



THE GEORGE

DELRAY BEACH, FLORIDA

DRAWING INDEX

CVR	COVER SHEET
1	SURVEY
ARCHITECTURAL	
SP-1	SITE PLAN
SP-2	SITE OPEN SPACE ILLUSTRATION PLAN & TRASH ENCLOSURE PLANS
LS-1	LIFE SAFETY GROUND & SECOND FLOOR PLAN
LS-2	LIFE SAFETY THIRD & FOURTH FLOOR PLAN
A-1.1	GROUND FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-1.4	FOURTH FLOOR PLAN
A-2	ROOF PLAN
A-3.1	EAST AND WEST ELEVATIONS
A-3.2	NORTH AND SOUTH ELEVATIONS
A-3.3	NORTH AND SOUTH ELEVATIONS
A-3.4	NORTH AND SOUTH ELEVATIONS
A-4	BUILDING SECTION 1
A-5	PARKING AUTO TURN ANALYSIS
PH-1	SITE PHOTOMETRIC PLAN
PH-2	INTERIOR LIGHTING PLAN
CIVIL	
1 OF 7	PAVING AND DRAINAGE PLAN
2 OF 7	PAVING AND DRAINAGE DETAILS
3 OF 7	PAVING AND DRAINAGE DETAILS
4 OF 7	PAVING AND DRAINAGE NOTES
5 OF 7	WATER AND WASTEWATER DETAILS
6 OF 7	IMPROVEMENT PLAN
7 OF 7	POLLUTION PREVENTION PLAN
1 OF 1	COMPOSITE UTILITY PLAN
LANDSCAPE	
L-1	EXISTING TREE PLAN
L-2	PLANTING PLAN
L-3	SPECIFICATIONS, DETAILS & NOTES
L-4	LANDSCAPE RENDERINGS

WAIVER REQUEST

1. REQUESTING WAIVER FROM SECTION 4.4.9 (B)(5) FOR THE REQUIRED AMOUNT OF COMMERCIAL SPACE LOCATED ON GROUND FLOOR AND RESIDENTIAL USES AND NON-RESIDENTIAL HAVE SEPARATE ACCESS WAY.

SEE PROVIDED JUSTIFICATION STATEMENT & FEE

GENERAL NOTES

G01. PRIOR TO THE SUBMISSION OF ANY BIDS THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND VERIFY THE ARCHITECTS DIMENSIONS, DETAILS, AND INFORMATION PERTAINING TO THE PROJECT. IF ANY DISCREPANCIES, CONFLICTING INFORMATION, ERRORS OR OMISSIONS ARE PRESENT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND THE OWNER IMMEDIATELY. ANY DISCREPANCY, OR CONFLICT NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER PRIOR TO THE FINAL BID SUBMISSION SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

G02. DRAWINGS CONFORM TO BUILDING STANDARD GUIDELINES AND DECLARATION OF COVENANTS, WITH SOME APPROVED EXCEPTIONS

G03. THE CONTRACTOR SHALL INCLUDE ALL WORK NECESSARY TO ASSURE THE PROJECTS COMPLIANCE WITH THE MOST STRINGENT REQUIREMENTS OF THE FLORIDA BUILDING CODE, CURRENT LOCAL EDITION, NFPA-101, AND ALL OTHER APPLICABLE CODES AS GENERALLY DEPICTED IN THESE DRAWINGS.

G04. DIMENSIONS AS INDICATED ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALING OF THE DRAWINGS. THE DIMENSIONS INDICATED ON THE DRAWINGS ARE CALCULATED BY COMPUTER AND ROUNDED TO THE NEAREST INCH. THE LOCATION OF PARTITIONS TO THE CENTERS OF MULLIONS OR TO ALIGN WITH FINISHES SHALL TAKE PRECEDENCE OVER WRITTEN DIMENSIONS WHEN SO NOTED

G05. THE CONTRACTOR AND ALL SUBCONTRACTORS AND ALL VENDORS SHALL FAMILIARIZE THEMSELVES WITH AND CONFORM TO ANY AND ALL REQUIREMENTS SET FORTH BY THE BUILDING OWNER OR MUNICIPALITY RELATIVE TO THE HOURS OF WORK.

G06. THE WORK SHALL BE LIMITED TO THE SCOPE REASONABLY INFERRED IN THE CONTRACT DOCUMENTS. NO ADDITIONAL WORK SHALL BE EXECUTED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER AND ARCHITECT. ANY ADDITIONAL WORK DONE WITHOUT PRIOR WRITTEN APPROVAL SHALL BE AT THE SOLE EXPENSE OF THE CONTRACTOR.

G07. SHOULD THE SCOPE OF WORK FOR ANY REASON NOT BE FULLY INDICATED ON THE CONTRACT DOCUMENTS THE ARCHITECT SHOULD BE CONTACTED IMMEDIATELY.

G08. THE CONTRACTOR SHALL OBTAIN ALL PERMITS, AND SECURE ALL CERTIFICATES OF INSPECTION AND OCCUPANCY THAT ARE REQUIRED BY THE GOVERNING JURISDICTION. THE OWNER SHALL RECEIVE A COPY OF THE PERMIT UPON ISSUANCE.

G09. THE CONTRACTOR SHALL SUBMIT A DETAILED CONSTRUCTION SCHEDULE, COORDINATING ALL SUBCONTRACTORS, SUPPLIERS AND VENDORS.

G10. THE CONTRACTOR SHALL NOT ALLOW ON THE PROJECT, ANY MATERIALS CONTAINING ASBESTOS, PETROLEUM OR PCB. ALL FIREPROOFING MUST LIKEWISE BE FREE OF THE ABOVE DESCRIBED MATERIALS.

G11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND DISTRIBUTING ALL CURRENT DRAWINGS TO ALL SUBCONTRACTORS AND VENDORS DURING THE DURATION OF THE PROJECT. THE CONTRACTOR SHALL MAINTAIN ON SITE IN A CONVENIENT LOCATION, A COMPLETE SET OF THE SIGNED AND SEALED PERMIT DOCUMENTS, INCLUDING ALL THE LATEST REVISIONS, ADDENDUM, SHOP DRAWINGS, AND SUPPLEMENTAL INFORMATION AS MAY BE REQUIRED FOR PROPER EXECUTION OF THE PROJECT.

G12. THE CONTRACTOR SHALL COORDINATE ALL OWNER OR TENANT SUPPLIED ITEMS, AND INCORPORATE THE INSTALLATION INTO THE CONSTRUCTION SCHEDULE, VERIFY THE SCOPE OF SUCH ITEMS PRIOR TO BID SUBMITTAL.

G13. THE CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL WORK WITH SUBCONTRACTORS, SUPPLIERS, VENDORS AND SPECIALTY CONTRACTORS.

G14. THE CONTRACTOR SHALL MAINTAIN SUPERVISION ON SITE WHENEVER WORK IS BEING PERFORMED.

G15. ALL WORK DONE BY THE CONTRACTOR, SUBCONTRACTORS, VENDORS, AND SPECIALTY CONTRACTORS SHALL EXERCISE DUE CARE AND SKILL IN PERFORMING ALL WORK IN REGARDS TO THE PROJECT. ALL WORK SHALL BE DONE IN A NEAT WORKMANLIKE PROFESSIONAL MANNER AND IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND RULES.

G16. THE JOB SITE SHALL REMAIN FREE FROM RUBBISH AND DEBRIS. DISPOSAL OF ALL CONSTRUCTION DEBRIS SHALL CONFORM TO BUILDING REGULATIONS.

G17. EACH CONTRACTOR SHALL PROTECT THE WORK OF OTHER CONTRACTORS. ANY CONFLICTS ARE TO BE RESOLVED BETWEEN THE CONTRACTORS INVOLVED AND ANY WORK DAMAGED SHALL BE REPLACED BY THE CONTRACTOR CAUSING THE DAMAGE. THE ARCHITECT AND THE OWNER SHALL BE NOTIFIED OF SUCH CONFLICTS.

G18. THE CONTRACTOR SHALL EXPEDITE THE DELIVERY OF LONG LEAD TIME ITEMS TO INSURE DELIVERY CONFORMING TO THE CONSTRUCTION SCHEDULE. THE CONTRACTOR WILL PROVIDE AND INSTALL ALL EQUIPMENT, FIXTURES, APPLIANCES, FURNISHINGS, ETC. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE CONTRACT DOCUMENTS. MANUFACTURERS INSTALLATION INSTRUCTIONS AND SPECIFICATIONS SHALL BE STRICTLY ADHERED TO, AND ARE CONSIDERED A PART OF THE CONTRACT DOCUMENTS.

G19. UPON COMPLETION OF THE PROJECT, ISSUANCE OF THE OCCUPANCY CERTIFICATE AND ACCEPTANCE BY THE OWNER, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH ALL EQUIPMENT MAINTENANCE AND INSTRUCTION MANUALS AND WARRANTIES

G20. UPON COMPLETION OF THE WORK THE CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH A SET OF "AS BUILT" MARKED PLANS, THE ELECTRICAL CONTRACTORS AS BUILT DRAWINGS SHALL BE INCLUDED. THESE DRAWINGS SHALL BE TRANSMITTED TO THE OWNER.

G21. THE CONTRACTOR SHALL WARRANT AND GUARANTEE ALL WORK, EQUIPMENT, FIXTURES, DOORS, WINDOWS, HARDWARE, ETC. FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION AS EVIDENCE BY THE CERTIFICATE OF OCCUPANCY UNLESS OTHERWISE REQUIRED.

G22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY WORK THAT IS NOT IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE CORRECTION OF FAULTY WORKMANSHIP OR MATERIALS WITHIN THE WARRANTY PERIOD. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR THE CORRECTION OF WORK THAT HAS BEEN ABUSED OR NEGLECTED BY THE OWNER OR HIS REPRESENTATIVES.

G23. THE CONTRACTOR SHALL COORDINATE ALL NEW MILLWORK WITH THE EQUIPMENT PLANS PRIOR TO FABRICATION OF MILLWORK. COORDINATE ALL ELECTRICAL, GAS AND PLUMBING DEVICE LOCATIONS WITH FIXTURE PLANS PRIOR TO ROUGHING IN THE EQUIPMENT.

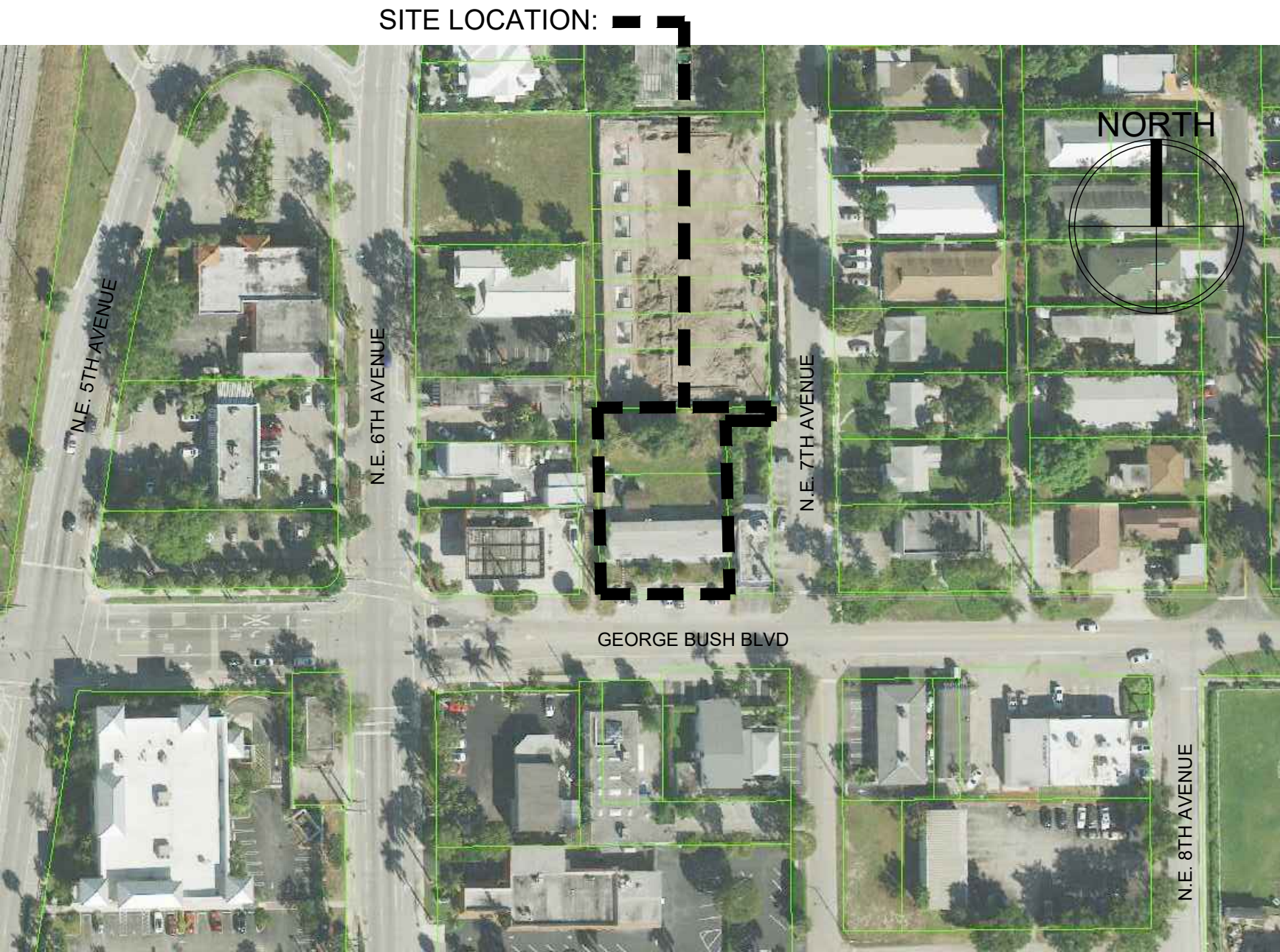
G24. MILLWORK NOTES: THE FOLLOWING APPLIES TO ALL MILLWORK ITEMS AND REMAINS TYPICAL UNLESS OTHERWISE NOTED. ALL COUNTER TOP MATERIAL ITEMS SHALL HAVE FINISHED EDGES. ALL CABINET/ DRAWER INTERIORS ARE TO BE FINISHED. ALL MILLWORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH PREMIUM GRADE STANDARDS AS ESTABLISHED BY THE ARCHITECTURAL WOODWORK INSTITUTE. MATERIAL, EQUIPMENT AND WORKMANSHIP SHOULD CONFORM TO THE INDUSTRY STANDARD PRACTICES, PROCEDURES, CONDITIONS AND RECOMMENDATIONS AS SPECIFIED BY ANSI/NEMA LD3-1995, SECTION DLPA (DECORATIVE LAMINATE PRODUCTS ASSOC.) AND ANSI/ 1612-1979 STANDARDS. MILLWORK CONTRACTOR SHALL COMPLY WITH ALL JOB SITE BUILDING CODES AND REGULATIONS.

G25. MILLWORK CONTRACTOR SHALL COORDINATE WITH GENERAL ELECTRICAL AND PLUMBING CONTRACTORS AND WITH LOCAL COMMUNICATION REPS. WHERE APPLICABLE. THE ARCHITECT/ DESIGNER SHALL BE NOTIFIED OF ANY DISCREPANCIES.

PROJECT INFORMATION

PROPOSED PROJECT:	4-STORY MIXED USE PROJECT WITH COMMERCIAL AT GROUND FLOOR . OFFICE AT SECOND FLOOR AND RESIDENTIAL RENTAL UNITS AT THIRD AND FOURTH FLOOR
GOVERNING CODE:	FBC 6TH EDITION (2017), FFPC 6TH EDITION (2017), NFPA 1 UFC FLORIDA 2015 EDITION, NFPA 101 LSC FLORIDA 2018 EDITION & CITY OF DELRAY BEACH L.D.R.
ROOF HEIGHT:	48'-0" (ABOVE BASE BUILDING ELEVATION OF 15.43' NAVD)
TYPE OF CONSTRUCTION:	TYPE V (B)- SPRINKLERED
BUILDING DESIGNED:	ENCLOSED
ZONING DISTRICT:	GC: GENERAL COMMERCIAL DISTRICT
FLOOD ZONE:	FLOOD ZONE X

LOCATION MAP



OWNER

MARC JULIEN HOMES
755 ME 17TH AVENUE, SUITE 107
DELRAY BEACH, FL. 33445
TELEPHONE: 954-200-7758

ARCHITECT

RICHARD JONES ARCHITECTURE
10 S.E. FIRST AVENUE, SUITE 102
DELRAY BEACH, FL. 33444
TELEPHONE: 561-274-9186

CIVIL ENGINEER

ENVIRODESIGN ASSOCIATES, INC.
298 NE 2ND AVENUE
DELRAY BEACH, FL 33444
TELEPHONE: 561-274-6500
FAX: 561-274-8558

LAND SURVEYOR

PAUL A. DAVIS, INC.
2091 NE 36th STREET #50234
LIGHTHOUSE POINT FL 33074
TELEPHONE: 954-263-3102

LANDSCAPE ARCHITECT

DAVE BODKER LANDSCAPE ARCHITECT
601 N CONGRESS AVE. SUITE 105-A
DELRAY BEACH FL. 33445
TELEPHONE: 561-276-6311
FAX: 561-276-3869

RICHARD JONES



ARCHITECTURE

10 S.E. FIRST AVENUE | SUITE 102
DELRAY BEACH, FLORIDA 33444
V 561.274.9186 | F 561.274.9196
AA26001617 | IB26001056

WWW.RJARCHITECTURE.COM

the GEORGE
DELRAY BEACH, FLORIDA

MARC JULIEN HOMES
755 NW 17TH AVE. SUITE 107
DELRAY BEACH, FL 33445

FLORIDA LICENSURE

AA26001617 | IB26001056

COMMISSION # 19-044
DESIGNER: RJ
DRAWN BY: JH/RB
PLAN REVIEW: RJ

SUBMITTALS:
CLASS-5 05.11.20
SUBMITTAL:

REVISIONS:
1 TAC COMMENTS: 08.19.20
2 TAC COMMENTS: 10.09.20
3 TAC COMMENTS: 11.17.20

COVER SHEET

CVR

RICHARD JONES ARCHITECTURE

© COPYRIGHT 2019 BY RICHARD JONES ARCHITECTURE INCORPORATED. ALL RIGHTS ARE RESERVED. NO PART OF THESE PLANS, DESIGNS, OR INFORMATION MAY BE REPRODUCED, COPIED OR UTILIZED GRAPHICALLY IN ANY FORM WHATSOEVER WITHOUT THE EXPRESS WRITTEN CONSENT OF RICHARD JONES ARCHITECTURE INCORPORATED.

Scale: 1"=10'

- * CAST ALUMINUM FRAME AND COVER PLATE
- * 4 STAINLESS STEEL LEVELING GUIDES ARE PREINSTALLED FOR EASY FINE ADJUSTMENT
- * COVER PLATE CONCEALS ANCHORING HARDWARE AND LEVELING GUIDE ADJUSTMENT SCREWS AND GUARDS AGAINST THEFT
- * EMBEDDED
- * HARDWARE IS INCLUDED FOR EMBEDDED OPTION
- * SHIPS FULLY ASSEMBLED
- * BIKE RACKS MUST BE PLACED 30" APART, AND 24" FROM WALL; SEE INSTALLATION GUIDE.
- * MEETS ABEP GUIDELINES
- * ALL METAL IS FINISHED WITH LANDSCAPE FORMS' PROPRIETARY PANGARD II® POLYESTER POWDERCOAT, A HARD YET FLEXIBLE FINISH THAT RESISTS RUSTING, CHIPPING, PEELING AND FADING



WAIVERS REQUESTED				
1. REQUESTING WAIVER FROM SECTION 4.4.9 (B)(5) FOR THE REQUIRED AMOUNT OF COMMERCIAL SPACE LOCATED ON GROUND FLOOR AND RESIDENTIAL USES AND NON-RESIDENTIAL HAVE SEPARATE ACCESS WAY.				
PROJECT DATA				
ZONING	GC- GENERAL COMMERCIAL DISTRICT			
	SQ. FEET	% OF SITE	NOTES:	
TOTAL SITE AREA (PRE DEDICATION)	14,250 SQ.FT.			
TOTAL SITE AREA (POST DEDICATION)	13,683 SQ.FT.	100.0%		
TOTAL BUILDING FOOTPRINT	5,138 SQ.FT.	37.6%		
BUILDING F.A.R.	14,788 SQ.FT.	1.04		
DEVELOPMENT BUILDING DENSITY		3.92	3 RES. UNITS ALLOWED	
PARKING AREA/ SIDEWALK/MISC./TRASH ENCL.	5,032 SQ.FT.	36.7%		
WATER BODIES	N/A	N/A		
OPEN SPACE	3,514 SQ.FT.	25.6%	25% REQUIRED OPEN SPACE	
TOTAL IMPERVIOUS AREA	10,170 SQ.FT.	74.4%		
TOTAL PERVIOUS AREA	3,514 SQ.FT.	25.6%		
ALL NUMBER ARE CALCULATED TO POST DEDICATION SITE AREA				

AVERAGE CROWN OF ROAD (ACR) = 13.93' NAVD
BASE BUILDING ELEVATION (BBE) = ACR +18" = 15.43' NAVD
MAXIMUM BUILDING HEIGHT PROVIDED = 48.0' ABOVE BBE

PARKING BREAKDOWN	
PARKING REQUIRED	
RESIDENTIAL	
3 BEDROOM UNIT - CALCULATED AT 2 SPACES PER UNIT	$3 \times 2 = 6$ SPACES
GUEST PARKING: FOR THE FIRST 20 UNIT SPACES PER UNIT	$3 \times 0.5 = 1.5$ SPACES
TOTAL REQUIRED	$= 7.5$ SPACES
OFFICE	
4 PER 1,000 SQ.FT. OF NET FLOOR AREA UP TO 3,000 SQ.FT. AND 3.5 PER 1,000 SQFT ABOVE	≈ 14.6 SPACES
TOTAL PARKING REQUIRED	$= 7.5 + 14.6 = 22.1$ SPACES
SHARED PARKING CHART	

Use	Required	Night		Weekday		Evening		Weekend		
		Midnight to 6 AM	9 AM to 6 PM	9 AM to 6 PM	6 PM to Midnight	9 AM to 6 PM	6 PM to Midnight			
Directorate	4	100%	4	100%	4	90%	4	90%	4	90%
Office	3	0%	0	0%	0	100%	1	100%	1	100%
Communications	5	0%	0	70%	0	90%	0	100%	0	70%
Police	3	100%	3	0%	0	0%	0	100%	0	100%
Resident	3	100%	3	0%	0	100%	0	50%	0	100%
Resident, serving allies, etc.	0	100%	0	40%	0	100%	0	80%	0	100%
Resident, serving Parking	3	100%	3	100%	3	100%	3	100%	3	100%
Other	0	0%	0	100%	0	0%	0	100%	0	100%
TOTALS	22	100%	10	100%	20	100%	10	100%	10	100%

20 SPACES REQUIRED WITH SHARED PARKING CHART	
GARAGE: 7 REGULAR AND 3 COMPACT	=10 SPACES
ALLEY: 5 REGULAR	= 5 SPACES
SURFACE: 2 REGULAR AND 3 COMPACT	= 5 SPACES
TOTAL PARKING PROVIDED: 14 REGULAR AND 6 COMPACT = 30% COMPACT	= 20 SPACES

	REQUIRED	PROVIDED
FRONT (FROM CENTER OF RIGHT OF WAY)	5'-0"	5'-0"
INTERIOR SIDE (EAST)	0'-0"	0'-0"
INTERIOR SIDE (WEST)	10'-0"	10'-2 3/4"
REAR	10'-0"	55'-0 1/4"

FLOOR AREA CALCULATIONS		AREAS CONSIDER FOR F.A.R. CALCULATIONS
GROUND FLOOR:		
OFFICE SUITE #1 (A/C AREA)	485 SQ.FT.	485 SQ.FT.
MECHANICAL SPACE		467 SQ.FT.
STAIRS & ELEVATOR (ROOFED NON ENCLOSED AREA)	439 SQ.FT.	439 SQ.FT.
COVERED PARKING	3,242 SQ.FT.	3,212 SQ.FT.
BREEZEWAY	535 SQ.FT.	
TOTAL GROUND FLOOR AREA	5,138 SQ.FT.	
SECOND FLOOR:		
OFFICE SUITE #2 (A/C AREA)	1,098 SQ.FT.	1,098 SQ.FT.
OFFICE SUITE #3 (A/C AREA)	1,076 SQ.FT.	1,076 SQ.FT.
OFFICE SUITE #4 (A/C AREA)	1,098 SQ.FT.	1,098 SQ.FT.
STAIRS (ROOFED NON ENCLOSED AREA)	294 SQ.FT.	294 SQ.FT.
B/C ZONES/BREEZEWAY (ROOFED NON ENCLOSED AREA)	1,470 SQ.FT.	
TOTAL SECOND FLOOR AREA	5,036 SQ.FT.	

THIRD FLOOR:		
THA 1ST FLOOR A/C AREA	1,098 SQ.FT.	1,098 SQ.FT.
THA BALCONY	261 SQ.FT.	
THB 1ST FLOOR A/C AREA	1,076 SQ.FT.	1,076 SQ.FT.
THB BALCONY	255 SQ.FT.	
THC 1ST FLOOR A/C AREA	1,098 SQ.FT.	1,098 SQ.FT.
THC BALCONY	261 SQ.FT.	
STAIRS	294 SQ.FT.	294 SQ.FT.
BREEZEWAY	693 SQ.FT.	
TOTAL THIRD FLOOR AREA	5,036 SQ.FT.	

FOURTH FLOOR:			
THA 2ND FLOOR A/C AREA	1,025 SQ.FT.	1,025 SQ.FT.	
THB 2ND FLOOR A/C AREA	1,003 SQ.FT.	1,003 SQ.FT.	
THC 2ND FLOOR A/C AREA	1,025 SQ.FT.	1,025 SQ.FT.	
TOTAL FOURTH FLOOR AREA	3,053 SQ.FT.		

TOTAL OFFICE SPACE (A/C AREA ONLY)	3,757 SQ.FT.
TOTAL RESIDENTIAL (A/C AREA ONLY)	6,325 SQ.FT.
TOTAL BUILDING FLOOR AREA	18,263 SQ.FT.

TOTAL BUILDING FLOOR AREA MINUS COVERED PARKING
18,263 SQ.FT. - 3,243 SQ. FT. = 15,020 SQ FT.

TOTAL PERCENTAGE OF OFFICE SPACE TO BUILDING FOOR AREA	
	3,757 SQ.FT. / 15,020 SQ. FT. = 25.01%

TOTAL PERCENTAGE OF GROUND FLOOR SPACE TO BUILDING FLOOR AREA
485 SQ.FT. / 15,020 SQ. FT. = 3.23%

TOTAL PERCENTAGE OF 2ND FLOOR SPACE TO BUILDING FLOOR AREA
3,272 SQ.FT. / 15,020 SQ. FT. = 21.78%

LEGAL DESCRIPTION

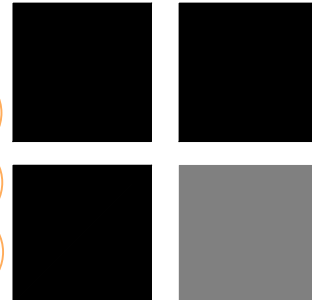
PARCEL 1:
LOT 10 (LESS THE SOUTH 8 FEET THEREOF, AND LESS THE EAST 34.35 FEET OF SAID LOT 10, AND THE SOUTH 24.88 FEET OF LOT 11) LESS THE EAST 34.35 FEET OF SAID LOT 11, BLOCK 2, SOPHIA FRIEY SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 37 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, AND PARCELS
THE NORTH HALF OF LOT 11 (LESS THE EAST 34.35 FEET THEREOF) AND THE SOUTH HALF OF LOT 12 (LESS THE SOUTH 14.96 OF THE EAST 34.35 FEET THEREOF), BLOCK 2, SOPHIA FRIEY SUBDIVISION ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 37 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

Bike Rack

P21 MODEL

SCALE: NTS

RICHARD JONES



ARCHITECTURE

9 S.E. FIRST AVENUE | SUITE 102
MELRAY BEACH, FLORIDA 33444
T 561.274.9186 | F 561.274.9196
AA26001617 | IB26001056

WWW.RJARCHITECTURE.COM

the GEORGE
DELRAY BEACH, FLORIDA

MARC JULIEN HOMES
755 NW 17TH AVE. SUITE 107

MARC JULIEN HOMES
755 NW 17TH AVE. SUITE 107

FLORIDA LICENSURE

AA26001617 | IB26001056

COMMISSION # 19-0

DRAWN BY: JH/

SUBMITTALS:

CLASS-5 05.11

100

REVISIONS:

1 TAC COMMENTS: 08.19

△ TAC 10.09

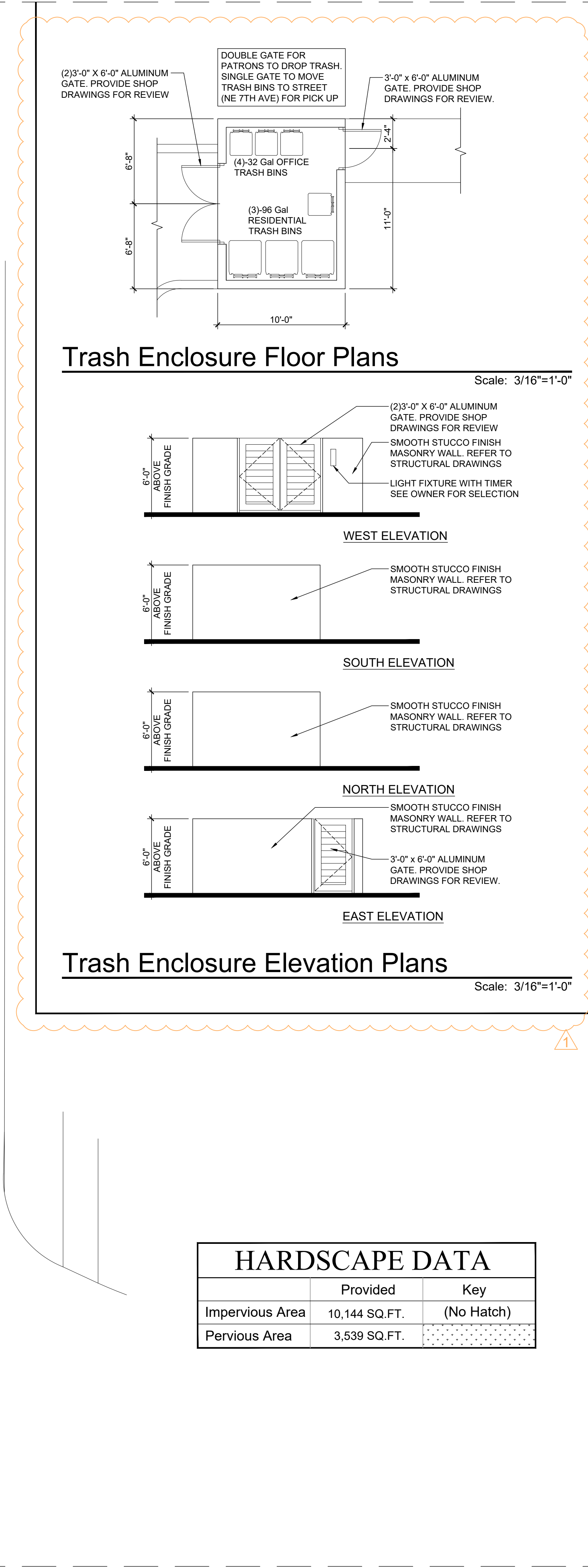
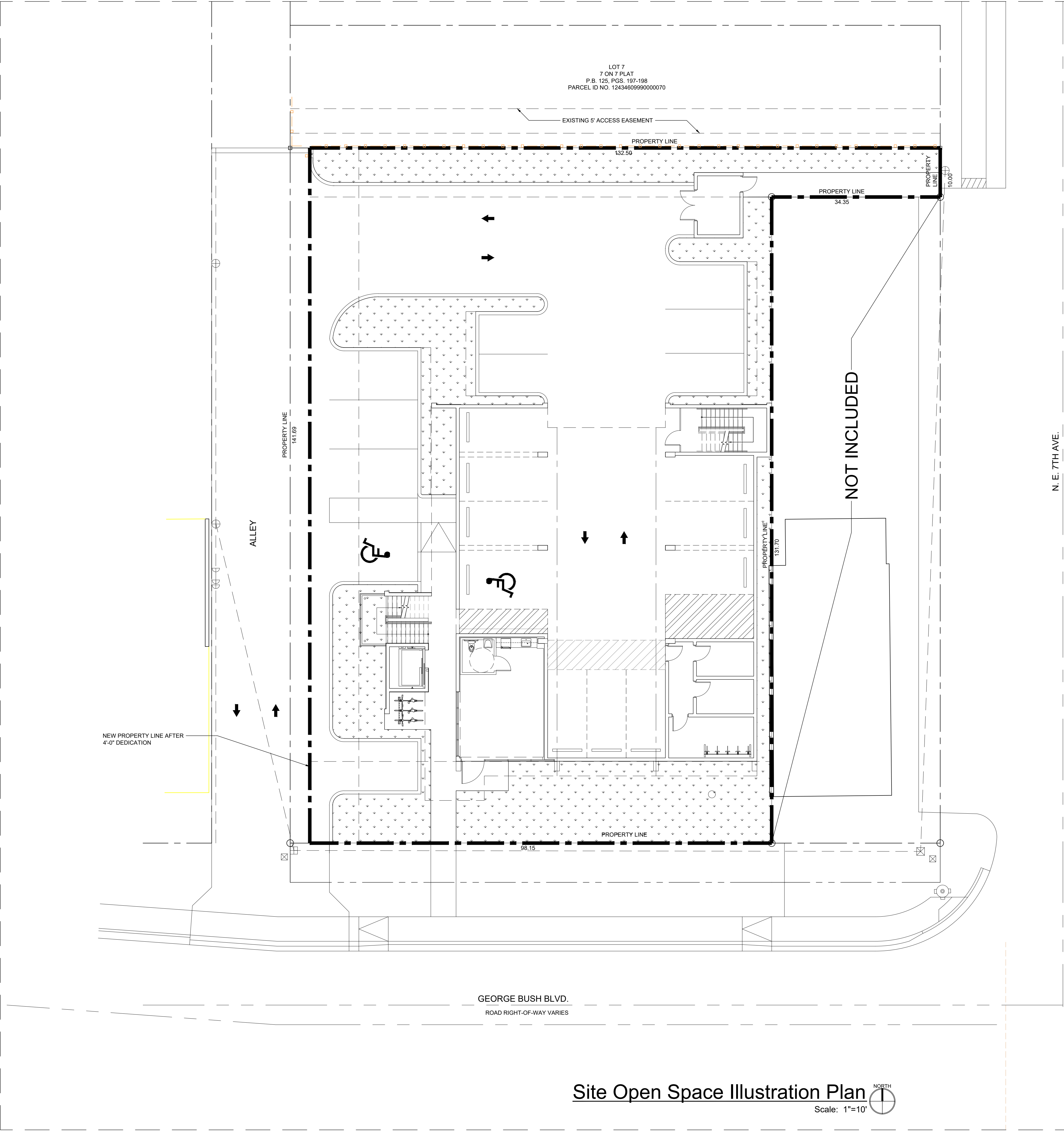
2 COMMENTS:

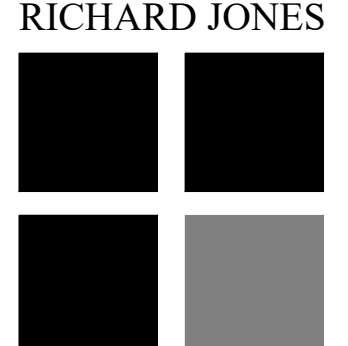
3 TAC 11.17
COMMENTS

SITE PLAN

SP-1

RICHARD JONES ARCHITECTURE





RICHARD JONES
ARCHITECTURE

10 S.E. FIRST AVENUE | SUITE 102
DELRAY BEACH, FLORIDA 33444
V 561.274.9186 | F 561.274.9196
AA26001617 | IB26001056

WWW.RJARCHITECTURE.COM

the GEORGE
DELRAY BEACH, FLORIDA

MARC JULIEN HOMES
755 NW 17TH AVE, SUITE 107
DELRAY BEACH, FL 33445

FLORIDA

LICENSURE

AA26001617 | IB26001056

COMMISSION # 19-044
DESIGNER: RJ
DRAWN BY: JH/RB
PLAN REVIEW: RJ

SUBMITTALS:
CLASS-5
SUBMITTAL:

05.11.20

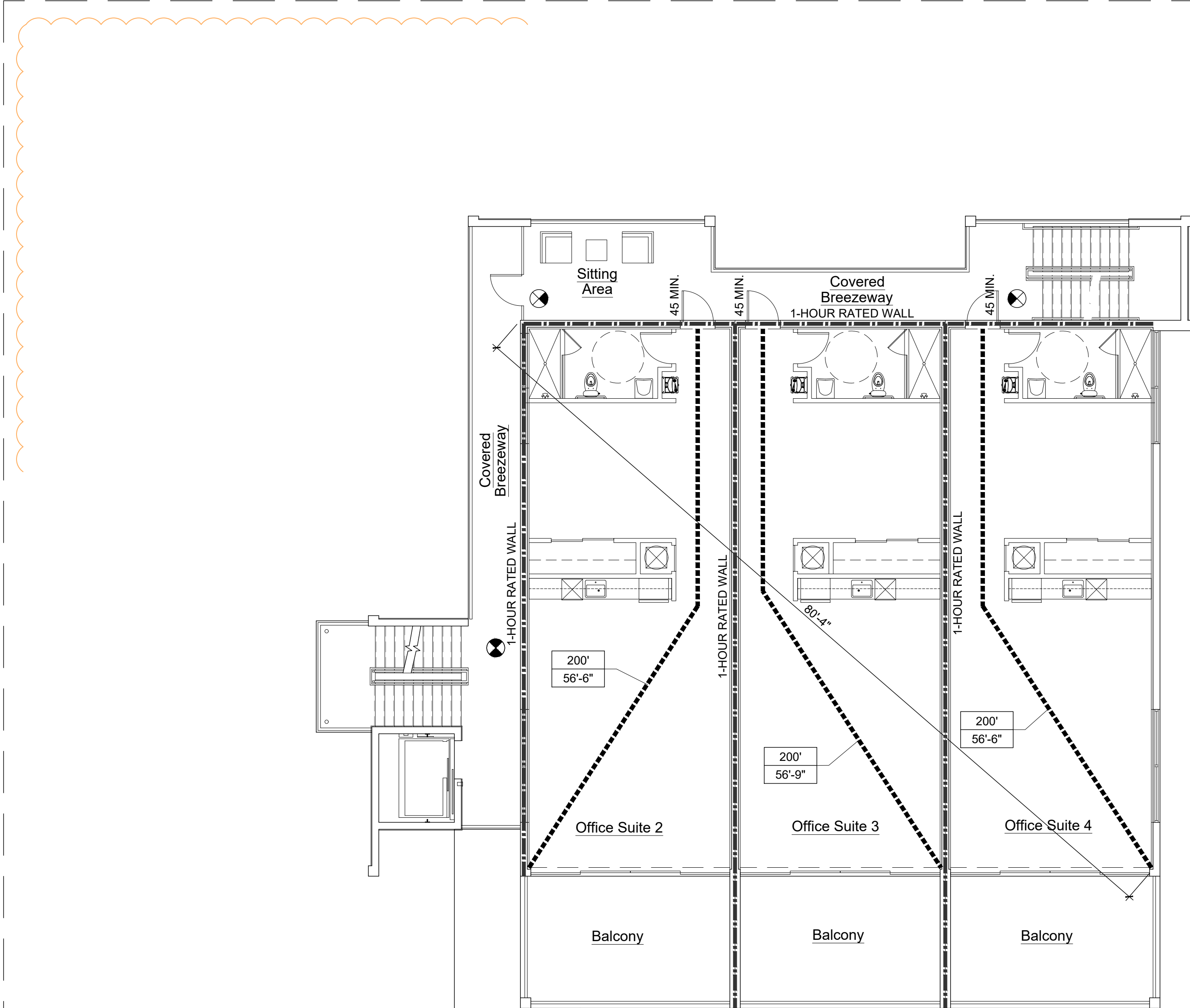
REVISIONS:
1 TAC COMMENTS: 08.19.20
2 TAC COMMENTS: 10.09.20
3 TAC COMMENTS: 11.17.20

SITE OPEN
SPACE
ILLUSTRATION
PLAN

SP-2

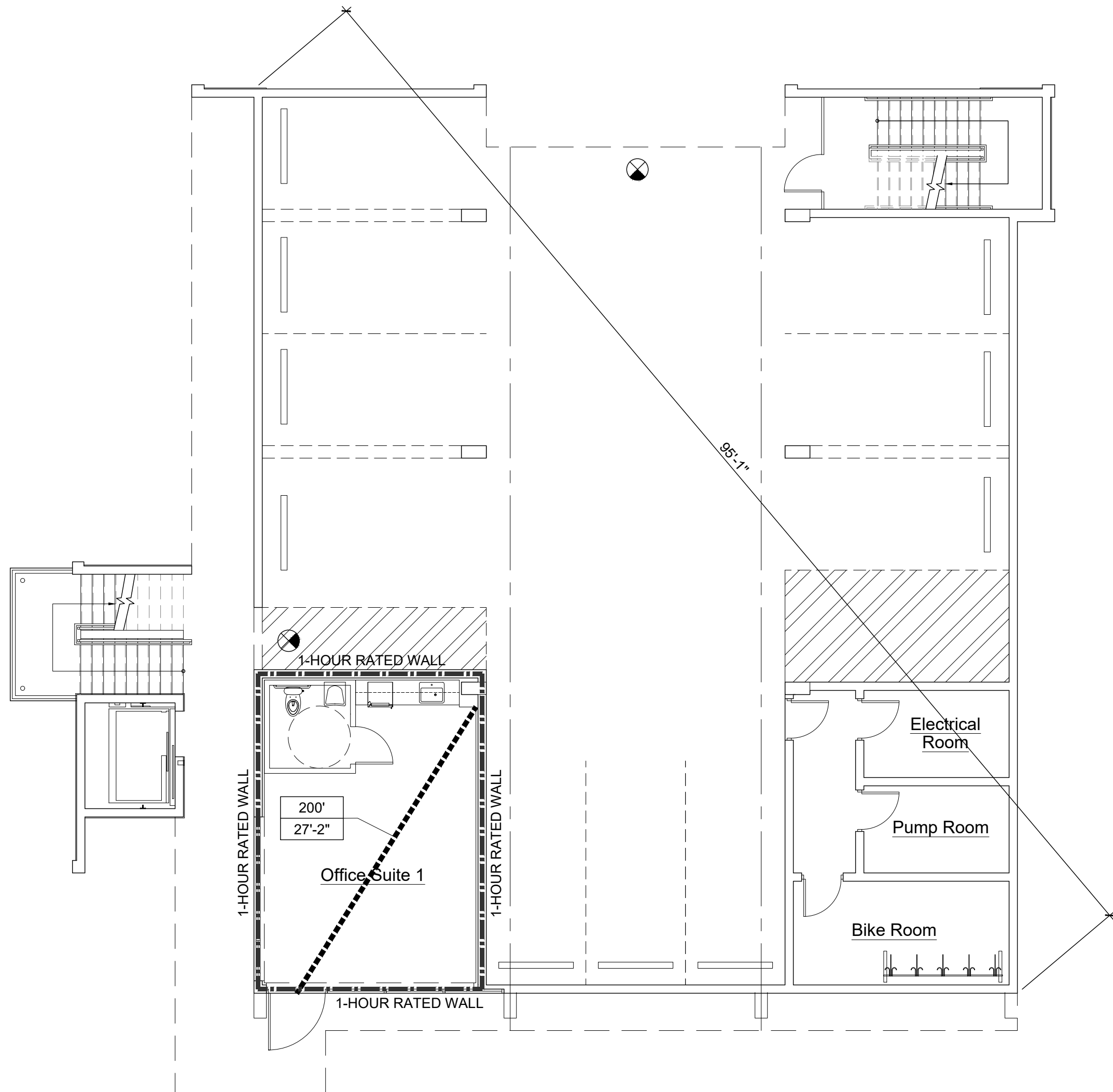
RICHARD JONES ARCHITECTURE

© COPYRIGHT 2019 BY RICHARD JONES ARCHITECTURE INCORPORATED ALL RIGHTS ALL RESERVED NO PART OF THESE PLANS, DESIGNS, OR INFORMATION MAY BE REPRODUCED, COPIED OR UTILIZED GRAPHICALLY IN ANY FORM WHATSOEVER WITHOUT THE EXPRESS WRITTEN CONSENT OF RICHARD JONES ARCHITECTURE INCORPORATED.



Second Floor Plan

Scale: 1/8"=1'-0"



Ground Floor Plan

Scale: 1/8"=1'-0"

LIFE SAFETY LEGEND

WALLS / PARTITIONS / DOORS		EGRESS				FIRE ALARM & PROTECTION				FIRE EXTINGUISHERS		SIGNAGE			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	1 HR FIRE RATED SEPARATION: ALL DOORS AND PENETRATIONS HORIZONTALLY THRU SEPARATION SHALL HAVE A 20-MINUTE FIRE RESISTANCE RATING AT CORRIDOR PARTITIONS AND A 45-MINUTE FIRE RESISTANCE RATING AT OTHER LOCATIONS		EXIT TAG		SECONDARY MEANS OF EGRESS, IF REQUIRED		EXIT SIGN & EMERGENCY LIGHT FIXTURE COMBINATION W/ 90 MINUTE BATTERY PACK		THERMAL DETECTOR, FIXED + RATE-OF-RISE		SIGNALING HORN (V) WITH VISUAL SIGNAL (STROBE, 75CD UNLESS NOTED)		CLASS A: PROVIDE ONE FIRE EXTINGUISHER PER NFPA 10 FOR EACH 3,000 SQ.FT. OF BUILDING WITH A 75'-0" MAX. TRAVEL DISTANCE. F.E. RATting: 2A		EVACUATION GRAPHIC DIAGRAM OF EGRESS ROUTES FROM SPACE
	2 HR FIRE RATED SEPARATION: ALL DOORS AND OPENINGS SHALL BE PROTECTED BY A 90 MINUTE FIRE-RESISTANT RATING.		EGRESS WIDTH PROVIDED IN INCHES		LIGHTED EXIT SIGN - SINGLE FACED W/ 90 MINUTE BATTERY PACK		EMERGENCY LIGHT FIXTURE W/ 90 MINUTE BATTERY PACK		THERMAL DETECTOR, FIXED TEMP.		FIRE ALARM STROBE, MOUNTED 80" AFF		MANUAL STATION		MAXIMUM OCCUPANCY SIGN TO READ: "OCCUPANCY BY MORE THAN X PERSONS IS DANGEROUS AND UNLAWFUL." CONFIRM WITH LOCAL JURISDICTION HAVING AUTHORITY FOR SIGNAGE REQUIREMENTS.
	3 HR FIRE RATED HAZARD AND EXIT SEPARATION: ALL DOORS AND PENETRATIONS SHALL HAVE A 180 MINUTE FIRE-RESISTANCE RATING.		MAXIMUM TRAVEL DISTANCE ALLOWED		LIGHTED EXIT SIGN - DOUBLE FACED W/ 90 MINUTE BATTERY PACK		EXIT SIGN NOTE: DARKENED AREA OF EXIT SIGN INDICATES FACE OF SIGN VIEWED. EXIST SIGNS TO BE NO MORE THAN 100' APART.		SMOKE DETECTOR - NON SYSTEM, 120V (PROVIDE W/ BATTERY BACKUP)		EMERGENCY LIGHT FIXTURE W/ 90 MINUTE BATTERY PACK		SMOKE DETECTOR - PHOTO		"NO EXIT" SIGN. MOUNT ON DOOR @ CENTERLINE OF ACTIVE LEAF 54" A.F.F.
	FIRE RATED DOORS X" = 20 MIN. 45 MIN. 90 MIN. 180 MIN. (REFER TO FIRE-RESISTANCE RATING OF WALL OR PARTITION.)		DISTANCE IN FEET FROM AN OCCUPABLE POINT 12" FROM WALL TO THE NEAREST EXIT		LIGHTED EXIT SIGN - SINGLE FACED W/ DIRECTIONAL ARROWS & 90 MINUTE BATTERY PACK		LIGHTED EXIT SIGN - DOUBLE FACED W/ DIRECTIONAL ARROWS & 90 MINUTE BATTERY PACK		FIRE ALARM & PROTECTION FIXTURE SUFFIX: (D) DENOTES DUCT MOUNTED (C) DENOTES CEILING MOUNTED (F) DENOTES FLUSH WALL MOUNTED (WP) DENOTES WEATHERPROTECTED		ELEVATOR SIGN: "IN CASE OF FIRE, DO NOT USE ELEVATOR. USE STAIRS."		"FIRE EXTINGUISHER INSIDE" USE SIGN ONLY WHERE FIRE EXTINGUISHER IS LOCATED WITHIN A ROOM THAT REMAINS UNLOCKED WHILE THE BUILDING IS OCCUPIED		ACCESSIBLE ROUTE SIGN. (DIRECTIONAL WHERE INDICATED)
	PATH OF TRAVEL		PRIMARY MEANS OF EGRESS (NOT SHOWN FOR SPACES WITH ONLY A PRIMARY EGRESS REQUIREMENT)		LIGHTED WALL MOUNTED EXIT SIGN W/ 90 MINUTE BATTERY PACK										

FIRE PROTECTION NOTES

FIRE PROTECTION GENERAL NOTES:

- FULLY SPRINKLED BUILDING AS PER FBC, CHAPTER 9, SECTION 903.2.7 AND NFPA 13. REFER TO FIRE SPRINKLER PLANS BY OTHERS.
- FIRE ALARM, FIRE DETECTION AND COMMUNICATION SYSTEM SHALL BE INSTALLED AS PER FBC, CHAPTER 9 AND NFPA 72-2018 (NATIONAL FIRE ALARM CODE) AND SECTION 403.
- STANDBY POWER SYSTEM (EMERGENCY GENERATOR) SHALL CONFORM WITH FBC CHAPTER 27, SECTION 403.10 AND NFPA 110-2016.
- PROVIDE STENCIL WITH 4" HIGH LETTERING @ 30'-0" ON BOTH SIDES OF ALL FIRE AND SMOKE BARRIERS ABOVE

CEILINGS TO READ: FIRE/SMOKE PARTITION - PROTECT ALL OPENINGS. SEAL ALL OPENINGS AND PENETRATIONS TO RESIST THE MIGRATION OR PASSAGE OF SMOKE AND GASES.

5. SPECIFIC EXCEPTIONS TO THE LISTED RATINGS MAY BE PERMITTED WHERE INDICATED.

6. FIRE RESISTANT ASSEMBLIES, MATERIALS, PROPERTIES AND THICKNESS REQUIRED, SHALL COMPLY WITH THOSE WHICH HAVE SUCCESSFULLY BEEN PERFORMED UNDER TESTS MADE BY A RECOGNIZED LABORATORY PER ASTM E119 OR BASED ON CALCULATIONS PERMITTED BY THE FBC AND BUILDING OFFICIAL.

- LIFE SAFETY DRAWINGS SHALL BE USED IN CONJUNCTION AND COORDINATED WITH THE FIRE ALARM, MECHANICAL, ELECTRICAL DRAWINGS WHETHER INCLUDED WITH THESE DRAWINGS OR UNDER SEPARATE PERMIT.
- PROVIDE MAXIMUM OCCUPANCY SIGN.
- FIRE ALARM SYSTEM WITH VOICE EVAC SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 101:12.3.4

FIRE RESISTANT MATERIAL NOTES:

- ALL WOOD COMPONENTS IN CONCEALED SPACES SHALL BE FIRE RETARDANT TREATED WOOD IN ACCORDANCE TO FBC SECTION 603.1.
- INTERIOR FINISHES SHALL BE MINIMUM CLASSIFICATION "C" WITHIN ALL UNITS AND MINIMUM OF CLASSIFICATION "B" IN ALL COMMON AND PUBLIC SPACES. AS PER FBC 803.5.
- ALL INTERIOR PLASTIC SIGNS SHALL CONFORM WITH FBC 2604.15.

DOOR LOCKING DEVICES NOTE: (NFPA, FLORIDA FIRE PREVENTION CODE 2018)

DOORS SHALL BE ARRANGED TO BE OPEN READILY FROM THE EGRESS SIDE AT ALL TIMES. LOCKS IF PROVIDED, SHALL NOT REQUIRE THE USE OF A KEY, A TOOL, OR SPECIAL KNOWLEDGE OR EFFORT FOR OPERATION FROM THE EGRESS SIDE

OCCUPANT LOAD CALC.

(F.B.C. TABLE 1004.1.2)		
FUNCTION OF SPACE	AREA OF SPACE	MAXIMUM OCCUPANTS
OFFICE/RETAIL AREA	3,757 SQUARE FEET	38(37.57) OCCUPANTS
ELECTRICAL/ MECHANICAL/ BIKE STORAGE	467 SQUARE FEET	3(3.11) OCCUPANTS
RESIDENTIAL AREA	6,325 SQUARE FEET	32(31.63) OCCUPANTS
TOTAL BUILDING:		73 OCCUPANTS

LIFE SAFETY
GROUND &
SECOND
FLOOR PLAN

LS-1

RICHARD JONES



ARCHITECTURE

10 S.E. FIRST AVENUE | SUITE 102
DELRAY BEACH, FLORIDA 33444
V 561.274.9186 | F 561.274.9196
AA26001617 | IB26001056

WWW.RJARCHITECTURE.COM

the GEORGE
DELRAY BEACH, FLORIDA

MARC JULIEN HOMES
755 NW 17TH AVE. SUITE 107
DELRAY BEACH, FL 33445

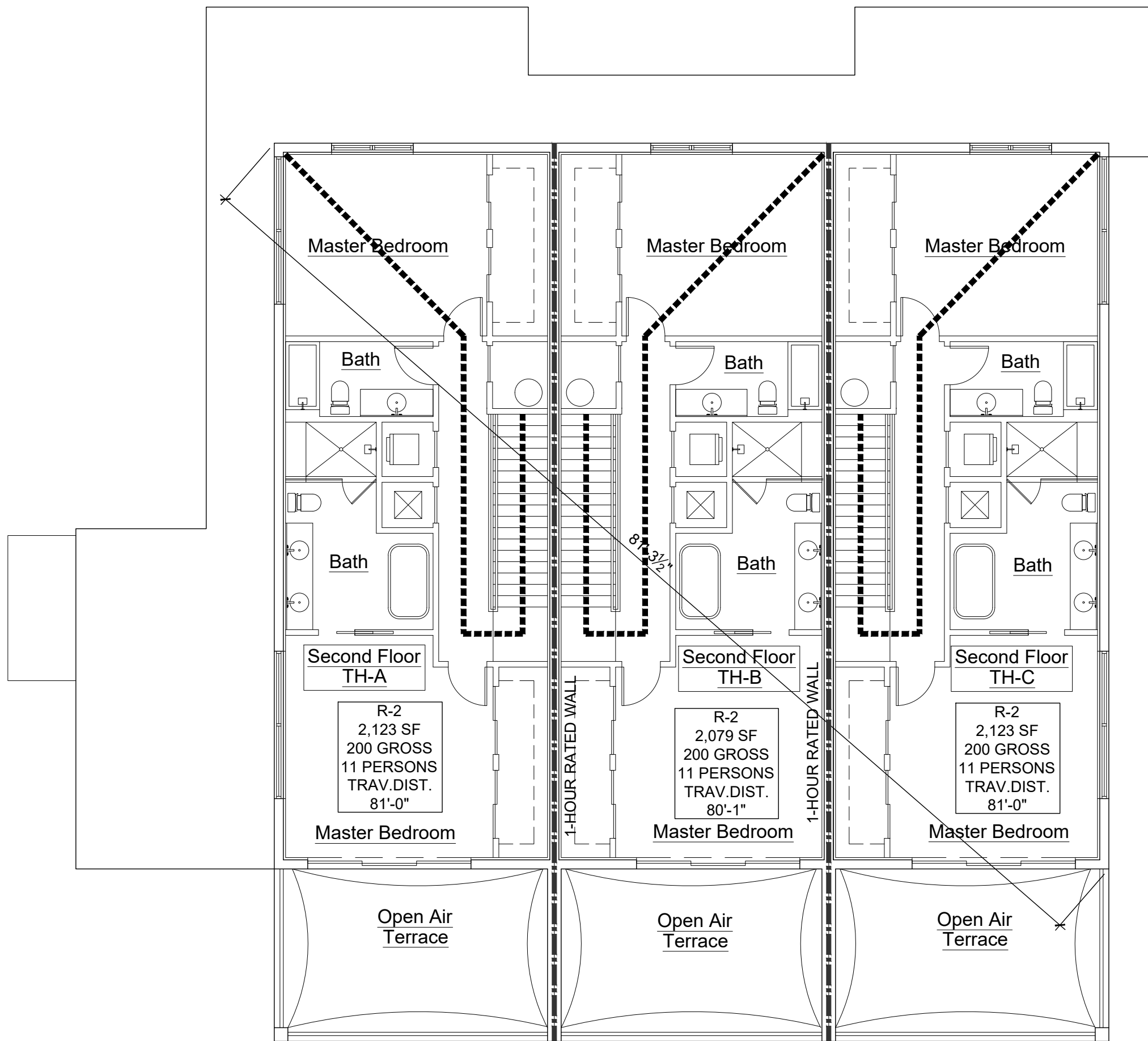
FLORIDA LICENSURE

AA26001617 | IB26001056

COMMISSION # 19-044
DESIGNER: RJ
DRAWN BY: JH/RB
PLAN REVIEW: RJ

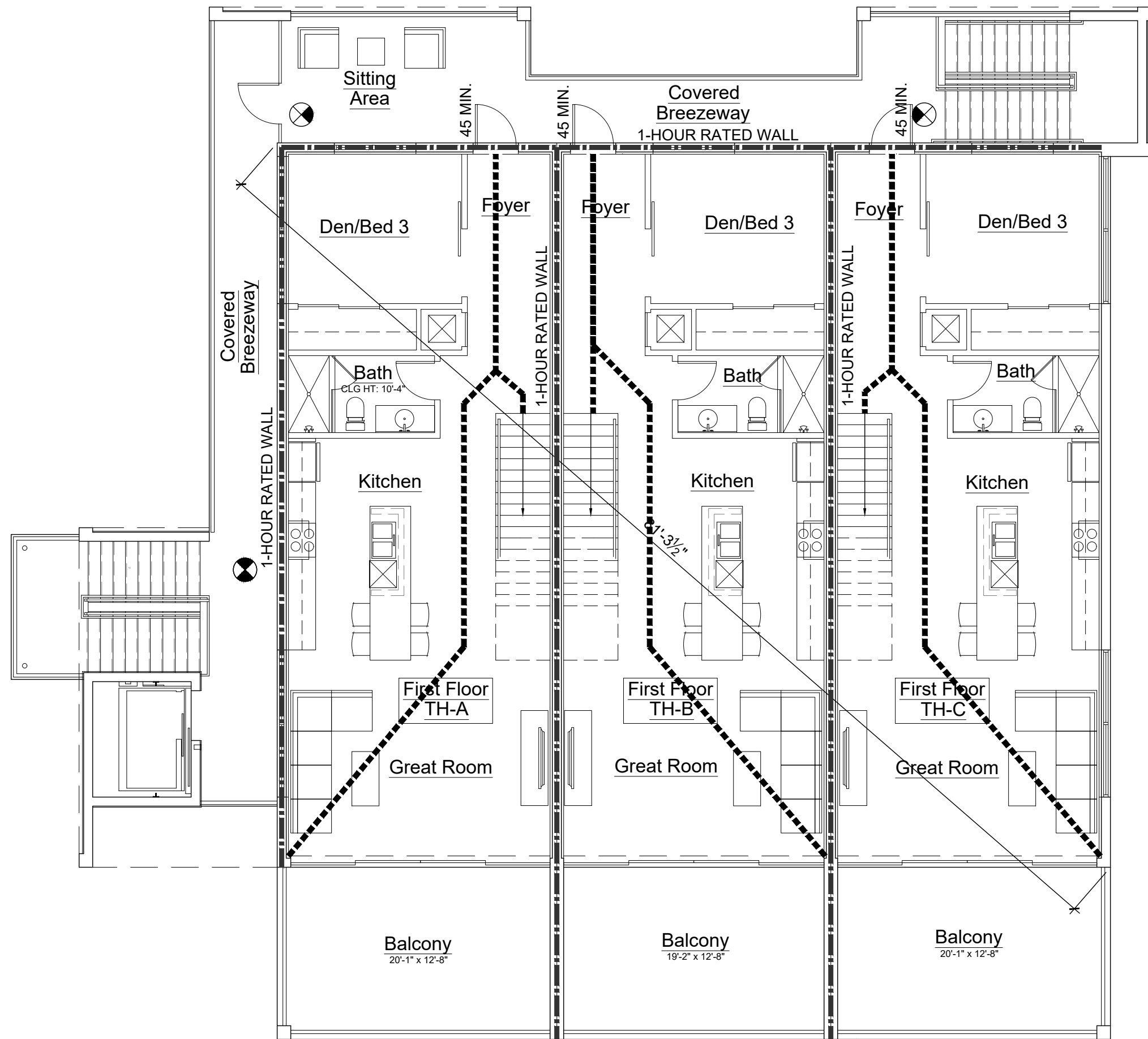
SUBMITTALS:
CLASS-5
SUBMITTAL: 05.11.20

REVISIONS:
1 TAC COMMENTS: 08.19.20
2 TAC COMMENTS: 10.09.20
3 TAC COMMENTS: 11.17.20



Fourth Floor Plan

Scale: 1/8"=1'-0"



Third Floor Plan

Scale: 1/8"=1'-0"

LIFE SAFETY LEGEND

WALLS / PARTITIONS / DOORS		EGRESS						FIRE ALARM & PROTECTION				FIRE EXTINGUISHERS		SIGNAGE			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	1 HR FIRE RATED SEPARATION: ALL DOORS AND PENETRATIONS HORIZONTALLY THRU SEPARATION SHALL HAVE A 20-MINUTE FIRE RESISTANCE RATINGS AT CORRIDOR PARTITIONS AND A 45-MINUTE FIRE RESISTANCE RATING AT OTHER LOCATIONS	 E4 36" 180"	EXIT TAG EGRESS WIDTH PROVIDED IN INCHES		SECONDARY MEANS OF EGRESS, IF REQUIRED		EXIT SIGN & EMERGENCY LIGHT FIXTURE COMBINATION W/ 90 MINUTE BATTERY PACK		THERMAL DETECTOR, FIXED + RATE-OF-RISE		SIGNALING HORN *(V) WITH VISUAL SIGNAL (STROBE, 75CD UNLESS NOTED)		EVACUATION GRAPHIC DIAGRAM OF EGRESS ROUTES FROM SPACE		SIGN TO READ: "EXIT THIS LEVEL FOR TRANSFER TO SECONDARY MEANS OF EGRESS."		
	2 HR FIRE RATED SEPARATION: ALL DOORS AND OPENINGS SHALL BE PROTECTED BY A 90 MINUTE FIRE-RESISTANT RATING.	 200' 110'	EGRESS CAPACITY OF DOORS WIDTH (# OF OCCUPANTS)		LIGHTED EXIT SIGN - SINGLE FACED W/ 90 MINUTE BATTERY PACK		EMERGENCY LIGHT FIXTURE W/ 90 MINUTE BATTERY PACK		THERMAL DETECTOR, FIXED TEMP.		FIRE ALARM STROBE, MOUNTED 80" AFF		TACTILE EXIT SIGN, WALL-MOUNTED ADJACENT TO STAIR ENTRY DOOR ON LATCH SIDE @ 60" TO CENTERLINE OF SIGN.		MAXIMUM OCCUPANCY SIGN TO READ: "OCCUPANCY BY MORE THAN 'X' PERSONS IS DANGEROUS AND UNLAWFUL." CONFIRM WITH LOCAL JURISDICTION HAVING AUTHORITY FOR SIGNAGE REQUIREMENTS.		
	3 HR FIRE RATED HAZARD AND EXIT SEPARATION: ALL DOORS AND PENETRATIONS SHALL HAVE A 180 MINUTE FIRE-RESISTANCE RATING.		MAXIMUM TRAVEL DISTANCE ALLOWED		LIGHTED EXIT SIGN - DOUBLE FACED W/ 90 MINUTE BATTERY PACK		EXIT SIGN NOTE: DARKENED AREA OF EXIT SIGN INDICATES FACE OF SIGN VIEWED. EXIST SIGNS TO BE NO MORE THAN 100' APART.		MANUAL STATION		EMERGENCY LIGHT FIXTURE W/ 90 MINUTE BATTERY PACK		"NO EXIT" SIGN, MOUNT ON DOOR @ CENTERLINE OF ACTIVE LEAF 54" A.F.F.		"FIRE EXTINGUISHER INSIDE" USE SIGN ONLY WHERE FIRE EXTINGUISHER IS LOCATED WITHIN A ROOM THAT REMAINS UNLOCKED WHILE THE BUILDING IS OCCUPIED		
	FIRE RATED DOORS "X" = 20 MIN. 45 MIN. 90 MIN. 180 MIN. (REFER TO FIRE-RESISTANCE RATING OF WALL OR PARTITION.)		DISTANCE IN FEET FROM AN OCCUPIABLE POINT 12" FROM WALL TO THE NEAREST EXIT		LIGHTED EXIT SIGN - SINGLE FACED W/ DIRECTIONAL ARROWS & 90 MINUTE BATTERY PACK		LIGHTED EXIT SIGN - DOUBLE FACED W/ DIRECTIONAL ARROWS & 90 MINUTE BATTERY PACK		SMOKE DETECTOR - NON SYSTEM, 120V (PROVIDE W/ BATTERY BACKUP)	FIRE ALARM & PROTECTION FIXTURE SUFFIX: (D) DENOTES DUCT MOUNTED (C) DENOTES CEILING MOUNTED (F) DENOTES FLUSH WALL MOUNTED (WP) DENOTES WEATHERPROTECTED			ELEVATOR SIGN: "IN CASE OF FIRE, DO NOT USE ELEVATOR, USE STAIRS."		"FIRE EXTINGUISHER INSIDE" USE SIGN ONLY WHERE FIRE EXTINGUISHER IS LOCATED WITHIN A ROOM THAT REMAINS UNLOCKED WHILE THE BUILDING IS OCCUPIED		
	PATH OF TRAVEL		PRIMARY MEANS OF EGRESS (NOT SHOWN FOR SPACES WITH ONLY A PRIMARY EGRESS REQUIREMENT)		LIGHTED WALL MOUNTED EXIT SIGN W/ 90 MINUTE BATTERY PACK		EXTERIOR WALL PACK EMERGENCY LIGHT		SMOKE DETECTOR - PHOTO				ACCESSIBLE ROUTE SIGN (DIRECTIONAL WHERE INDICATED)				

FIRE PROTECTION NOTES

FIRE PROTECTION GENERAL NOTES:

- FULLY SPRINKLED BUILDING AS PER FBC, CHAPTER 9, SECTION 903.2.7 AND NFPA 13. REFER TO FIRE SPRINKLER PLANS BY OTHERS.
- FIRE ALARM, FIRE DETECTION AND COMMUNICATION SYSTEM SHALL BE INSTALLED AS PER FBC, CHAPTER 9 AND NFPA 72-2018 (NATIONAL FIRE ALARM CODE) AND SECTION 403.
- STANDBY POWER SYSTEM (EMERGENCY GENERATOR) SHALL CONFORM WITH FBC CHAPTER 27, SECTION 403.10 AND NFPA 110-2016.
- PROVIDE STENCIL WITH 4" HIGH LETTERING @ 30'-0" ON BOTH SIDES OF ALL FIRE AND SMOKE BARRIERS ABOVE

CEILINGS TO READ: FIRE/SMOKE PARTITION - PROTECT ALL OPENINGS. SEAL ALL OPENINGS AND PENETRATIONS TO RESIST THE MIGRATION OR PASSAGE OF SMOKE AND GASES.

SPECIFIC EXCEPTIONS TO THE LISTED RATINGS MAY BE PERMITTED WHERE INDICATED.

FIRE RESISTANT ASSEMBLIES, MATERIALS, PROPERTIES AND THICKNESS REQUIRED, SHALL COMPLY WITH THOSE WHICH HAVE SUCCESSFULLY BEEN PERFORMED UNDER TESTS MADE BY A RECOGNIZED LABORATORY PER ASTM E119 OR BASED ON CALCULATIONS PERMITTED BY THE FBC AND BUILDING OFFICIAL.

- LIFE SAFETY DRAWINGS SHALL BE USED IN CONJUNCTION AND COORDINATED WITH THE FIRE ALARM, MECHANICAL, ELECTRICAL DRAWINGS WHETHER INCLUDED WITH THESE DRAWINGS OR UNDER SEPARATE PERMIT.
- PROVIDE MAXIMUM OCCUPANCY SIGN.
- FIRE ALARM SYSTEM WITH VOICE EVAC SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 101:12.3.4

FIRE RESISTANT MATERIAL NOTES:

- ALL WOOD COMPONENTS IN CONCEALED SPACES SHALL BE FIRE RETARDANT TREATED WOOD IN ACCORDANCE TO FBC SECTION 603.1.
- INTERIOR FINISHES SHALL BE MINIMUM CLASSIFICATION "C" WITHIN ALL UNITS AND MINIMUM OF CLASSIFICATION "B" IN ALL COMMON AND PUBLIC SPACES. AS PER FBC 803.5.
- ALL INTERIOR PLASTIC SIGNS SHALL CONFORM WITH FBC 2604.15.

DOOR LOCKING DEVICES NOTE: (NFPA, FLORIDA FIRE PREVENTION CODE 2018)

DOORS SHALL BE ARRANGED TO BE OPEN READILY FROM THE EGRESS SIDE AT ALL TIMES. LOCKS IF PROVIDED, SHALL NOT REQUIRE THE USE OF A KEY, A TOOL, OR SPECIAL KNOWLEDGE OR EFFORT FOR OPERATION FROM THE EGRESS SIDE

OCCUPANT LOAD CALC.

(F.B.C. TABLE 1004.1.2)		
FUNCTION OF SPACE	AREA OF SPACE	MAXIMUM OCCUPANTS
OFFICE/RETAIL AREA	3,757 SQUARE FEET	38(37.57) OCCUPANTS
ELECTRICAL/ MECHANICAL/ BIKE STORAGE	467 SQUARE FEET	3(3.11) OCCUPANTS
RESIDENTIAL AREA	6,325 SQUARE FEET	32(31.63) OCCUPANTS
TOTAL BUILDING:		73 OCCUPANTS

LIFE SAFETY
THIRD &
FOURTH
FLOOR PLAN

LS-2



10 S.E. FIRST AVENUE | SUITE 102
DELRAY BEACH, FLORIDA 33444
V 561.274.9186 | F 561.274.9196
AA26001617 | IB26001056

WWW.RJARCHITECTURE.COM

the GEORGE
DELRAY BEACH, FLORIDA

MARC JULIEN HOMES
755 NW 17TH AVE, SUITE 107
DELRAY BEACH, FL 33445

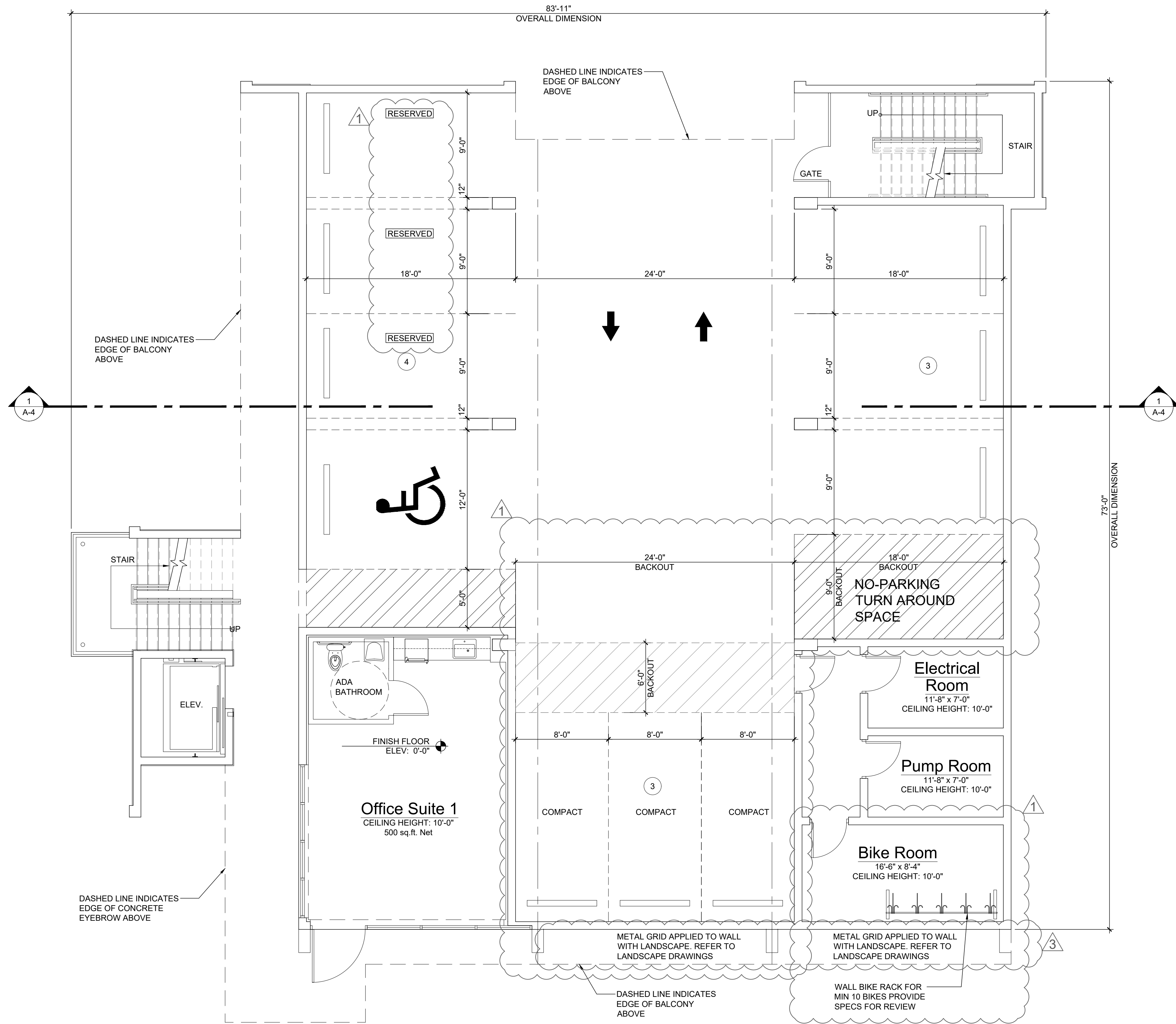
FLORIDA LICENSURE

AA26001617 | IB26001056

COMMISSION # 19-044
DESIGNER: RJ
DRAWN BY: JH/RB
PLAN REVIEW: RJ

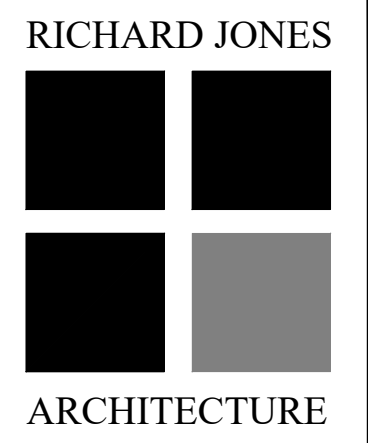
SUBMITTALS:
CLASS-5
SUBMITTAL: 05.11.20

REVISIONS:
1 TAC COMMENTS: 08.19.20
2 TAC COMMENTS: 10.09.20
3 TAC COMMENTS: 11.17.20



Ground Floor Plan (Office & Parking)

Scale: 3/16"=1'-0"



10 S.E. FIRST AVENUE | SUITE 102
DELRAY BEACH, FLORIDA 33444
V 561.274.9186 | F 561.274.9196
AA26001617 | IB26001056

WWW.RJARCHITECTURE.COM

the GEORGE
DELRAY BEACH, FLORIDA

MARC JULIEN HOMES
755 NW 17TH AVE. SUITE 107
DELRAY BEACH, FL 33445

FLORIDA LICENSURE

AA26001617 | IB26001056

COMMISSION # 19-044
DESIGNER: RJ
DRAWN BY: JH/RB
PLAN REVIEW: RJ

SUBMITTALS:
CLASS-5 SUBMITTAL: 05.11.20

REVISIONS:
1 TAC COMMENTS: 08.19.20
2 TAC COMMENTS: 10.09.20
3 TAC COMMENTS: 11.17.20

GROUND
FLOOR
PLAN


A-1.1

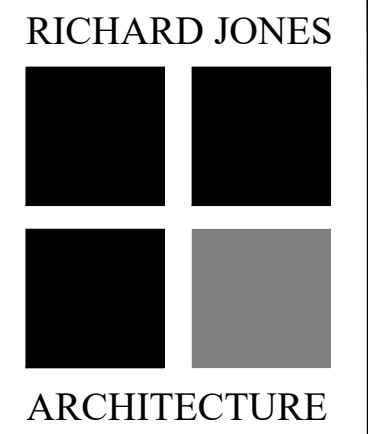
RICHARD JONES ARCHITECTURE

© COPYRIGHT 2019 BY RICHARD JONES ARCHITECTURE. INCORPORATED. ALL RIGHTS RESERVED. NO PART OF THESE PLANS, DESIGNS, OR INFORMATION MAY BE REPRODUCED, COPIED OR UTILIZED GRAPHICALLY IN ANY FORM WHATSOEVER WITHOUT THE EXPRESS WRITTEN CONSENT OF RICHARD JONES ARCHITECTURE, INCORPORATED.



Second Floor Plan (Rental Offices)

Scale: 3/16"=1'-0" 



10 S.E. FIRST AVENUE | SUITE 102
DELRAY BEACH, FLORIDA 33444
V 561.274.9186 | F 561.274.9196
AA26001617 | IB26001056

WWW.RJARCHITECTURE.COM

the GEORGE
DELRAY BEACH, FLORIDA

MARC JULIEN HOMES
755 NW 17TH AVE. SUITE 107
DELRAY BEACH, FL 33445

FLORIDA LICENSURE

AA26001617 | IB26001056

COMMISSION # 19-044
DESIGNER: RJ
DRAWN BY: JH/RB
PLAN REVIEW: RJ

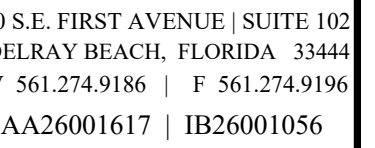
SUBMITTALS:
CLASS-5 05.11.20
SUBMITTAL:

REVISIONS:
1 TAC COMMENTS: 08.19.20
2 TAC COMMENTS: 10.09.20
3 TAC COMMENTS: 11.17.20

SECOND
FLOOR
PLAN

A-1.2

RICHARD JONES ARCHITECTURE



the GEORGE
DELRAY BEACH, FLORIDA

MARC JULIEN HOMES
755 NW 17TH AVE. SUITE 107
DELRAY BEACH, FL 33445

FLORIDA LICENSURE

AA26001617 | IB26001056

COMMISSION #	19-044
DESIGNER:	RJ
DRAWN BY:	JH/RB
PLAN REVIEW:	RJ

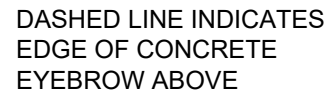
SUBMITTALS:
CLASS-5 05.11.20
SUBMITTAL:

1	TAC	08.19.20
2	TAC	10.09.20
3	TAC	11.17.20

THIRD
FLOOR
PLAN

A-1.3

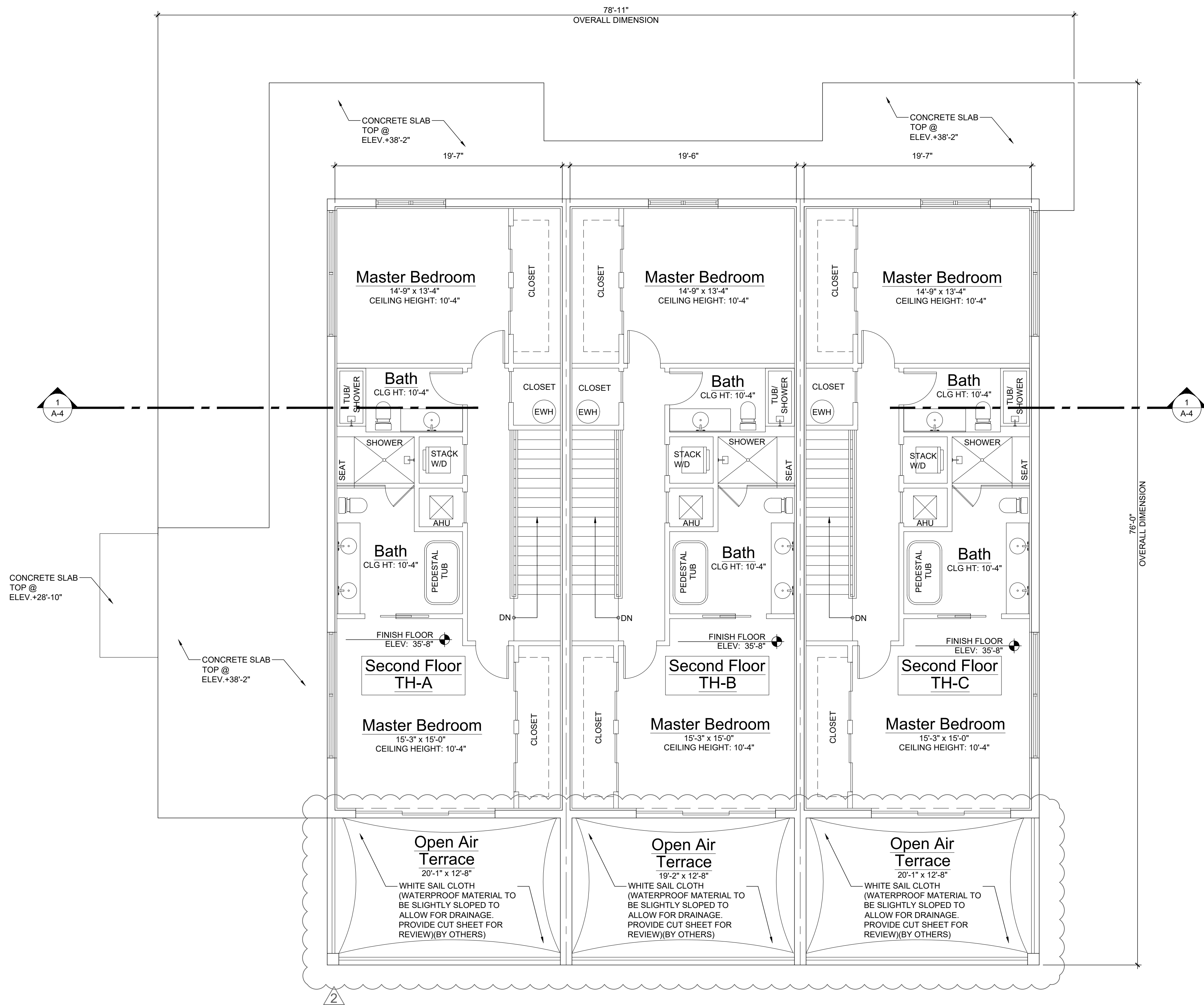
RICHARD JONES ARCHITECTURE



Third Floor Plan (Rental Residential)

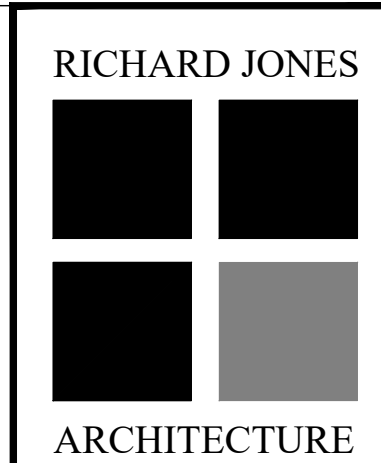
Scale: $\frac{3}{16}'' = 1'-0''$





Fourth Floor Plan (Rental Residential)

Scale: 3/16"=1'-0"



10 S.E. FIRST AVENUE | SUITE 102
DELRAY BEACH, FLORIDA 33444
V 561.274.9186 | F 561.274.9196
AA26001617 | IB26001056

WWW.RJARCHITECTURE.COM

the GEORGE
DELRAY BEACH, FLORIDA

MARC JULIEN HOMES
755 NW 17TH AVE, SUITE 107
DELRAY BEACH, FL 33445

FLORIDA LICENSURE

AA26001617 | IB26001056

COMMISSION # 19-044
DESIGNER: RJ
DRAWN BY: JH/RB
PLAN REVIEW: RJ

SUBMITTALS:
CLASS-S 05.11.20
SUBMITTAL:

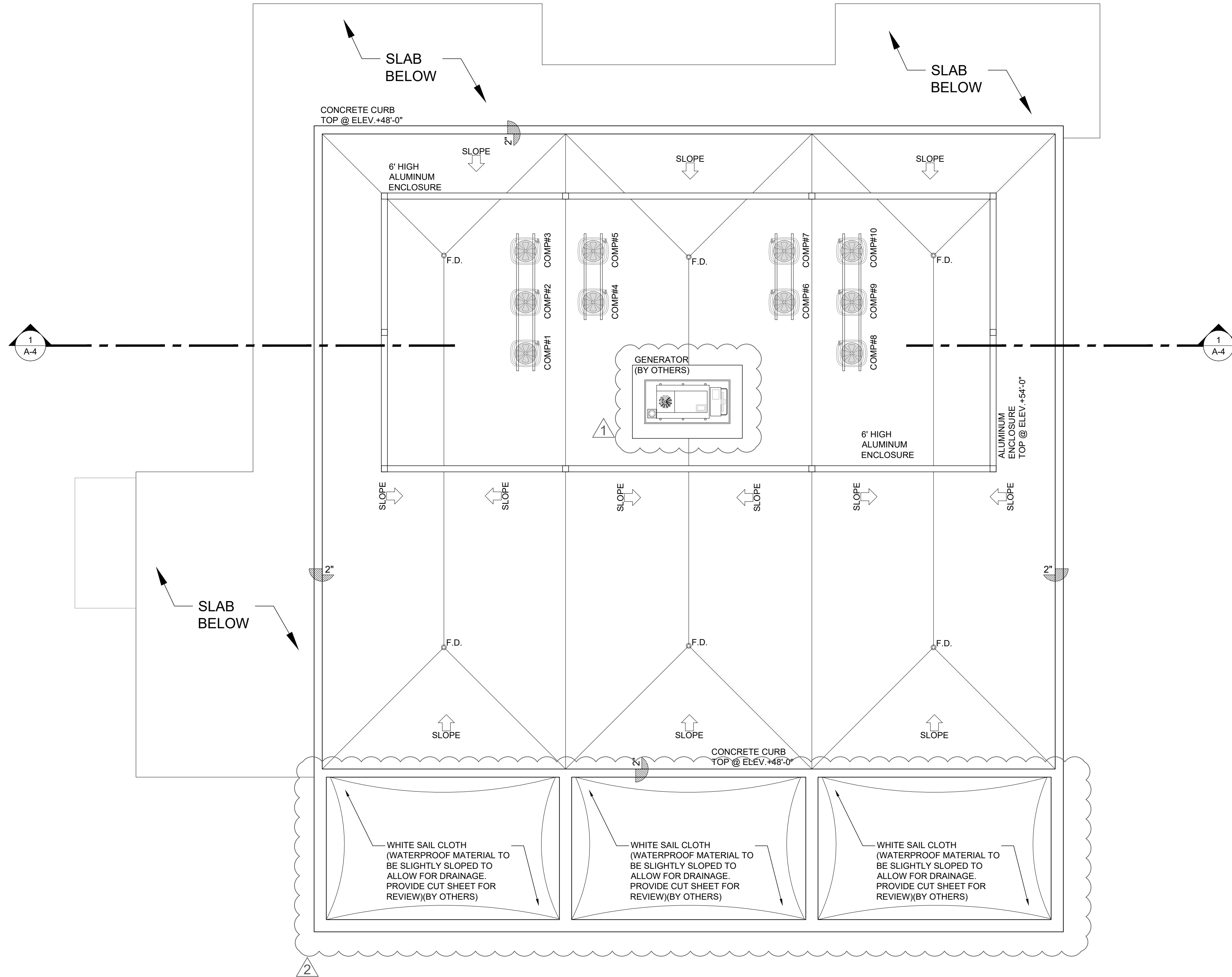
REVISIONS:
1 TAC COMMENTS: 08.19.20
2 TAC COMMENTS: 10.09.20
3 TAC COMMENTS: 11.17.20

FOURTH
FLOOR
PLAN


A-1.4

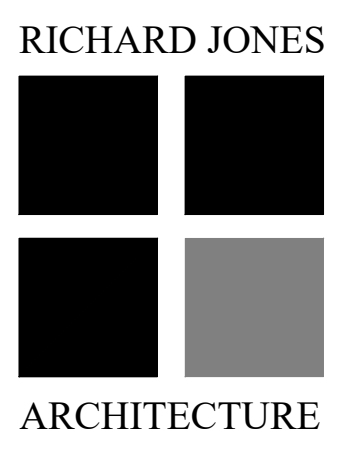
RICHARD JONES ARCHITECTURE

© COPYRIGHT 2019 BY RICHARD JONES ARCHITECTURE. INCORPORATED ALL RIGHTS RESERVED. NO PART OF THESE PLANS, DESIGNS, OR INFORMATION MAY BE REPRODUCED, COPIED OR UTILIZED GRAPHICALLY IN ANY FORM WHATSOEVER WITHOUT THE EXPRESS WRITTEN CONSENT OF RICHARD JONES ARCHITECTURE, INCORPORATED.



Roof Plan (Equipment Area)

Scale: 3/16"=1'-0" 



10 S.E. FIRST AVENUE | SUITE 102
DELRAY BEACH, FLORIDA 33444
V 561.274.9186 | F 561.274.9196
AA26001617 | IB26001056

WWW.RJARCHITECTURE.COM

the GEORGE
DELRAY BEACH, FLORIDA

MARC JULIEN HOMES
755 NW 17TH AVE, SUITE 107
DELRAY BEACH, FL 33445

FLORIDA LICENSURE

AA26001617 | IB26001056

COMMISSION # 19-044
DESIGNER: RJ
DRAWN BY: JH/RB
PLAN REVIEW: RJ

SUBMITTALS:
CLASS-5 05.11.20
SUBMITTAL:

REVISIONS:
1 TAC COMMENTS: 08.19.20
2 TAC COMMENTS: 10.09.20
3 TAC COMMENTS: 11.17.20

ROOF
PLAN

A-2

RICHARD JONES ARCHITECTURE

© COPYRIGHT 2019 BY RICHARD JONES ARCHITECTURE. INCORPORATED. ALL RIGHTS RESERVED. NO PART OF THESE PLANS, DESIGNS, OR INFORMATION MAY BE REPRODUCED, COPIED OR UTILIZED GRAPHICALLY IN ANY FORM WHATSOEVER WITHOUT THE EXPRESS WRITTEN CONSENT OF RICHARD JONES ARCHITECTURE, INCORPORATED.

BRONZE ALUMINUM WINDOW/DOOR FRAMES
BRONZE ALUMINUM RAILING
BRONZE ALUMINUM ROOF EQUIPMENT SCREENING
BRONZE ALUMINUM BUILDING NAME

WALL ACCENTS STUCCO SCORE LINES @ 8" ON CENTER
SW 7702 SPICED CIDER

SHERWIN WILLIAMS EXTRA WHITE SW 7005
AT ALL EXTERIOR WALLS TYPICAL

SHERWIN WILLIAMS GAUNTLET GRAY SW 7019
AT FRONT EYEBROWS AND BALCONIES AND
SIDE TOP EYEBROW DETAIL

COLOR CHART



South Elevation

Scale: 3/16"=1'-0"

RICHARD JONES
ARCHITECTURE

10 S.E. FIRST AVENUE | SUITE 102
DELRAY BEACH, FLORIDA 33444
V 561.274.9186 | F 561.274.9196
AA26001617 | IB26001056

WWW.RJARCHITECTURE.COM

the GEORGE
DELRAY BEACH, FLORIDA

MARC JULIEN HOMES
755 NW 17TH AVE, SUITE 107
DELRAY BEACH, FL 33445

FLORIDA

LICENSURE

AA26001617 | IB26001056

COMMISSION # 19-044
DESIGNER: RJ
DRAWN BY: JH/RB
PLAN REVIEW: RJ

SUBMITTALS:
CLASS-5 05.11.20
SUBMITTAL:

REVISIONS:
1 TAC COMMENTS: 08.19.20
2 TAC COMMENTS: 10.09.20
3 TAC COMMENTS: 11.17.20

SOUTH
ELEVATION

A-3.1

RICHARD JONES ARCHITECTURE

© COPYRIGHT 2019 BY RICHARD JONES ARCHITECTURE. INCORPORATED. ALL RIGHTS ARE RESERVED. NO PART OF THESE PLANS, DESIGNS, OR INFORMATION MAY BE REPRODUCED, COPIED OR UTILIZED GRAPHICALLY IN ANY FORM WHATSOEVER WITHOUT THE EXPRESS WRITTEN CONSENT OF RICHARD JONES ARCHITECTURE, INCORPORATED.

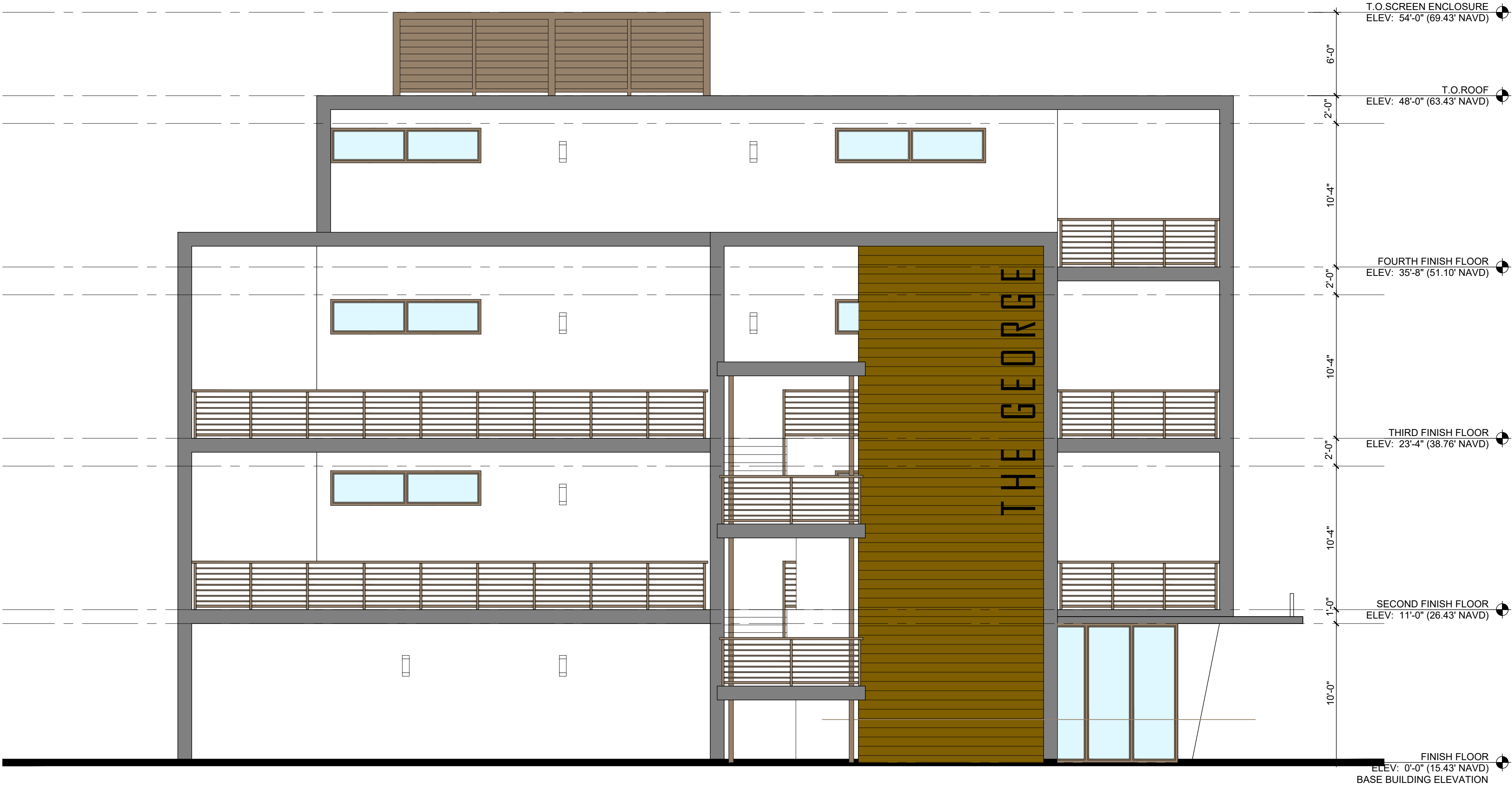
BRONZE ALUMINUM WINDOW/DOOR FRAMES
BRONZE ALUMINUM RAILING
BRONZE ALUMINUM ROOF EQUIPMENT SCREENING
BRONZE ALUMINUM BUILDING NAME

WALL ACCENTS STUCCO SCORE LINES @ 8" ON CENTER
SW 7702 SPICED CIDER

SHERWIN WILLIAMS EXTRA WHITE SW 7005
AT ALL EXTERIOR WALLS TYPICAL

SHERWIN WILLIAMS GAUNTLET GRAY SW 7019
AT FRONT EYEBROWS AND BALCONIES AND
SIDE TOP EYEBROW DETAIL

COLOR CHART



West Elevation

Scale: 3/16"=1'-0"

RICHARD JONES
ARCHITECTURE

10 S.E. FIRST AVENUE | SUITE 102
DELRAY BEACH, FLORIDA 33444
V 561.274.9186 | F 561.274.9196
AA26001617 | IB26001056

WWW.RJARCHITECTURE.COM

the GEORGE
DELRAY BEACH, FLORIDA

MARC JULIEN HOMES
755 NW 17TH AVE, SUITE 107
DELRAY BEACH, FL 33445

FLORIDA

LICENSURE

AA26001617 | IB26001056

COMMISSION # 19-044
DESIGNER: RJ
DRAWN BY: JH/RB
PLAN REVIEW: RJ

SUBMITTALS:
CLASS-5 SUBMITTAL: 05.11.20

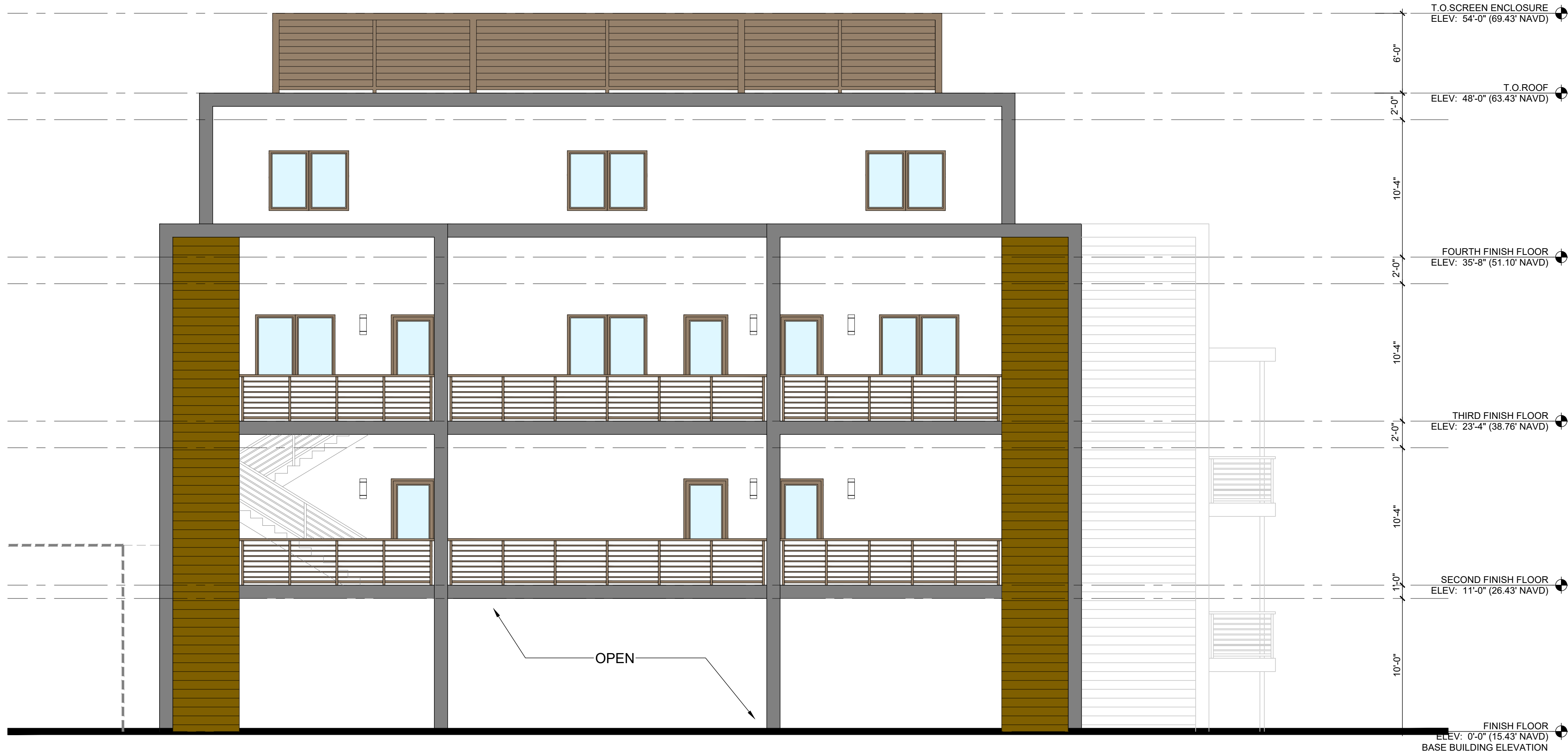
REVISIONS:
1 TAC COMMENTS: 08.19.20
2 TAC COMMENTS: 10.09.20
3 TAC COMMENTS: 11.17.20

WEST
ELEVATION

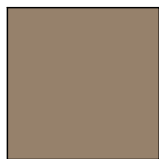
A-3.2

RICHARD JONES ARCHITECTURE

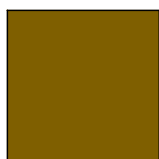
© COPYRIGHT 2019 BY RICHARD JONES ARCHITECTURE. INCORPORATED. ALL RIGHTS ARE RESERVED. NO PART OF THESE PLANS, DESIGNS, OR INFORMATION MAY BE REPRODUCED, COPIED OR UTILIZED GRAPHICALLY IN ANY FORM WHATSOEVER WITHOUT THE EXPRESS WRITTEN CONSENT OF RICHARD JONES ARCHITECTURE, INCORPORATED.



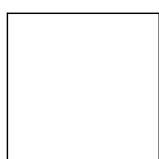
COLOR CHART



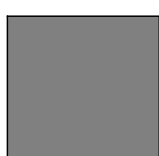
BRONZE ALUMINUM WINDOW/DOOR FRAMES
BRONZE ALUMINUM RAILING
BRONZE ALUMINUM ROOF EQUIPMENT SCREENING
BRONZE ALUMINUM BUILDING NAME



WALL ACCENTS STUCCO SCORE LINES @ 8" ON CENTER
SW 7702 SPICED CIDER



SHERWIN WILLIAMS EXTRA WHITE SW 7005
AT ALL EXTERIOR WALLS TYPICAL

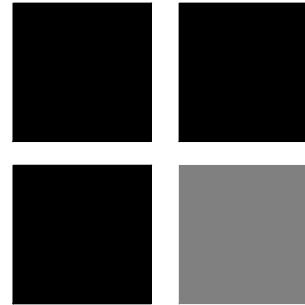


SHERWIN WILLIAMS GAUNTLET GRAY SW 7019
AT FRONT EYEBROWS AND BALCONIES AND
SIDE TOP EYEBROW DETAIL

North Elevation

Scale: 3/16"=1'-0"

RICHARD JONES



ARCHITECTURE

10 S.E. FIRST AVENUE | SUITE 102
DELRAY BEACH, FLORIDA 33444
V 561.274.9186 | F 561.274.9196
AA26001617 | IB26001056

WWW.RJARCHITECTURE.COM

the GEORGE
DELRAY BEACH, FLORIDA

MARC JULIEN HOMES
755 NW 17TH AVE. SUITE 107
DELRAY BEACH, FL 33445

FLORIDA LICENSURE

AA26001617 | IB26001056

COMMISSION # 19-044
DESIGNER: RJ
DRAWN BY: JH/RB
PLAN REVIEW: RJ

SUBMITTALS:
CLASS-5 05.11.20
SUBMITTAL:

REVISIONS:
1 TAC COMMENTS: 08.19.20
2 TAC COMMENTS: 10.09.20
3 TAC COMMENTS: 11.17.20

NORTH
ELEVATION

A-3.3

RICHARD JONES ARCHITECTURE

© COPYRIGHT 2019 BY RICHARD JONES ARCHITECTURE. INCORPORATED. ALL RIGHTS ARE RESERVED. NO PART OF THESE PLANS, DESIGNS, OR INFORMATION MAY BE REPRODUCED, COPIED OR UTILIZED GRAPHICALLY IN ANY FORM WHATSOEVER WITHOUT THE EXPRESS WRITTEN CONSENT OF RICHARD JONES ARCHITECTURE, INCORPORATED.

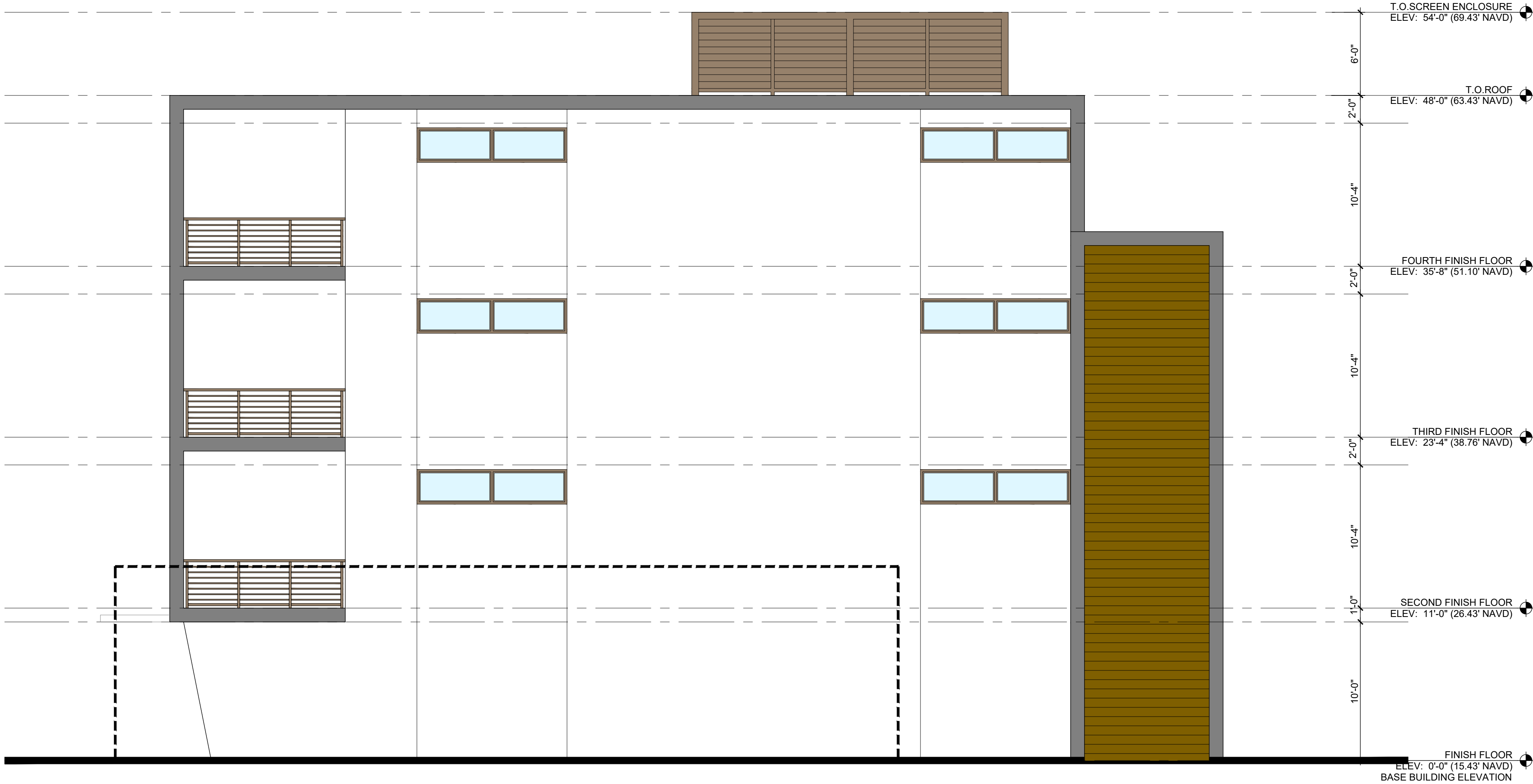
BRONZE ALUMINUM WINDOW/DOOR FRAMES
BRONZE ALUMINUM RAILING
BRONZE ALUMINUM ROOF EQUIPMENT SCREENING
BRONZE ALUMINUM BUILDING NAME

WALL ACCENTS STUCCO SCORE LINES @ 8" ON CENTER
SW 7702 SPICED CIDER

SHERWIN WILLIAMS EXTRA WHITE SW 7005
AT ALL EXTERIOR WALLS TYPICAL

SHERWIN WILLIAMS GAUNTLET GRAY SW 7019
AT FRONT EYEBROWS AND BALCONIES AND
SIDE TOP EYEBROW DETAIL

COLOR CHART



East Elevation

Scale: 3/16"=1'-0"

RICHARD JONES
ARCHITECTURE

10 S.E. FIRST AVENUE | SUITE 102
DELRAY BEACH, FLORIDA 33444
V 561.274.9186 | F 561.274.9196
AA26001617 | IB26001056

WWW.RJARCHITECTURE.COM

the GEORGE
DELRAY BEACH, FLORIDA

MARC JULIEN HOMES
755 NW 17TH AVE, SUITE 107
DELRAY BEACH, FL 33445

FLORIDA

LICENSURE

AA26001617 | IB26001056

COMMISSION # 19-044
DESIGNER: RJ
DRAWN BY: JH/RB
PLAN REVIEW: RJ

SUBMITTALS:
CLASS-5 SUBMITTAL: 05.11.20

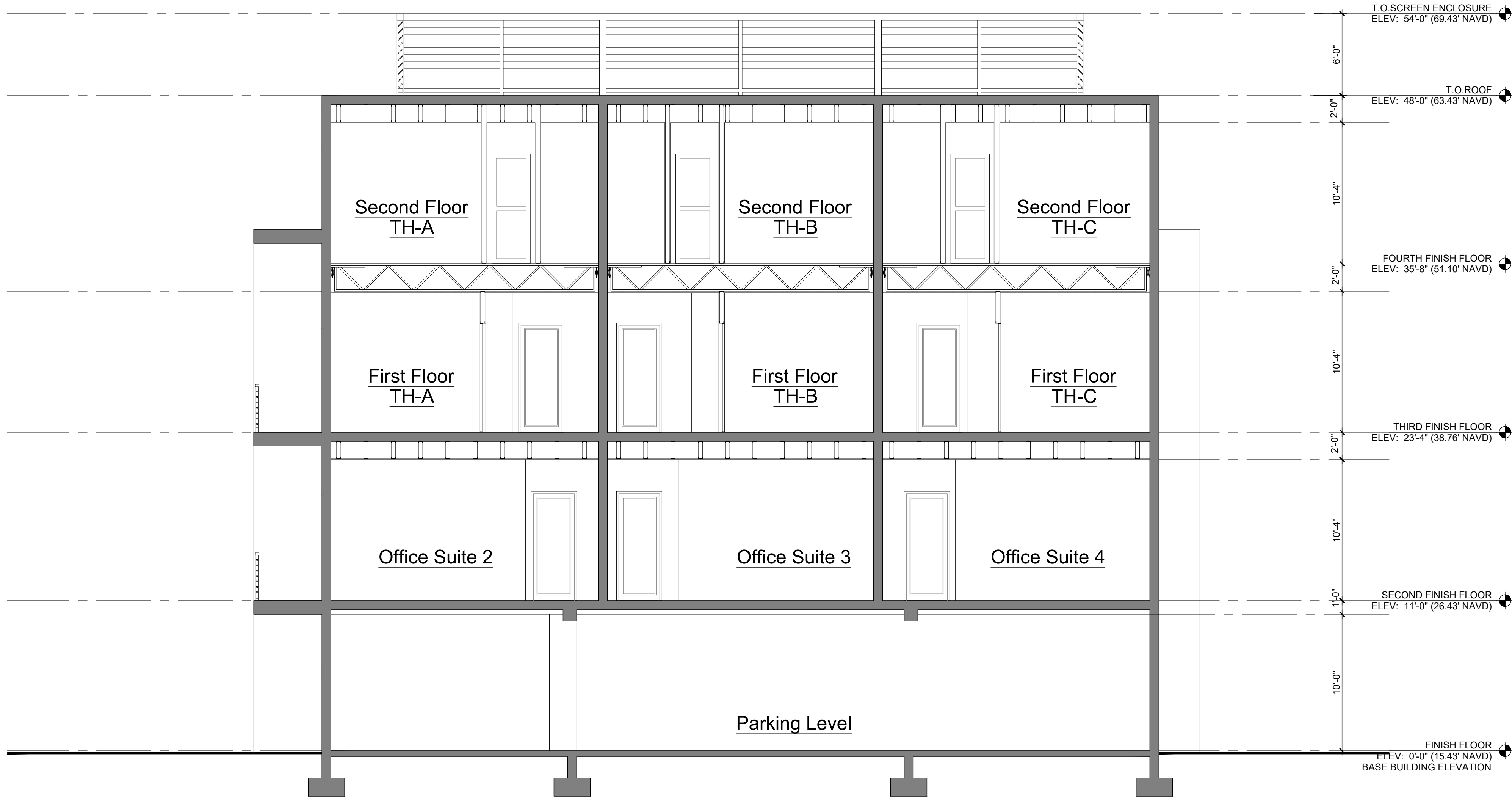
REVISIONS:
1 TAC COMMENTS: 08.19.20
2 TAC COMMENTS: 10.09.20
3 TAC COMMENTS: 11.17.20

EAST
ELEVATION

A-3.4

RICHARD JONES ARCHITECTURE

© COPYRIGHT 2019 BY RICHARD JONES ARCHITECTURE. INCORPORATED. ALL RIGHTS ARE RESERVED. NO PART OF THESE PLANS, DESIGNS, OR INFORMATION MAY BE REPRODUCED, COPIED OR UTILIZED GRAPHICALLY IN ANY FORM WHATSOEVER WITHOUT THE EXPRESS WRITTEN CONSENT OF RICHARD JONES ARCHITECTURE, INCORPORATED.



Building Section

Scale: 3/16"=1'-0"

RICHARD JONES
ARCHITECTURE

10 S.E. FIRST AVENUE | SUITE 102
DELRAY BEACH, FLORIDA 33444
V 561.274.9186 | F 561.274.9196
AA26001617 | IB26001056

WWW.RJARCHITECTURE.COM

the GEORGE
DELRAY BEACH, FLORIDA

MARC JULIEN HOMES
755 NW 17TH AVE, SUITE 107
DELRAY BEACH, FL 33445

FLORIDA

LICENSURE

AA26001617 | IB26001056

COMMISSION # 19-044
DESIGNER: RJ
DRAWN BY: JH/RB
PLAN REVIEW: RJ

SUBMITTALS:
CLASS-5
SUBMITTAL: 05.11.20

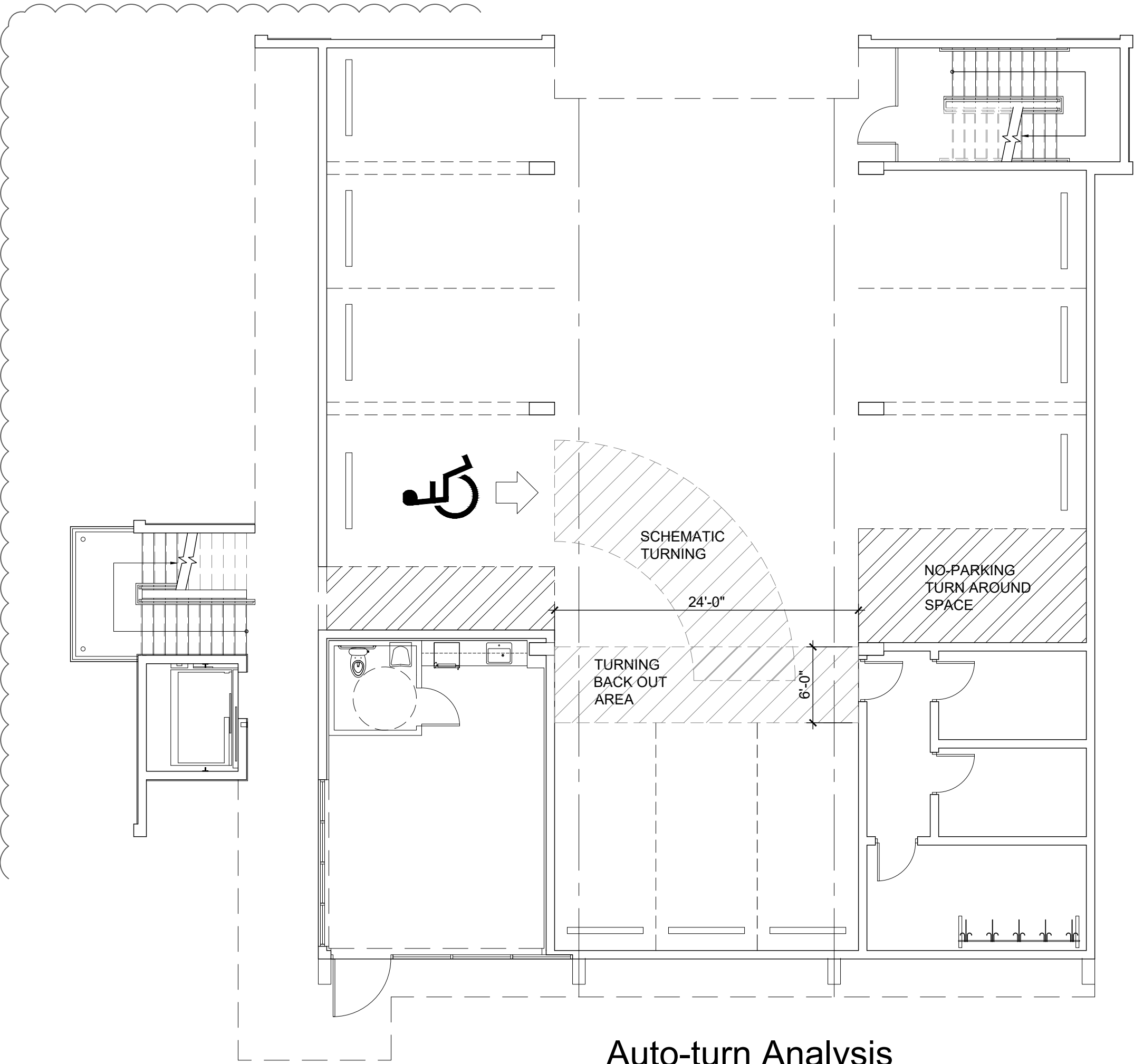
REVISIONS:
1 TAC COMMENTS: 08.19.20
2 TAC COMMENTS: 10.09.20
3 TAC COMMENTS: 11.17.20

BUILDING
SECTION

A-4

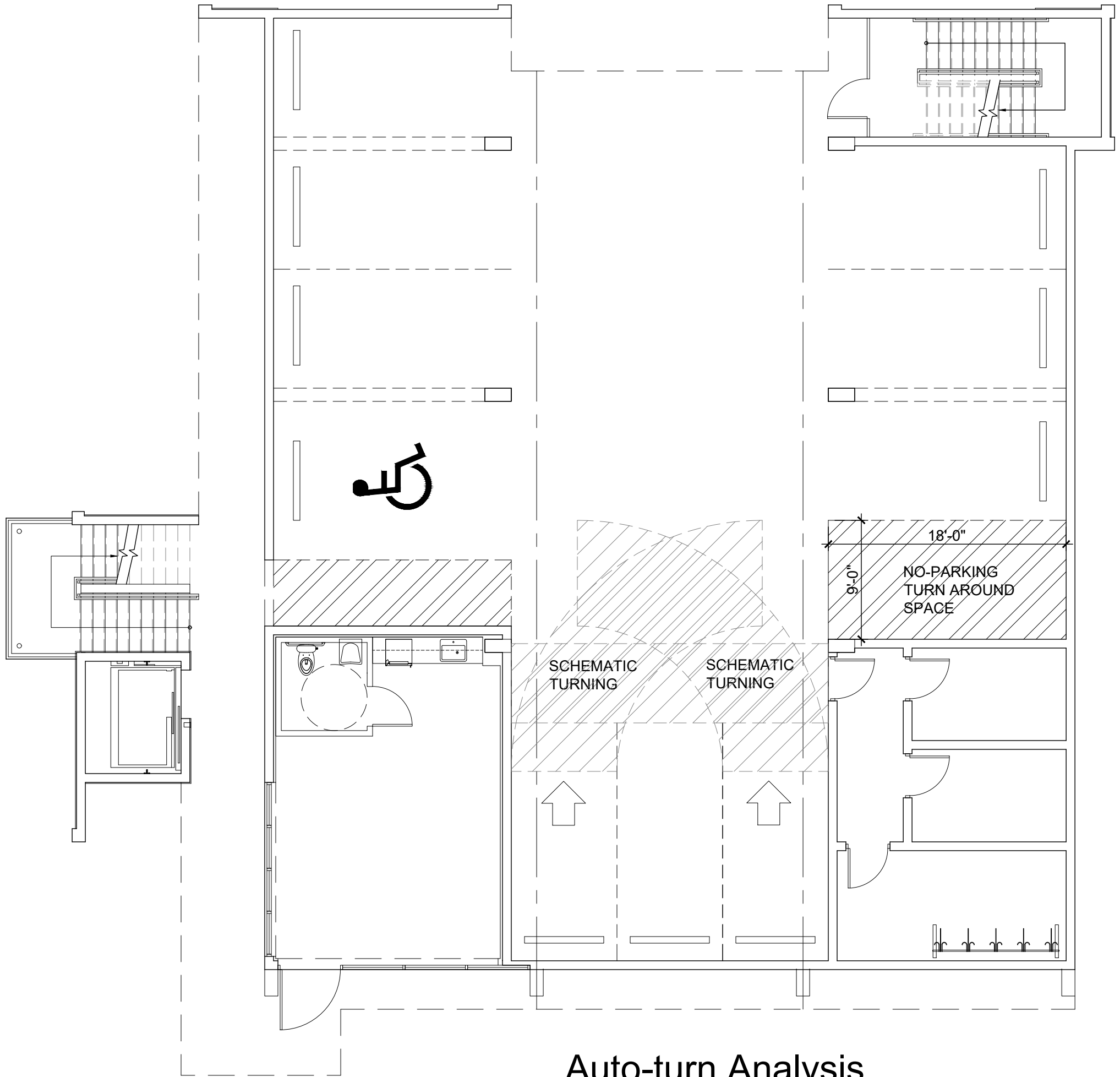
RICHARD JONES ARCHITECTURE

© COPYRIGHT 2019 BY RICHARD JONES ARCHITECTURE. INCORPORATED. ALL RIGHTS ARE RESERVED. NO PART OF THESE PLANS, DESIGNS, OR INFORMATION MAY BE REPRODUCED, COPIED OR UTILIZED GRAPHICALLY IN ANY FORM WHATSOEVER WITHOUT THE EXPRESS WRITTEN CONSENT OF RICHARD JONES ARCHITECTURE, INCORPORATED.



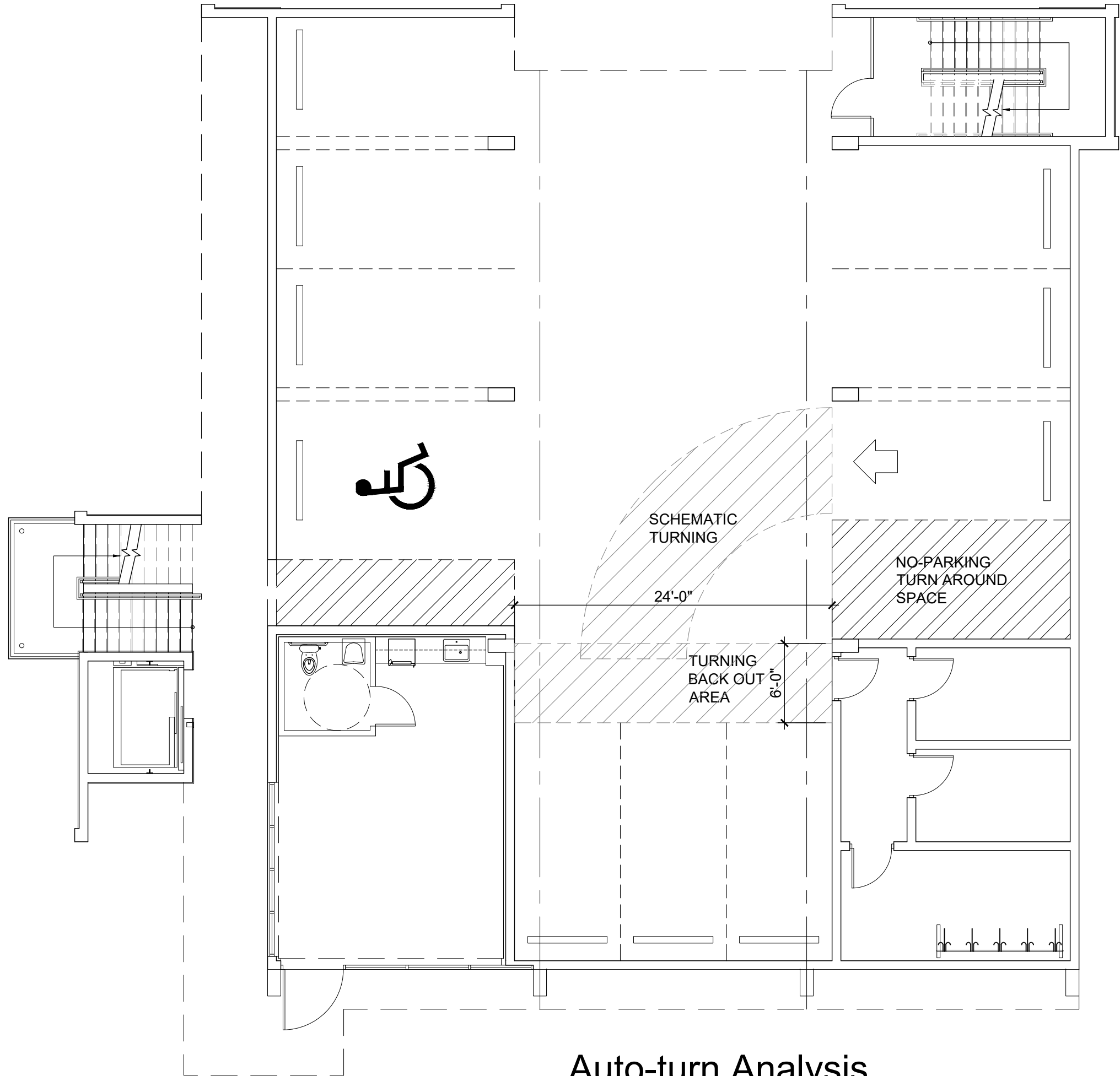
Auto-turn Analysis

Scale: 1/8"=1'-0"



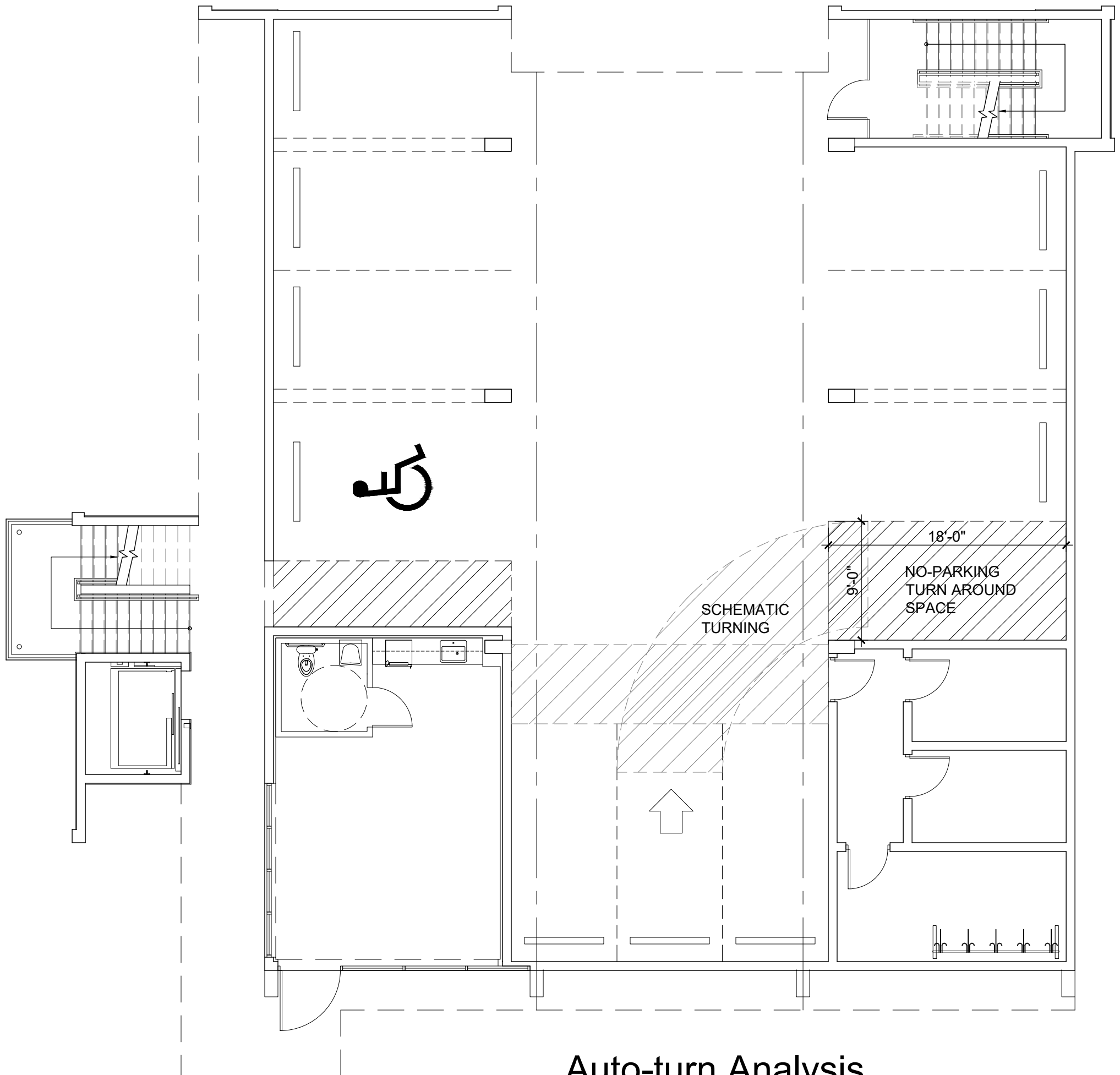
Auto-turn Analysis

Scale: 1/8"=1'-0"



Auto-turn Analysis

Scale: 1/8"=1'-0"



Auto-turn Analysis

Scale: 1/8"=1'-0"



10 S.E. FIRST AVENUE | SUITE 102
DELRAY BEACH, FLORIDA 33444
V 561.274.9186 | F 561.274.9196
AA26001617 | IB26001056

WWW.RJARCHITECTURE.COM

the GEORGE
DELRAY BEACH, FLORIDA

MARC JULIEN HOMES
755 NW 17TH AVE, SUITE 107
DELRAY BEACH, FL 33445

FLORIDA LICENSURE

AA26001617 | IB26001056

COMMISSION # 19-044
DESIGNER: RJ
DRAWN BY: JH/RB
PLAN REVIEW: RJ

SUBMITTALS:
CLASS-5 05.11.20
SUBMITTAL:

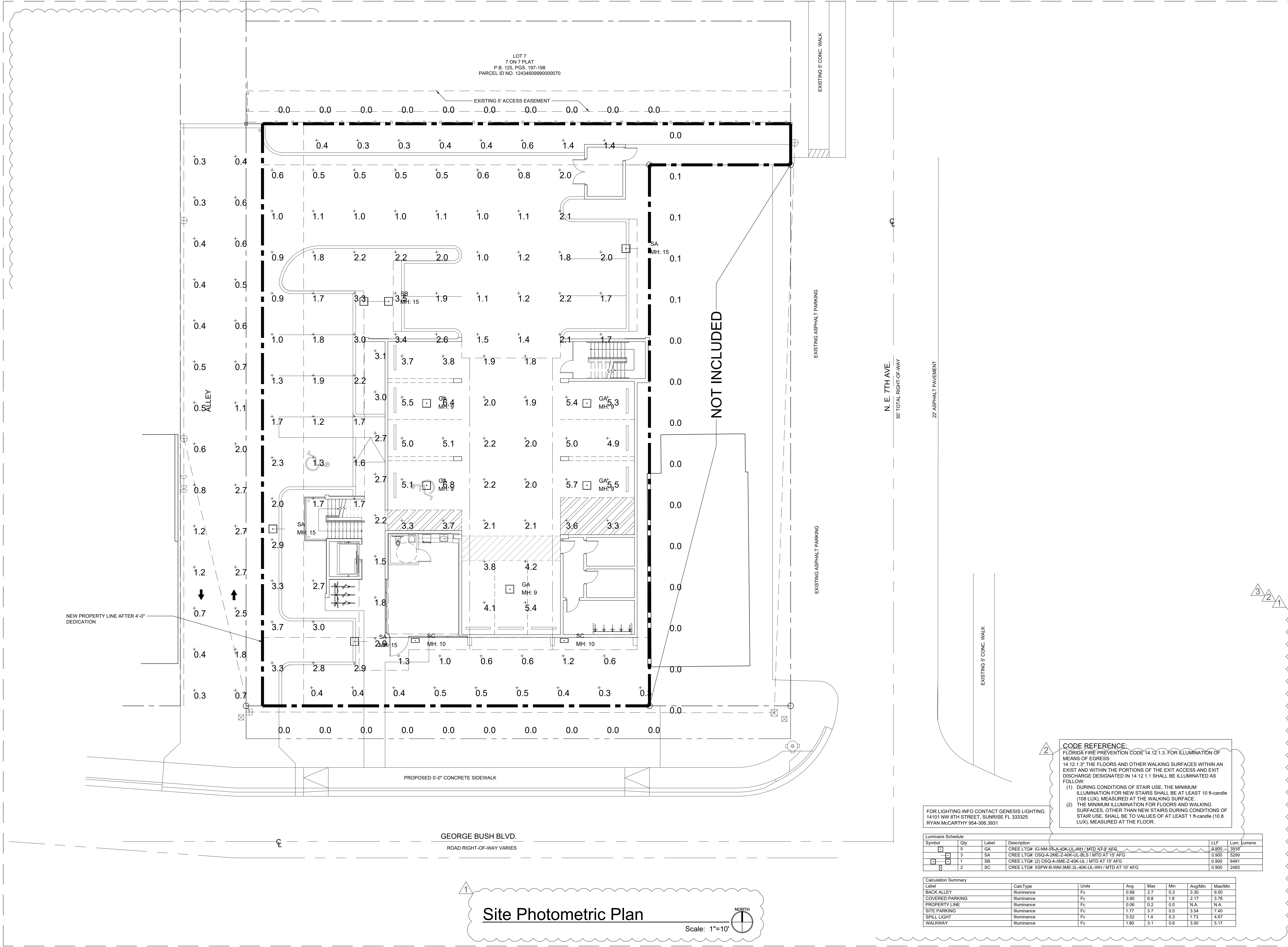
REVISIONS:
1 TAC COMMENTS: 08.19.20
2 TAC COMMENTS: 10.09.20
3 TAC COMMENTS: 11.17.20

PARKING
AUTO TURN
ANALYSIS

A-5

RICHARD JONES ARCHITECTURE

© COPYRIGHT 2019 BY RICHARD JONES ARCHITECTURE INCORPORATED ALL RIGHTS ARE RESERVED NO PART OF THESE PLANS, DESIGNS, OR INFORMATION MAY BE REPRODUCED, COPIED OR UTILIZED GRAPHICALLY IN ANY FORM WHATSOEVER WITHOUT THE EXPRESS WRITTEN CONSENT OF RICHARD JONES ARCHITECTURE INCORPORATED.



FOR LIGHTING INFO CONTACT GENESIS LIGHTING.
14101 NW 8TH STREET, SUNRISE FL 33325
RYAN MCCARTHY 954-306.3931

Luminaire Schedule					
Symbol	Qty	Label	Description	LLF	Lum. Lumens
	5	GA	CREE LTG#: IG-NM-SS-A-40KUL-WH / MTD AT 5' AEG	0.900	3510
	3	SA	CREE LTG#: OSQ-A-2ME-Z-40K-UL-BLS / MTD AT 15' AFG	0.900	5299
	1	SB	CREE LTG#: (2) OSQ-A-5ME-Z-40K-UL / MTD AT 15' AFG	0.900	6491
	2	SC	CREE LTG#: XSPW-B-WM-3ME-ZL-40K-UL-WH / MTD AT 10' AFG	0.900	2483

Calculation Summary		CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Label	Units							
BACK ALLEY	Illuminance	Fc		0.99	2.7	0.3	3.30	9.00
COVERED PARKING	Illuminance	Fc		3.90	6.8	1.8	2.17	3.78
PROPERTY LINE	Illuminance	Fc		0.06	0.2	0.0	N.A.	N.A.
SITE PARKING	Illuminance	Fc		1.77	3.7	0.5	3.54	7.40
SPILL LIGHT	Illuminance	Fc		0.52	1.4	0.3	1.73	4.67
WALKWAY	Illuminance	Fc		1.80	3.1	0.6	3.00	5.17

2 CODE REFERENCE:
FLORIDA FIRE PREVENTION CODE 14.12.1.3. FOR ILLUMINATION OF MEANS OF EGRESS:
14.12.1.3.1 THE FLOORS AND OTHER WALKING SURFACES WITHIN AN EXIST AND WITHIN THE PORTIONS OF THE EXIT ACCESS AND EXIT DISCHARGE DESIGNATED IN 14.12.1.1 SHALL BE ILLUMINATED AS FOLLOW:
(1) DURING CONDITIONS OF STAIR USE, THE MINIMUM ILLUMINATION FOR NEW STAIRS SHALL BE AT LEAST 10 ft-candle (108 LUX), MEASURED AT THE WALKING SURFACE
(2) THE MINIMUM ILLUMINATION FOR FLOORS AND WALKING SURFACES, OTHER THAN NEW STAIRS DURING CONDITIONS OF STAIR USE, SHALL BE TO VALUES OF AT LEAST 1 ft-candle (10.8 LUX), MEASURED AT THE FLOOR.



10 S.E. FIRST AVENUE | SUITE 102
DELRAY BEACH, FLORIDA 33444
V 561.274.9186 | F 561.274.9196
AA26001617 | IB26001056

WWW.RJARCHITECTURE.COM

the GEORGE
DELRAY BEACH, FLORIDA

MARC JULIEN HOMES
755 NW 17TH AVE. SUITE 107
DELRAY BEACH, FL 33445

FLORIDA LICENSURE

AA26001617 | IB26001056

COMMISSION # 19-044
DESIGNER: RJ
DRAWN BY: JH/RB
PLAN REVIEW: RJ

SUBMITTALS:
CLASS-5 SUBMITTAL: 05.11.20

REVISIONS:
1 TAC COMMENTS: 08.19.20
2 TAC COMMENTS: 10.09.20
3 TAC COMMENTS: 11.17.20

SITE
PHOTOMETRIC
PLAN

PH-1

FOR LIGHTING INFO CONTACT GENESIS LIGHTING.
14101 NW 8TH STREET, SUNRISE FL 333325
RYAN McCARTHY 954-306.3931

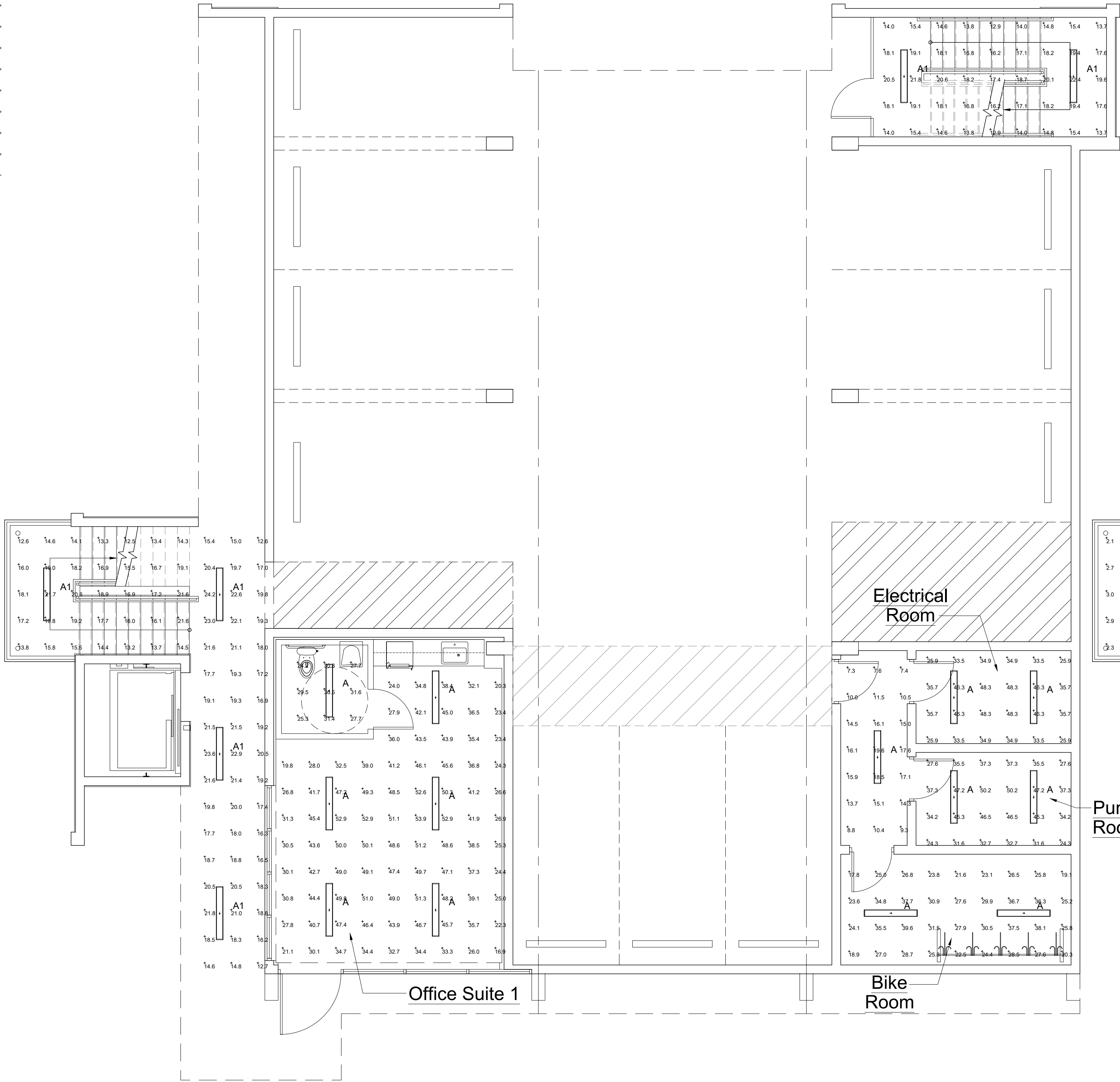
Luminaire Schedule					
Symbol	Qty	Label	Description	LLF	Lum. Lumens
	13	A	UTOPIA LTG#: SS-4-L36_40-RC-UNV / MTD AT 9' AFF	0.900	5335
	6	A1	UTOPIA LTG#: SS-4-L36_40-RC-UNV-OS / MTD AT 9' AFF	0.900	5335

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
BIKE ROOM_Workplane	ILLUMINANCE	Fc	27.94	39.6	17.8	1.57	2.22
CORRIDOR_Floor	ILLUMINANCE	Fc	13.16	19.6	7.3	1.80	2.68
ELEC ROOM_Workplane	ILLUMINANCE	Fc	37.43	48.3	25.9	1.45	1.86
OFFICE_Workplane	ILLUMINANCE	Fc	38.91	53.9	16.9	2.30	3.19
PUMP ROOM_Workplane	ILLUMINANCE	Fc	37.48	50.2	24.3	1.54	2.07
RR_Workplane	ILLUMINANCE	Fc	29.36	36.5	24.2	1.21	1.51
STAIR 1_Floor	ILLUMINANCE	Fc	18.04	24.2	12.5	1.44	1.94
STAIR 2_Floor	ILLUMINANCE	Fc	16.84	22.4	12.9	1.31	1.74

FOR LIGHTING INFO CONTACT GENESIS LIGHTING.
14101 NW 8TH STREET, SUNRISE FL 333325
RYAN McCARTHY 954-306.3931

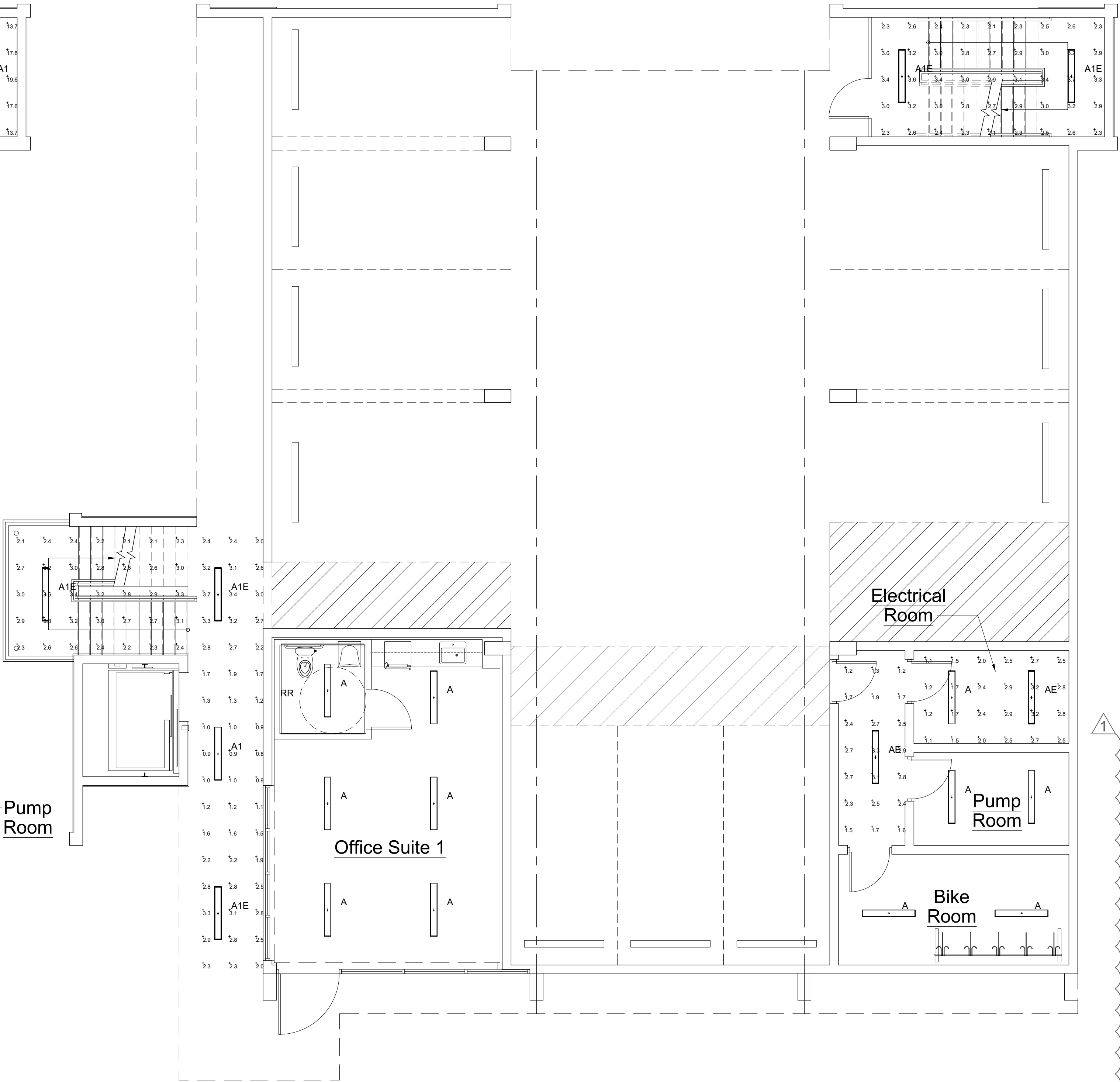
Luminaire Schedule					
Symbol	Qty	Label	Description	LLF	Lum. Lumens
	11	A	UTOPIA LTG#: SS-4-L36_40-RC-UNV / MTD AT 9' AFF	OFF	5335
	1	A1	UTOPIA LTG#: SS-4-L36_40-RC-UNV-OS / MTD AT 9' AFF	OFF	5335
	2	AE	UTOPIA LTG#: SS-4-L36_40-RC-UNV-EM / MTD AT 9' AFF	0.900	7 WATT
	5	A1E	UTOPIA LTG#: SS-4-L36_40-RC-UNV-OS-EM / MTD AT 9' AFF	0.900	7 WATT

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CORRIDOR_Floor	ILLUMINANCE	Fc	2.20	3.3	1.2	1.83	2.75
ELEC ROOM_Floor	ILLUMINANCE	Fc	2.21	3.2	1.1	2.01	2.91
STAIR 1_Floor	ILLUMINANCE	Fc	2.35	3.7	0.8	2.94	4.63
STAIR 2_Floor	ILLUMINANCE	Fc	2.80	3.7	2.1	1.33	1.76



Interior Lighting Plan

Scale: 3/16"=1'-0"



Interior EM Lighting Plan

Scale: 3/16"=1'-0"



RICHARD JONES



ARCHITECTURE

10 S.E. FIRST AVENUE | SUITE 102
DELRAY BEACH, FLORIDA 33444
V 561.274.9186 | F 561.274.9196
AA26001617 | IB26001056

WWW.RJARCHITECTURE.COM

the GEORGE
DELRAY BEACH, FLORIDA

MARC JULIEN HOMES
755 NW 17TH AVE, SUITE 107
DELRAY BEACH, FL 33445

FLORIDA LICENSURE

AA26001617 | IB26001056

COMMISSION # 19-044
DESIGNER: RJ
DRAWN BY: JH/RB
PLAN REVIEW: RJ

SUBMITTALS:
CLASS-5
SUBMITTAL: 05.11.20

REVISIONS:
1 TAC COMMENTS: 08.19.20
2 TAC COMMENTS: 10.09.20
3 TAC COMMENTS: 11.17.20

INTERIOR
LIGHTING
PLAN

PH-2

RICHARD JONES ARCHITECTURE