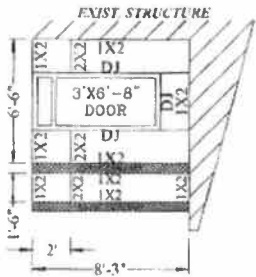


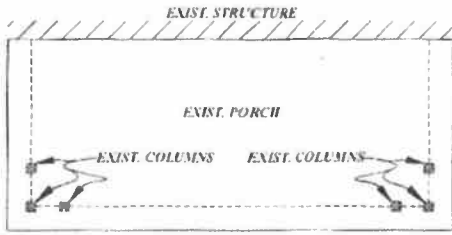
NEW SCREEN PANELS
ON EXISTING 4" CONCRETE DECK

DESIGN WIND SPEED: 170 MPH
EXPOSURE C - CATEGORY 2

LEFT ELEVATION

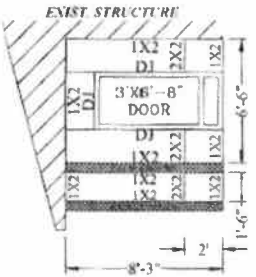


LEFT SIDE

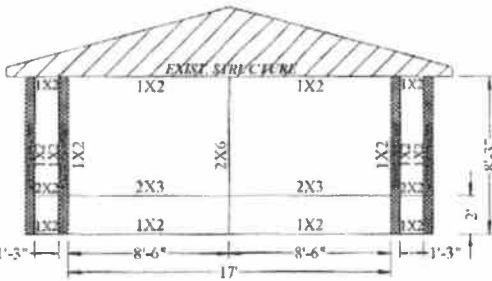


FRONT
PLAN VIEW

RIGHT SIDE



RIGHT ELEVATION



FRONT ELEVATION

RECEIVED BY
JAN 11 2021
City of Delray Beach
Development Services Dept.
Planning & Zoning Div.

- LEGEND**
- * = OPTIONAL
 - OB = OPEN BACK = 1X2 OR 1X3
 - KB = K-BRACE = 2X2H OR 2X3S
 - WB = WIND BRACE = 2X2H OR 2X3S
 - DJ = DOOR JAM = 2X2 OR 2X3
 - KP = KICK PLATE
- 1X2 = 1X2X.044 PATIO
1X3 = 1X3X.044 PATIO
2X2 = 2X2X.044 PATIO
2X2H = 2X2X.090
2X3SMS = 2X3X.045 SMS
2X3 = 2X3X.046 PATIO
2X3S = 2X3X.070 PATIO
2X3H = 2X3X.090
3X2 = 3X2X.045 PATIO
3X3 = 3X3X.093
3X3S = 3X3X.072 PATIO
4X4 = 4X4X.125
2X4 = 2X4X.046 PATIO/SMS/LB
2X5 = 2X5X.050 PATIO/LB
2X6 = 2X6X.050 LB
2X7 = 2X7X.055 LB
2X8 = 2X8X.072 LB
2X9L = 2X9X.072 LB
2X9H = 2X9X.082 LB
2X10 = 2X10X.092 LB
- PATIO = IPC EXTRUSION
W/SPLINE GROOVE(S)
SMS = SELF MATING SNAP
LB = SELF MATING / LAP BEAM

PALM BEACH COUNTY DESIGN CERTIFICATION
CODE EDITION: FBC 2017 EDITION
OCCUPANCY: SINGLE FAMILY DWELLING
BUILDING DESIGNED AS: OPEN STRUCTURE
RISK CATEGORY: 2
BUILDING HEIGHT < 60 FEET
MEAN ROOF HEIGHT: 8.25 FEET
§2002.4(6) ASD ADJUSTMENT FACTOR: 0.60
HEIGHT ADJUSTMENT FACTOR: 0.86
SCREEN: 18/14
SCREEN ADJUSTMENT FACTOR: 0.88
WIND SPEED (Vw): 170 MPH
EXPOSURE CATEGORY: C
ADJ. §2002.4 WIND PRESSURES
WALLS (WINDWARD): 25.43 ± PSF
WALLS (LEEWARD): 19.98 ± PSF
ROOF (SCREEN): 6.81 ± PSF
ROOF DEAD LOAD (USED TO RESIST UPLIFT): 0 PSF
SOIL BEARING CAPACITY: 1500 PSF
REVIEWED FOR SHEAR WALL REQUIREMENTS: YES
NO IMPACT PROTECTION REQUIRED FOR SCREEN ROOMS

NOTE: THIS DESIGN IS BASED
UPON THE USE OF 6005T5 ALUM.
AND 18/14 SCREEN.
NOTE: CONTRACTOR MAY SUBSTITUTE
LARGER MEMBERS THAN SPECIFIED
IN THIS PLAN.
NOTE: DOOR LOCATION(S) ARE OPTIONAL
AND MAY BE ALTERED BY THE CONTRACTOR.

RATIONAL ANALYSIS CALCULATION
PER FBC 2017 FOR CONCRETE FOUNDATION
Q₂ (WIND UPLIFT) = 6.81 PSF X 1.67 S.F. X 0' SPAN / 2 = 0 LBS/FT.
WEIGHT OF 4" CONC. SLAB = 144 X 0.33 X 3' = 144 LBS/FT.
WEIGHT OF FOOTING = NONE
TOTAL FOUNDATION WEIGHT (LBS/FT.) = 144 > 0 UPLIFT

SCALE: 1/8"=1'0"

Contractor:
DELRAY SCREEN
210 SE 12th Ave.
Boynton Beach, FL 33435

DATE: 12-11-2020
DRAWN BY: VML
CHECKED BY:
SHEET NO. 1 OF 2

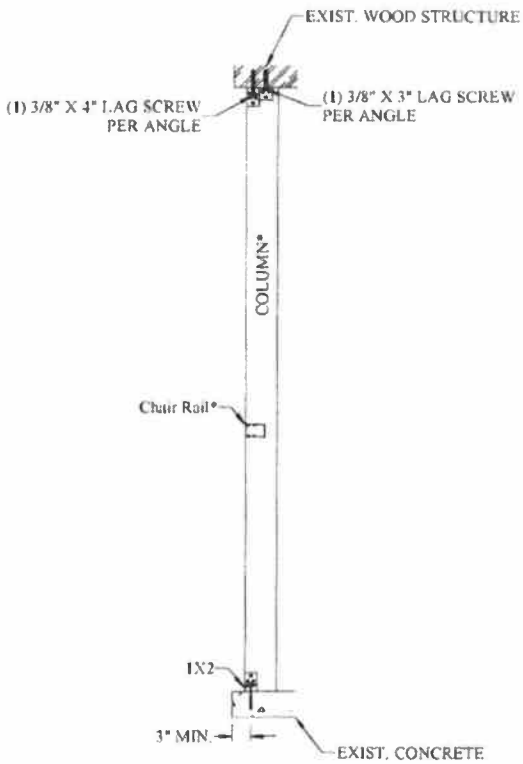
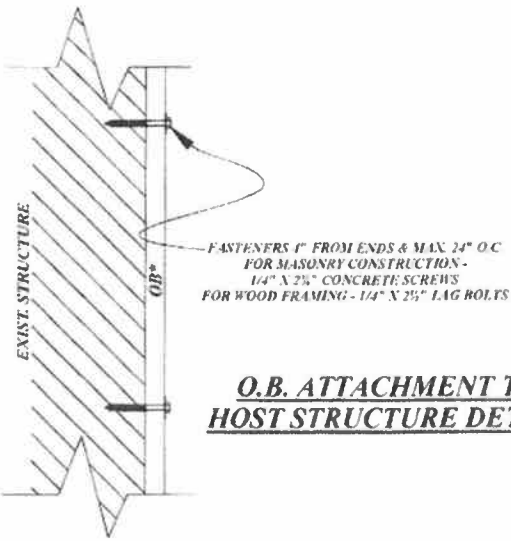
PROJECT FOR:
Greenberg Residence
201 NE 5th Court
Delray Beach, FL 33444
PALM BEACH COUNTY

SKYLINE ENGINEERING
CERT. OF AUTH. NO. 27223
903 E. PRIMROSE MEADOWS CIR.
PEARLAND, TX 77584-2043
(713) 201-8926

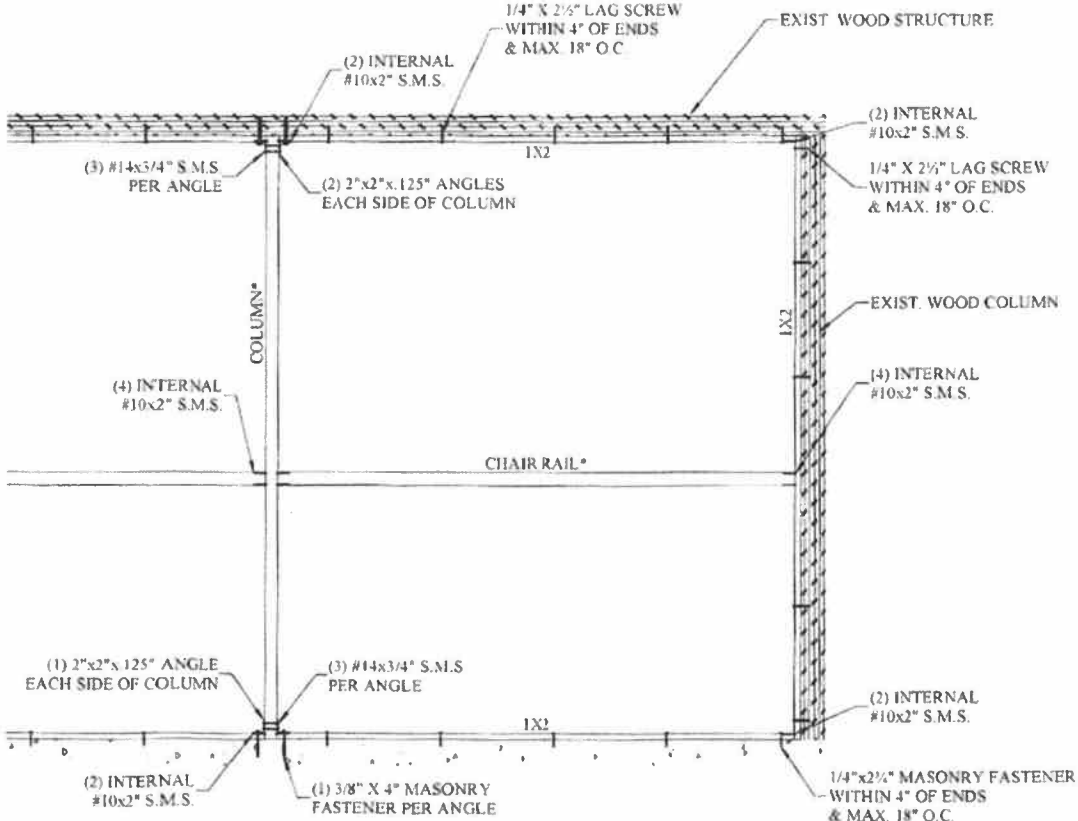
MICHAEL EDGERLY
P.E. # 65276

GENERAL NOTES

- 1) THIS STRUCTURE HAS BEEN DESIGNED AND SHALL BE FABRICATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2017 FLORIDA BUILDING CODE (FBC) ALL LOADS BASED ON 20X20X0.013 MESH SCREEN, FLAT SPLINE & FBC TABLE 2002.4, RISK CATEGORY 2, AND ASCE 7-2016.
**ALTERATIONS, ADDITIONS, HIGHLIGHTS OR OTHER MARKINGS TO THIS DOCUMENT ARE NOT PERMITTED AND WILL ANNULL OUR CERTIFICATION.
- 2) THE EXISTING STRUCTURE IS CAPABLE OF SUPPORTING THE LOADS IMPOSED BY THIS STRUCTURE. CONTRACTOR/BUILDER IS RESPONSIBLE TO CONFIRM AND CONSTRUCT TO THE DETAILS IN THESE PLANS. CONTACT ENGINEER IF SITE CONDITIONS VARY.
- 3) RESPONSIBILITY WILL BE OF THE BUILDER/CONTRACTOR, TO INSURE THE EXISTING STRUCTURE & MATERIALS ARE SOUND. REPLACE ALL STRUCTURALLY DEFECTIVE MATERIALS.
- 4) ALL MEMBERS SHALL BE AND HAVE BEEN DESIGNED USING ALUMINUM ALLOY TYPE 6061T5 OR 6061T6, UNLESS SPECIFIED OTHERWISE. ALL ALUMINUM EXTRUSIONS SPECIFIED IN THIS PROJECT SHALL BE AS SHOWN IN THE A.A.F. MANUAL.
- 5) ANY FASTENERS STRIPPED OR NOT ADEQUATELY HOLDING SHALL BE REPLACED.
- 6) ALL FASTENERS SHALL BE 2024-T4 ALLOY, 300 SERIES STAINLESS STEEL, OR CADMIUM PLATED OR OTHERWISE CORROSION RESISTANT MATERIAL AND SHALL COMPLY WITH 5.11C, SPECIFICATIONS FOR ALUM. STRUCTURES - SECTION I, THE ALUMINUM ASSOCIATION, INC. & APPLICABLE FEDERAL STATE & LOCAL CODES.
- 7) ALL SELF-MATING / LAP BEAMS SHALL BE STITCHED BOTH SIDES WITH #12 X 1/4" S.M.S. 18" O.C. AND WITHIN 4" OF ENDS, WITH THE EXCEPTION OF 9LBH AND 10LB'S WHICH SHALL BE STITCHED WITH #14 X 1" S.M.S.
- 8) ALL LAPCONS MUST BE GRADE 517W CARBON STEEL LAPCONS OR EQUIVALENT W/ MIN. 1/4" EMBEDMENT, 3" MIN. EDGE DISTANCE, AND FASTENED TO MINIMUM 2500 PSI CONCRETE.
- 9) AN EXISTING CONCRETE SLAB SHALL BE IN GOOD CONDITION, AT LEAST 4" THICK, AND CONSTRUCTED WITH REBAR, WIRE, OR FIBER MESH.
- 10) NEW CONCRETE FOUNDATIONS SHALL MEET OR EXCEED THE FOLLOWING MINIMUM REQUIREMENTS:
A) 2500 PSI CONCRETE AT LEAST 4" THICK WITH FIBER MESH OR REBAR/WIRE REINFORCEMENT.
B) IF SLAB ABUTS HABITABLE SPACE, A VAPOR BARRIER IS REQUIRED.
C) SOIL SHALL BE COMPACTED AND HAVE A BEARING CAPACITY OF 1500 PSF, AND
D) FOOTERS/EXTERIOR SLAB EDGE SHALL BE AT LEAST 8" X 8" WITH (1) #5 REBAR, LARGER FOOTERS SHALL HAVE (2) #5 REBARS.
- 11) ENGINEER SEAL AFFIXED HERETO VALIDATES STRUCTURAL DESIGN AS SHOWN ONLY. USE OF THIS SPECIFICATION BY CONTRACTOR, ET AL. INDEMNIFIES AND SAVES HARMLESS THIS ENGINEER FOR ALL COSTS AND DAMAGES INCLUDING LEGAL FEES AND APPELLATE FEES RESULTING FROM MATERIAL FABRICATION, SYSTEM ERECTION, AND CONSTRUCTION PRACTICES BEYOND THAT WHICH IS CALLED FOR BY LOCAL, STATE AND FEDERAL CODES AND FROM DEVIATIONS OF THIS PLAN.
- 12) EXCEPT AS EXPRESSLY PROVIDED IN THIS SPECIFICATION, NO ADDITIONAL CERTIFICATIONS OR AFFIRMATIONS ARE INTENDED.



CROSS-SECTION



ELEVATION

SCALE: N.T.S.

SKYLINE ENGINEERING
CERT. OF AUTH. NO. 27223
903 E. PRIMROSE MEADOWS CIR.
PEARLAND, TX 77584-2043
(713) 201-8926

PROJECT FOR:
Greenberg Residence
201 NE 5th Court
Delray Beach, FL 33444
PALM BEACH COUNTY

Contractor:
DELRAY SCREEN
210 SE 12th Ave.
Boynton Beach, FL 33435
DATE: 12-11-2020
DRAWN BY: VML
CHECKED BY:
SHEET NO. 2 OF 2

MICHAEL EDGERLY
P.E. # 65276

LOT 2
BLOCK 9

LOT 3, BLOCK 9

DEL IDA PARK

According To The Plat Recorded In Plat Book 9, Page 52, Recorded In The Public
Record Of Palm Beach County, Florida Said Land Situate, Lying, And Being In
Palm Beach County, Florida .

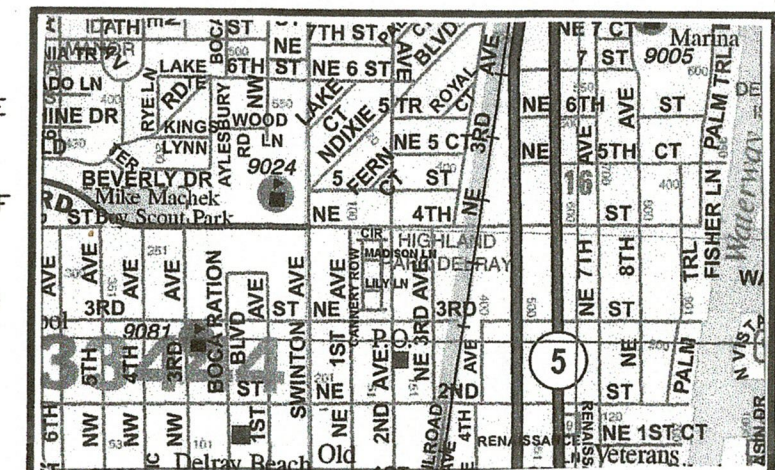
N.W. 2ND AVENUE

SCALE: 1" = 20'

LOT 5
BLOCK 9

NOTES:

- 1) BEARINGS SHOWN HEREON ARE RELATIVE TO PLAT AND ARE ASSUMED.
- 2) NO ABSTRACT OR TITLE SEARCH WAS PERFORMED TO DISCOVER THE EXISTENCE OF ANY EASEMENTS OR RESTRICTIONS OF RECORD.
- 3) ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICA VERTICAL DATUM OF 1988 UNLESS OTHERWISE NOTED.
- 4) NO BELOW GROUND IMPROVEMENTS, FOOTERS, FOUNDATIONS OR UTILITIES HAVE BEEN LOCATED OR SHOWN ON THIS SURVEY.



NORTH
NOT TO SCALE
NORTH
VICINITY
MAP

O.R.B. = official record book
C.B.S. = concrete block structure
P.C.C. = point of compound curve
P.C.P. = permanent control point
P.O.C. = point of commencement
P.O.B. = point of beginning
D/E = drainage easement
C.M.P. = corrugated metal pipe
R.L.S. = registered land surveyor
L.B. = licensed business

TRAN. = transformer pad
F.P.&L. = Florida power and light
CM = concrete monument
P.R.C. = point of reverse
P.I. = point of intersection
P.T. = point of tangency
M = not field measured
W.P.F. = wood privacy fence
CHATT = chattahoochee
ELEV = elevation

P.B. = plat book
TYP. = typical
R/W = right-of-way
Δ = central angle
B = bearing basis line
ASPH = asphalt
M.H. = manhole
U/E = utility easement
CLF = chain link fence
P.R.M. = permanent reference monument

P = plat
B = power pole
M = MEASURED
LP = IRON PIPE
RP = radius point
L = ARC LENGTH
CL = centerline
ALUM. = aluminum
P.C. = point of curvature

P.G. = page
I.R. = iron rod
R = radius
D = deed
O/S = offset
CONC. = concrete
ESMT. = easement
CALC. = calculated

Renner Burgess, Inc.
LAND SURVEYING

801 S.E. 6th Ave., Suite 101
Delray Beach, FL 33483

Phone 561-243-4624
Fax 243-4869

AUTHORIZATION NUMBER LB6504

I HEREBY CERTIFY THAT THE SKETCH OF BOUNDARY SURVEY
SHOWN HEREON MEETS THE STANDARDS OF PRACTICE SET
FORTH IN CHAPTER SJ-17-050-052, FLORIDA ADMINISTRATIVE
CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

HARRY A BURGESS PLS 5089

CERTIFIED TO:

FLOOD ZONE: "X"

MAP NO.: 12099C 0977F

MAP DATE: 10-5-17

DATE: 1-22-19

JOB NO: 1-19-040

REVISED: SITE PLAN 1-23-19

NOT VALID
UNLESS SEALED
WITH EMBOSSED
SURVEYOR'S SEAL

FINAL 12-18-20

FORM BOARDS 6-4-19

