



*Development Services Department*

**BOARD ACTION REPORT – APPEALABLE ITEM**

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**Project Name:** Chcolato  
**Project Location:** 418 E Atlantic Avenue  
**Request:** Class I Site Plan Modification  
**PCN:** 12-43-46-16-01-101-0030  
**Board:** Site Plan Review and Appearance Board  
**Meeting Date:** November 19, 2020  
**Board Action:** 6-0

**Board Action:**

Approved (6-0, Price Patton absent)

**Project Description:**

The subject property consists of 0.034 acres and is in the Central Business District (CBD) within the Central Core subdistrict. The property is located on the south side of East Atlantic Avenue between SE 4th Avenue and SE 5th Avenue and consists a 1,495-sf. building which was constructed in 1955 and contains a retail use which was last known as Dr. Doodle's.

The proposed elevations incorporate a new storefront façade design with a new entry door and window system with the frame in standard bronze. The door system has been moved from the east side to the middle and is now a double window system. The modifications to the entire façade include a color change from green to a beige. The awning projects five feet five inches and is twenty feet wide. Signage is proposed on the awning and will be reviewed and approved administratively.

**Board Comments:**

N/A

**Public Comments:**

N/A

**Associated Actions:**

N/A

**Next Action:** The SPRAB action is final unless appealed by the City Commission.



# SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

## DEVELOPMENT SERVICES DEPARTMENT

100 NW 1<sup>ST</sup> AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

### SITE PLAN REVIEW AND APPEARANCE BOARD

November 19, 2020

File No.: 2020-262 SPF-SPR-CLI

Application Type: Class I Site Plan Modification

#### General Data:

**Owner:** JHB Florida Properties, LLC

**Agent:** James H Batmasian

**Location:** 418 E Atlantic Avenue

**PCN:** 12-43-46-16-01-101-0030

**Property Size:** 0.034 Acres

**FLUM:** CC (Commercial Core)

**Zoning:** CBD (Central Business District)

#### Adjacent Zoning:

- North: CBD
- South: CBD
- East: CBD
- West: CBD

**Existing Land Use:** Retail

**Proposed Land Use:** Retail



#### Item before the Board:

The action before the Board is for the consideration of a Class I Site Plan Modification for Chocolat located at **418 E. Atlantic Ave** pursuant to LDR Section 2.4.5 (G), including:

- ☐ Minor modifications to the storefront and awning

#### Optional Board Motions for Action Items:

1. Move to continue with direction.
2. Move approval of the Class I (2020-262) Site Plan Modification and Architectural Elevations for 418 E. Atlantic Avenue, as amended by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Chapter 3 of the Land Development Regulations.
3. Move denial of the Class I (2020-262) Site Plan Modification and Architectural Elevations for 418 E. Atlantic Avenue, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Chapter 3 of the Land Development Regulations.

#### Project Planner:

Jennifer Buce  
561-243-7138  
buce@mydelraybeach.com

#### Review Dates:

November 18, 2020

#### Attachments:

1. Survey
2. Building elevations

**Project Description:**

The subject request includes minor changes to the storefront and awning.

**Assessment and Summary:**

The property consists of 0.034 acres and is currently zoned CBD (Central Business District) within the Central Core Sub-District. The project consists of architectural elevation changes to the façade of the existing building which include a change to the store front by introducing a new door system in the middle and windows on either side and a new awning.

**Background:**

The subject property consists of 0.034 acres and is in the Central Business District (CBD) within the Central Core subdistrict. The property is located on the south side of East Atlantic Avenue between SE 4<sup>th</sup> Avenue and SE 5<sup>th</sup> Avenue and consists a 1,495 sf. building which was constructed in 1955 and contains a retail use which was last known as Dr. Doodle's.

Now before the board is a Class I Site Plan Modification which includes changes to the façade.

**Site Plan Analysis:**

The following items identified in the Land Development Regulations shall specifically be addressed by the Site Plan Review and Appearance Board (SPRAB) for final action on the site and development applications/requests, as presented.

**LDR Section 4.4.13(D) – Dimensional Requirements by CBD Sub District**

The following table indicates that the development proposal meets the requirement as they pertain to the Central Core sub-district of the CBD District. Pursuant to Table 4.4.13(C), the following dimensional requirements are applicable, East Atlantic Avenue is classified as a Primary Street.

**Storefront and Glazing Area:**

Pursuant to LDR Section 4.4.13(E)(4)(e) the storefront is a frontage type along the sidewalk level of the ground story, typically associated with commercial uses. Storefront Dimensions Table 4.4.13(I) provides the dimensional requirements for all elements contained in a storefront as indicated in the chart below:

Commercial Storefronts	Dimensional Requirements		Proposed
	Minimum	Maximum	East Atlantic Avenue
Storefront Base	9 in	3 ft	1' 6" in
Glazing Height	8 ft	-	13' windows/17' doors
Awning Projection	5 ft	-	5'5"
Required Openings	80%		92%

**Architectural Elevations Analysis:**

Pursuant to LDR Section 4.4.13(F), the CBD has seven permitted architectural styles, which are described and illustrated in the Central Business District Architectural Design Guidelines. Pursuant to LDR Section 4.6.18(E), the following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.



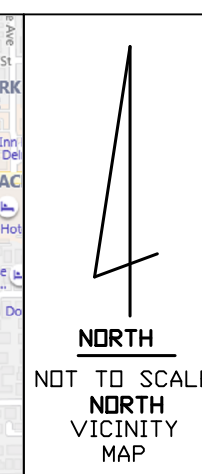
The proposed elevations incorporate a new storefront façade design with a new entry door and window system with the frame in standard bronze. The door system has been moved from the east side to the middle and is now a double window system. The modifications to the entire façade includes a color change from green to a beige. The awning projects five feet five inches and is twenty feet wide. Signage is proposed on the awning and will be reviewed and approved administratively.

**Review by Others:**

- At the meeting of November 16, 2020, the **DDA (Downtown Development Authority)** reviewed the development proposal.



- |                                   |                                  |                                       |                     |                   |
|-----------------------------------|----------------------------------|---------------------------------------|---------------------|-------------------|
| D.R.B. = official record book     | FRAN. = transformer pad          | P.B. = plat book                      | P. = plat           | P.G. = page       |
| C.B.S. = concrete block structure | FLRAFL = Florida power and light | P.Y. = typical                        | P.W. = power pole   | R.R. = iron rod   |
| C.P. = point of compound curve    | HCN = concrete nucleus           | R/W = right-of-way                    | M. = MEASURED       | R. = radius       |
| P.C.P. = permanent control point  | P.R.E. = point of reverse        | $\Delta$ = central angle              | I.P. = IRON PIPE    | D. = depth        |
| C.M.G. = center of mass           | P.T. = point of intersection     | $\Delta$ = angle of intersection      | OF. = offset        | OF. = offset      |
| P.O.B. = point of beginning       | T. = point of tangency           | ASP. = asphalt                        | L. = ARC LENGTH     | C.S.C. = concrete |
| D/E = drainage easement           | N.T. = not field measured        | M. = manhole                          | C. = centerline     | E.C.M. = easement |
| C.M.P. = concrete metal pipe      | CLV = clarity fence              | C.B. = chain basement                 | A.C.C. = calculated |                   |
| R.L.S. = registered land surveyor | CHATT = chattahoochee            | P.C. = point of curvature             |                     |                   |
| L.B. = licensed business          | ELEV = elevation                 | P.R.M. = permanent reference monument |                     |                   |



FLOOD ZONE: X
MAP NO.: 12099C0979F
MAP DATE: 10-5-2017
DATE: 9-30-2020
JOB NO. 10-20-003
REVISED

NOT VALID  
UNLESS SEALED  
WITH EMBOSSED  
SURVEYOR'S SEAL



ELEVATION NOTES

INSTALLING NEW SIGNS AND CHANGING THE FACE OF AN EXISTING SIGN REQUIRE A SIGN PERMIT. EACH SIGN REQUIRES A SEPARATE APPLICATION AND TWO SETS OF PLANS. THE PLANS (EXHIBITS) NEED TO BE DRAWN TO SCALE, WITH THE SIGN DRAWN TO SCALE ON THE BUILDING. PLANS NEED TO BE SEALED, AND WIND LOAD CALCULATIONS NEED TO ACCOMPANY THE APPLICATION.

IF THE SIGN IS ELECTRIC, AN ELECTRIC RISER DIAGRAM IS NEEDED. ON FREE STANDING SIGN APPLICATIONS, SUBMIT A PHOTOCOPY OF THE SURVEY SHOWING THE PROPOSED LOCATION, AND ALSO SHOW ANY OTHER FREESTANDING SIGNS THAT MAY BE ON THE PROPERTY.

SIGN PERMITS CAN BE APPLIED FOR BY A SIGN CONTRACTOR OR A GENERAL CONTRACTOR. IF A CONTRACTOR IS APPLYING, THE APPLICATION MUST BE SIGNED AND NOTARIZED BY THE QUALIFIER FOR THE CONTRACTOR, NOT BY AN AUTHORIZED AGENT. A LETTER FROM THE OWNER OF THE PROPERTY OR AGENT FOR THE OWNER, STATING APPROVAL TO INSTALL THE SIGN ON THE PROPERTY, NEEDS TO ACCOMPANY ALL APPLICATIONS.

APPLICATIONS NEED TO BE SUBMITTED TO THE BUILDING DIVISION FOR REVIEW. ALL SIGN PERMITS REQUIRE AN ELECTRICAL FINAL INSPECTION (FOR A NEW SIGN), AND A SIGN FINAL INSPECTION.

SIGN PERMIT APPLICATION.

FEES

REVIEW FEE: \$25 UPON APPLICATION.

NON-ILLUMINATED SIGNS: \$3.00 PER SQUARE FOOT OF SIGN AREA, PER FACE.

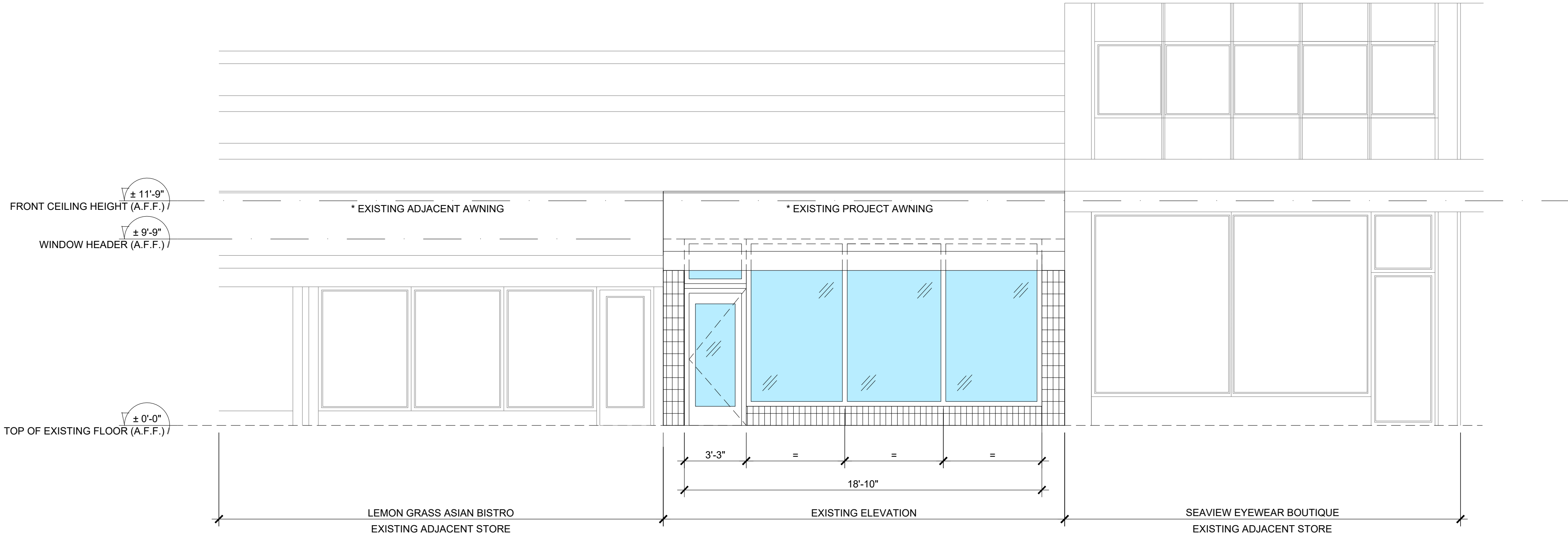
ILLUMINATED SIGNS: \$20.00 ELECTRICAL PERMIT FEE, PLUS AN ADDITIONAL \$3.00 PER SQUARE FOOT.

FEES ARE DUE AT THE TIME OF PERMIT ISSUANCE. SIGNS INSTALLED WITHOUT A PERMIT WILL BE CHARGED TRIPLE THE FEE AMOUNT IN ADDITION TO HAVING TO CORRECT ANY CITY CODE VIOLATIONS, INCLUDING TAKING DOWN THE SIGN, IF NECESSARY.

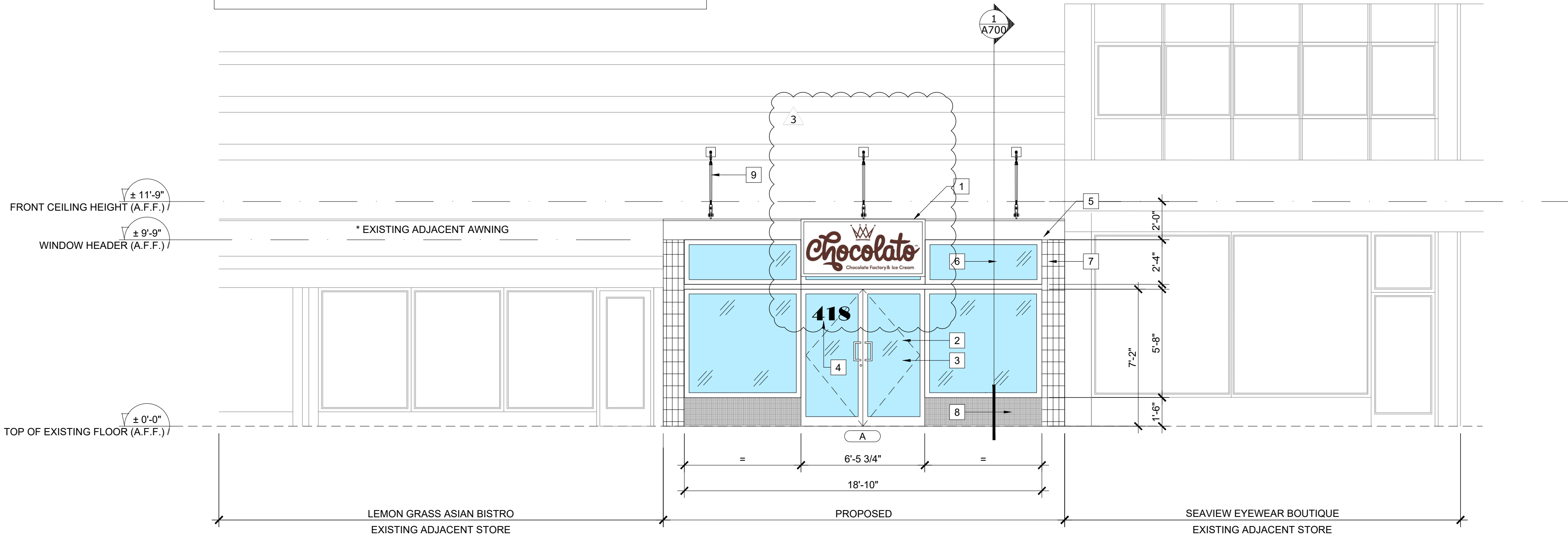
SIGN CODE

THE SIGN CODE IS PART OF THE LAND DEVELOPMENT REGULATIONS. THE SIGN CODE PROVIDES INFORMATION ON DESIGN STANDARDS, SIGN DEFINITIONS, AND ADMINISTRATIVE PROCEDURES USED TO REVIEW SIGN PROPOSALS.

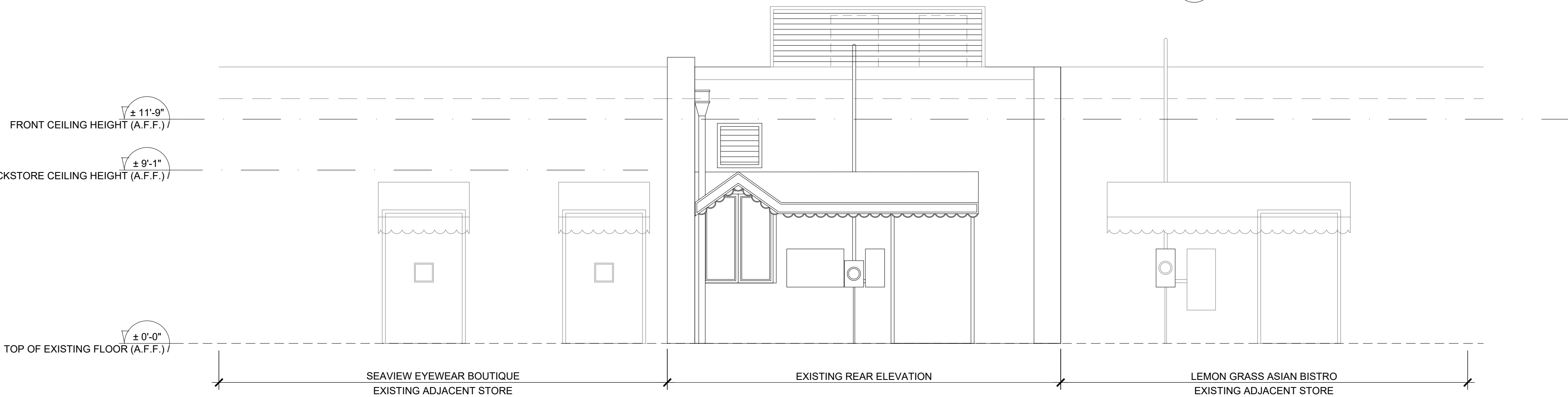
- OUTDOOR WALL SIGN, BACKLIT. LOGO IN CHANNEL / REVERSED CHANNEL LETTERS WITH LIGHT / SLOGAN IN LASER CUT METAL LETTERING (NO LIGHT), INSTALLED ON METAL PANEL AND MOUNTING BRACKET: "CHOCOLATO, CHOCOLATERIE & CRÈME GLACÉE". TO COORDINATE WITH THE MANUFACTURER. COLORS SUCH AS:  
- WHITE: SICO 6185-11 " MUSHROOM MOUSSE "  
- BROWN: SICO 6178-83 " OPIUM ".
- PROVIDE AND INSTALL THE STORE HOURS OF OPERATION IN WINDOW STICKER VINYL. VECTOR DRAWINGS AVAILABLE BY OWNERSHIP IF REQUIRED.
- PROVIDE AND INSTALL A WINDOW STICKER VINYL "CHOCOLATO, CHOCOLATERIE & CRÈME GLACÉE". VECTOR DRAWINGS AVAILABLE BY OWNERSHIP IF REQUIRED.
- PROVIDE AND INSTALL A WINDOW STICKER VINYL FOR ADDRESS NUMBER. SHALL BE MIN. 2'-0" IN WIDTH.
- NEW OVERHEAD STOREFRONT CANOPY AS PER DETAILS ON A-700.
- NEW STOREFRONT SYSTEM W/ APPROVED NOA / SEE A-700.
- EXISTING BRICK FACADE SIDE FINISH / TO BE PAINTED COLOR IVORY (TBD) AS APPROVED BY OWNER AND ARCHITECT. USE LOXON ACRYLIC CONCRETE AND MASONRY WATERPROOFING COATING BY SHERWIN-WILLIAMS.
- NEW STOREFRONT CONCRETE KNEE WALL W/ STUCCO FINISH TO BE PAINTED COLOR IVORY (TBD) AS APPROVED BY OWNER AND ARCHITECT.
- CANOPY HANGER RODS. SEE A-700.



\* ALL DIMENSIONS FOR NEW STOREFRONT OPENINGS SHALL BE VERIFIED ON SITE BY GC



2 FRONT ELEVATION - PROPOSED  
A-500 / SCALE: 1/4" = 1'-0"



\* EXISTING REAR ELEVATION SHALL ONLY BE PAINTED / COLOR IVORY (TBD) AS APPROVED BY OWNER AND ARCHITECT. USE LOXON ACRYLIC CONCRETE AND MASONRY WATERPROOFING COATING BY SHERWIN-WILLIAMS.

3 REAR EXISTING ELEVATION  
A-500 / SCALE: 1/4" = 1'-0"

SEAL

PROJECT TITLE  
CHOCOLATO FLORIDA  
418 E ATLANTIC AVE.  
DELRAY BEACH, FL 33483

SHEET TITLE  
EXTERIOR ELEVATIONS

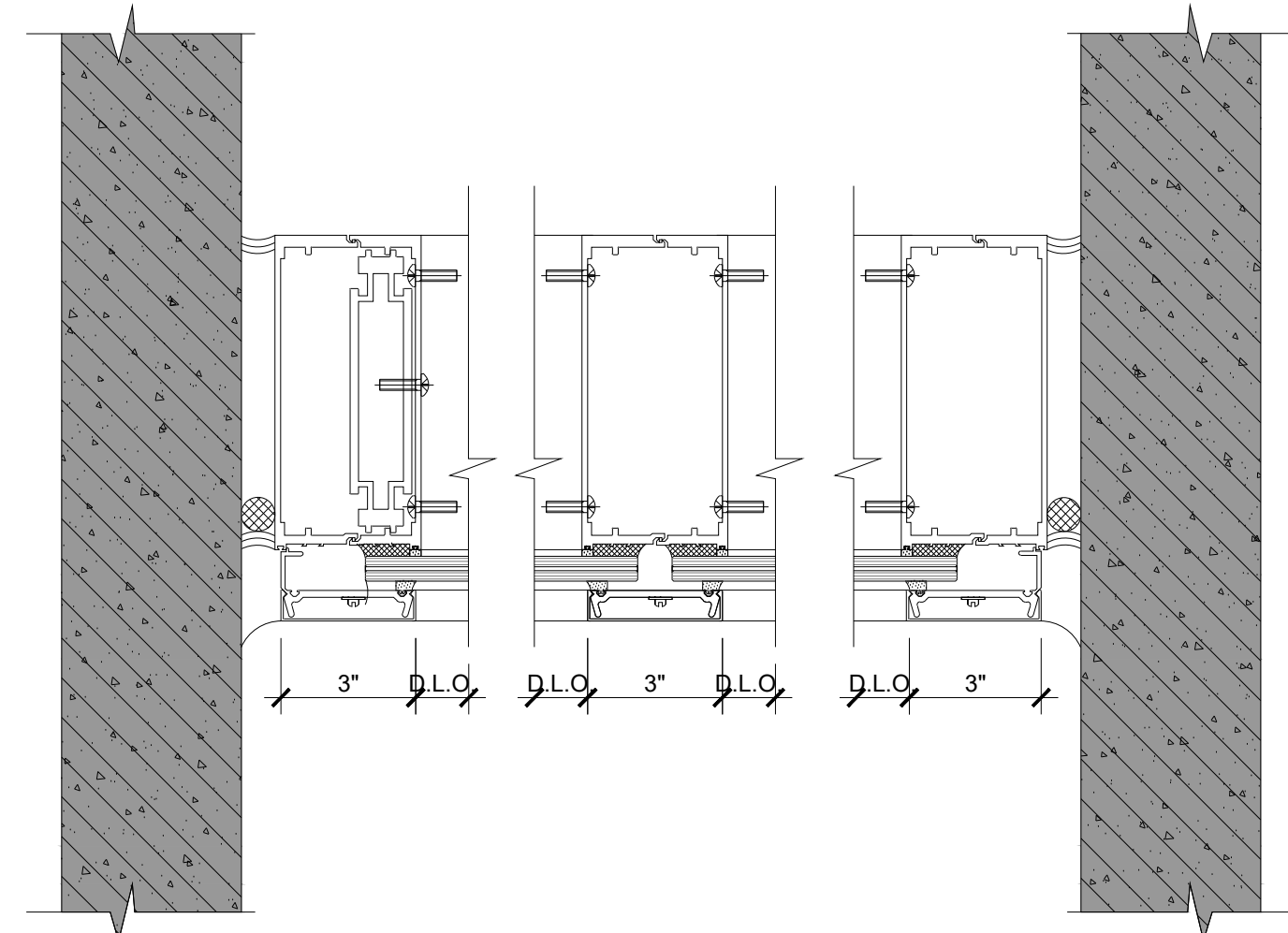
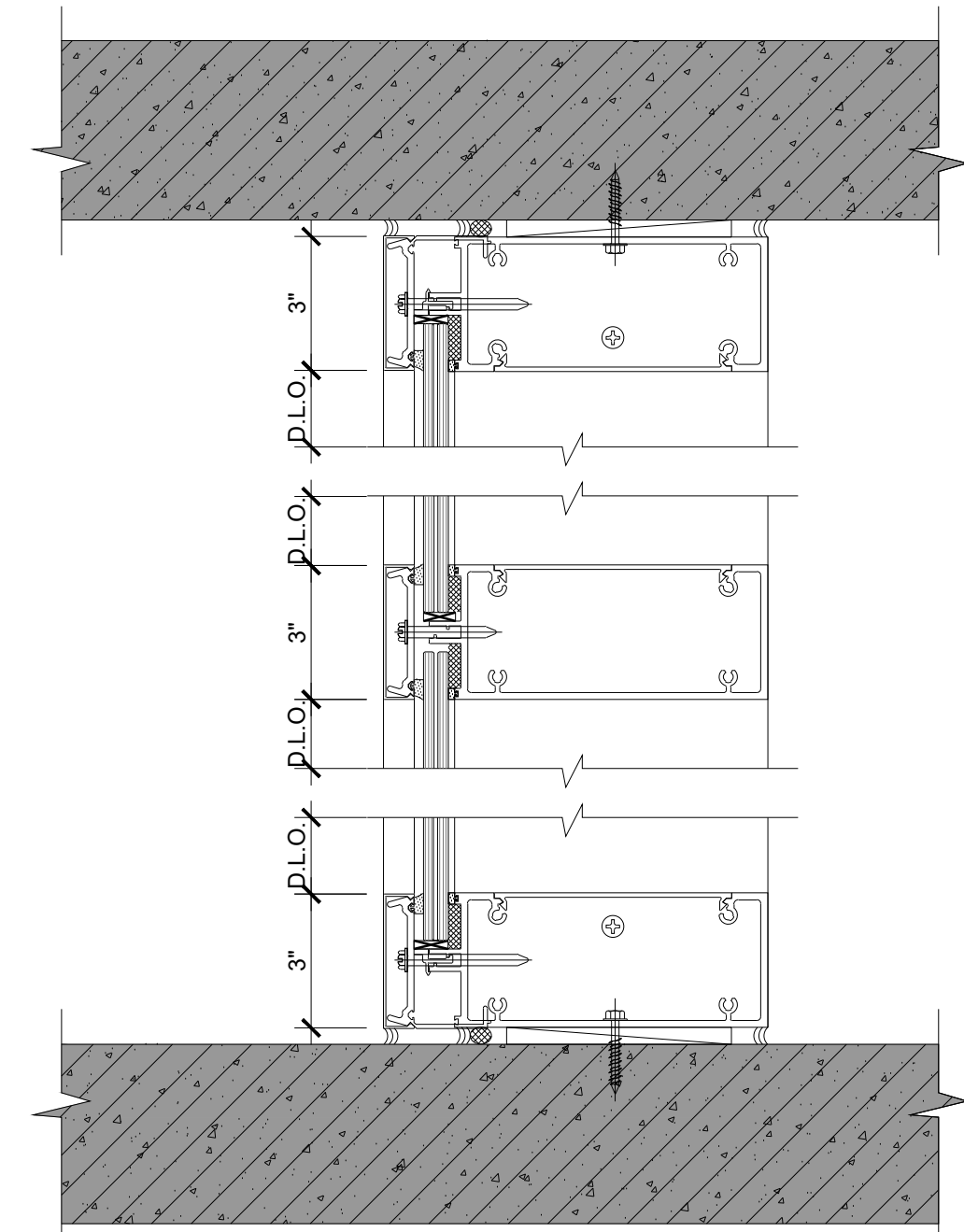
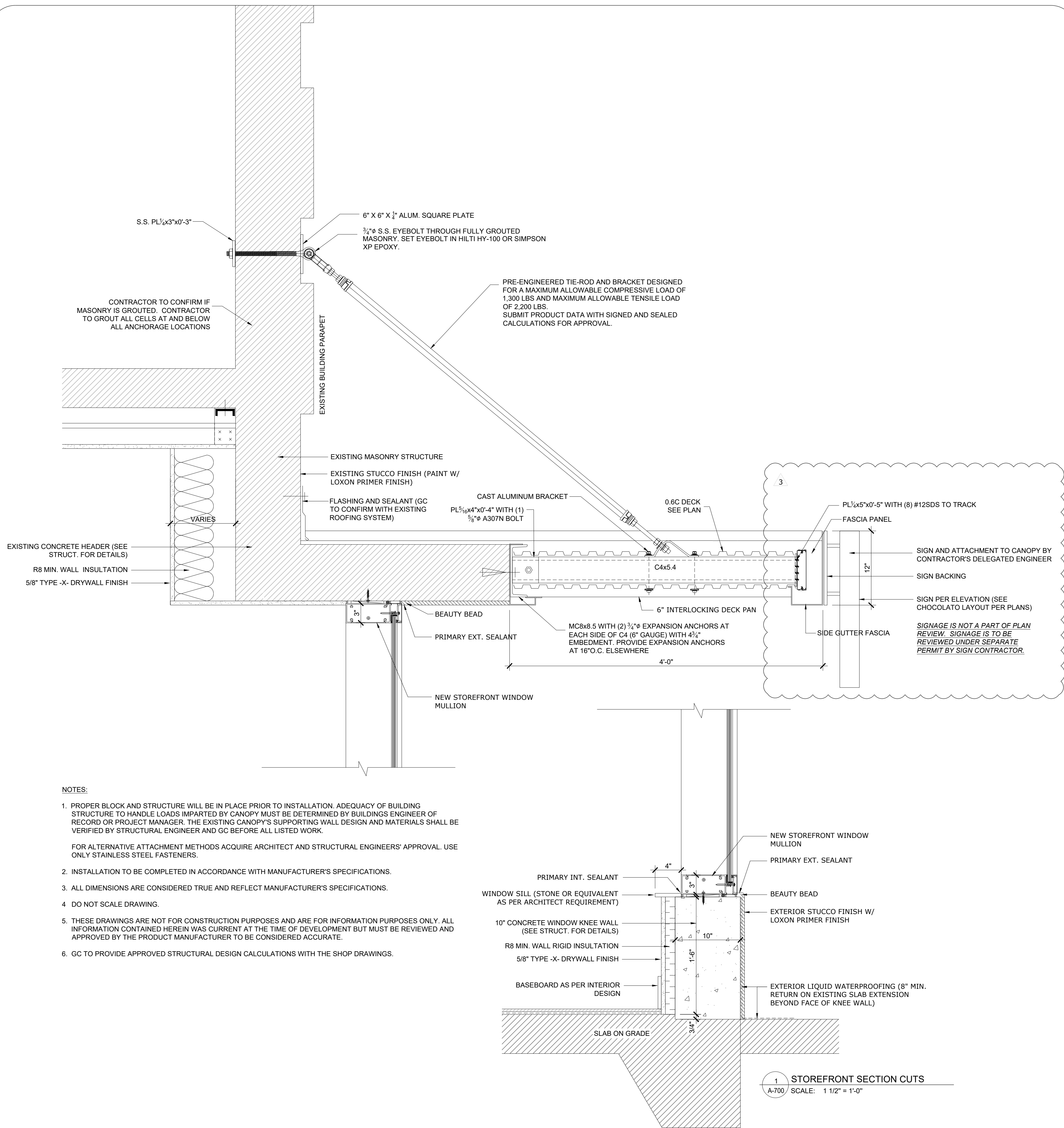
REVISIONS		
No.	DATE	DESCRIPTION
2	01.20.20	BLDG DPT COMMENTS
3	09.06.20	OWNER/DESIGN TEAM COORDN.

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PROJECT No.: 1906  
DATE: 10.21. 2019  
DRAWN BY: AR/AB  
CHECKED BY: AR/AB

SHEET

A500



REVISIONS		
No.	DATE	DESCRIPTION
3	09.06.20	OWNER/DESIGN TEAM COORDN.

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