



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: 110 Building
Project Location: 110 E. Atlantic Avenue
Request: Class I Site Plan Modification
PCN: 12-43-46-16-01-077-0010
Board: Site Plan Review and Appearance Board
Meeting Date: October 28, 2020
Board Action: 7-0

Board Action:

Approved (7-0)

Project Description:

The subject property is located on the south side of East Atlantic Avenue at SE 3rd Avenue within the Central Business District (CBD) and consists of Lots 1-3 and Lots 7-9, Block 77, Town of Delray. The property contains a four-story office building with underground parking and was formally known as the GRIP Building originally built in 1976.

The proposed architectural elevation changes include combining bay two and three for a proposed restaurant. The new square footage of the restaurant is 2,957 SF. The previous restaurant was 2,128 SF. The remainder of the combination of the bay which is 225 SF will become building common area which will house mechanical and electrical equipment.

The proposed elevation changes on the north elevation consists of the main entrance with a new horizontal wood plank cladding system in Warm White Oak Finish, the existing Prodema façade surface Cladding to be removed and replaced with new vertical Dark Espresso Walnut Finish, the exterior columns and lower wall to remain and receive new white paint. Ivy Creepers to be planted on the column surfaces to accent the walls. The stucco walls will receive a light grey finish and the storefront and stucco bands a new white finish. New retractable fabric awnings are being introduced along the north and west façade in grey and white stripes. The north awnings are 10 feet 11 inches and nine feet eight ½ inches and project six feet. The awnings on the west side are nine feet and project four feet six inches. The proposed awnings will encroach into the public right-of-way on East Atlantic Avenue in the open position. Pursuant to LDR Section 4.3.4(H)(4)(o) canopies, marquees and covered walkways may extend within front and side setback areas in commercial zone districts through the approval of Canopy Hold Harmless Agreement with the City per LDR Section 6.3.4. There is an existing Hold Harmless Agreement that will be amended and recorded to reflect the changes to bay two and three. Lastly, the railing will be removed and new mullion less glass railings will be installed along the restaurant.

Board Comments:

N/A

Public Comments:

Appealable Item Report

A public comment was phoned in and brought up the intensity of the change of use and the height of the building.

Associated Actions:

N/A

Next Action: The SPRAB action is final unless appealed by the City Commission.



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

DEVELOPMENT SERVICES DEPARTMENT

100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: October 28, 2020

File No.: 2020-265 SPF-SPR-CLI

Application Type: Class I Site Plan Modification

General Data:

Owner: Menin Development Inc

Location: 110 E. Atlantic Avenue

PCN: 12-43-46-16-01-077-0010

Property Size: 0.457 Acres

FLUM: CC (Commercial Core)

Zoning: CBD (Central Business District)

Adjacent Zoning:

- North: CBD
- South: CBD
- East: CBD
- West: OSSHAD (Old School Square Historic Arts District)

Existing Land Use: Restaurant, Retail and Office

Proposed Land Use: Restaurant, Retail, Office



Item before the Board:

The action before the Board is for the consideration of a Class I Site Plan Modification for **110 E. Atlantic Ave** pursuant to LDR Section 2.4.5 (G), including:

- ☐ Minor modifications to the architectural Elevations

Optional Board Motions for Action Items:

1. Move to continue with direction.
2. Move approval of the Class I (2020-265) Site Plan Modification and Architectural Elevations for **110 E. Atlantic Avenue**, as amended by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Chapter 3 of the Land Development Regulations.
3. Move denial of the Class I (2020-265) Site Plan Modification and Architectural Elevations for **110 E. Atlantic Avenue**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Chapter 3 of the Land Development Regulations.

Background:

The subject property is located at the SE corner of East Atlantic Avenue and SE 1st Avenue within the Central Business District (CBD) and consists of Lots 1-3 and Lots 7-9, Block 77, Town of Delray. The property contains a four-story office building with underground parking and was formally known as the GRIP Building originally built in 1976. The property has an extensive land use history. The following are the most recent land use actions that relate to the property:

Project Planner:

Jennifer Buce
buce@mydelraybeach.com
561-243-7138

Review Dates:

October 28, 2020

Attachments:

1. Building Elevations
2. Site plan
3. survey



On February 14, 2001, the SPRAB approved a site plan modification consisting of minor changes to the site and extensive façade changes to accommodate SOPRA restaurant. Further modifications, including the installation of a 144 square foot walk-in cooler with an eight-foot-high concrete block wall enclosure at the south side of the building, were approved by the SPRAB at its meeting of April 25, 2001.

On September 8, 2004, the SPRAB approved a site plan modification to convert 1,607 square feet of general commercial (office) floor area to restaurant (ice cream parlor). The modifications included: a) the replacement of the two (2) easternmost windows along the north elevation with aluminum and steel cable railings; b) the replacement of the windows at the northwest corner of the building with concrete stairs and aluminum hand rails; and c) the installation of a new storefront within the footprint of the building, approximately nine feet from the existing exterior wall facing East Atlantic Avenue to accommodate an entrance from Atlantic Avenue and SE 1st Avenue at the northwest corner of the building, and a 295 square foot outdoor seating area.

At its meeting of March 11, 2011, the SPRAB approved a Class III site plan modification consisting of a 355 square foot kitchen expansion and architectural elevation changes to operate a restaurant on the northwest corner of the building known as Café de France. The modifications included the installation of black fabric awning along the west elevation to cover a sidewalk café area along SE 1st Avenue.

On August 27, 2014, SPRAB approved a Class III site plan modification, landscape plan, and architectural elevations for Rocco's Tacos to convert 423 sq. ft. of lobby space to restaurant, including a new kitchen, ADA compliant restrooms, sidewalk café dining area at the front of the building, and a handicap parking space at the rear.

On February 24, 2016 a Class III Site Plan Modification, Landscape Plan and Architectural Elevations with a waiver request for the porch depth was approved for 5' where 8' is required.

On August 28, 2019, A Class I Site Plan Modification was approved for the installation of retractable awnings on the north and west elevations for the existing restaurants Rocco's Tacos and L'Aqua. The awnings were approved at Rocco's Tacos at 37' x 8'3" and at L'Aqua 22' x 8'3" and on the west elevation at 19' x 8'3". A hold harmless agreement was recorded for the north elevation awnings as they encroach in the public right of way.

Now before the board is a Class I Site Plan Modification which includes minor elevation changes to the main entrance and Bays two and three formerly known as L'Aqua and common office space area.

Project Description:

The subject request includes minor architectural elevation changes which include combining parts of Bay two and three for a proposed revised square footage of 3,182. The proposed restaurant will be 2,957 square feet and the remaining 225 square feet will be office building common area (mechanical and electrical room). The restaurant does assess parking and bicycle requirements which is provided on site as they have additional parking as described below. A parking description is included with this report and will be included with the site plan to memorialize it moving forward as the certified plans on the last certified set are incorrect. The main entrance and bay will receive new stone brick cladding and painting on the north and west façade, new light fixtures, and new planters at 2nd level and covered porch area.

Parking

Pursuant to LDR Section 4.6.9(C)(8)(a), when a building or combination of building on a unified site contains a mix of uses the shared parking calculation can be used; the minimum total number of required parking spaces is 108. The subject property provides on-site, off-site and through the in lieu of payment program. According to a study that was conducted in 2018, the total number of on-site parking spaces is 26 (24 spaces in the parking garage located on-site and two handicapped spaces on the south side of the property). On June 16, 2002 an Exchange Agreement was made and identifies 55 fulltime spaces and 40 part time parking spaces in the Federspiel parking garage. In addition, ten in lieu spaces were approved for the subject property through the in-lieu payment program. In September 2004, the City Commission approved five spaces; In February 2011, the City Commission approved one space and in December 2014 four in lieu spaces were approved. Based on the information above, the 110 Building currently has 131 spaces.

The conversion of 829 SF from commercial/retail to restaurant changed the parking requirement to 118 required spaces according to the shared parking calculation.



Commercial Uses in the CBD	Requirement	Existing and Proposed Sq. Ft.	Min. number of spaces required
Offices (> 10,000 sq. ft and located within 750 feet of a public parking garage)	1 space / 500 sq. ft	27,318 sq. ft	54.63
Retail and Commercial Uses	1 space / 500 sq.ft.	1,654 sq. ft	3.3
Restaurants (in the Atlantic Ave.)	12 spaces / 1,000 sq.ft. for the first 6,000 sq.ft.	6,000 sq. ft	72
Restaurants (in the Atlantic Ave.)	15 spaces / 1,000 sq.ft. above 6,000 sq.ft.	2,529 sq. ft	38
Total		37,501 sq.ft.	168 (rounded down to 157)

Shared Parking Calculations Table
Use for multiple use projects

Use	Required	Weekday						Weekend					
		Night		Day		Evening		Day		Evening			
		Midnight to 6 AM		9 AM to 4 PM		6 PM to Midnight		9 AM to 4 PM		6 PM to Midnight			
Residential		100%	0	60%	0	30%	0	80%	0	30%	0		
Office	54.63	5%	2.7315	100%	54.63	10%	5.463	10%	5.463	5%	2.7315		
Commercial/Retail	3.3	5%	0.165	70%	2.31	30%	2.31	100%	3.3	70%	2.31		
Hotel		80%	0	80%	0	100%	0	80%	0	100%	0		
Restaurant	110	10%	11	50%	55	100%	110	50%	55	100%	110		
(theatres, bowling alleys, etc)		10%	0	40%	0	100%	0	80%	0	100%	0		
Reserved Parking		100%	0	100%	0	100%	0	100%	0	100%	0		
Other		100%	0	100%	0	100%	0	100%	0	100%	0		
TOTALS	168		14		112		118		64		115		

118 Total Spaces Required

Bicycle

There are 18 existing bicycle racks on site in the lower level parking garage. Per Ordinance 29-20, the bicycle requirement has been met with the requirement of 10 spaces (5 racks).

Commercial Uses in the CBD	Requirement	Existing and Proposed Sq. Ft.	Min. Number of Spaces required
Office < 50,000	1 space/ 5,000 sq. ft	27,318	5.4636
Retail/Restaurant	1 space/2,500 sq.ft.	10,183	4.0732
Total		37,501 sq. ft.	9.5368 Rounded to 10 spaces, 5 racks

Lighting:

Pursuant to LDR Section 4.6.8, on-site lighting must be provided and be consistent with the minimum and maximum foot candle illumination level requirements. The project proposes 11 new wall sconces on the north and west elevations that are full cut off luminaires. The lighting levels provided meet the minimum and maximum foot candle allowances.

Architectural Elevation Analysis:

LDR Section 4.6.18(E) – Criteria for Board Action: The following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste; good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.



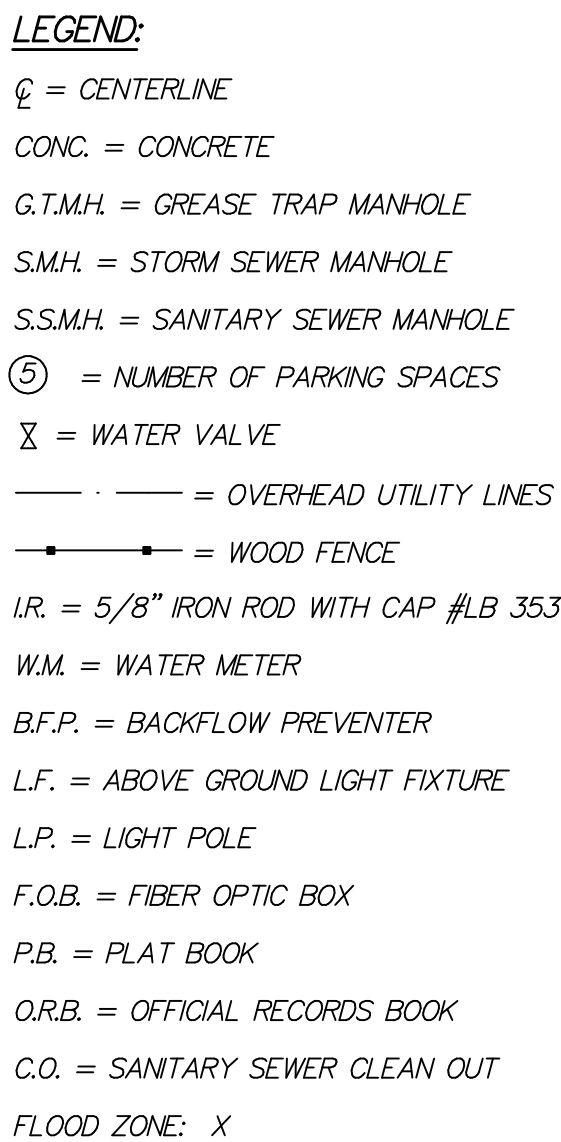
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed architectural elevation changes include combining bay two and three for a proposed restaurant. The new square footage of the restaurant is 2,957 SF. The previous restaurant was 2,128 SF. The remainder of the combination of the bay which is 225 SF will become building common area which will house mechanical and electrical equipment.

The proposed elevation changes on the north elevation consists of the main entrance with a new horizontal wood plank cladding system in Warm White Oak Finish, the existing Prodema façade surface Cladding to be removed and replaced with new vertical Dark Espresso Walnut Finish, the exterior columns and lower wall to remain and receive new white paint. Ivy Creepers to be planted on the column surfaces to accent the walls. The stucco walls will receive a light grey finish and the storefront and stucco bands a new white finish. New retractable fabric awnings are being introduced along the north and west façade in grey and white stripes. The north awnings are 10 feet 11 inches and nine feet eight ½ inches and project six feet. The awnings on the west side are nine feet and project four feet six inches. The proposed awnings will encroach into the public right-of-way on East Atlantic Avenue in the open position. Pursuant to LDR Section 4.3.4(H)(4)(o) canopies, marquees and covered walkways may extend within front and side setback areas in commercial zone districts through the approval of Canopy Hold Harmless Agreement with the City per LDR Section 6.3.4. There is an existing Hold Harmless Agreement that will be amended and recorded to reflect the changes to bay two and three. Lastly, the railing will be removed and new mullion less glass railings will be installed along the restaurant.

Review by Others:

- At the meeting of October 13, 2020, the **DDA (Downtown Development Authority)** reviewed the development proposal.



TITLE NOTES:

PARCEL SUBJECT TO TURN-AROUND AMENITY RECIPROCAL
EASEMENT AGREEMENT AS RECORDED IN O.R.B. 20414, PAGE
535, AND AMENDED IN O.R.B. 21983, PAGE 1256.

DESCRIPTION:
LOT 1, 2 AND 3, BLOCK 77, TOWN OF LINTON (NOW DELRAY BEACH), AS RECORDED IN PLAT BOOK 1, PAGE 3, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SITE INFORMATION:

USE CODE: 1800 - OFFICE MULTISTORY

ZONING: CBD - CENTRAL BUSINESS (12 - DELRAY BEACH)

PROPERTY ADDRESS: 110 EAST ATLANTIC AVENUE
DELRAY BEACH, FLORIDA 33444

UNDERGROUND PARKING SPACES:
4 HANDICAP (12' X 18')
14 REGULAR SPACES (10' X 18')

FLOOD ZONE: X

NATIONAL FLOOD INSURANCE RATE MAP COMMUNITY PANEL
NUMBER 125102 0004 D, MAP REVISED JANUARY 5, 1989

MAP OF BOUNDARY SURVEY
SITE ADDRESS: 110 EAST ATLANTIC AVENUE
DELRAY BEACH, FLORIDA 33444

HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Paul D. Gill

NOT VALID WITHOUT THE SIGNATURE AND
THE ORIGINAL RAISED SEAL OF A FLORIDA
LICENSED SURVEYOR AND MAPPER

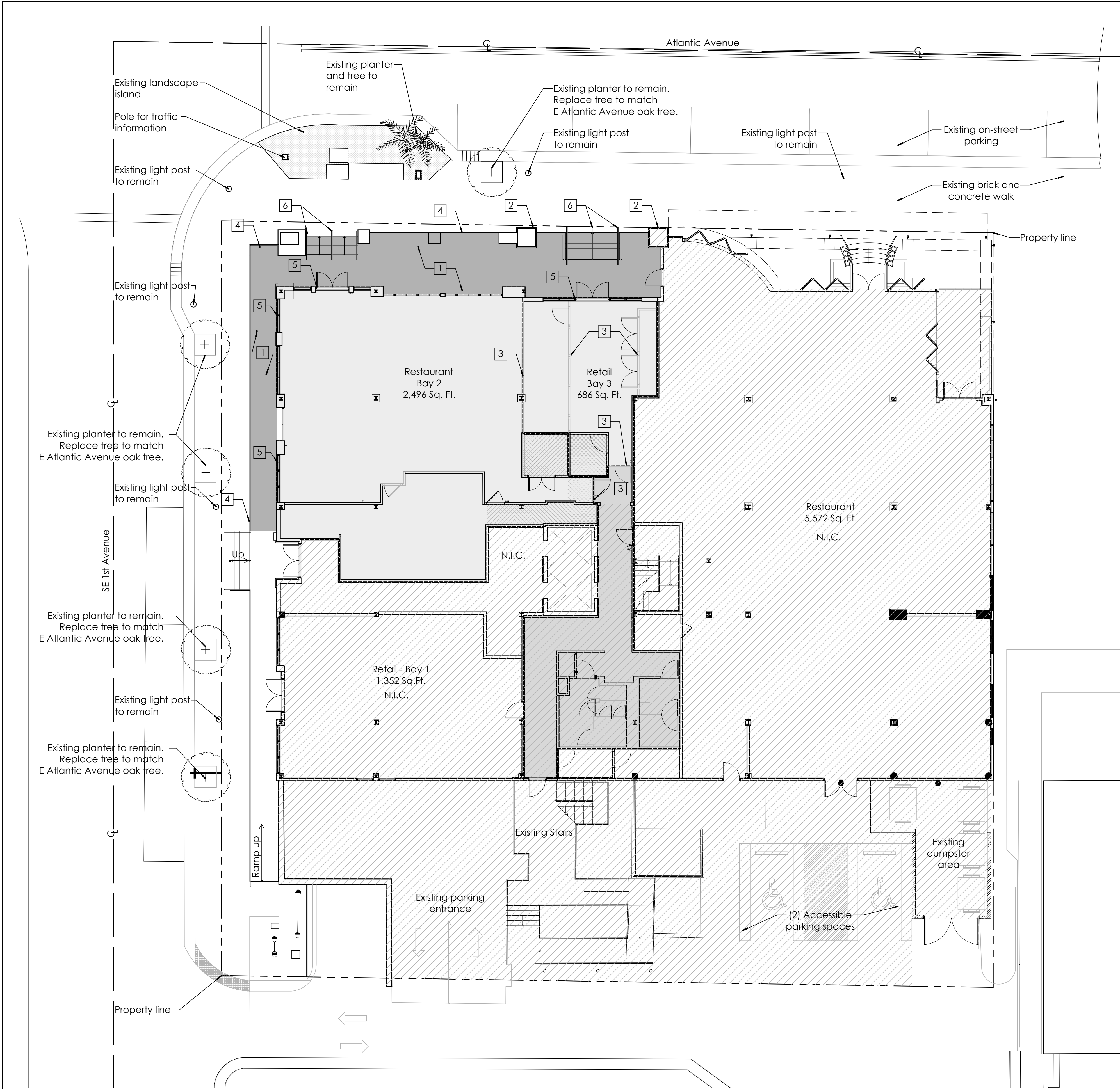
O'BRIEN, SUITER & O'BRIEN, I
LAND SURVEYORS

CERTIFICATE OF AUTHORIZATION #LB353
SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D.
955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA
(561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY SEPT. 1, 2015		SCALE:
FIELD BOOK D.278	PAGE NO. 14	

[illegible]

Progress Set: Not For Construction



LEGEND

- 1 Existing floor finish to be removed and receive new slip-resistance grade porcelain tile.
- 2 Entrance Porch cladding to be removed and receive new wood horizontal cladding system.
- 3 Interior partition wall to be removed as shown. Patch remaining surfaces to match existing adjacent and prepare to receive new finishes. Remove any electrical devices and pull wires back to panel.
- 4 Existing Railing to be removed. Prepare to receive new side mounted mullionless glass railing.
- 5 Existing exterior doors and storefront to remain and receive new white paint finish.
- 6 Existing stairs hand railing to be removed. New handrails to be installed.

Existing Program and Parking Breakdown

Area	Use	Sq.Ft.
Bay 1	Retail (Existing to remain)	1,352 Sq.Ft.
Bay 2	Restaurant (Existing to be combined with Bay 3)*	2,496 Sq.Ft.
Bay 3	Retail (to be combined with Bay 2 and use to be changed to Restaurant)*	686 Sq.Ft.
Bay 4		4,715 Sq.Ft.
Bay 5		4,391 Sq.Ft.
Bay 6	Business and Professional	4,715 Sq.Ft.
Bay 7	Office (Existing to remain)	4,715 Sq.Ft.
Bay 8		4,391 Sq.Ft.
Bay 9		4,391 Sq.Ft.
Restaurant	Restaurant (Existing to remain)	5,572 Sq.Ft.

* The existing total Sq.Ft. of Bay 2 and Bay 3 is 3,182 SqFt. The proposed plan combines parts of Bay 2 and Bay 3 for a proposed revised restaurant of 2,957 SqFt. The proposed plan adds the remainin 225 SqFt to the office building common area (Mechanical and Electrical Rooms) of the building.

- Area of Bays to be converted to Common Area
- Bays to be combined
- Common Area
- Elements to be demolished
- Not In Scope

M E N I N

110 BUILDING
Exterior Renovation

Class I Application

110 E Atlantic Avenue
Delray Beach, FL 33444



North
Registration Seal
AA 0002305
AR 0008134
Address
14 NE 1st Avenue, Suite 507 Miami, FL 33132
T +1 (305) 455-4216

Issued/Revised		
No.	Date	Description
Drawing Title		

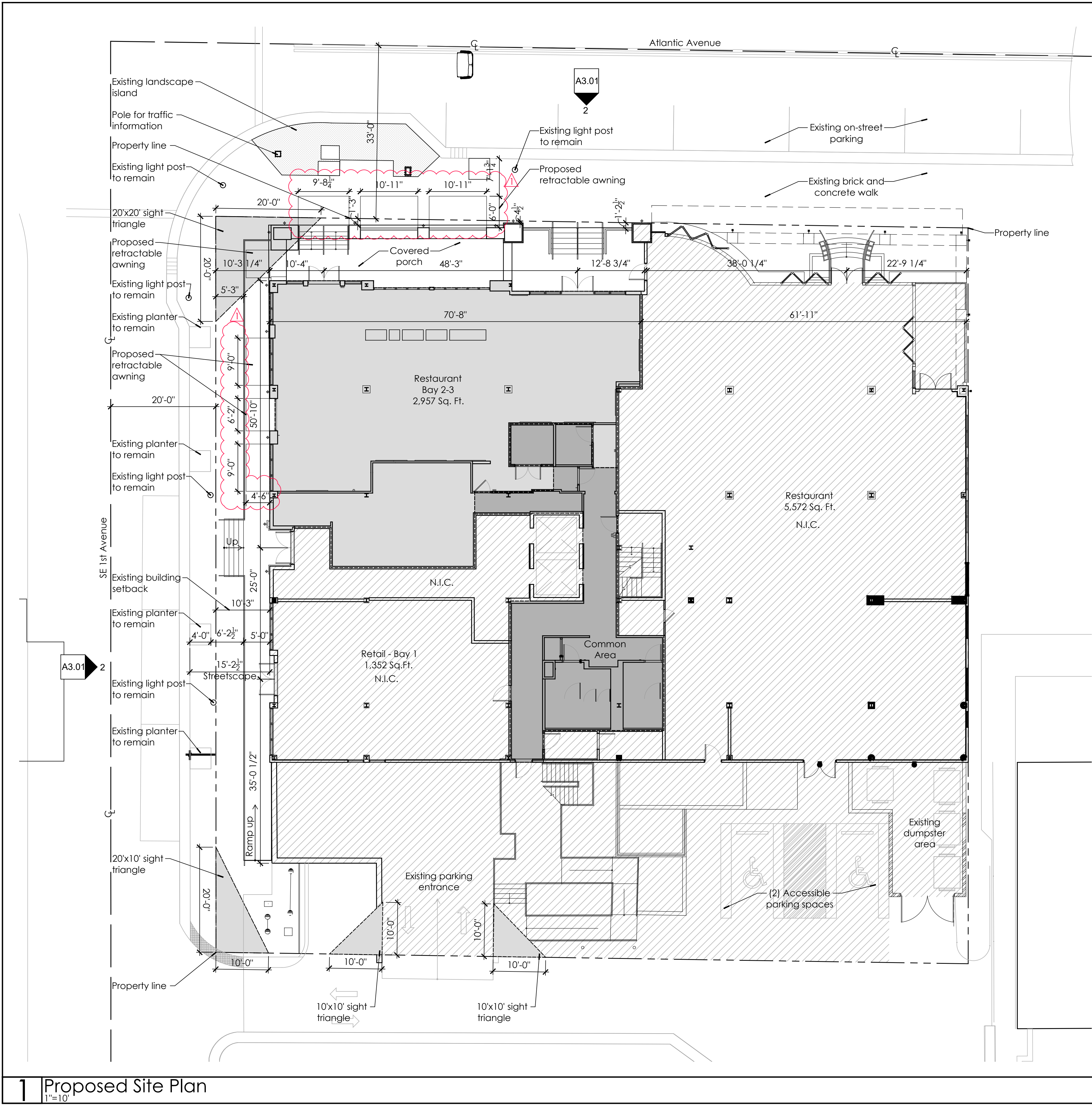
Site Demolition Plan

Scale
Date
Drawn By
Project No.
Drawing No.
As Noted
September 10th, 2020
AN, MD, IMG, SD
19001

1 Site Demolition Plan
1"=10'

3 General Notes

SD1.01



1 Proposed Site Plan
1"=10'

Proposed Program and Parking Breakdown				
Area	Use	Sq.Ft.	Parking Calculation	Parking Required
Bay 1	Retail (Existing)	1,352 Sq.Ft.	1 per 500 Sq.Ft.	2.7 spaces
Bay 2-3	Restaurant (Proposed)	2,957 Sq.Ft.	12 spaces per 1,000 SqFt for the first 6,000 SqFt, plus 15 spaces per each additional 1,000 SqFt	35.5 spaces
Bay 4	Business and Professional Office (Existing)	4,715 Sq.Ft.	1 per 500 Sq.Ft. net	9.43 spaces
Bay 5		4,391 Sq.Ft.		8.78 spaces
Bay 6		4,715 Sq.Ft.		9.43 spaces
Bay 7		4,715 Sq.Ft.		9.43 spaces
Bay 8	Restaurant (Existing)	4,391 Sq.Ft.	12 spaces per 1,000 SqFt for the first 6,000 SqFt, plus 15 spaces per each additional 1,000 SqFt	8.78 spaces
Bay 9		4,391 Sq.Ft.		8.78 spaces
Restaurant		5,572 Sq.Ft.		66.86 spaces
				159.49

* The existing total Sq.Ft. of Bay 2 and Bay 3 is 3,182 SqFt. The proposed plan combines parts of Bay 2 and Bay 3 for a proposed revised restaurant of 2,957 SqFt. The proposed plan adds the remainin 225 SqFt to the office building common area (Mechanical and Electrical Rooms) of the building.

Section 4.4.13 (I)(2)(e):
Properties located within 750 feet of a public parking garage or the Planned Tri-Rail Coastal Link station (See Figure 4.4.13-5) are not required to provide additional parking resulting from a change in use, except for new restaurant and lounge uses, within an existing building, provided additional floor area is not created. The distance shall be measured along the closest pedestrian route between nearest building entrances/the planned station location.

USE	REQUIRED	WEEKDAY			WEEKEND	
		NIGHT MIDNIGHT TO 6 A.M.	DAY 9 A.M. TO 4 P.M.	EVENING 6 P.M. TO MIDNIGHT	DAY 9 A.M. TO 4 P.M.	EVENING 6 P.M. TO MIDNIGHT
Office	54.63	(5%)=2.7	(100%)=54.63	(10%)=5.5	(10%)=5.5	(5%)=2.7
Commercial/Retail	2.7	(5%)=0.14	(70%)=1.89	(90%)=2.43	(100%)=2.7	(70%)=1.89
Restaurant	102.36	(10%)=10.2	(50%)=51.2	(100%)=102.36	(50%)=51.2	(100%)=102.36
TOTALS	159.49	13	108	110	59	107

*** Section 4.6.9 (C) (8): Multiple Uses - Shared Parking**
Shared Parking Calculations Table - Use for multiple use projects.
According to this section of the code, the **minimum total parking requirement is 110 parking spaces**, which is the highest sum of the vertical columns.

*** Table 4.4.13(K)**
Minimum Number of Bicycle Parking Spaces Required in the CBD

Use	Bicycle Parking Requirements	Quantity Provided	Bicycle spaces required
Professional Office <50,000	1 space per 5,000 SqFt net floor area	27,318 SqFt/5,000 = 5.46	10
Retail, Restaurant and Commercial Uses	1 space per 2,500 SF of gross floor area	9,881/1,000 = 3.95	

Location of Parking Provided	Number of Spaces
Federspiel Parking Garage (full-time, from previous application)	55 spaces
Federspiel Parking Garage (part-time, from previous application)	40 spaces
Surface parking	2 spaces
Garage Space (below grade)	24 spaces
Paid in-lieu (from previous application)	10 spaces
Total Spaces Provided	131
Total Spaces Required	110

Frontage Type: Porch		
LDR Table 4.4.13(E) - Dimensional Requirements for Porches		
Description	Required	Proposed
Building Setback	10ft min/15ft max	10'-2" (Existing to Remain)
Depth	8ft./12ft.	5'-0" (SE 1st Ave, Existing to Remain) 8'-0" (Atlantic Ave, Existing to Remain)
Width	40%-100% Facade	100% (SE 1st Ave, Existing to Remain) 50% (Atlantic Ave, Existing to Remain)
Floor Elevation	0.5ft./4ft.	3'-0" (Existing to Remain)
Allowable Encroachment	8ft. maximum	N/A

- Common Area
- Bay 2-3 in scope
- Not In Scope

General Notes

- Proposed work to encompass change of use of Bay 3 (from Retail to Restaurant), and facade material changes
- Common area noted in plan to encompass: Mechanical/Electrical Rooms, Common Restrooms, Common Hallways, Lobby, etc).

3 General Notes

M E N I N

110 BUILDING
Exterior Renovation

Class I Application

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North

Registration Seal
AA 0002025 14 NE 1st Avenue, Suite 507 Miami, FL 33132
AR 0008134 T +1 (305) 455 4216

Issued/Revised

No.	Date	Description
1	10-07-2020	Revision 1

Drawing Title

Proposed Site Plan

Scale As Noted

Date September 10th, 2020

Drawn By AN, MD, MG, SD

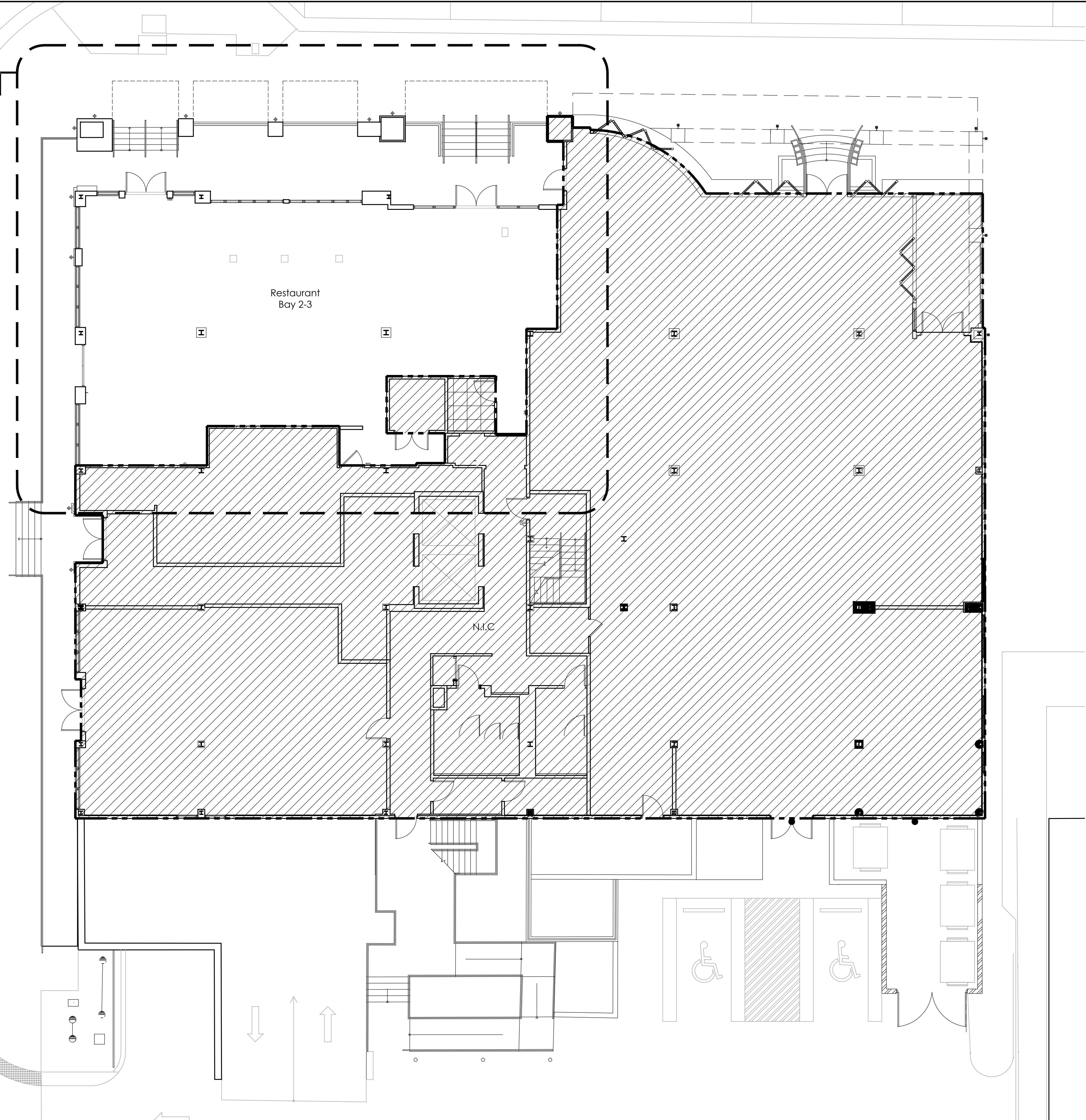
Project No. 19001

Drawing No.

ST1.01

Progress Set: Not For Construction

1 A2.01
See enlarged
for proposed
notes



1 Ground Level Plan
1/4"=1'-0"

Not In Scope

General Notes:

-GC to familiarize him/herself with field conditions prior to commencement of work and notify Architect of any discrepancies or unforeseen conditions prior to commencement of work.

-All finishes, flooring, doors, windows, trim, wall paneling, and moldings that are existing to remain shall be protected during demolition and construction. Repair as required.

-All existing structural elements to remain and be protected during demolition and construction.

-Any discrepancy between Architectural drawings and Consultant drawings (i.e. Interiors etc.) is to be immediately brought to the attention of the Architect in writing prior to the continuation of work.

-Existing fire alarm sprinkler and life safety components to remain undisturbed and operational for the duration of demolition and construction. Any items removed as required to facilitate work to be performed shall be promptly reinstalled in new or existing locations, to face of new construction as required in order to maintain code required coverage.

-Any modifications to the life safety systems shall be performed as a design build system by a qualified contractor. Design build contractor shall assume the responsibility of preparing all documents needed to obtain all required permits while meeting all applicable codes.

3 General Notes

M E N I N

110 BUILDING
Exterior Renovation

Class I Application

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North

Registration Seal	Address
AA 0002305	14 NE 1st Avenue, Suite 507 Miami, FL 33132
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Issued/Revised		
No.	Date	Description

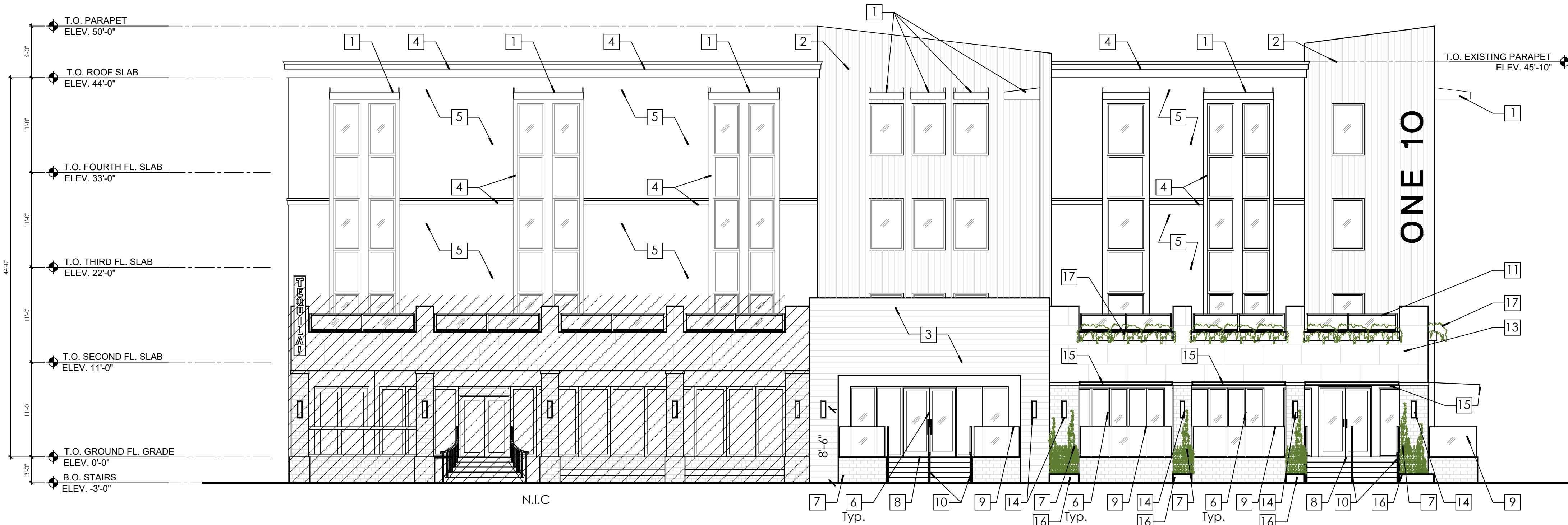
Drawing Title

Ground Level
Plan

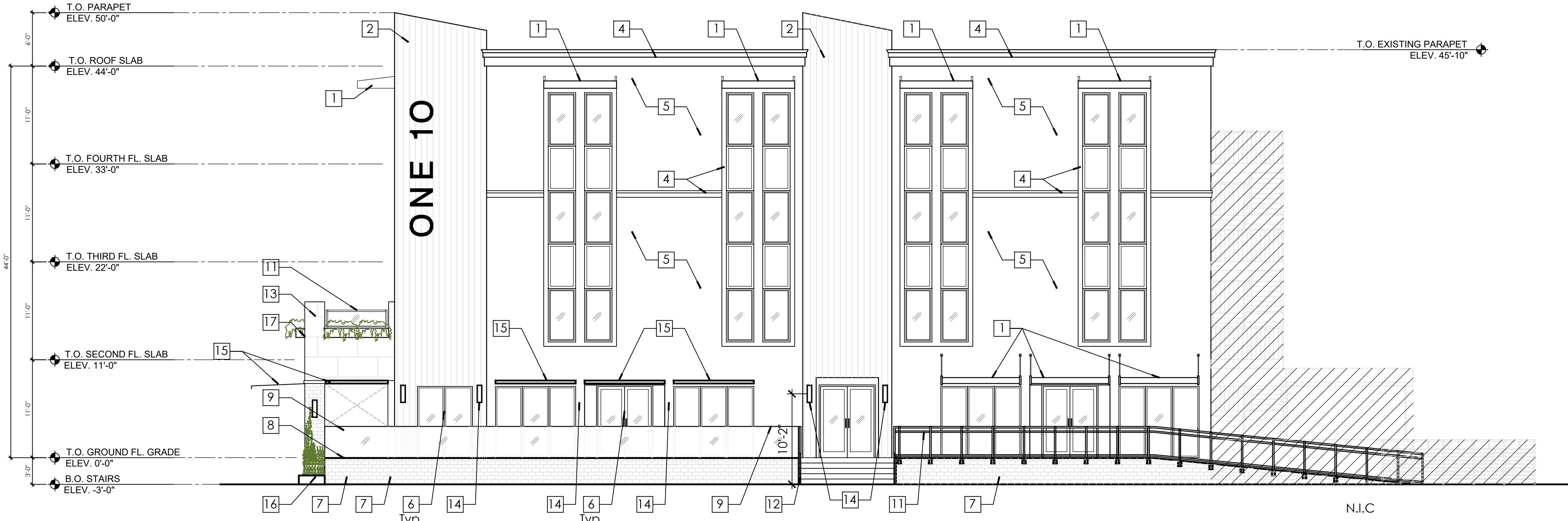
Scale	As Noted
Date	September 10th, 2020
Drawn By	AN, MD, MG, SD
Project No.	19001

Drawing No.

A1.02



1 Proposed North Elevation
1/4"=1'-0"



2 Proposed West Elevation

LEGEND

1. Existing awning to remain and be protected during construction, typical.
2. New vertical slat cladding system.
3. New horizontal wood planks cladding system.
4. Existing stucco to receive new white paint finish.
5. Existing stucco wall to receive new gray paint finish.
6. Existing storefront to receive new white paint finish.
7. Existing stone cladding to receive new white paint finish.
8. New floor tile finish.
9. New mullionless glass railing on side mounted shoe.
10. New handrail.
11. Existing railing to remain and be protected during construction, typical.
12. Existing handrail to remain and be protected during construction, typical.
13. Existing wall finish to remain and be protected during construction, typical.
14. New lighting fixture.
15. New retractable fabric awning
16. New Planter. Refer to Landscape Plan.
17. New side mounted planter with Bougainvillea.



2	Notes
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General Notes

-Architectural Style: Masonry Modern(Existing to Remain)

-GC to familiarize him/herself with field conditions prior to commencement of work and notify Architect of any discrepancies or unforeseen conditions prior to commencement of work.

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-Existing fire alarm sprinkler and life safety components to remain undisturbed and operational for the duration of demolition and construction. Any items removed as required to facilitate work to be performed shall be promptly reinstalled in new or existing locations, to face of new construction as required in order to maintain code required coverage.

-Any modifications to the life safety systems shall be performed as a design build system by a qualified contractor. Design build contractor shall assume the responsibility of preparing all documents needed to obtain all required permits while meeting all applicable codes.

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Issued/Revised		
No	Date	Description

Drawing Title

Proposed Elevations

Scale	As Noted
-------	----------

Date September 10th, 2020

Drawn By AN, MD, MQ, SD

Project No. 1900

Drawing No.

A3.01



1 | E Atlantic Ave - North Elevation View
1/4"=1'-0"



2 | SE 1st Ave - West Elevation View
1/4"=1'-0"



3 | E Atlantic Ave - Corner View
1/4"=1'-0"



4 | Entrance View
1/4"=1'-0"

M E N I N

110 BUILDING Exterior Renovation

Class I Application

110 E Atlantic Avenue
Delray Beach, FL 33444



Registration Seal
AA 0002305
AR 0008134

Address
14 NE 1st Avenue, Suite 507
Miami, FL 33132
T +1 (305) 455 4216

Issues/Revised
No. Date Description

Drawing Title

Existing Conditions

Scale As Noted

Date September 10th, 2020

Drawn By AN, MD, IMG, SD

Project No. 19001

Drawing No.

A4.01

Progress Set: Not For Construction

Progress Set: Not For Construction



1 | E Atlantic Ave - North Elevation View
1/4"=1'-0"



2 | SE 1st Ave - West Elevation View
1/4"=1'-0"



3 | E Atlantic Ave - Corner View
1/4"=1'-0"



4 | Entrance View
1/4"=1'-0"

M E N I N

110 BUILDING Exterior Renovation

Class I Application

110 E Atlantic Avenue
Delray Beach, FL 33444



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AR 0008134

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14 NE 1st Avenue, Suite 507
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Issues/Revised

No. Date Description

Drawing Title

Renderings

Scale As Noted

Date September 10th, 2020

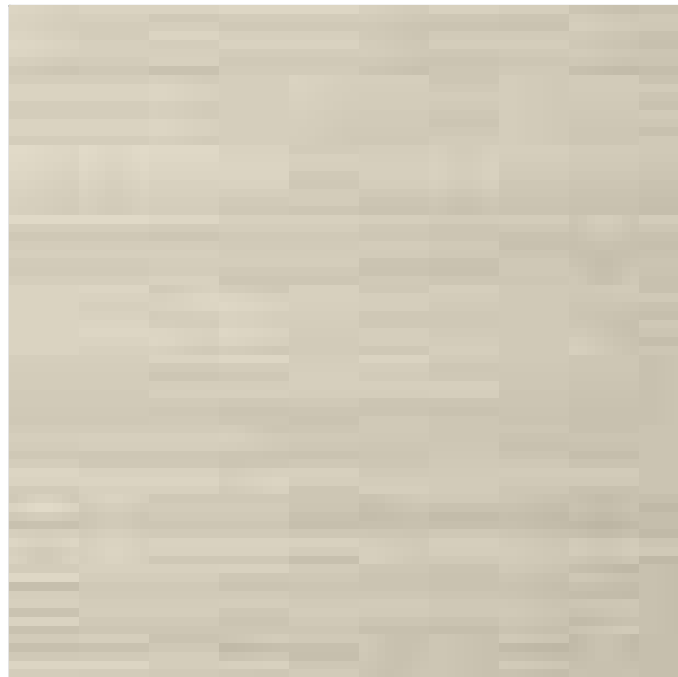
Drawn By AN, MD, IMG, SD

Project No. 19001

Drawing No.

A5.01

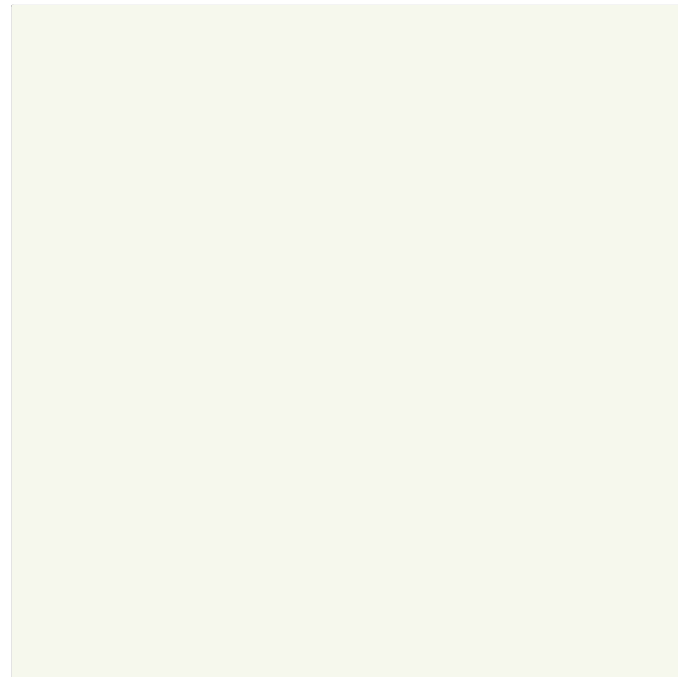
Progress Set: Not For Construction



1 Wood Horizontal Cladding
@Entrance Porch
WoodN - Finish: Bianco



2 Wood Vertical Cladding
@ Building Walls
WoodN - Finish: Cafe Bogota



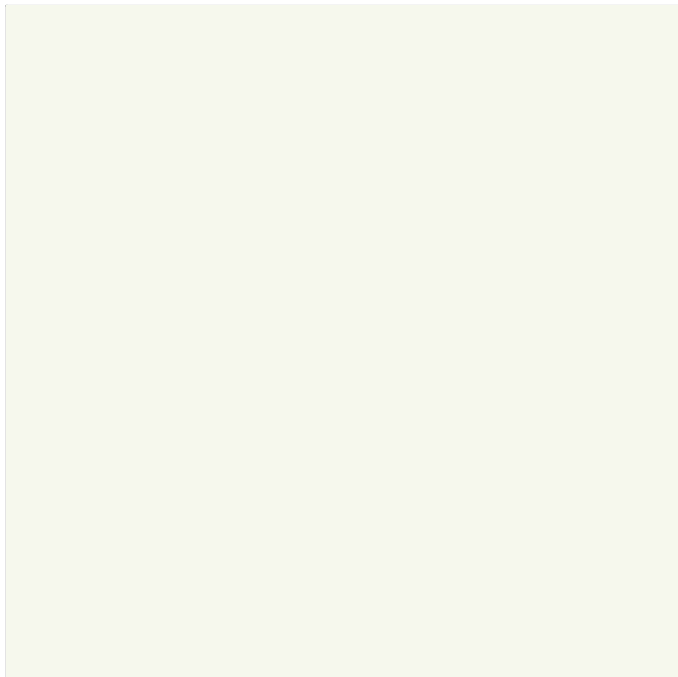
3 White Paint @ Brickwall and
Stucco Bands
Benjamin Moore
Simply White OC117



4 Gray Paint @ Stucco Walls
Benjamin Moore
Coventry Gray HC -116



5 Clear Glass @ Railing



6 White Finish @ Storefront
Benjamin Moore
Simply White
OC 117



7 Stripped Fabric @ Awning
Sunbrella Shade
Beaufort Cloud