

FEDERICK ISLES, DELRAY BEACH, FL

JMC DELRAY, LLC

TOWN HOME

GENERAL NOTES

- THE CONTRACTOR SHALL IN THE WORK OF ALL TRADES, PERFORM ANY AND ALL CUTTING AND PATCHING NECESSARY TO COMPLETE THE WORK, AND SHALL PROTECT THE EXISTING BUILDING FROM DAMAGE THE EXISTING CONSTRUCTION TO ITS ORIGINAL CONDITION TO RESTORE SATISFACTION OF THE OWNER AND THE ARCHITECT.
- OPERATIONS, OR UTILITIES WITHOUT OBTAINING OWNER'S PRIOR APPROVAL AND INSTRUCTIONS IN EACH CASE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING ALL FINISH SURFACES CLEAN AT COMPLETION OF THE WORK AND SHALL REMOVE ALL EXCESS MATERIAL AND DEBRIS FROM THE JOB REGULARLY.
- ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES.
- THE CONTRACTOR SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL ELEVATIONS, CONDITIONS, AND DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
- ANY CONFLICTS OR OMISSIONS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR GENERAL NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY AND BEFORE DRAWINGS/G WITH ANY WORK SO INVOLVED. DO NOT SCALE
- THE GENERAL CONTRACTOR SHALL COORDINATE AND VERIFY WITH ALL SUBCONTRACTORS THE SIZE AND LOCATION OF ALL PIPING, DUCTWORK, TRENCHES, SLEEVES, SPECIAL BOLTING FOR EQUIPMENT CONDUITS, ETC.
- JOB SITE MEASUREMENTS ARE THE FULL RESPONSIBILITY OF THE ITEMS BY ALL SUBCONTRACTORS PRIOR TO FABRICATION.KEN FOR ALL
- GENERAL CONTRACTOR RESPONSIBLE FOR INSTALLING SOLID BLOCKING BEHIND ALL SHELVING, CABINETS, ETC., OR EQUIPMENT REQUIRING BACKING.

CODES

FLORIDA BUILDING & RESIDENCIAL CODE, 2017 W/ 6TH EDITION W/ ADDENDUMS, 2012 FLORIDA FIRE PREVENTION CODE & 2012 FLORIDA ACCESSIBILITY CODE

NATIONAL ELECTRIC CODE 2014 EDITION

ALL OTHER RULES, REGULATIONS, AND CODES HAVING JURISDICTION

RESIDENTIAL:

OCCUPANCY GROUP : GROUP R3 TOWNHOMES, FEE SIMPLE

CONSTRUCTION TYPE : TYPE VB, UNPROTECTED, UNSPRINKLED

	PERMITTED	PROPOSED
MEAN BUILDING HEIGHT	40'	24'-8"
NO. OF STORIES	2	2
AREA (MULTI-STORY)	7000	6,340 SQ. FT.

FIRE PROTECTION REQUIREMENTS AS PER TABLE 600, F.B.C.

STRUCTURAL	REQUIRED RATING	PROPOSED RATING	DESIGN NO.
ELEMENT			
INTERIOR BEARING WALLS	0	0	-
INTERIOR NON-BEARING WALLS	0	0	-
COLUMNS	0	0	-
BEAMS, GIRDERS, TRUSSES	0	0	-
ROOF CEILING	0	0	-
EXTERIOR BEARING WALLS	0	0	-

FIRE PROTECTION REQUIREMENTS : FIRE RESISTANCE PARTITIONS AS PER TABLE 700, S.B.C.

VERTICAL SHAFTS: 0 HR

OCCUPANCY SEPARATIONS: 2 HR

TENANT SEPARATIONS: 2 HR

SYMBOLS

- DETAIL REFERENCE
- ELEVATION REFERENCE
- SECTION REFERENCE
- ROOM NUMBER AND INTERIOR ELEVATION REFERENCE
- ROOM REFERENCE
- DOOR REFERENCE
- WINDOW REFERENCE
- NOTE REFERENCE
- REVISION REFERENCE

ABBREVIATIONS

ACOUS.	ACOUSTICAL	N.I.C.	NOT IN CONTRACT
ADJ.	ADJUSTABLE	NO.	NUMBER
AL.	ALUMINUM	N.T.S.	NOT TO SCALE
APPROX.	APPROXIMATE	O.A.	OVERALL
BD.	BOARD	OBS.	OBSOLETE
BLDG.	BUILDING	O.C.	ON CENTER
BLK.	BLOCK	O.D.	OUTSIDE DIAMETER
BLOC.	BLOCKING	O.F.C.I.	OWNER FURNISH CONTRACTOR INSTALL
BM.	BEAM	OFF.	OFFICE
BOT.	BOTTOM	OPNG.	OPENING
CAB.	CABINET	OPP.	OPPOSITE
CEM.	CEMENT	PL.	PLATE
CER.	CERAMIC	PLAS.	PLASTER
CL.	CAST IRON	PLYWD.	PLYWOOD
CLR.	CLEAR	PLR.	PLANK
COL.	COLUMN	PRCST.	PRECAST
CONC.	CONCRETE	P.T.D.F.	PRESSURE TREATED DOUGLAS FIR
CONN.	CONNECTION	PTN.	PARTITION
CONT.	CONTINUOUS	Q.T.	QUARRY TILE
CTSK.	COUNTERSUNK	R.	RISER
DECOR.	DECORATIVE	RAD.	RADIUS
DET.	DETAIL	REINF.	REINFORCE
D.F.	DOUGLAS FIR	REQ.	REQUIRED
DIA.	DIAMETER	R.M.	ROOM
DIM.	DIMENSION	R.O.	ROUGH OPENING
DN.	DOWN	RWD.	REDWOOD
D.S.	DOWN SPOUT	R.W.L.	RAIN WATER LEADER
DWG.	DRAWING	S.C.	SOLID CORE
EA.	EACH	SCHED.	SCHEDULE
EL.	ELEVATION	SHT.	SHEET
ELEC.	ELECTRICAL	SM.	SIMILAR
EQ.	EQUAL	SQ.	SQUARE
EQV.	EQUAL	SST.	STAINLESS STEEL
EXP.	EXPANSION	STD.	STANDARD
EXT.	EXTERIOR	STL.	STEEL
EXIST.	EXISTING	STOR.	STORAGE
F.A.U.	FORCE AIR UNIT	STRUCT.	STRUCTURAL
F.H.C.	FIRE HOSE CABINET	SUSP.	SUSPENDED
FIN.	FINISH	SYM.	SYMMETRICAL
FL.	FLOOR	T.	TREAD
FLASH.	FLASHING	T.O.	TOP OF CURB
FLOOR.	FLOORING	TEL.	TELEPHONE
F.O.F.	FACE OF FINISH	THK.	THICK
F.O.M.	FACE OF MASONRY	T.O.C.	TOP OF CHIMNEY
F.O.S.	FACE OF STUD	T.O.F.	TOP OF FRAMING
FT.	FOOT	T.O.L.	TOP OF LEDGER
FTG.	FOOTING	T.O.P.	TOP OF PLATE
GA.	Gauge	T.O.PL.	TOP OF PLATE
GALV.	GALVANIZED	TYP.	TYPICAL
GL.	GLASS	U.O.N.	UNLESS OTHERWISE NOTED
GR.	GRADE	VERT.	VERTICAL
GYP.	GYPSON	VEST.	VESTIBULE
H.B.	HOLE BRB	V.G.D.F.	VERTICAL GRAN DOUGLAS FIR
H.C.	HOLLOW CORE	W.	WITH
HDWD.	HARDWOOD	WO.	WITHOUT
HARDW.	HARDWARE	W.C.	WATER CLOSET
HGT.	HEIGHT	WO.	WOOD
H.M.	HOLLOW METAL	WOW.	WINDOW
HORS.	HORIZONTAL	W.H.	WATER HEATER
I.D.	INSIDE DIAMETER	WISCOT.	WISCONSIN
INCAND.	INCANDESCENT	WT.	WEIGHT
INSUL.	INSULATION	SYMBOLS	SYMBOLS
INT.	INTERIOR	&	AND
JAN.	JANITOR	@	ANGLE
JOINT.	JOINT	AT	AT
LAM.	LAMINATE	^	CENTER LINE
LAV.	LAVATORY	#	DIAMETER OR ROUND
LOC.	LOCATION		PERPENDICULAR
LOC.	LOCATION		POUND OR NUMBER
MAX.	MAXIMUM		
MECH.	MECHANICAL		
MET.	METAL		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
M.O.	MOUNTED OPENING		
MTO.	MOUNTED		
MUL.	MULLION		

INDEX OF DRAWINGS

ARCHITECTURE BUILDING 2	
Sheet Number	Sheet Name
A0.1	TITLE SHEET
A0.2	SITE PLAN
A1.1	BUILDING PLANS
A1.2	ROOF PLANS
A2.2	SECTIONS
A2.3	SECTIONS



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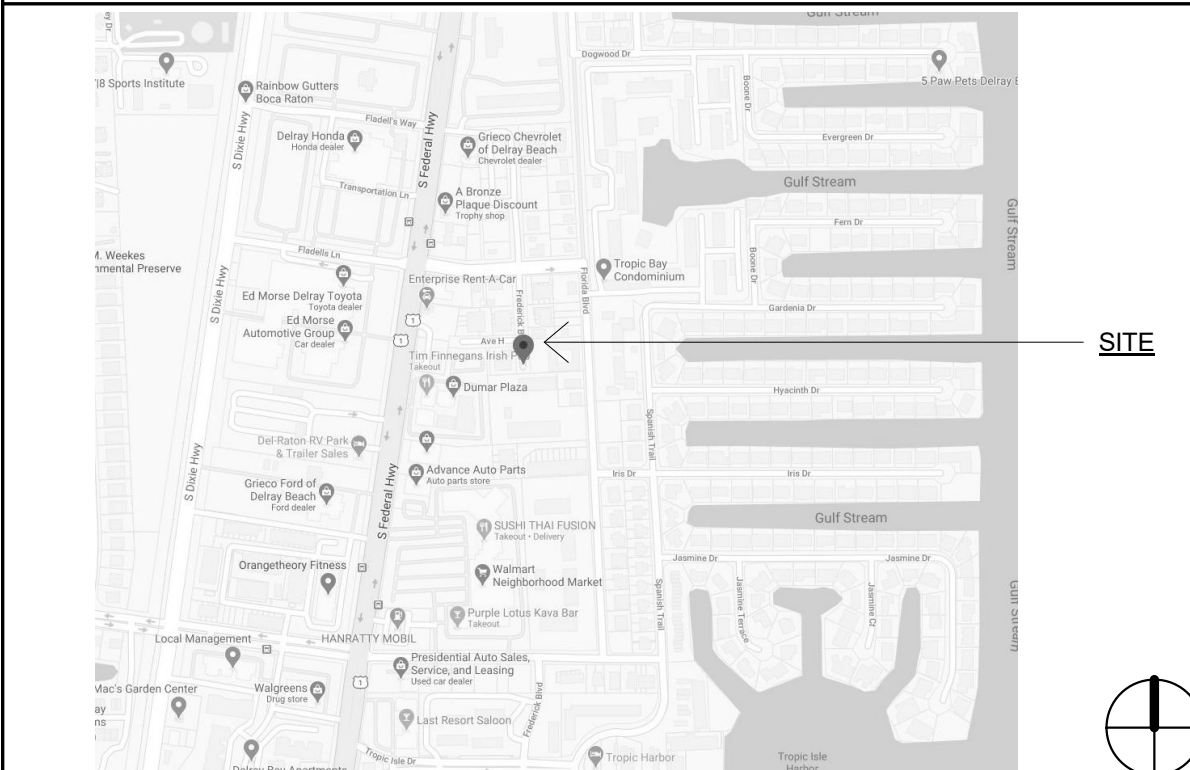
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VICINITY MAP



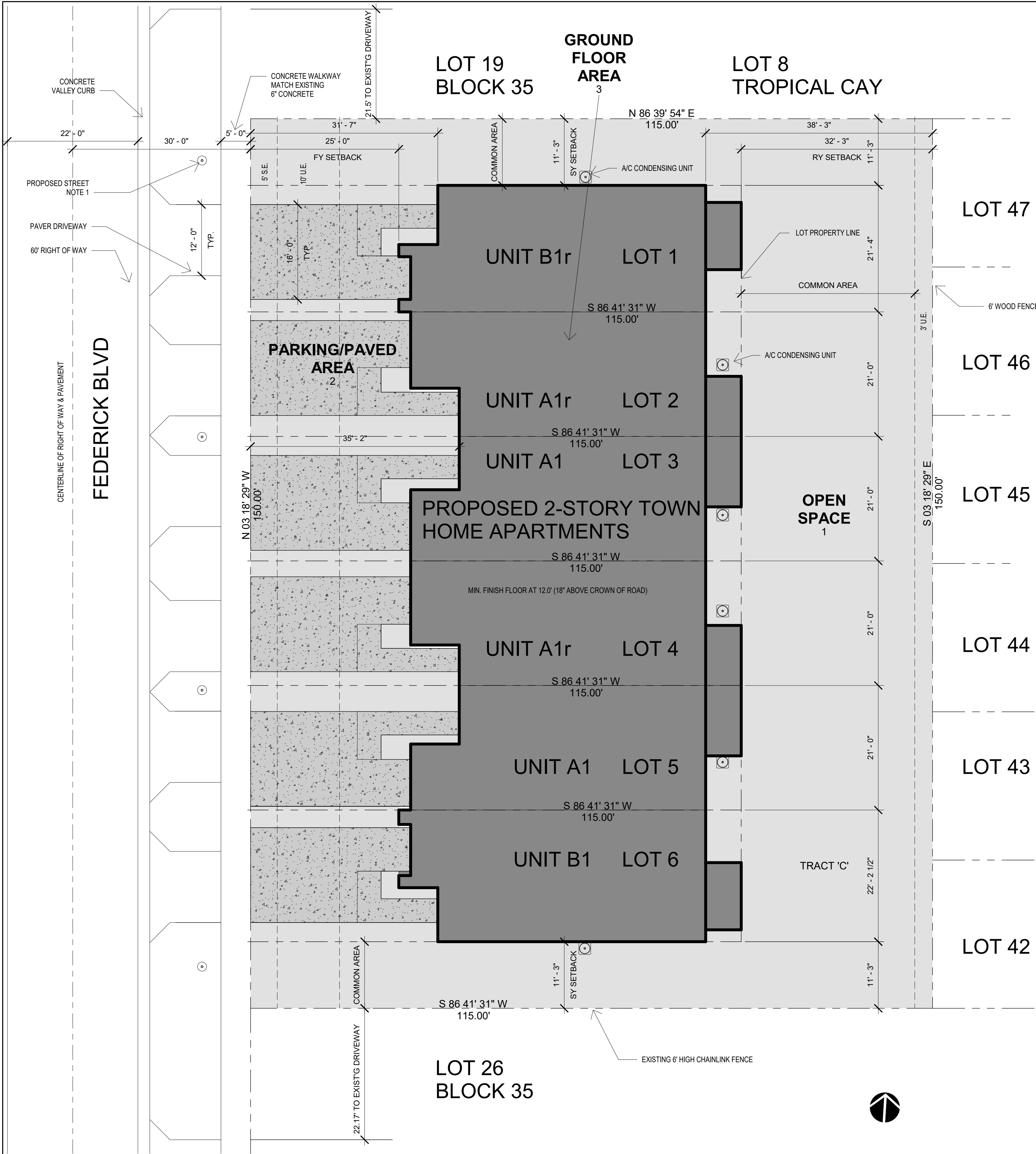
KEYNOTES

A keynote system is used on the drawings for materials references and notes-to-keynote legend on the drawings for information which relates to each keynote symbol on the respective drawing.

Each keynote symbol consists of a 2-digit number followed by a period and a letter suffix. The 2-digit number relates to the specification section which generally covers the item that is referenced, and the 2-digit suffix identifies specific reference notation used on the drawing. The digit suffix does not specify.

THE ORGANIZATION OF THE KEYNOTE SYSTEM ON THE DRAWINGS, WITH THE KEYNOTE REFERENCE NUMBERS RELATED TO THE SPECIFICATIONS SECTIONS NUMBERING SYSTEM, SHALL NOT CONTROL SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE.

Example : 06.01 SUFFIX
PREFIX



CITY OF DELRAY BEACH DEVELOPMENT SERVICES DEPARTMENT SUPPLEMENTAL FORMS					
PROJECT DATA					
The following information must be provided in the spaces below and must be shown on the Site Plan.					
	REQUIRED/PERMITTED	EXISTING	PROPOSED		
FRONT SETBACK	15'		25'		
SIDE INTERIOR SETBACK	10'		11'-3"		
REAR SETBACK	10'		32'-3"		
HEIGHT/FLOORS	35'		24'-8" / 2 FLOORS		
WIDTH OF SITE	60' MIN.		150'		
DEPTH OF SITE	100' MIN.		115'		
FRONTAGE	60' MIN.		150'		
TOTAL SITE AREA	8,000 SF MIN.		17,251 SF		
OPEN SPACE (LANDSCAPED)	25% MIN, 4,313 SF MIN.		49% 8,397 SF		
GROUND FLOOR AREA	40% MAX, 6,900.4 SF MAX		36.10% 6,228 SF		
LOT COVERAGE	40% MAX		36.10% 6,228 SF		
FLOOR AREA RATIO	1.0		0.65		
DENSITY (UNITS PER ACRE)	16 DU/AC		6 (MAX)		
DWELLING UNITS					
	NUMBER OF UNITS	A/C SQ. FT.	TOTAL SQ. FT.		
2 BEDROOM	4	5,696 SF	7,228 SF		
3 BEDROOM	2	3,272 SF	3,950 SF		
PARKING SPACES REQUIRED					
USE	CALCULATED AT #SPACES PER	REQUIRED	EXISTING	PROPOSED	
	2 SPACES / UNIT				12
	0.5 GUEST SPACES / UNIT				3
REGULAR SPACES		15		18	
HANDICAPPED SPACES					
TOTALS		15		18	

GROUND FLOOR AREA

OPEN SPACE

PARKING/PAVED AREA

NOTE 1:
LIGHT POLE INSTALLED BY CONTRACTOR PER CITY STANDARD
RT 11.1

ZONING

EXISTING ZONING: MULTI-FAMILY DENSITY RESIDENCE (RM)
IN-FILL WORK FORCE HOUSING AREA
FUTURE LAND USE: MULTI-FAMILY RESIDENCE (TOWNHOUSES)
TRANSITIONAL (TRN)

07/2020

RF

LIGHT FRAME FLOOR & ROOF ONLY SIGN
8"x8" BRIGHT RED, 24" FROM LEFT ENTRY AT 6' AFF MAX.

TRASH NOTE:

TRASH TO BE INDIVIDUAL UNIT OWNERS. CONTAINERS TO BE PLACED CURBSIDE ON PICK UP DAYS.

6 UNITS

BUILDING GROSS AREA:

FIRST FLOOR: 6,641 SF
SECOND FLOOR: 5,237
TOTAL: 11,778 SF

UNIT A1

4 UNITS - 2 BEDROOMS, 2-1/2 BATHS

1st Floor: 723 SF Garage: 263 SF
2nd Floor: 701 SF Patio: 120 SF
TOTAL: 1,424 SF

UNIT B1

2 UNITS - 3 BEDROOMS, 2-1/2 BATHS

1st Floor: 723 SF Garage: 263 SF
2nd Floor: 913 SF Patio: 76 SF
TOTAL: 1,636 SF

LEGAL DESCRIPTION

LOTS 20, 21, 22, 23, 24 & 25, BLOCK 35, DEL-RATON PARK, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 14, PAGE 9 OF THE RECORDS OF PALM BEACH COUNTY, FLORIDA.

WAG

The Wayne Architectural Group, PA

AA26001684

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Landscape Architect

Consultant
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Phone
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REVISION SCHEDULE		
Revision Number	Revision Description	Revision Date

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FEDERICK ISLES, DELRAY BEACH, FL

SITE PLAN

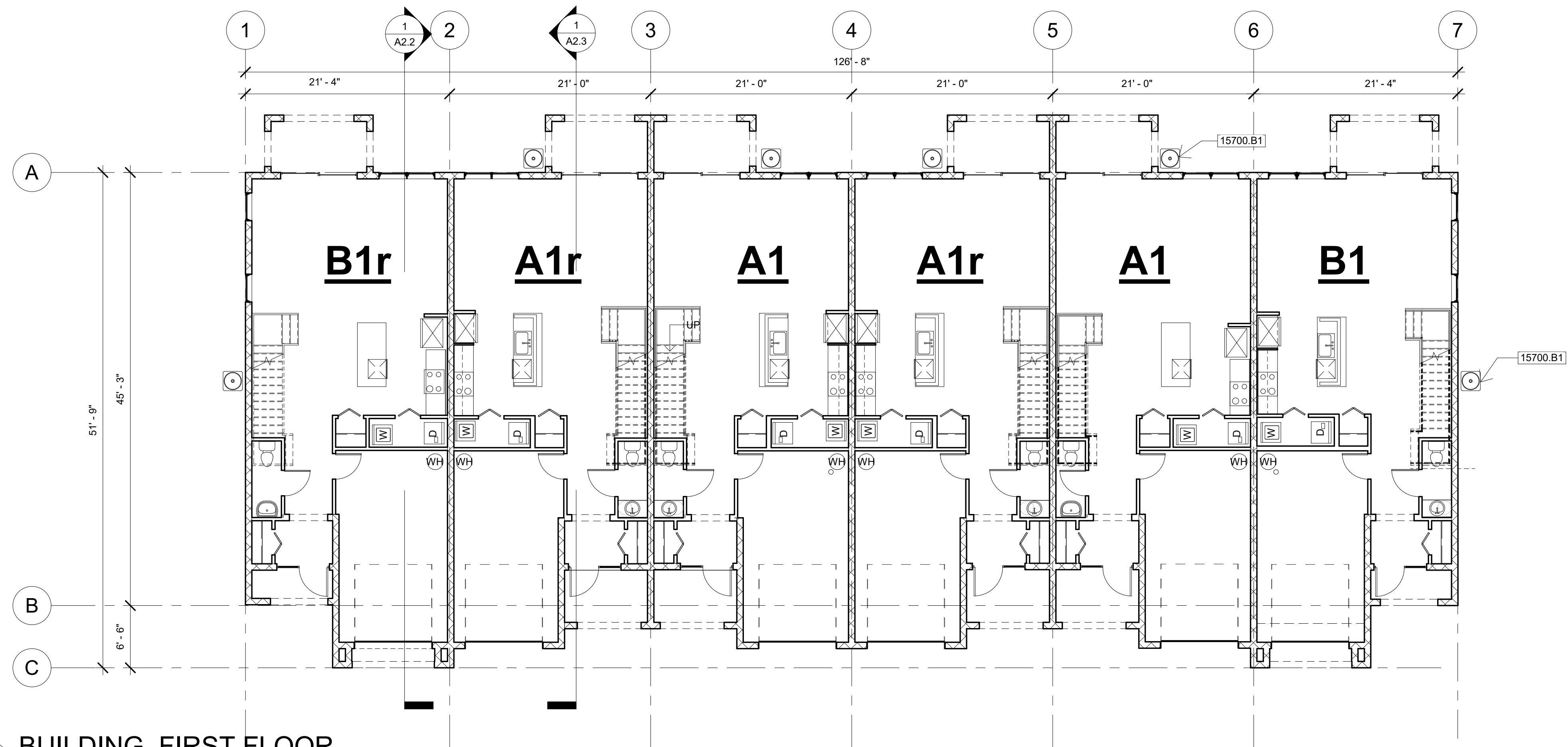
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RIC 2007
8/10/20
WB
WB

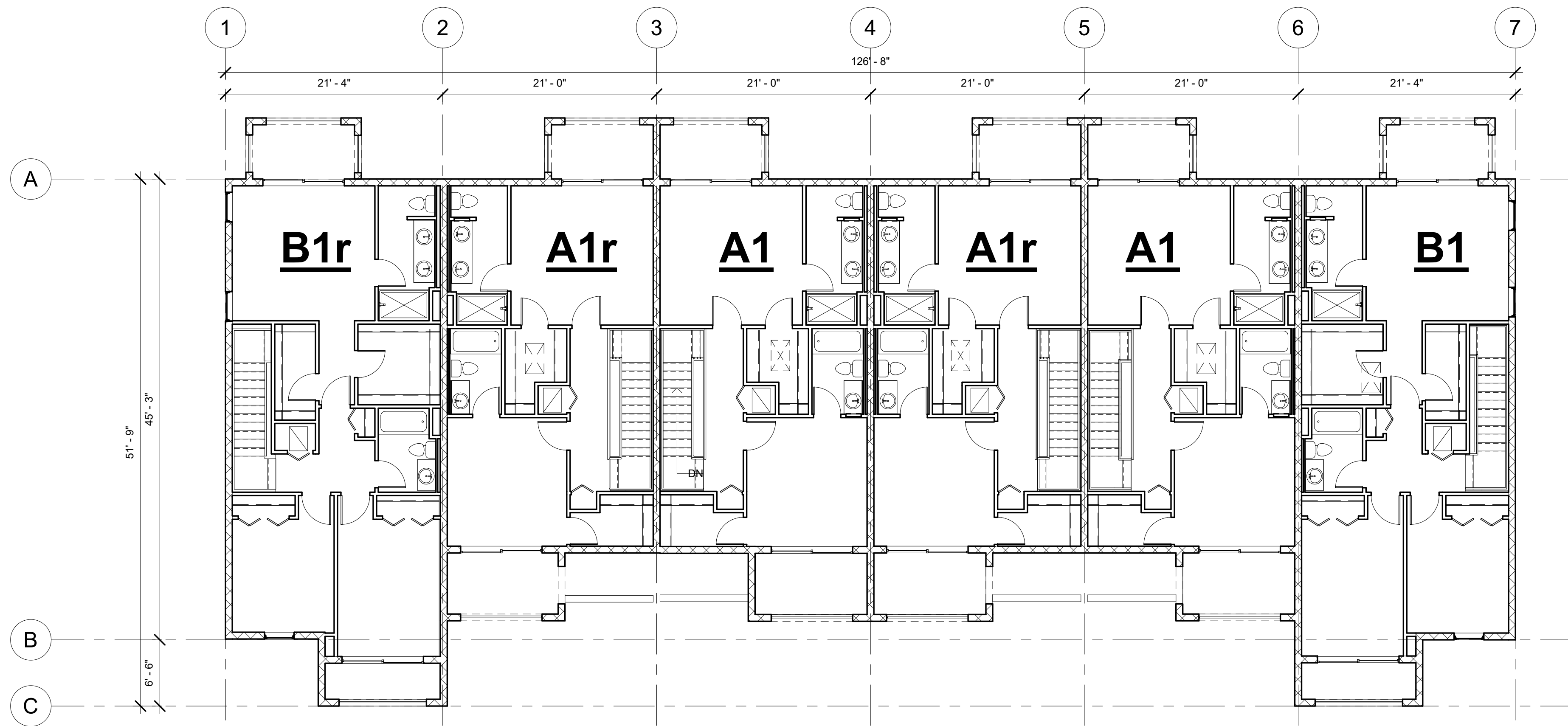
A0.2

Scale
1" = 10'-0"

1 SITE PLAN
1" = 10'-0"



1 BUILDING FIRST FLOOR
1/8" = 1'-0"



2 BUILDING SECOND FLOOR
1/8" = 1'-0"

Keynote Legend	
Key Value	Keynote Text
15700.B1	A/C Condensing Unit On Concrete Pad
NOTE 1: SEE UNIT PLANS FOR ADDITIONAL DIMENSIONS	
BUILDING GROSS AREA: FIRST FLOOR: 6,641 SF SECOND FLOOR: 5,237 TOTAL: 11,778 SF	
UNIT A1 1st Floor: 723 SF Garage: 263 SF 2nd Floor: 701 SF Patio: 120 SF TOTAL: 1,424 SF	
UNIT B1 1st Floor: 723 SF Garage: 263 SF 2nd Floor: 913 SF Patio: 76 SF TOTAL: 1,636 SF	



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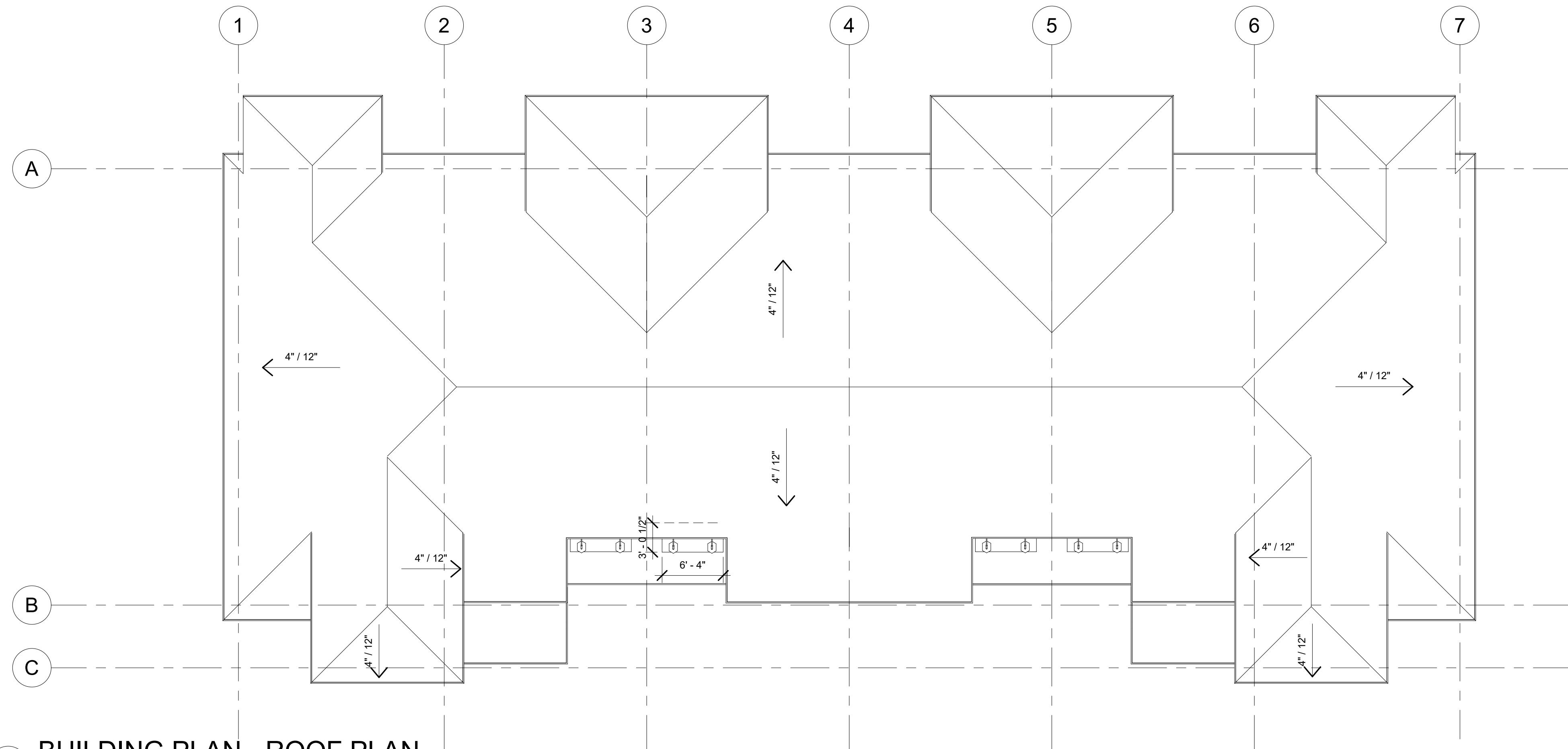
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BUILDING PLANS

Project number	RIC 2007
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A1.1
Scale 1/8" = 1'-0"



2 BUILDING PLAN - ROOF PLAN
1/8" = 1'-0"

Keynote Legend	
Key Value	Keynote Text

NOTE 1: ALL ROOF PENETRATIONS SHALL BE 4'-0" FROM FIRE WALLS
NOTE 2: TENANT SEPARTION WALLS PROVIDE DRAFTSTOPS



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ROOF PLANS

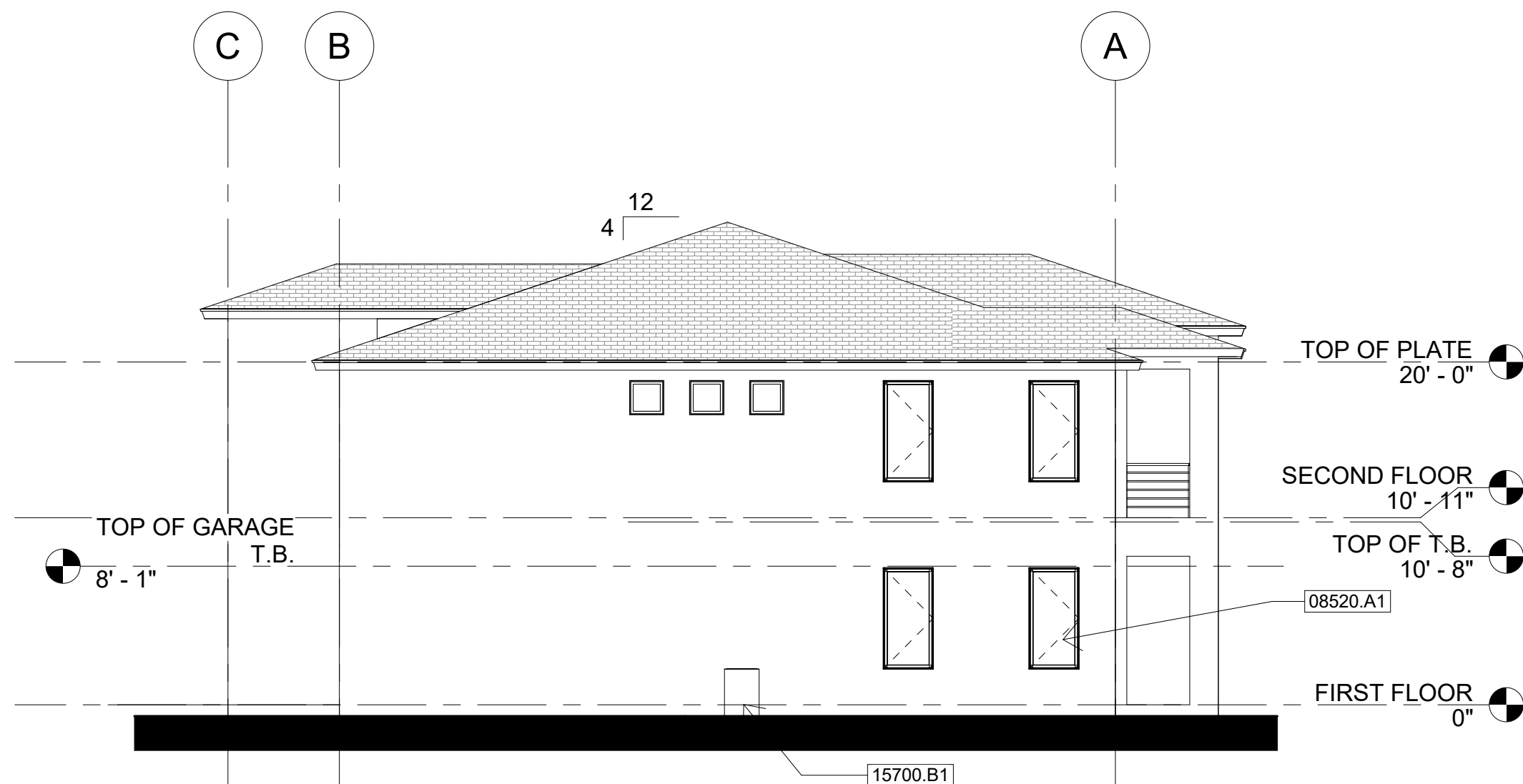
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A1.2

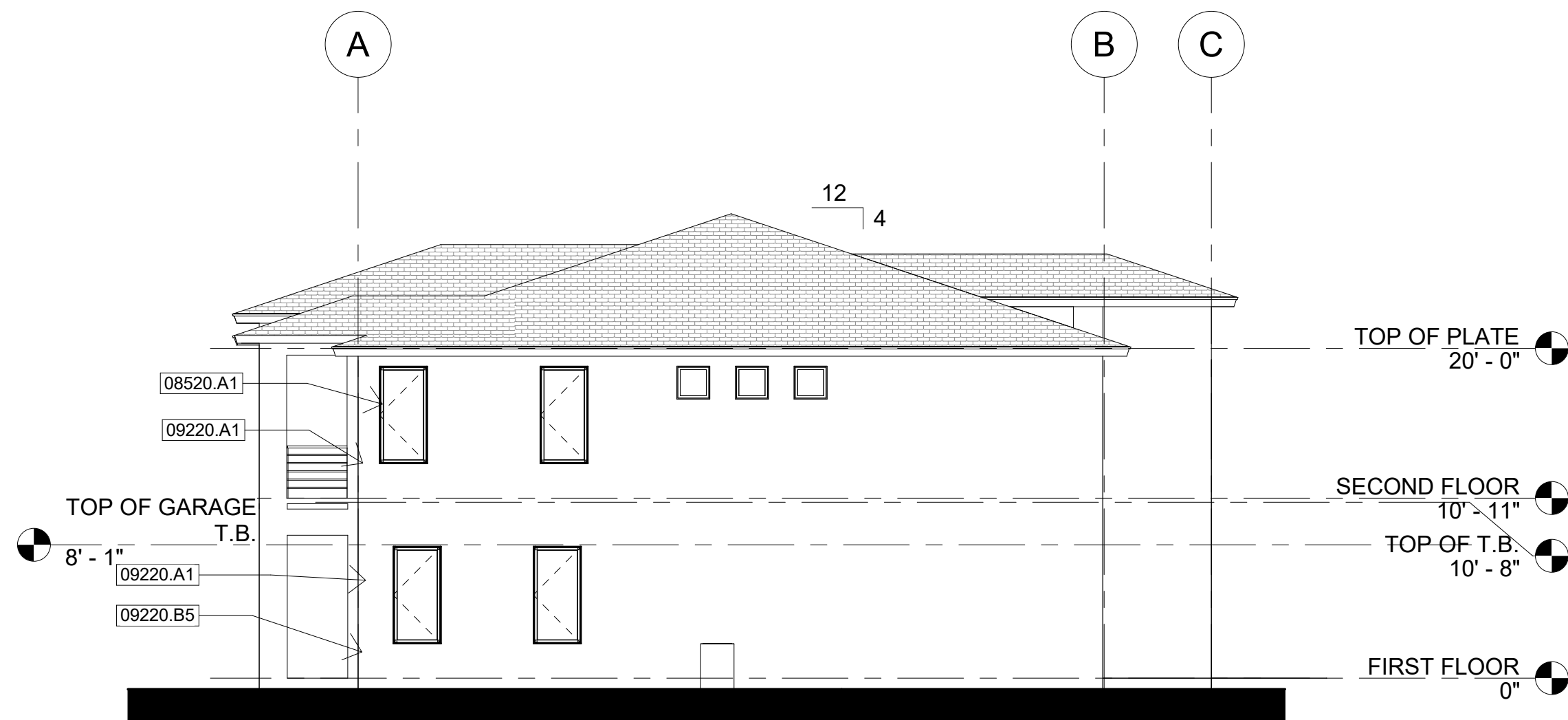
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1 BUILDING WEST ELEVATION
1/8" = 1'-0"



3 BUILDING SOUTH ELEVATION
1/8" = 1'-0"



2 BUILDING NORTH ELEVATION
1/8" = 1'-0"



4 BUILDING EAST ELEVATION
1/8" = 1'-0"

Keynote Legend	
Key Value	Keynote Text
05510.A1	42" High Aluminium Guardrail
06110.A1	Wood Fascia W/ Drip
07310.A1	Asphalt Shingles
07410.A1	Aluminum Metal Roof
07410.D3	Aluminum Metal Roof W/ Aluminum Fascia & Soffit
08210.A1	Door - See Schedule
08520.A1	Aluminum Window - See Schedule
09220.A1	3/4" Cement Plaster
09220.B5	Raised Stucco Trim
15700.B1	A/C Condensing Unit On Concrete Pad



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REVISION SCHEDULE

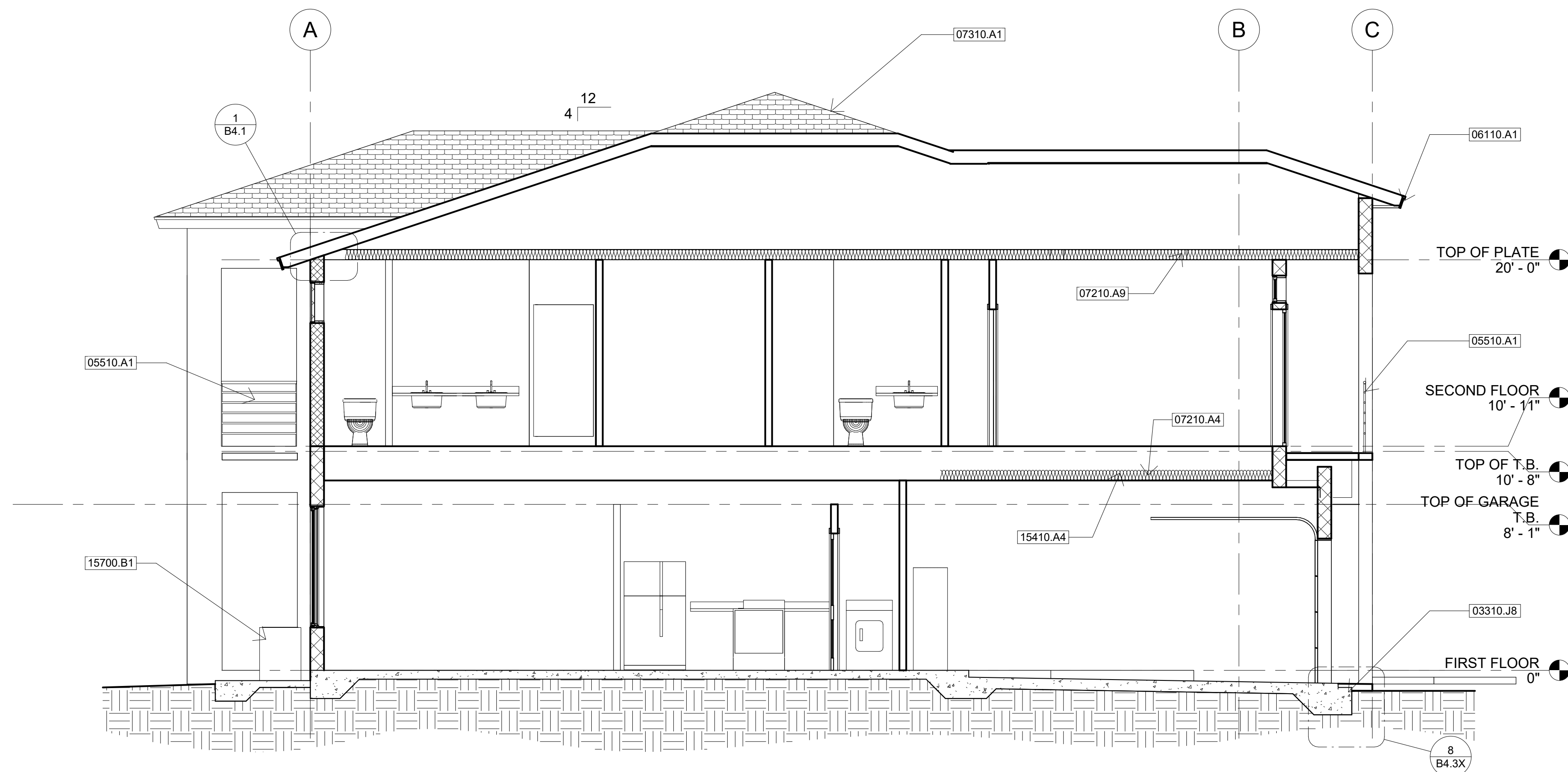
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ELEVATIONS

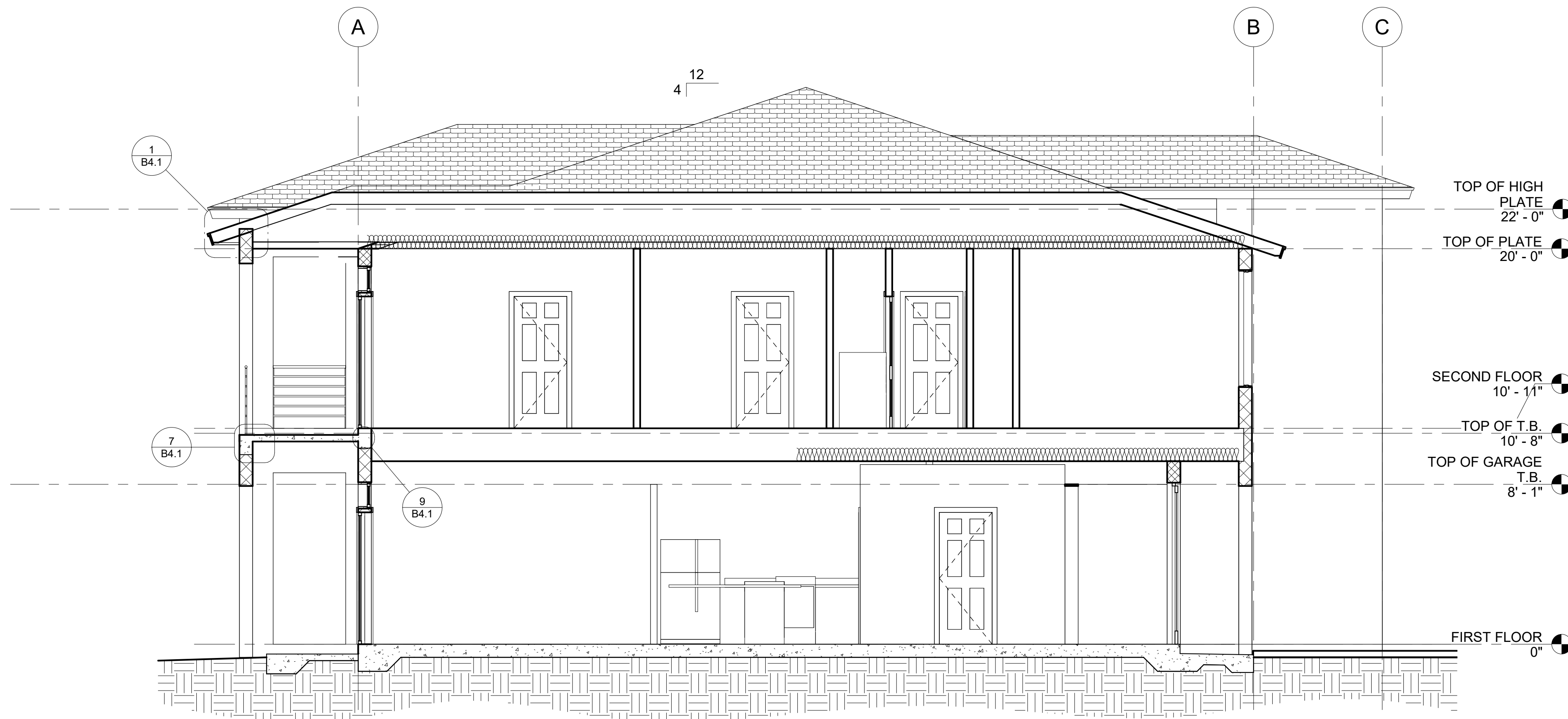
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A2.1

Scale 1/8" = 1'-0"



1 SECTION A-A
1/4" = 1'-0"



3 SECTION C-C
1/4" = 1'-0"

Keynote Legend	
Key Value	Keynote Text
03310.J8	Concrete Footing & Slab - See Structural
05510.A1	42" High Aluminium Guardrail
06110.A1	Wood Fascia W/ Drip
07210.A4	R-19 Batt Insulation
07210.A9	R-38 Batt Insulation
07310.A1	Asphalt Shingles
15410.A4	Tub/Shower
15700.B1	A/C Condensing Unit On Concrete Pad



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SECTIONS

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A2.2

Scale	1/4" = 1'-0"
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