVATION (SOUTHEAST CORNER)
----------	--

2	EXISTING NORTHWEST CORNER
---	---------------------------



<b>6</b>	EXISTING PARTIAL EAST ELEVATION (CENTER PORTION)
----------	--

1	EXISTING WEST ELEVATION
---	-------------------------



<b>5</b>	EXIST'G PARTIAL EAST ELEVATION (NORTHEAST CORNER)
----------	---



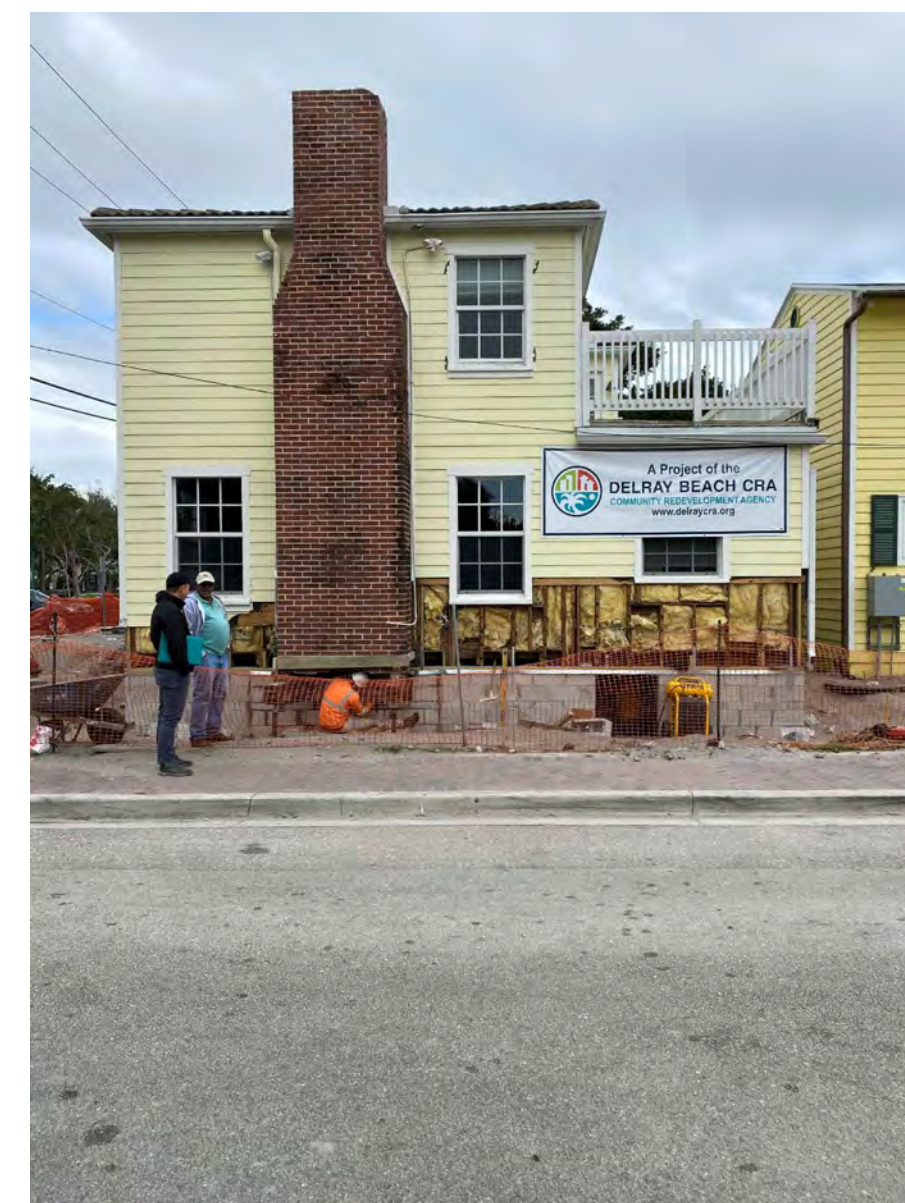
12	EXIST'G SETBACK BETWEEN BUILDINGS (#20/#22 N. SWINTON AVE.)
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<b>11</b>	EXISTING SOUTHWEST ENTRANCE (#20 N. SWINTON AVE.)
-----------	---



<b>10</b>	EXISTING NORTHWEST CORNER (#20 N. SWINTON AVE.)
-----------	---



9	EXISTING SOUTH ELEVATION
---	--------------------------



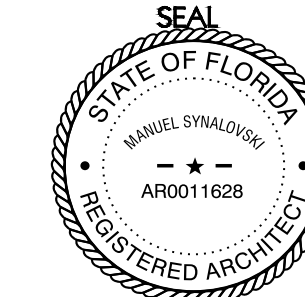


**T 954.961.6806**

T 954.961.6806

F 954.961.6807

Manuel Synalovski, AIA  
AR 0011628



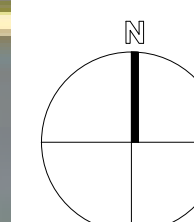
LICENSE NO. AA2600186



# HISTORIC WELLBROCK HOUSE

222 NORTH SWINTON AVENUE  
DELRAY BEACH, FL 33444

CLIENT: DEIRAY BEACH CRA



SCALE: 1" = 30'-0"

DELRAY BEACH CRA  
20 N. SWINTON AVENUE  
DELRAY BEACH, FL  
(561) 276-8640

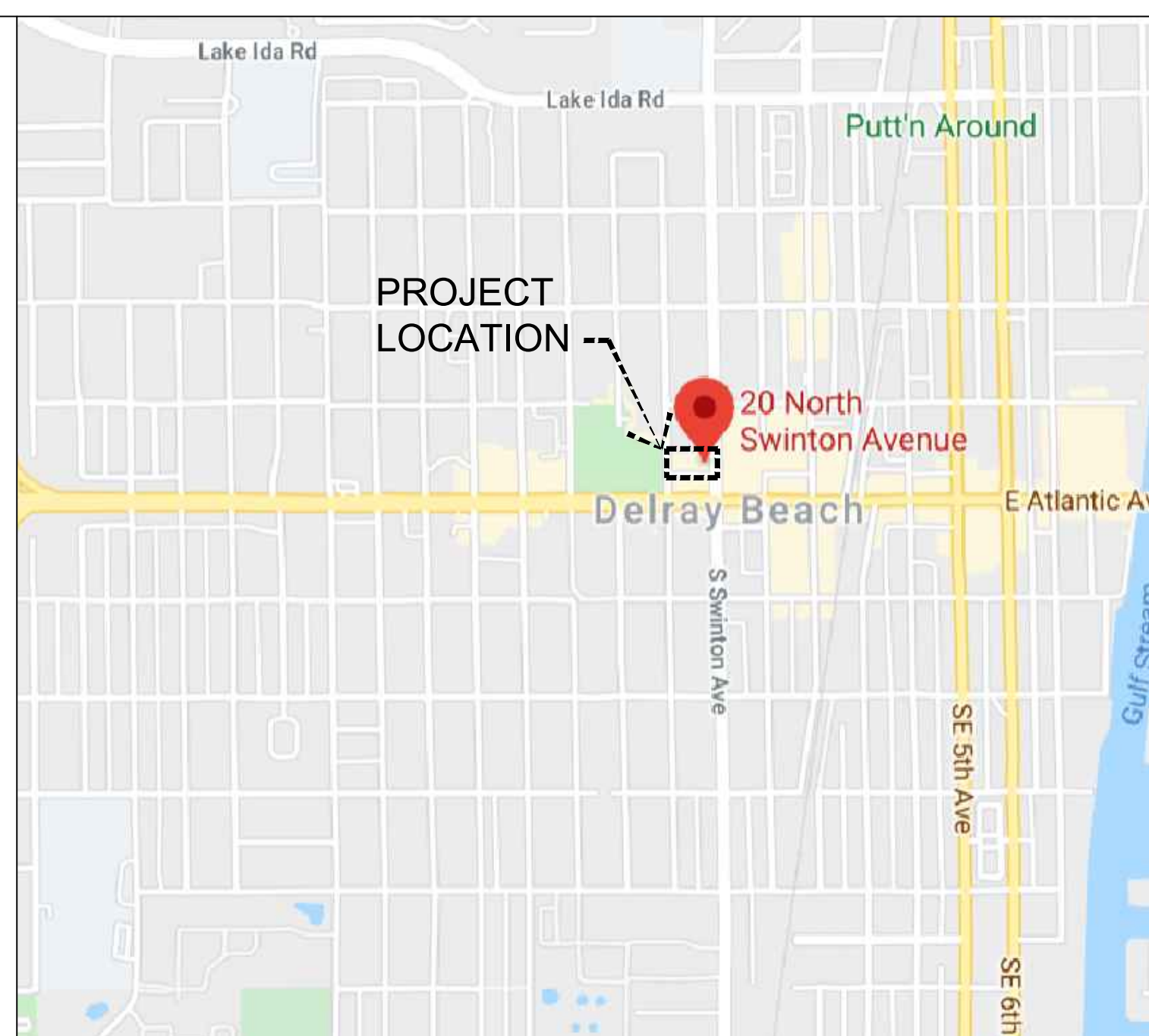
SYNALOVSKI ROMANIK SAYE  
1800 ELLER DRIVE  
FT. LAUDERDALE BEACH, FL 33316  
(954) 961-6806

PENNONI ASSOCIATES INC.  
2555 NURSERY ROAD  
CLEARWATER, FL 33764  
(727) 451-9561

AGTLAND LANDSCAPE ARCHITECTURE  
132 NORTH SWINTON AVENUE  
DELRAY BEACH, FL 33444  
(561) 276-5050

2	AS-101	COVER SHEET & AERIAL SITE PLAN
	AS-101.1	OVERALL SITE PLAN
	AS-102	ARCHITECTURAL SITE PLAN
	AS-103	PHOTOS OF EXISTING BUILDING
	AS-104	EXISTING BUILDING FLOOR PLANS
	AS-105	EXISTING BUILDING ELEVATIONS

	SURVEY
A-101	PROPOSED FIRST & SECOND FLOOR PLANS
A-102	ROOF PLAN
A-201	PROPOSED BUILDING ELEVATIONS
A-801	DOORS & WINDOWS SCHEDULES
SP01	CIVIL PLAN (SITE AND GRADING PLAN)
LP-1	LANDSCAPE PLAN
PH-101	PHOTOMETRIC SITE PLAN
LS-101	LIFE SAFETY PLANS



## 2

## 3

## 4

SOURCE: GOOGLE MAPS. © 2020

REV	DATE	DESCRIPTION
-----	------	-------------

2	09/22/2020	RESPONSE TO COMMENT
---	------------	---------------------

DESIGN  
DELIVERABLE: SITE DEVELOPMENT  
ISSUE DATE: 04/24/2020

PROJECT NUMBER: 1552-191106

DRAWN BY: OV  
CHECKED BY: MS

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SHEET TITLE:

COVER SHEET  
& AERIAL SITE PLAN

SHEET NUMBER

# AS-101

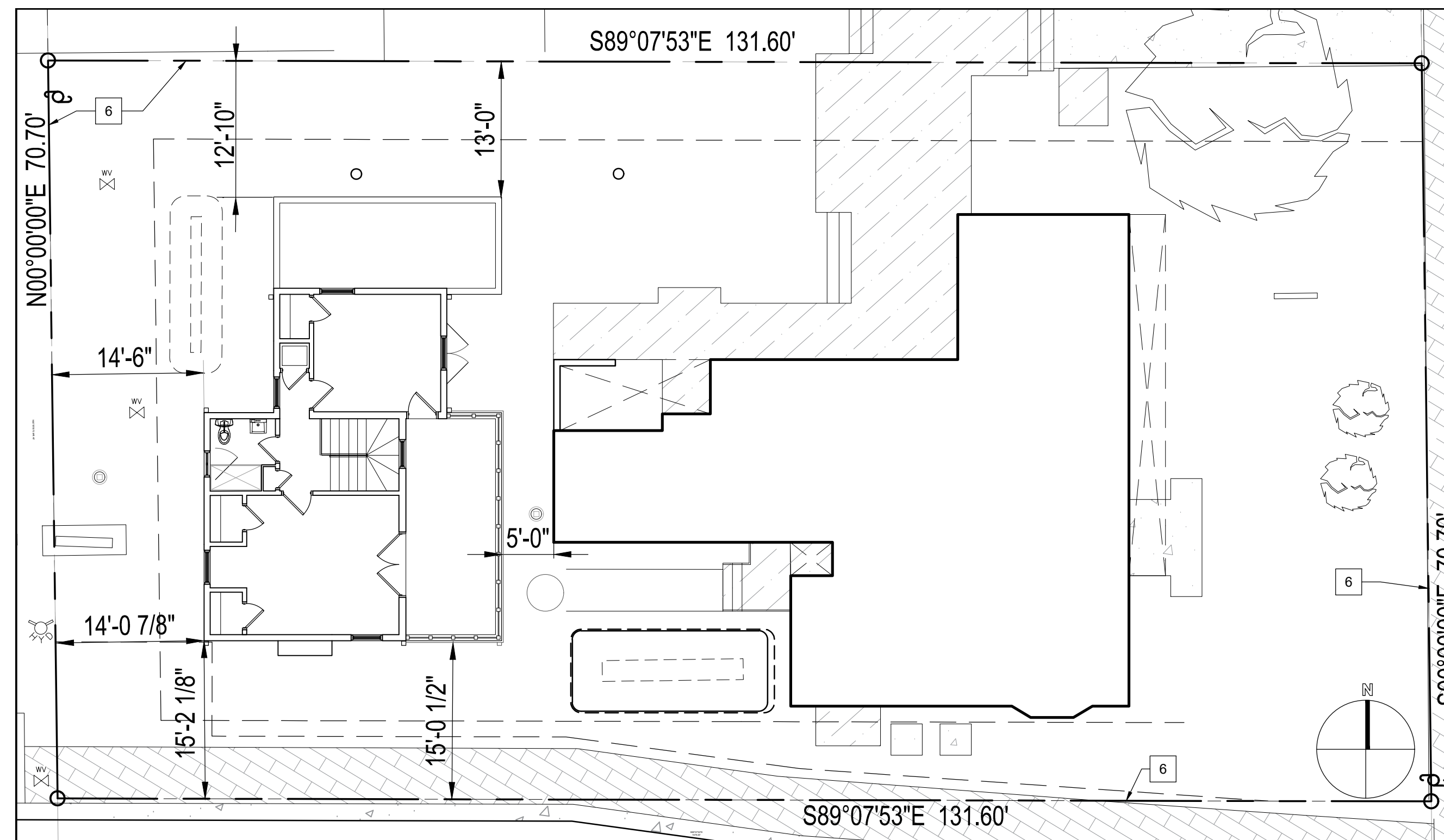




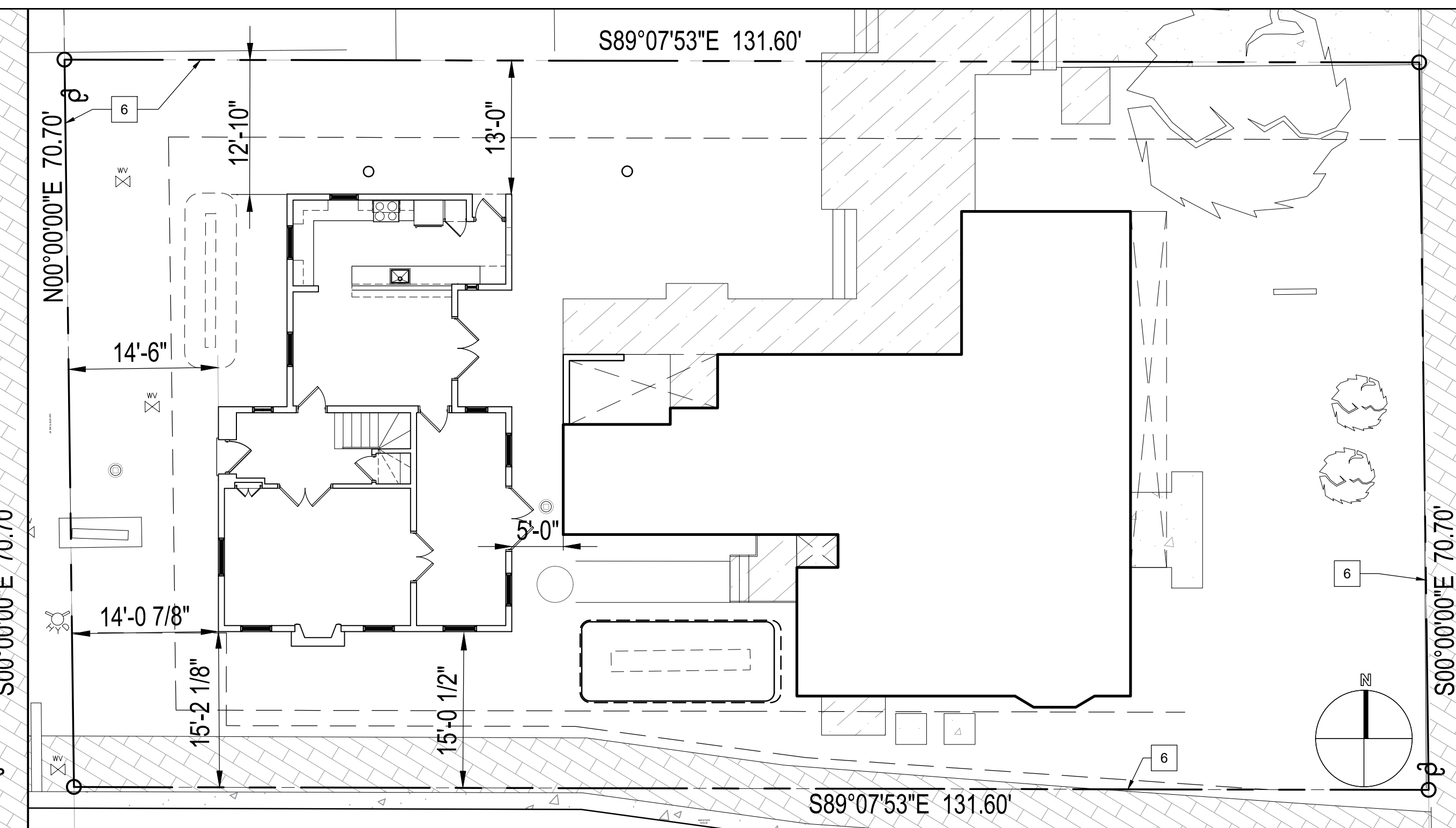




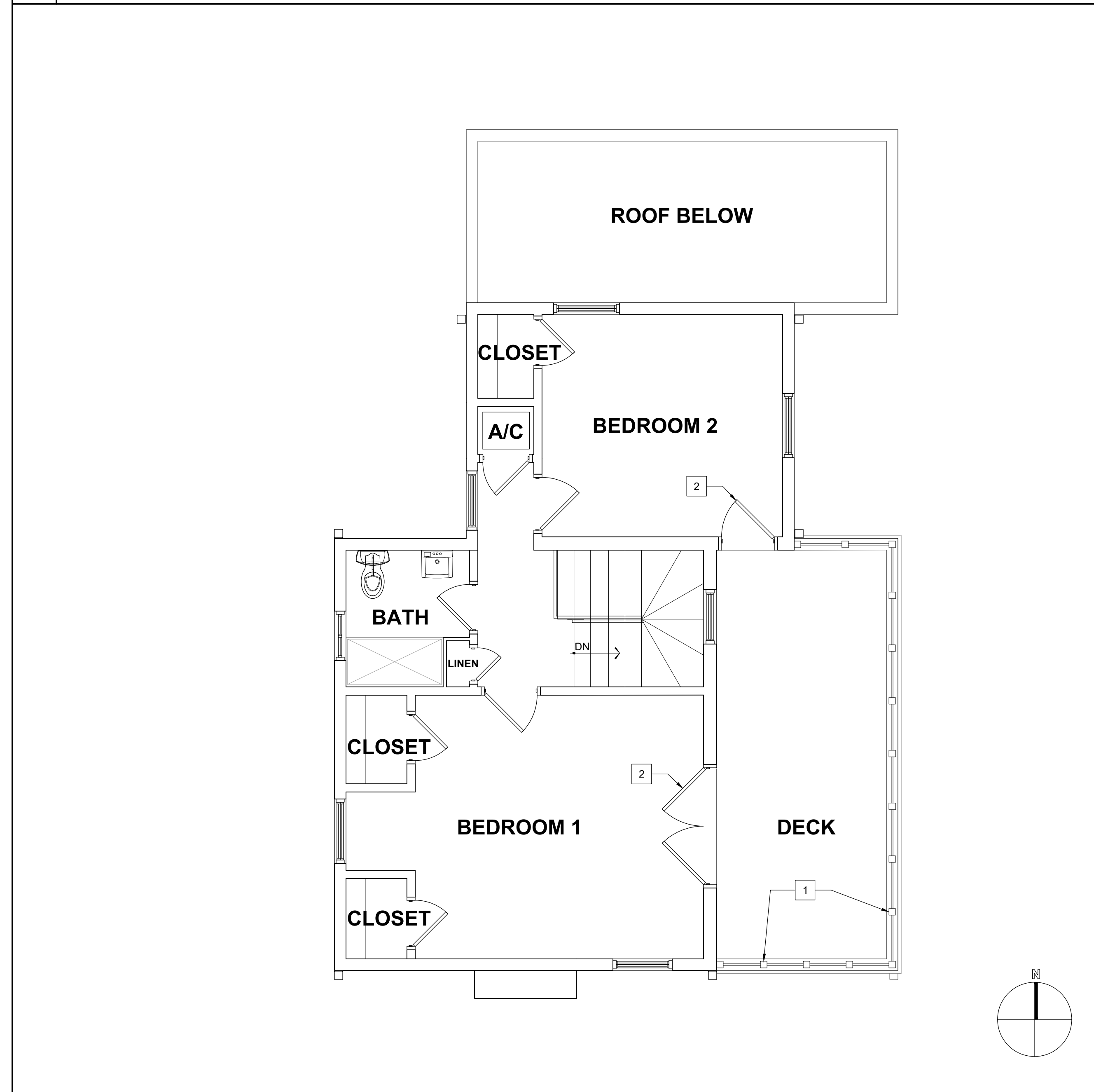




**2A** EXISTING SECOND FLOOR PLAN AND PROPERTY LINES  
SCALE: 1" = 10'-0"

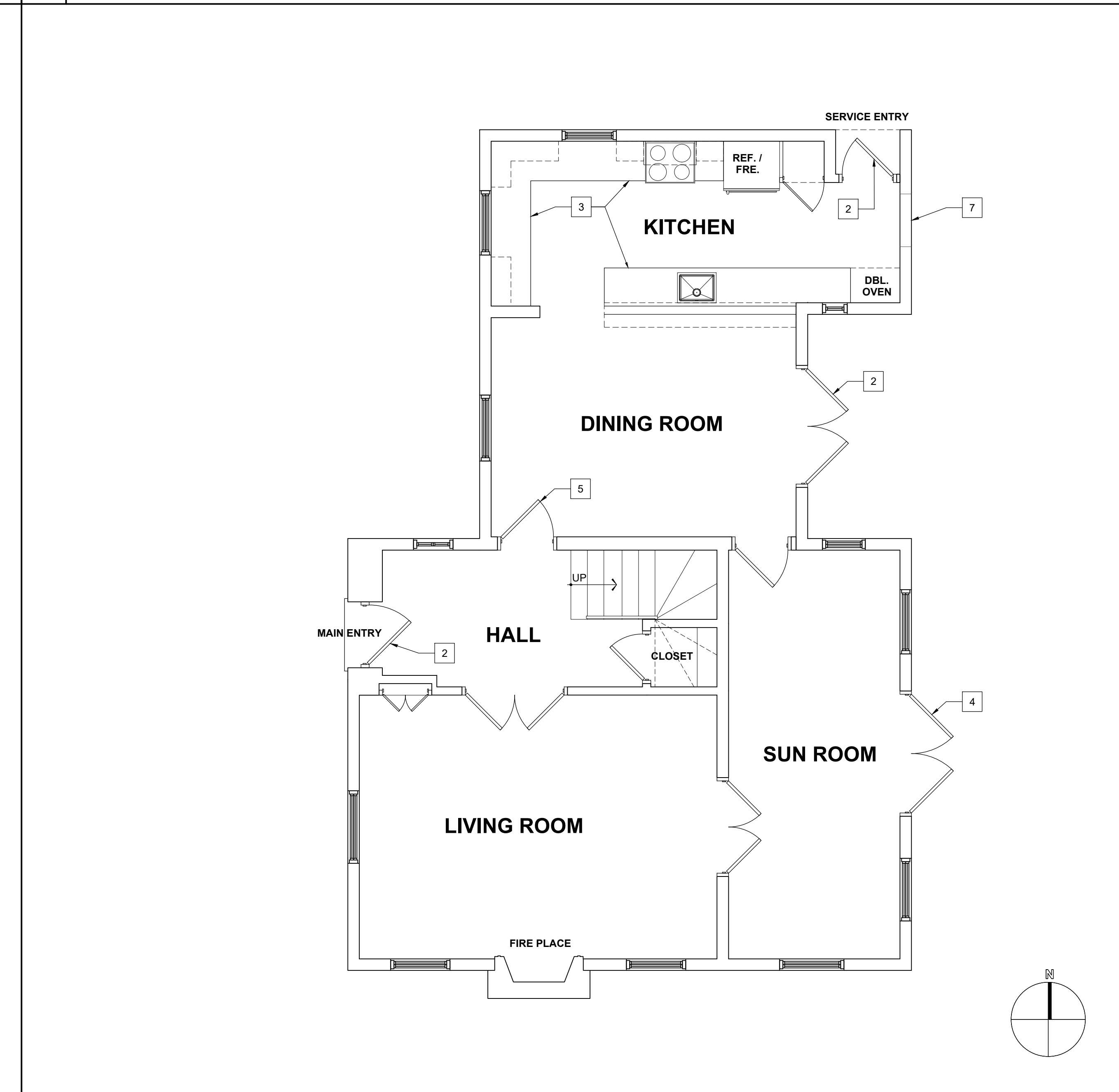


**1A** EXISTING FIRST FLOOR PLAN AND PROPERTY LINES  
SCALE: 1" = 10'-0"



## 2 EXISTING SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



1	EXISTING FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"
---	--

- | <u>KEY NOTES (EXISTING<br/>BUILDING FLOOR PLAN):</u> |  |
|--|--|
| 1  | EXISTING DECORATIVE RAILING  |
| 2  | EXISTING DOOR<br>CLOSED  |
| 3  | G.C. TO SALVAGE KITCHEN CABINETS   |
| 4  | HARDWARE OF THIS DOOR ASSEMBLY TO BE<br>REMOVED AND DOOR TO BE PERMANENTLY<br>CLOSED                   |
| 5  | DOOR ASSEMBLY TO BE REMOVED AND<br>OPENING FINISHED WITH A MINIMUM<br>PASSAGE CLEAR WIDTH OF 32 INCHES |
| 6  | PROPERTY LINE  |
| 7  | NEW WINDOW TO BE ADDED AT THIS<br>LOCATION - SEE FLOOR PLAN ON SHEET<br>A-101                          |

[illegible]



STATE OF FLORIDA  
MANUEL SYNALOVSKI  
— ★ —  
AR0011628  
REGISTERED ARCHITECT

LICENSE NO. AA26001863



# HISTORIC WELLBROCK HOUSE

222 NORTH SWINTON AVENUE  
DELRAY BEACH, FL 33444

CLIENT: DELRAY BEACH CRA

[illegible]

DESIGN  
DELIVERABLE: SITE PLAN APPLICATION  
ISSUE DATE: 04/24/2020

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DRAWN BY: OV  
CHECKED BY: MS

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SHEET TITLE:

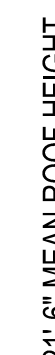
## EXISTING BUILDING ELEVATIONS

**SHEET NUMBER**

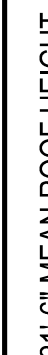
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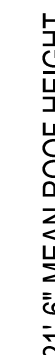
## 2 EXISTING EAST ELEVATION



**1** EXISTING WEST ELEVATION  
SCALE: 1/4" = 1'-0"



<b>4</b>	<b>EXISTING SOUTH ELEVATION</b> SCALE: 1/4" = 1'-0"
----------	--

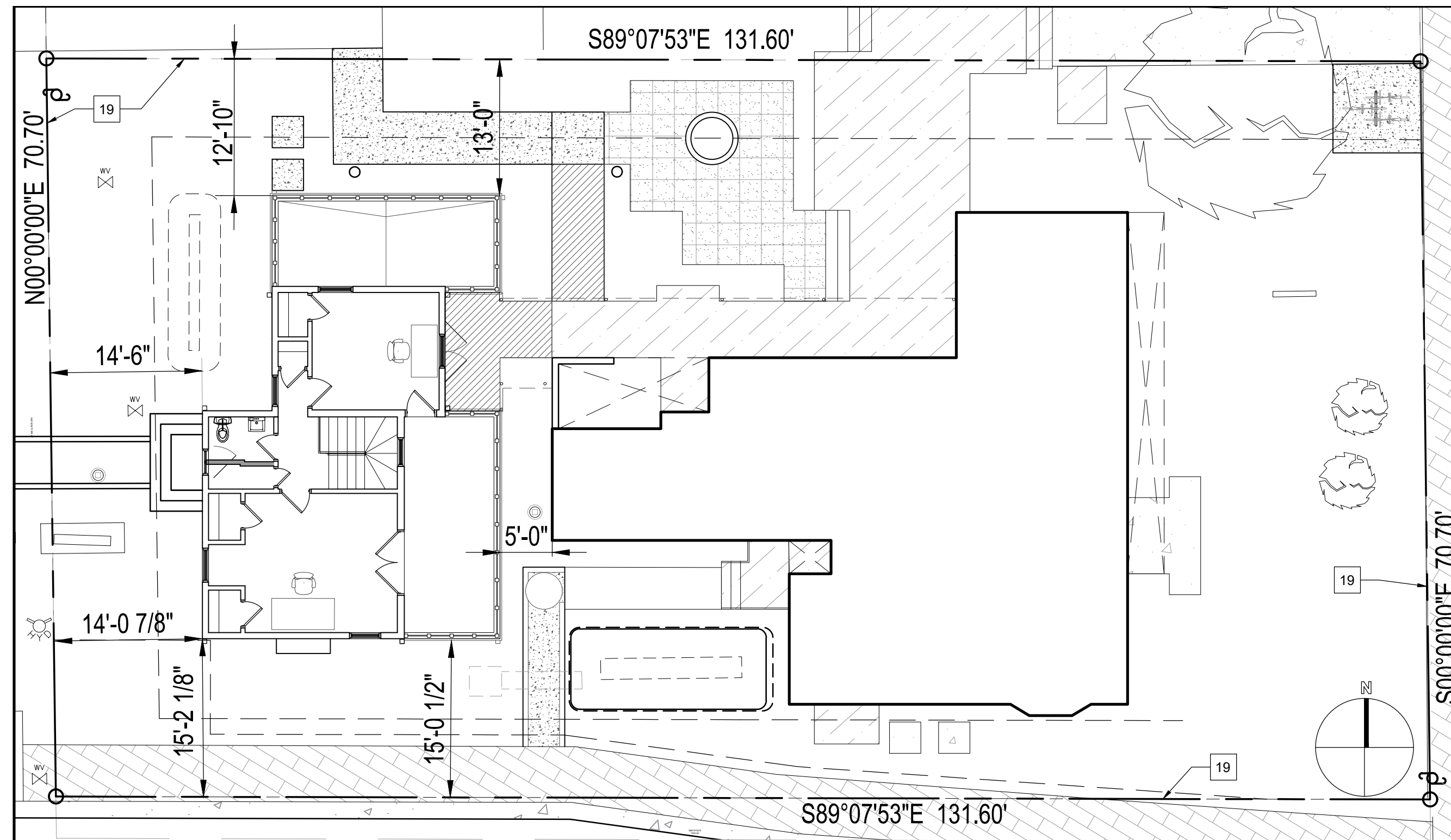


### 3 EXISTING NORTH ELEVATION

- KEY NOTES ELEVATIONS  
(EXISTING BUILDING):

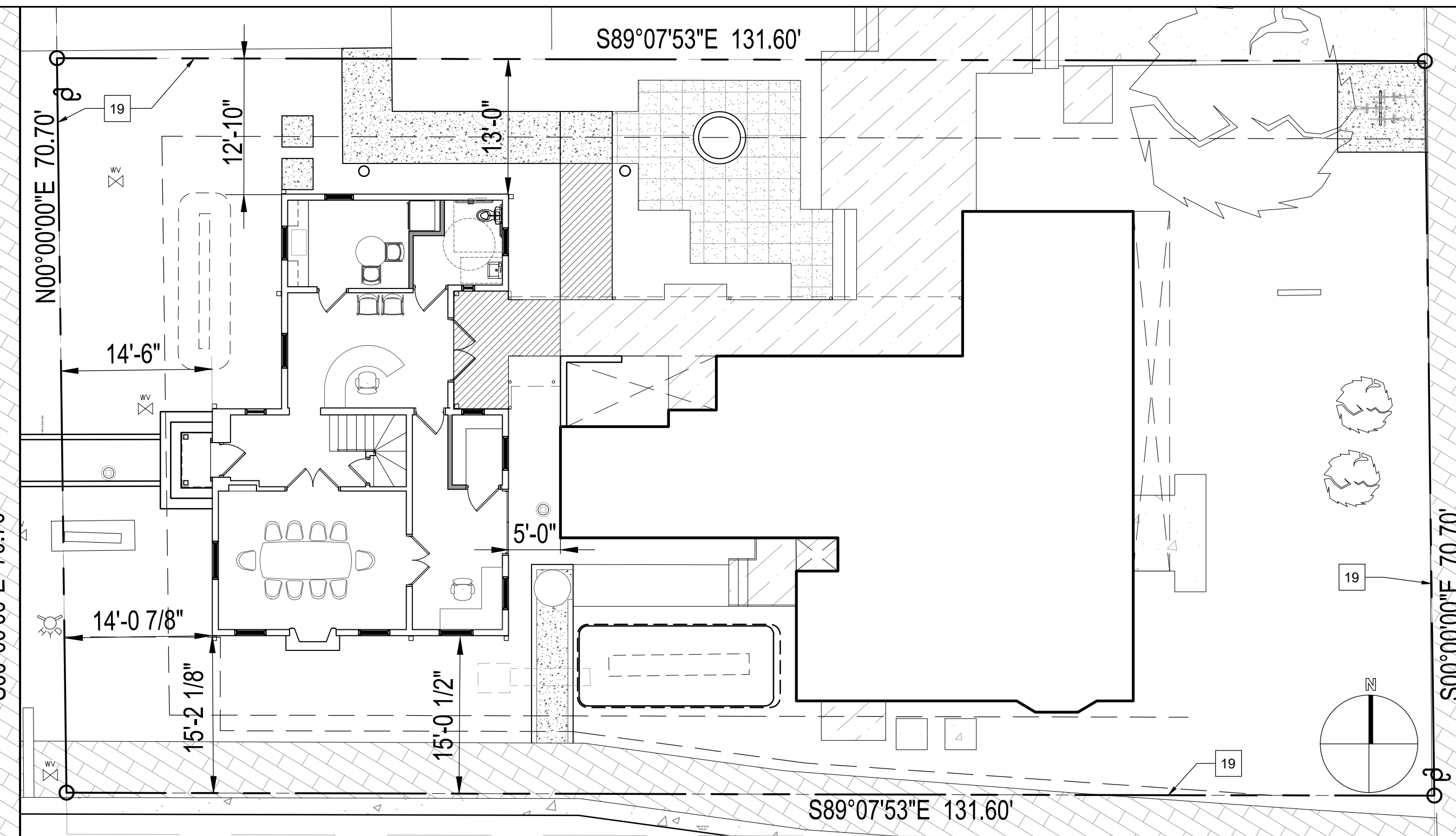
- |    |  |
|----|--|
| 1  | TILE ROOF  |
| 2  | CONTINUOUS GUTTER (TYP.)   |
| 3  | HORIZONTAL WOOD SIDING (SHIPLAP) WITH WOOD TRIM AT THE CORNERS   |
| 4  | BRICK CHIMNEY  |
| 5  | WINDOWS WITH WOODEN SURROUNDS AND SILLS  |
| 6  | RAISED, CONTINUOUS BLOCK WALL BASE   |
| 7  | DECORATIVE RAILING   |
| 8  | OPENINGS WHERE BLOCK WAS TEMPORARILY LEFT OUT FOR TEMPORARY BEAMS USED TO MOVE HOUSE (SHOWN AT APPROXIMATE LOCATIONS - FIELD VERIFY) |
| 9  | EXISTING DOWNSPOUT (TO BE REMOVED AND NEW DOWNSPOUTS INSTALLED AT NEW LOCATIONS. REFER TO ELEVATIONS ON SHEET A-201)                 |
| 10 | EXISTING DOOR  |
| 11 | FINISHED FLOOR ELEVATION   |
| 12 | SIDING REMOVED DURING MOVE - PREPARE WALL AND UNDER SUBSTRATE AND ADD SIDING AS REQUIRED   |
| 13 | GARAGE REMOVED DURING MOVE   |
| 14 | DECORATIVE WALL MOUNTED LIGHT FIXTURE  |
| 15 | EXISTING UTILITY COVER TO BE REMOVED   |
| 16 | TOP COURSES OF CHIMNEY'S BRICK ARE MISSING - REFER TO SHEET A-201 FOR REPAIRS  |
| 17 | EXISTING ELECTRICAL AND METER PANELS, EXHAUST, AND FLOOD LIGHTS, TO BE REMOVED   |



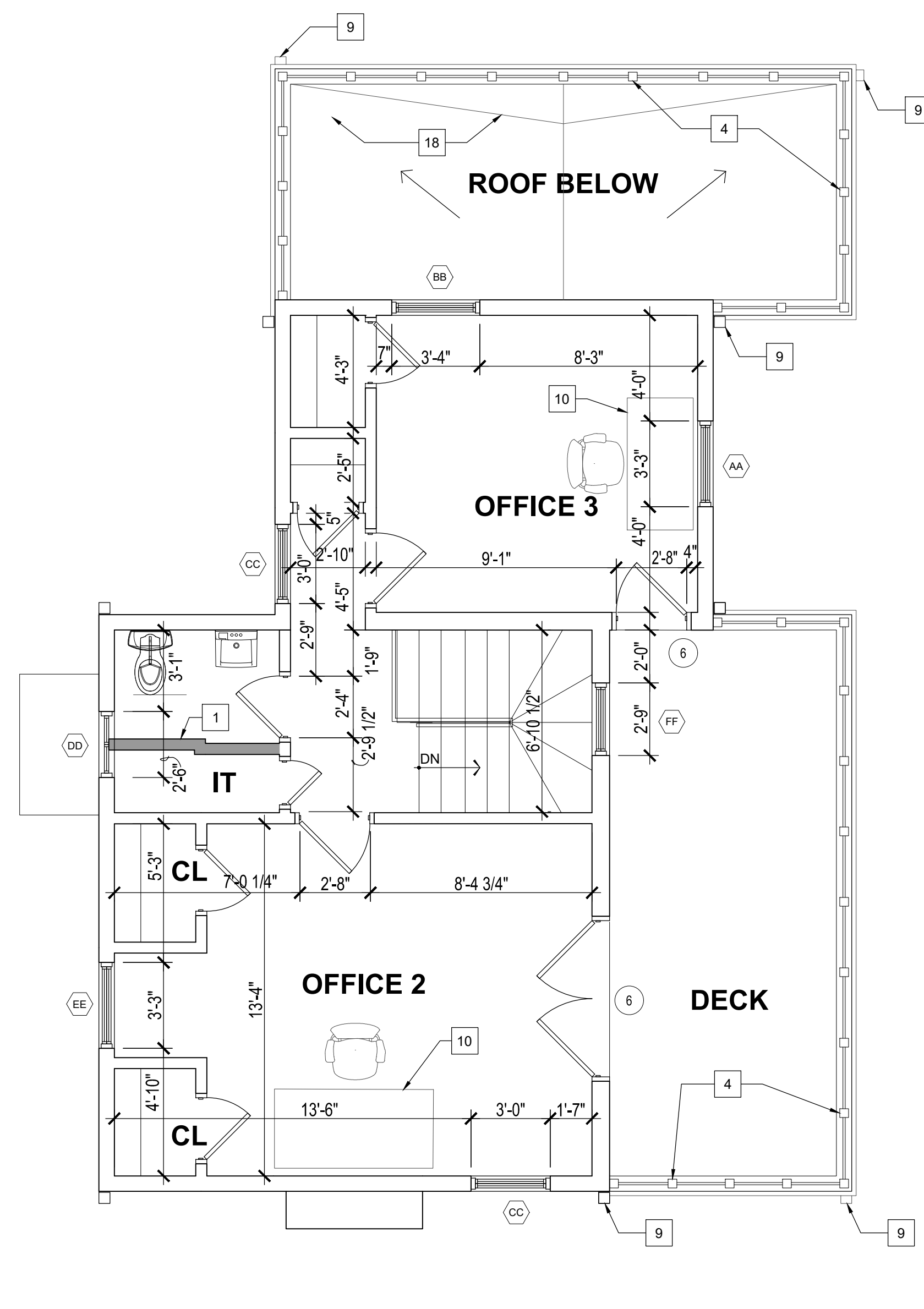


## 2A PROPOSED SECOND FLOOR PLAN AND PROPERTY LINES

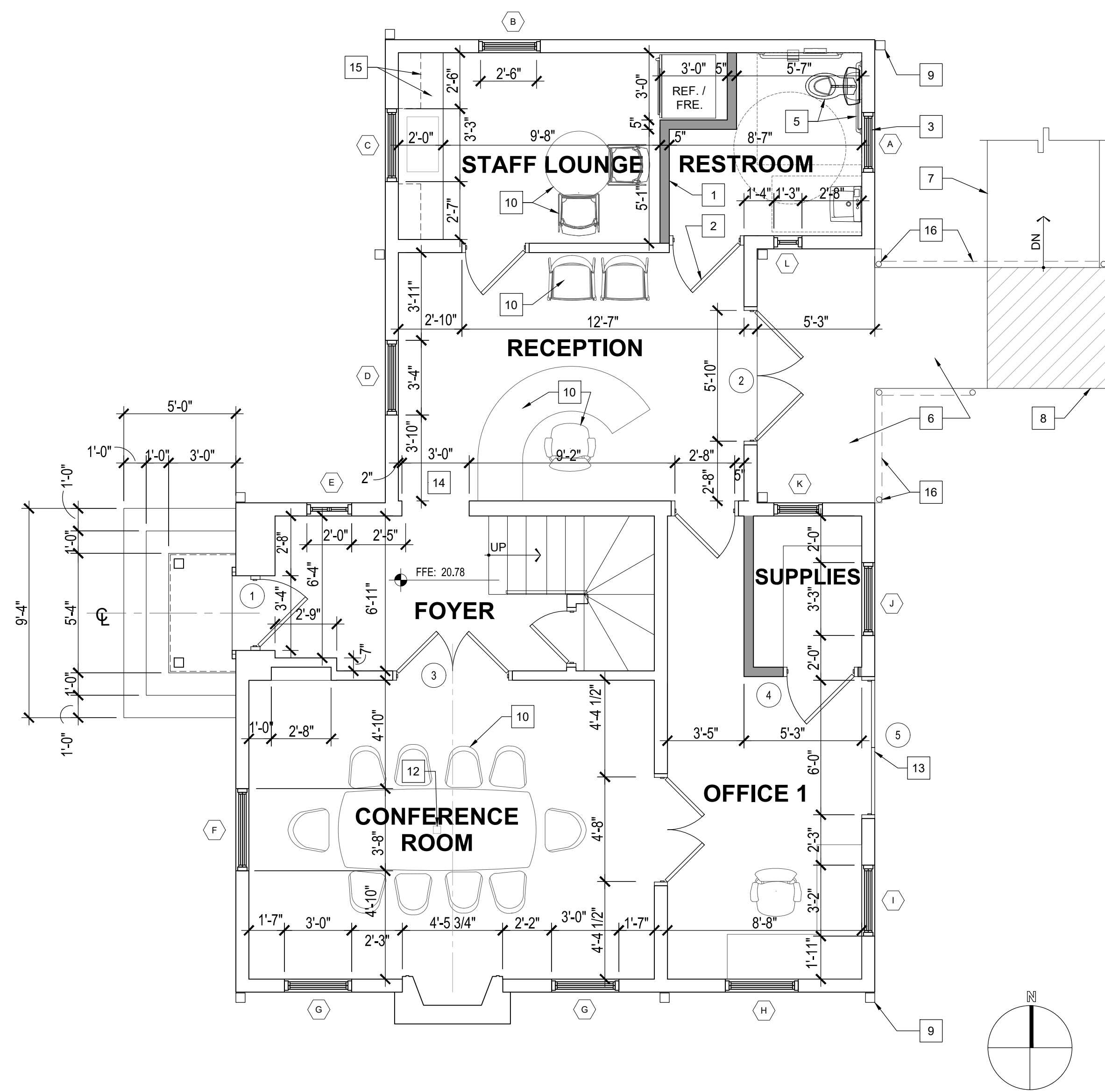
SCALE: 1" = 10'-0"



<b>1A</b>	<b>PROPOSED FIRST FLOOR PLAN AND PROPERTY LINES</b> SCALE: 1" = 10'-0"
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**2** PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**1** PROPOSED FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

- ### KEY NOTES PROPOSED FLOOR PLAN

- |    |   |
|----|---|
| 1  | NEW INTERIOR WALL   |
| 2  | NEW DOOR  |
| 3  | NEW IMPACT RATED WINDOW ASSEMBLY WITH WOODEN SURROUNDS, TRIM, AND SHUTTERS  |
| 4  | NEW DECORATIVE RAILING  |
| 5  | NEW HANDICAPPED ACCESSIBLE RESTROOM WITH GRAB BARS AND APPLICABLE ACCESSIBLE FIXTURES AND ACCESSORIES   |
| 6  | NEW WOOD DECK TO MATCH EXISTING   |
| 7  | NEW 5' WIDE WOOD RAMP   |
| 8  | EXISTING WOOD DECK  |
| 9  | DOWNSPOUT   |
| 10 | FURNITURE NOT IN CONTRACT (N.I.C.), TYPICAL   |
| 11 | 1'-9" MINIMUM CLEARANCE REQUIRED IN FRONT OF WATER CLOSET (FLORIDA BUILDING CODE SIXTH EDITION (2017) PLUMBING 405.3.1)   |
| 12 | ELECTRICAL FLOOR BOX (FLUSH WITH FLOOR FINISH)  |
| 13 | HARDWARE OF THIS DOOR ASSEMBLY TO BE REMOVED AND DOOR TO BE PERMANENTLY CLOSED  |
| 14 | EXISTING DOOR ASSEMBLY TO BE REMOVED AND OPENING FINISHED WITH MINIMUM PASSAGE CLEAR WIDTH OF 32 INCHES, 36 INCHES PREFERABLY   |
| 15 | REUSE EXISTING CABINETS AND COUNTERS  |
| 16 | PROPOSED CAVAS CANOPY - SEE SHEET AS-102 FOR EXTENT   |
| 18 | NEW ROOFING AND CRICKETS AS REQUIRED FOR POSITIVE DRAINAGE TOWARD DOWNSPOUTS (ROOF IS TO BE ENERGY STAR ROOF-COMPLIANT HIGH REFLECTANCE AND HIGH EMISSIVITY ROOFING TO COMPLY WITH ASTM E903 AND ASTM 4080) |
| 19 | PROPERTY LINE   |

## HISTORIC WELLBROCK HOUSE

222 NORTH SWINTON AVENUE  
DELRAY BEACH, FL 33444

CLIENT: DELRAY BEACH CRA

[illegible]

DESIGN  
DELIVERABLE: SITE PLAN APPLICATION  
ISSUE DATE: 04/24/2020

PROJECT NUMBER: 1552-191106

DRAWN BY: OV

CHECKED BY: MS

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SHEET TITLE:

## PROPOSED FIRST & SECOND FLOOR PLANS

SHEET NUMBER

**A-101**



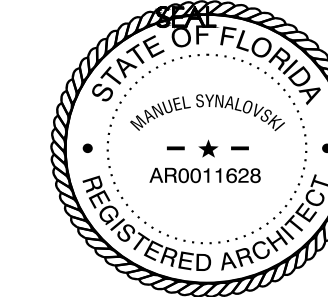
**1800 Eller Drive, Suite 500  
Fort Lauderdale, FL 33316**

T 954.961.6806

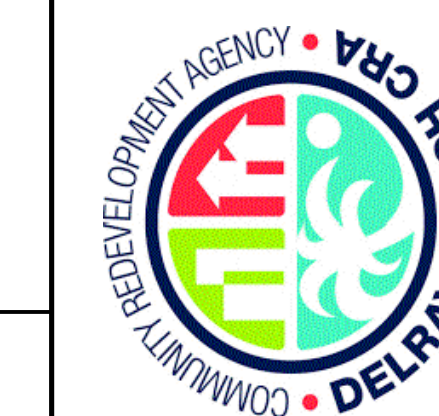
F 954.961.6807

[www.synalovski.com](http://www.synalovski.com)

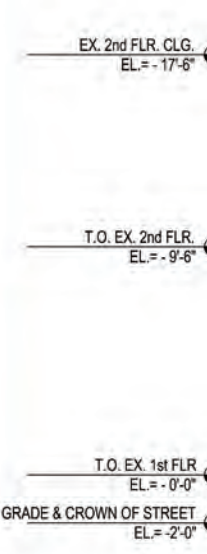
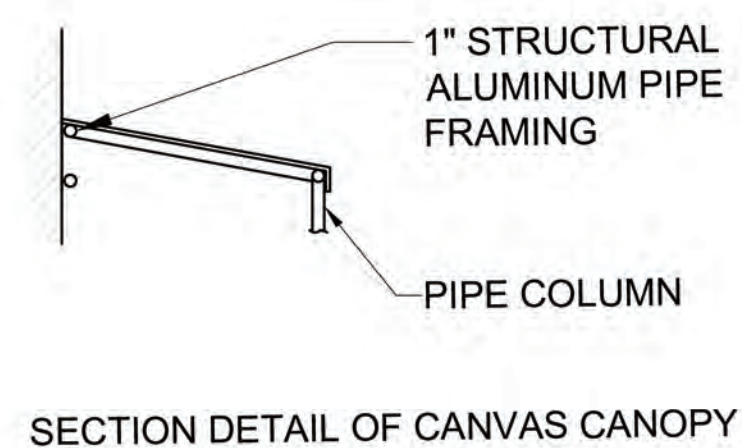
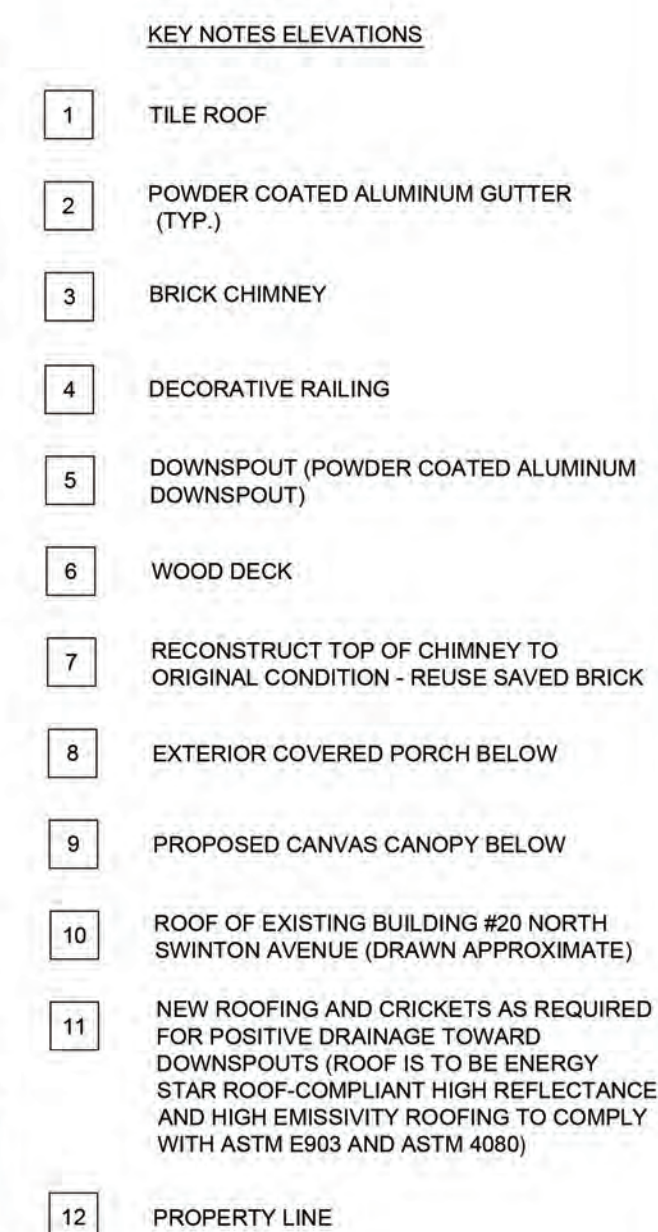
Manuel Synalovski, AIA  
AR 0011628



LICENSE NO. AA2600186





[illegible]

DESIGN  
DELIVERABLE: SITE PLAN APPLICATION  
ISSUE DATE: 04/24/2020

PROJECT NUMBER: 1552-191106  
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CHECKED BY: MS

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SHEET TITLE:  
**ROOF PLAN**

SHEET NUMBER:

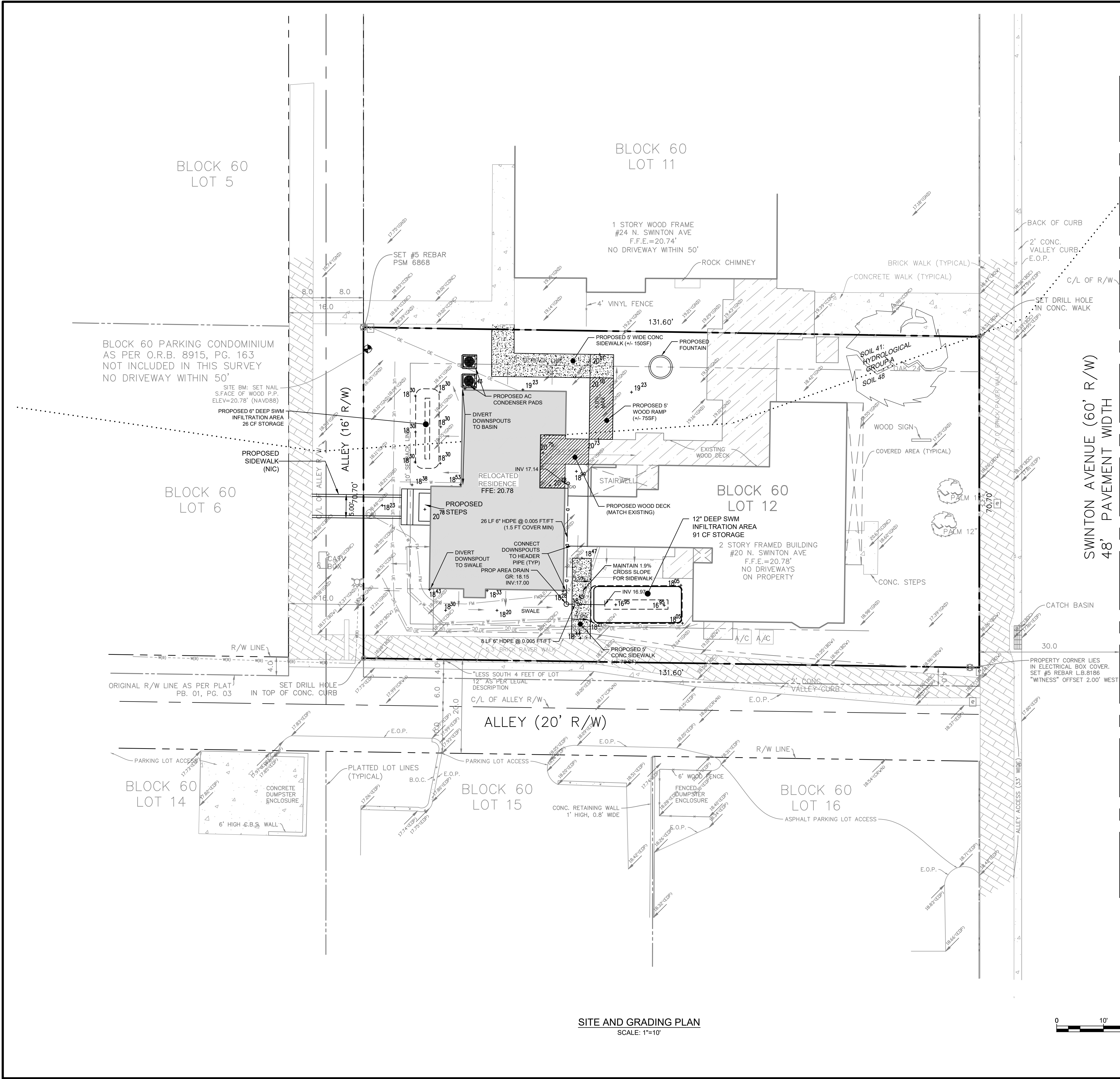








U:\Accounting\2024\2024\0001 - Historic Home Foundation - 215 NE 19th Street - PLANS\SYNRS20001\SYNRS20001-SP01.dwg PLOTTED: 4/24/2024 11:44 AM BY: Jason Stedman PROJECT STATUS: POST STYLE: Pennoni VCS-48



- SYMBOL LEGEND
- WM = WATER METER
  - E = ELECTRIC BOX
  - ⊙ = SEWER CLEANOUT
  - ⚡ = FIRE HYDRANT
  - WV = WATER VALVE
  - P.P. = POWER POLE
  - L.P. = LIGHT POLE
  - S = SEWER MANHOLE
  - Tree symbol = TREE, WITH DESCRIPTION AND APPROXIMATE DIAMETER AT BREAST HEIGHT

SPOT ELEVATION TYPES

SPOT ELEVATION	SPOT ELEVATION
SPOT ELEVATION = GROUND	SPOT ELEVATION = BACK OF CURB
SPOT ELEVATION = CROWN OF PAVEMENT	SPOT ELEVATION = EDGE OF PAVEMENT
SPOT ELEVATION = WOOD DECK	SPOT ELEVATION = BACK OF WALK
SPOT ELEVATION = CONCRETE	SPOT ELEVATION = SITE BENCHMARK

- OC-OC = OVERHEAD COMMUNICATION LINE
- OE-OE = OVERHEAD ELECTRIC LINE
- W(W) = WATER
- G(G) = GAS
- BE(BE) = BURIED ELECTRIC
- CLEAN-OUT
- WV = VALVE COVER WATER
- S(S) = SANITARY SEWER
- BT(BT) = BURIED CABLE TV
- BE(BE) = STREET LIGHTING
- NPVW = VALVE COVER IRRIGATION
- Soil 48 = SOIL BOUNDARY

- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- BRICK SIDEWALK

- GENERAL NOTES:
- PER LOCAL REQUIREMENTS, CONTRACTOR SHALL PROVIDE A SWPPP PLAN.
  - PER LOCAL REQUIREMENTS, TO PREVENT SOIL 'RUN OFF' ONTO ADJACENT PROPERTIES, CONTRACTOR SHALL BE REQUIRED TO INSTALL SILT FENCING.
  - REMOVE EXISTING SIDEWALKS AS NEEDED TO COMPLETE CONSTRUCTION. REPAIR SIDEWALKS AS NEEDED TO MAINTAIN ACCESS TO EXISTING AND PROPOSED STRUCTURES.
  - PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES.
  - ALL DISTURBED AREAS TO BE RESTORED WITH NEW SOD TO MATCH EXISTING.

**PENNONI ASSOCIATES INC.**  
2555 Nursery Road  
Clearwater, FL 33764  
T 727.451.9501  
Florida COA: 7819

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

**WELLBROCK HOUSE**  
20 N SWINTON AVENUE  
DELRAY BEACH, FL 33444

**SITE AND GRADING PLAN**

**SYNALOVSKI ROMANIK**  
SAYE ARCHITECTS  
1800 ELLER DRIVE, SUITE 500  
FORT LAUDERDALE, FL 33316

NO.	DATE	REVISIONS	BY

PROJECT

SYNRS20001

DATE

2020-04-22

DRAWING SCALE

1" = 10'

DRAWN BY

AP

APPROVED BY

JS

**SP01**

SHEET 1 OF 1


ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

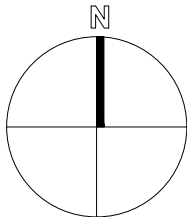






2	EXT CANOPY TO FOYER	6.85	8.8	4.6	1.49	1.91
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2						
	1	C	LIGHTOLIER 4RN-Z4RDL-10-830-W0-CD-Z10U	0.900	11	11



## POSTS

## Models

Post: 8006.001  
Lantern: P500



NERI North America Inc. - 1835 NW 112th Avenue Suite Miami 176 / FL 33172 - USA - T +1 786 315 4367 - F +1 786 257 1336 - E  
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Company shall reserve the right at any time and from time to time to modify the specifications or features or to discontinue the sale of any products.



Dimensions	
Base Backplate	5.87 DIA
Extension	11.25"
Weight	1.00 LBS
Height from center of Wall opening (Spec Sheet)	3.00"
Height	9.00"
Width	10.00"

Primary Lamping	
Lamp Included	Not Included
Lamp Type	R14FL
Light Source	Incandescent
Max or Nominal Watt	40W
# of Bulbs/LED Modules	1
Socket Type	Medium
Socket Wire	150

Specifications	
Material	ALUMINUM

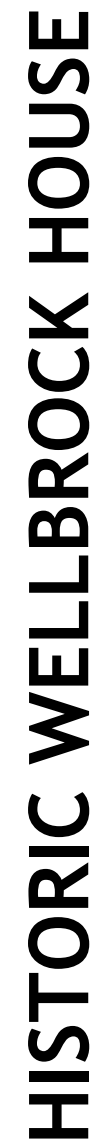
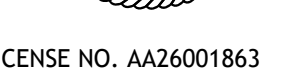
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T 954.961.6806  
F 954.961.6807

[www.synalovski.com](http://www.synalovski.com)

Manuel Synalovski, AIA  
AR 0011628



222 NORTH SWINTON AVENUE  
DELRAY BEACH, FL 33444

CLIENT: DELRAY BEACH CRA

DESIGN  
DELIVERABLE: SITE PLAN APPLICATION  
ISSUE DATE: 04/24/2020

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CHECKED BY: MS

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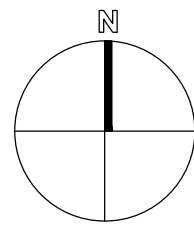
SHEET TITLE

PHOTOMETRIC  
SITE PLAN

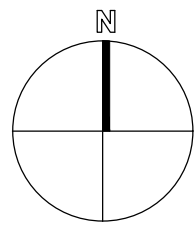
SHEET NUMBER

# PH-101





E:\1552-191106 Delray Historic House\Drawings\LS-101 PROPOSED LIFE SAFETY FLOOR PLANS.dwg 5/7/2020 5:52:19 PM



SCALE: 1/4" = 1'-0"



**APPLICABLE BUILDING CODES:**

- 2017 FLORIDA BUILDING CODE (FBC) - BUILDING, SIXTH EDITION
- 2017 FLORIDA BUILDING CODE (FBC) - EXISTING BUILDING, SIXTH EDITION (CHAPTER 7, ALTERATIONS LEVEL 1)
- 2017 FLORIDA BUILDING CODE (FBC) - PLUMBING, SIXTH EDITION
- 2017 FLORIDA BUILDING CODE (FBC) - MECHANICAL, SIXTH EDITION
- 2017 FLORIDA BUILDING CODE (FBC) - ENERGY CONSERVATION, SIXTH EDITION
- 2014 STANDARD NATIONAL ELECTRICAL CODE (N.E.C.)
- 2017 FLORIDA FIRE PREVENTION CODE (F.F.P.C.) - SIXTH EDITION
- NFPA 101, LIFE SAFETY CODE, 2015 EDITION

OCCUPANCY GROUP AND NFPA 101:  
BUSINESS GROUP B (FBC 304.1 & NFPA 101 39.1)

CLASIFICATION OF WORK (FBC EXISTING BUILDING 701.1)  
ALTERATION - LEVEL 1 (EXISTING BUILDING)

TYPE OF CONSTRUCTION (FBC TABLE 601):  
TYPE V B

TRAVEL DISTANCE (NFPA 101 - CHAPTER 39, SECTION 39.2.6.3)  
SPRINKLERED ALLOWED (FEET): 300'-0"  
PROVIDED (FEET): 67'-1" WORST CASE (FROM OFFICE 3 OF 2ND FLOOR TO EXIT DOOR "B")

COMMON PATH (NFPA 101 - TABLE A.7.6. AND SECTION 39.2.5.3.1)  
 SPRINKLERED ALLOWED (FEET): 100'-0"  
 PROVIDED (FEET): 45'-9" WORST CASE (FROM OFFICE 3 OF 2ND FLOOR TO BOTTOM OF STAIR)

DEAD END (NFPA 101 - TABLE A.7.6. AND SECTION 39.2.5.2)  
SPRINKLERED ALLOWED (FEET): 50'-0"

MAXIMUM FLOOR AREA ALLOWED PER OCCUPANTS FBC - TABLE 1004.1.2 AND NFPA 101 TABLE 7.3.1.2:

AUA = ACCESSORY USE AREA

NUMBER OF EXITS (FBC SECTION 1006 AND TABLES 1006.2.1 AND 1006.3.2(2), AND NFPA 101 SECTION 39.2.4.6):  
REQUIRED: 1 EXIT AVAILABLE: 2 EXITS

**NFPA 101 SECTION 39.2.4.6:** A SINGLE MEANS OF EGRESS SHALL BE PERMITTED FOR A MAXIMUM TWO-STORY, SINGLE-TENANT SPACE OR BUILDING PROVIDED THAT BOTH OF THE FOLLOWING CRITERIA ARE MET:

- (1) THE BUILDING IS PROTECTED THROUGHOUT BY AN APPROVED, SUPERVISED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH 9.7.1.1(1).
- (2) THE TOTAL TRAVEL DISTANCE TO THE OUTSIDE DOES NOT EXCEED 100 FT.

BOTH CONDITIONS ABOVE ARE MET IN THIS PROJECT, SO ONLY ONE MEANS OF EGRESS IS REQUIRED AND IT IS DESIGNATED TO BE THE EAST DOOR INDICATED ON THE LIFE SAFETY PLAN AS DOOR "B".

REQUIRED EXTINGUISHERS:

GROSS FLOOR AREA (1,793 S.F.) / 3,000 = 1 REQUIRED, 3 PROVIDED  
75' MAX. DISTANCE.

F.E. SHALL COMPLY WITH N.F.P.A.-10  
F.E. MOUNTING HEIGHT @ 48" A.F.F. (TYPICAL)

NOTE: SEE FLOOR PLANS FOR LOCATIONS

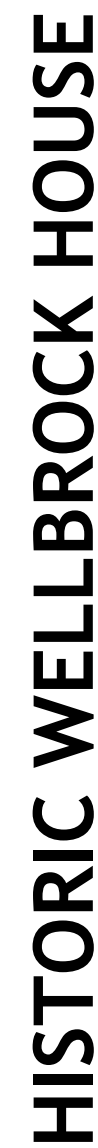
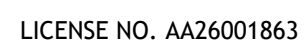
GENERAL LIFE SAFETY NOTES:

1. FLOOR SURFACE.  
WALKING SURFACES SHALL BE SLIP RESISTANT UNDER FORESEEABLE CONDITIONS. THE WALKING SURFACE OF EACH ELEMENT IN THE MEANS OF EGRESS SHALL BE UNIFORMLY SLIP RESISTANT ALONG THE NATURAL PATH OF TRAVEL.
2. REQUIRED MEANS OF EGRESS SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION, DEMOLITION, REMODELING OR ALTERATION, IN ADDITION:  
  - a. ALL EGRESS ROUTES SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
3. WALL AND CEILING FINISH MATERIALS SHALL BE CLASS A OR CLASS B IN EXITS AND EXIT ACCESS CORRIDORS. IN ALL OTHER AREAS SHALL BE CLASS A, B, OR C (NFPA 101 SECTIONS 39.3.3.2.1 AND 39.3.3.2.2 & FBC TABLE 803.11)
4. ALL DOORS IN THE MEANS OF EGRESS SHALL BE SINGLE ACTION RELEASE AND SHALL NOT REQUIRE THE USE OF A KEY, TOOL, OR SPECIAL KNOWLEDGE.

## 2 BUILDING INFO. AND CODE RESEARCH



Manuel Synalovski, AIA  
AR 0011628



22 NORTH SWINTON AVENUE  
DELRAY BEACH, FL 33444

CLIENT: DELRAY BEACH CRA

[illegible]

DESIGN  
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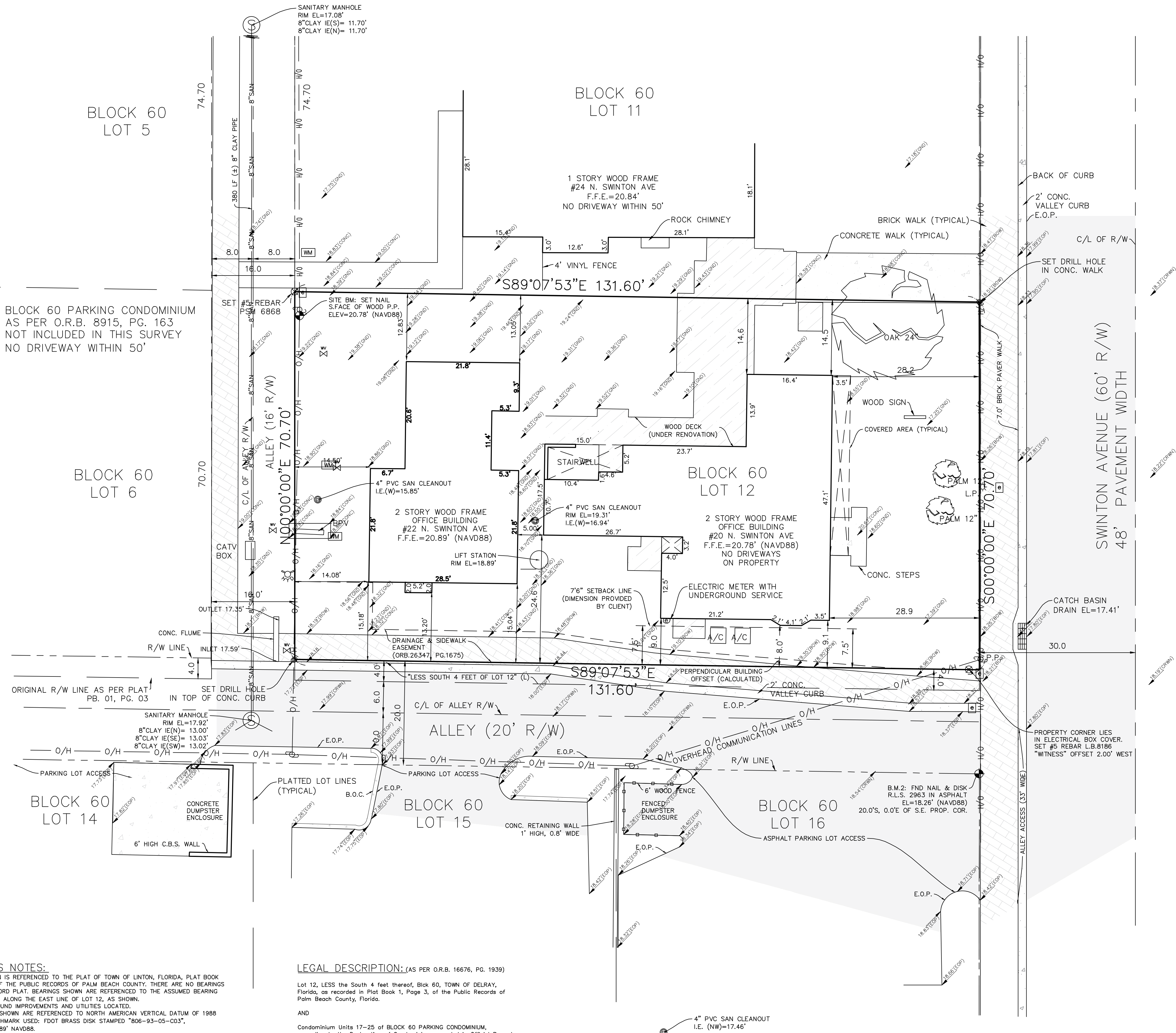
SHEET TITLE:

**PROPOSED LIFE  
SAFETY FIRST &  
SECOND FLOOR  
PLANS**

SHEET NUMBER

# LS-101





SYMBOL LEGEND

- WM = WATER METER  
E = ELECTRIC BOX  
S = SEWER CLEANOUT  
F = FIRE HYDRANT  
V = WATER VALVE  
P = POWER POLE  
L.P. = LIGHT POLE  
S = SEWER MANHOLE  
P = TREE, WITH DESCRIPTION AND APPROXIMATE DIAMETER AT BREAST HEIGHT

EXISTING SPOT ELEVATION TYPES (NAVD88)			
	= GROUND		= BACK OF CURB
	= CROWN OF PAVEMENT		= EDGE OF PAVEMENT
	= WOOD DECK		= BACK OF WALK
	= CONCRETE		= SITE BENCHMARK

ABBREVIATIONS LEGEND	
P.O.C.	= POINT OF COMMENCEMENT
P.O.B.	= POINT OF BEGINNING
I.P.	= IRON PIPE
I.R.	= IRON ROD
C.M.	= CONCRETE MONUMENT
FND.	= FOUND
TYP.	= TYPICAL
P.R.M.	= PERMANENT REFERENCE MONUMENT
P.C.P.	= PERMANENT CONTROL POINT
B.M.	= BENCHMARK
EL.	= ELEVATION
F.F.E.	= FINISHED FLOOR ELEVATION
S.F.	= SQUARE FEET
E.O.W.	= EDGE OF WATER
M.H.W.L.	= MEAN HIGH WATER LINE
C.C.C.L.	= COASTAL CONSTRUCTION CONTROL LINE
U.E.	= UTILITY EASEMENT
F.P. & L.	= FLORIDA POWER AND LIGHT COMPANY
C.B.S.	= CONCRETE BLOCK CONSTRUCTION
S/T	= SEPTIC TANK
D/F	= DRAINFIELD
P.P.	= POWERPOLE
M.H.	= MANHOLE
C.B.	= CATCH BASIN
F.H.	= FIRE HYDRANT
E.O.P.	= EDGE OF PAVEMENT
B.O.C.	= BACK OF CURB
R/W	= RIGHT OF WAY
C/L	= CENTERLINE
P.L.	= PROPERTY LINE
(P)	= PLAT DATA
(L)	= LEGAL DESCRIPTION DATA
(M)	= MEASURED DATA
(C)	= CALCULATED DATA
SEC.	= SECTION
TWP.	= TOWNSHIP
RGE.	= RANGE
R	= RADIUS
L	= LENGTH
C	= CENTRAL ANGLE
C BRG	= CHORD BEARING
N.R.	= NON-RADIAL
P.T.	= POINT OF TANGENCY
P.C.	= POINT OF CURVATURE
P.R.C.	= POINT OF REVERSE CURVATURE
P.R.C.	= POINT OF COMPOUND CURVATURE
P.O.C.	= POINT OF CURVE
STA.	= STATION
F.B.	= FIELD BOOK
P.B.	= PLAT BOOK
O.R.B.	= OFFICIAL RECORDS BOOK
PG.	= PAGE
I.E.	= INVERT ELEVATION

FEMA FLOOD ZONE DETERMINATION  
FLOOD ZONE "X" (MINIMAL FLOOD HAZARD)  
PANEL # 12099C 0979F  
EFFECTIVE 10/05/2017

SURVEYOR'S CERTIFICATE  
I, WILLIAM J. WRIGHT, DO HEREBY CERTIFY THAT I AM A DULY LICENSED AND PRACTICING PROFESSIONAL SURVEYOR AND MAPPER IN THE STATE OF FLORIDA; ALSO THAT THE SKETCH OF THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS, PURSUANT TO CHAPTER 5J-17 OF FLORIDA ADMINISTRATIVE CODE, AND THAT UNDER MY SUPERVISION DID MAKE AN ACTUAL SURVEY OF THE LAND DESCRIBED HEREIN, AND THAT SAID SURVEY WAS PHYSICALLY MADE ON THE GROUND PER RECORD DESCRIPTION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

WILLIAM J. WRIGHT, P.S.M.  
LICENSE NO. 6868, STATE OF FLORIDA  
ELECTRONIC VERSION OF THIS SURVEY SIGNED AND SEALED BY  
WILLIAM J. WRIGHT, P.S.M., ON DATE SHOWN, USING AN SHA-1 AUTHENTICATION CODE.  
THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.  
PAPER COPIES OF THIS SURVEY NOT VALID WITHOUT ORIGINAL INK SIGNATURE AND RAISED SEAL.

SURVEYOR'S NOTES:  
1. NORTH AS SHOWN IS REFERENCED TO THE PLAT OF TOWN OF LINTON, FLORIDA, PLAT BOOK 01, PAGE 03, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, THERE ARE NO BEARINGS SHOWN ON RECORD PLAT, BEARINGS SHOWN ARE REFERENCED TO THE ASSUMED BEARING OF N00°00'00"E, ALONG THE EAST LINE OF LOT 12, AS SHOWN.  
2. ONLY ABOVE GROUND IMPROVEMENTS AND UTILITIES LOCATED.  
3. ALL ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK USED: FDOT BRASS DISK STAMPED "806-93-05-003", ELEVATION=18.589' NAVD88.  
4. NO TITLE SEARCH WAS PERFORMED BY THIS FIRM, AND NO TITLE ABSTRACT WAS SUPPLIED.  
5. THERE IS NO OBSERVED PHYSICAL EVIDENCE OF ACTIVE CONSTRUCTION, OR LAND USE INDICATING A CEMETERY, WASTE DUMP, OR LANDFILL ON PREMISES AT THE TIME OF THIS SURVEY.  
6. THE ACCURACY OF SURVEY CONTROL HAS BEEN VERIFIED BY TRAVERSE CLOSURE, AND EXCEEDS THE REQUIREMENT FOR COMMERCIAL/HIGH RISK LINEAR ACCURACY OF 1 FOOT TO 10,000 FEET, AS PER RULE 5J-17.051(3)(9)(15)(9)(1)  
7. LAST DATE OF FIELDWORK: 02/21/2020

LEGAL DESCRIPTION: (AS PER O.R.B. 16676, PG. 1939)  
Lot 12, LESS the South 4 feet thereof, Block 60, TOWN OF DELRAY, Florida, as recorded in Plat Book 1, Page 3, of the Public Records of Palm Beach County, Florida.  
AND  
Condominium Units 17-25 of BLOCK 60 PARKING CONDOMINIUM, according to the Declaration of Condominium recorded in Official Record Book 9962, Page 308, of the Public Records of Palm Beach County, Florida.

CERTIFIED TO:  
DELRAY BEACH COMMUNITY REDEVELOPMENT AGENCY

BOUNDARY AND TOPOGRAPHIC SURVEY FOR  
DELRAY BEACH COMMUNITY  
REDEVELOPMENT AGENCY

Scale	1" = 10'	Checked	
Drawn	WJW	WJW	

Rev.	Description	By	F.B. & PG.	Date	Task No.
1	RECORD SURVEY	WJW	04-44	08/04/15	
2	UPDATE & RE-CERTIFY	WJW	FILE	11/18/16	
3	FORMBOARD SURVEY	WJW	FILE	06/03/19	
4	AS-BUILT SURVEY	MDM	FILE	08-28	
				12/03/19	
				02/21/2020	

WrightPSM, LLC  
PROFESSIONAL SURVEYING AND MAPPING  
1248 SE 12TH AVE DEERFIELD BEACH, FL 33441  
info@wrightpsm.com (772) 538-1658 www.wrightpsm.com  
CERTIFICATE OF AUTHORIZATION NO. L.B.8186