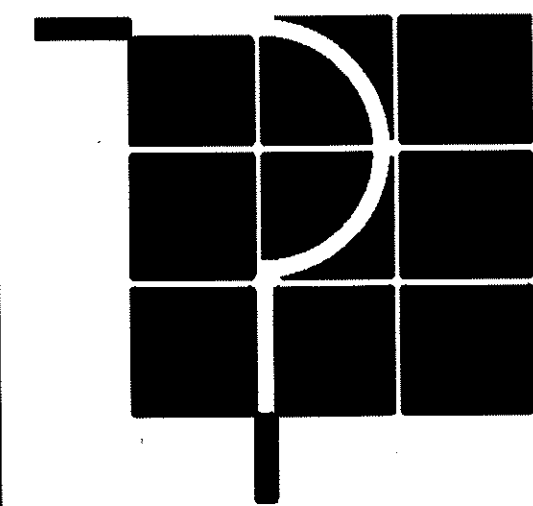




THE
PANDULA
ARCHITECTS
INCORPORATED

201 SEAVIEW AVENUE
PALM BEACH, FLORIDA
33480

TELEPHONE: 561-832-3614
TELEFAX: 561-655-9120

AAC 001445

PETTINICCHI
PROPERTY

711 S.E. 2nd AVENUE
DELRAY BEACH, FLORIDA

DATE & DESCRIPTION

20 NOVEMBER 2020
CONCEPTUAL REVIEW

THE PANDULA ARCHITECTS, INC.
AAC 001445

EUGENE PANDULA
ARCHITECT
AR 0009015

SHEET TITLE

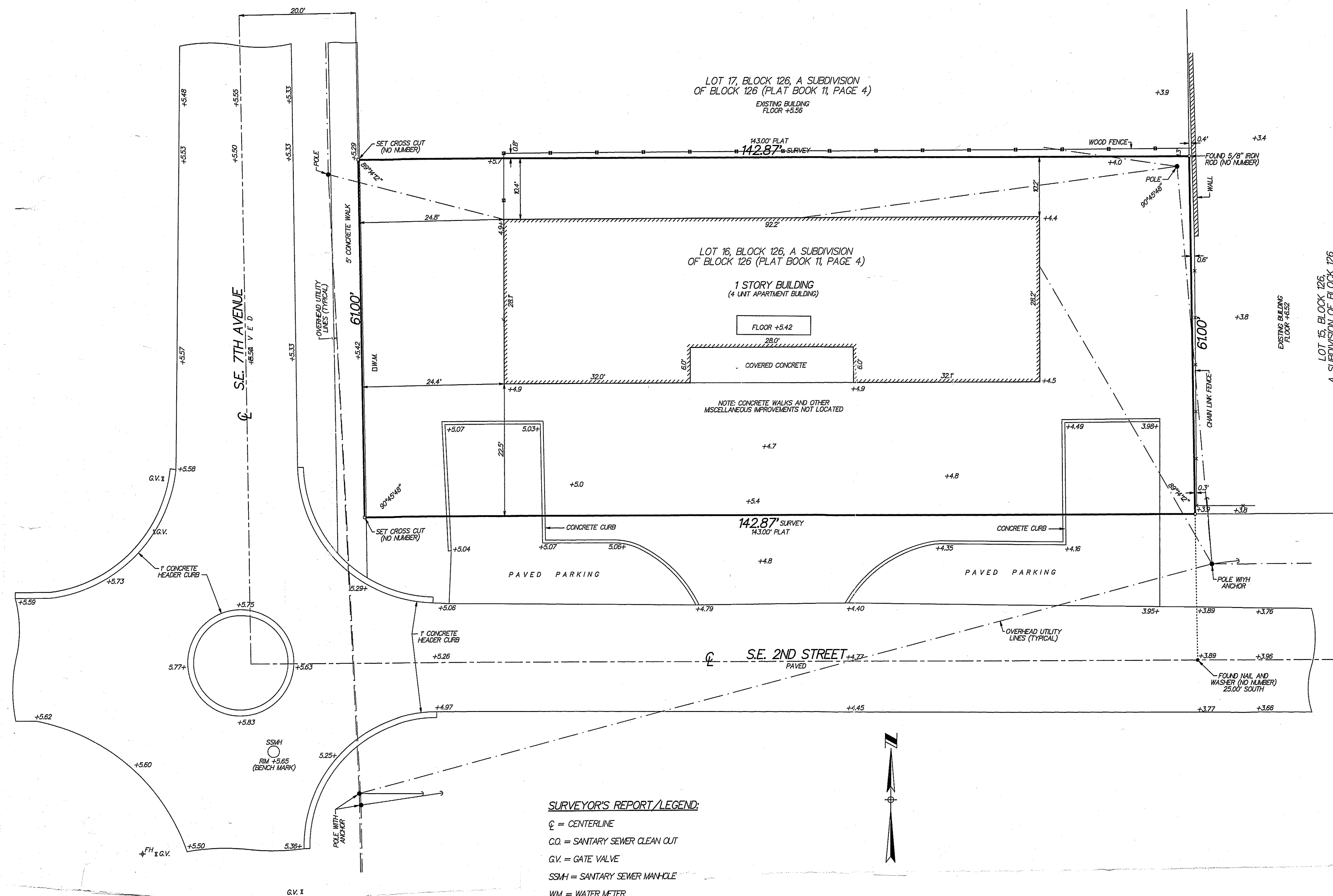
EXISTING
SITE SURVEY
DRAWING FOR CONCEPTUAL
REVIEW ONLY

SHEET NUMBER

CONCEPTUAL
A-1

PROJECT NUMBER

1913



SURVEYOR'S REPORT / LEGEND:

CL = CENTERLINE
CQ = SANITARY SEWER CLEAN OUT
GV = GATE VALVE
SSMH = SANITARY SEWER MANHOLE
WM = WATER METER
FH = FIRE HYDRANT
A/C = CONCRETE A/C PAD
+5.65 = ELEVATION BASED ON NORTH AMERICAN
VERTICAL DATUM 1988 SOURCE: "L-NET GPS
NETWORK"

FLOOD ZONE: AE (EL. 6)
COMMUNITY PANEL NO. 125102 0979
SUFFIX: F
REVISED: OCT. 5, 2018
NOTE: ALL BOUNDARY LINES AND ANGULAR
DIMENSIONS ARE PLAT AND SURVEY UNLESS
STATED OTHERWISE

ALL DIMENSIONS SHOWN HEREON ARE BASED
ON THE STANDARD U.S. FOOT.

THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL
OF CLOSURE OF 1 FOOT IN 10,000 FEET AS
REQUIRED FOR COMMERCIAL/HIGH RISK
PROPERTY CLOSURE WAS ACHIEVED BASED ON
A REDUNDANCY OF MEASUREMENTS FOR VERTICAL,
HORIZONTAL AND ANGULAR DIMENSIONS.

NO SUBSURFACE SEARCH WAS MADE FOR UTILITIES
OR UNDERGROUND FOOTERS

DESCRIPTION:

LOT 16, BLOCK 126, A SUBDIVISION OF BLOCK 126, ACCORDING TO
THE PLAT THEREOF AS RECORDED IN PLAT BOOK 11, PAGE 4, PUBLIC
RECORDS OF PALM BEACH COUNTY, FLORIDA.

MAP OF BOUNDARY SURVEY

SITE ADDRESS: 711 S.E. 2ND STREET,
DELRAY BEACH, FLORIDA 33483

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE
AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA
BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 472, FLORIDA
ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

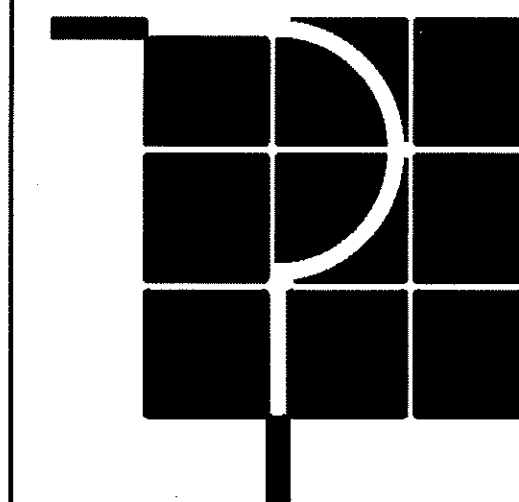
Paul D. Engle
SURVEYOR & MAPPER #5708

NOT VALID WITHOUT THE SIGNATURE AND
THE ORIGINAL RAISED SEAL OF A FLORIDA
LICENSED SURVEYOR AND MAPPER.

O'BRIEN, SUITER & O'BRIEN, INC.
LAND SURVEYORS

CERTIFICATE OF AUTHORIZATION #LB353
SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE
955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445
(561) 276-4301 732-3279 FAX 276-2390

DATE OF SURVEY: FEB. 20, 2019
FIELD BOOK: D.318
PAGE NO.: 16
SCALE: 1" = 10'
ORDER NO.: 18-12db



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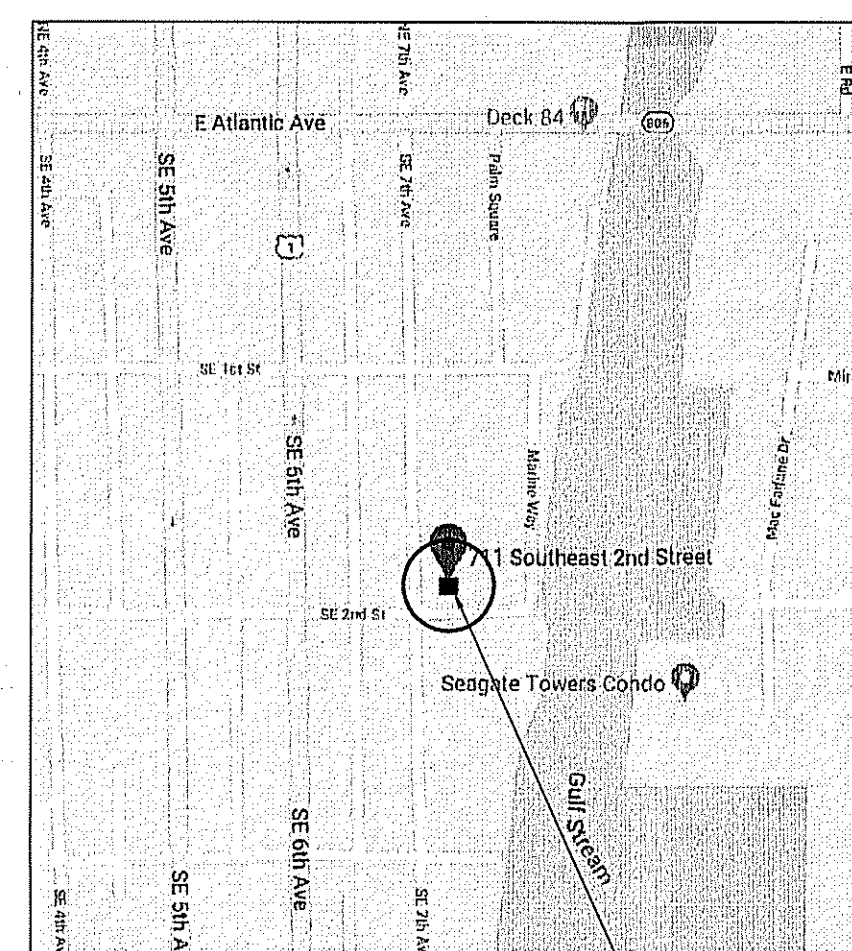
EUGENE PANDULA
ARCHITECT
AR 0009015

DESCRIPTION:

LOT 16, ACCORDING TO THE PLAT THEREOF,
AS RECORDED IN PLAT BOOK 11, PAGE 4, OF THE PUBLIC
RECORDS OF PALM BEACH COUNTY, FLORIDA. SUBJECT
TO EASEMENTS AND AND RIGHT-OF-WAY RECORD.

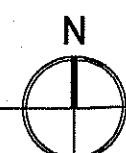
GENERAL NOTES:

- IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOBSITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.



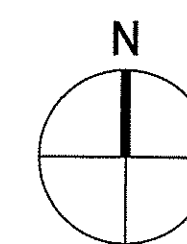
EXISTING SITE IS LOCATED ON THE
CORNER OF SE 2ND ST AND SE 11TH
AVE IN DELRAY BEACH, FLORIDA

VICINITY MAP



EXISTING SITE PLAN

SCALE: 1/8" = 1'-0" (FOR REFERENCE ONLY)



NOTES:

- DO NOT SCALE DRAWINGS!
- FIELD VERIFY ALL DIMENSIONS!
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
- ALL AREA CALCULATIONS ARE APPROX.

EXISTING AREA CALCULATIONS

TOTAL SITE AREA	8,723 S/F
TOTAL BLDG FOOTPRINT (INCLUDING GARAGE AND COVERED PORCHES)	2,576 S/F
DRIVEWAY + WALKWAY PAVERS	1,123 S/F
TOTAL IMPERVIOUS AREA (HOUSE, PAVERS, WALKWAYS ETC.)	3,699 S/F
TOTAL PERVIOUS AREA (LANDSCAPING)	5,024 S/F

SETBACKS:

	REQUIRED	EXISTING
FRONT (WEST SIDE)	25'-0"/30'-0'	24'-0'
SIDE INTERIOR (NORTH)	15'-0"/30'-0'	10'-6"
SIDE STREET (SOUTH)	25'-0"/30'-0'	22'-6"
REAR (EAST)	25'-0'	21'-0'
ALLOWABLE HT. (ABOVE CROWN OF ROAD)	35'-0'	35'-0'
ZONING	R1	R1

SHEET TITLE

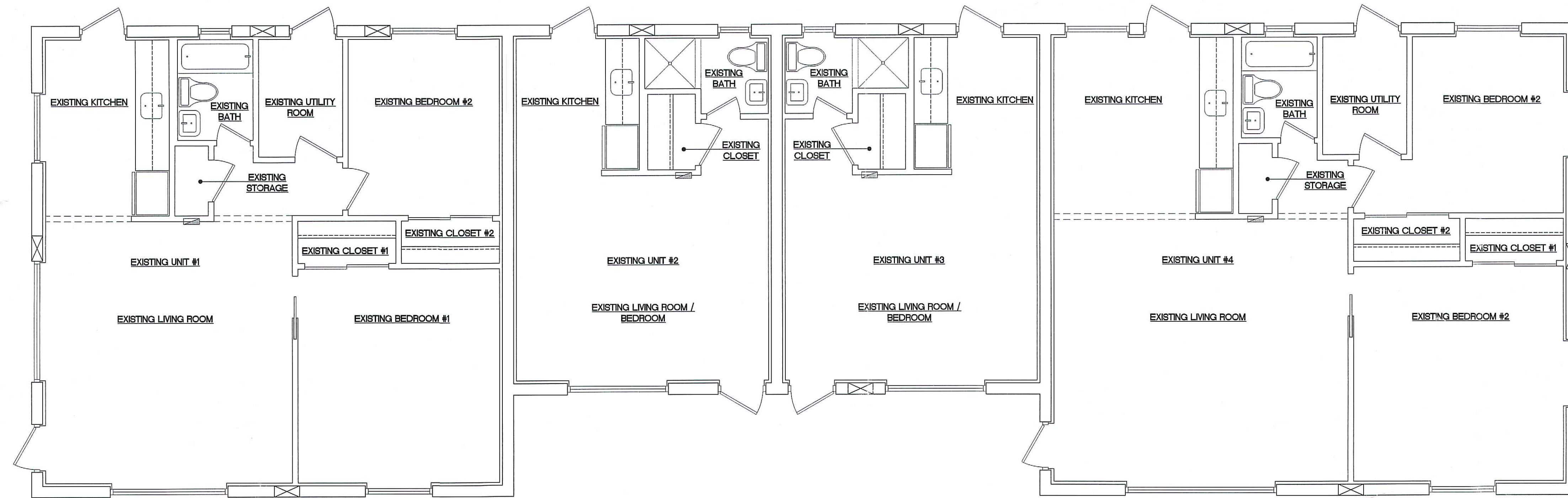
EXISTING
SITE PLAN
DRAWING FOR CONCEPTUAL
REVIEW ONLY

SHEET NUMBER

CONCEPTUAL
A-2

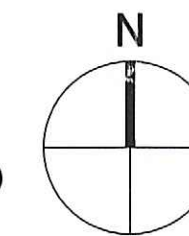
PROJECT NUMBER

1913



EXISTING FLOOR PLAN

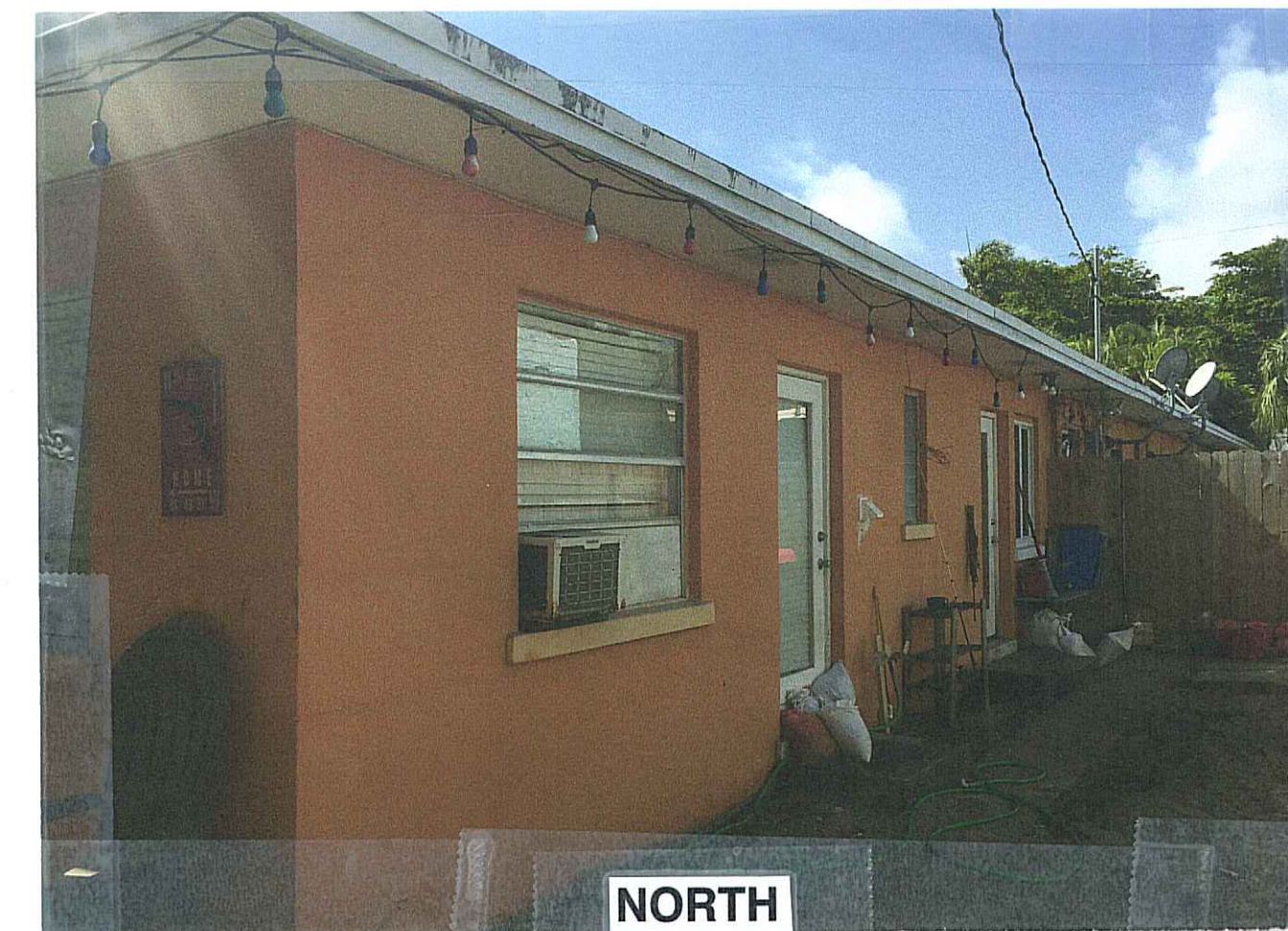
SCALE : 1/4" = 1'-0" (FOR REFERENCE ONLY)



SOUTH



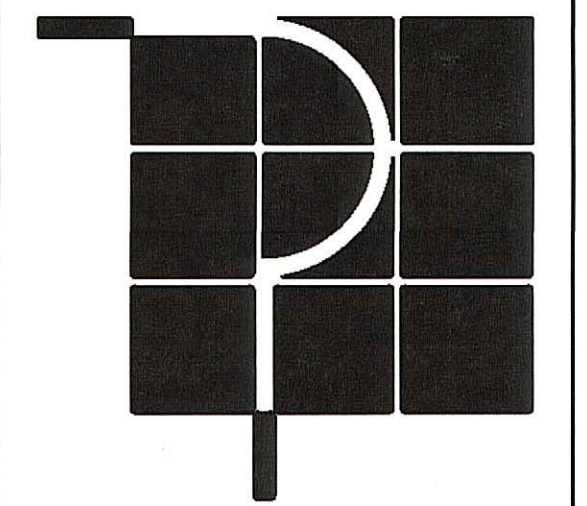
WEST



NORTH



EAST



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AAC 001445

PETTINICCHI PROPERTY

711 S.E. 2nd AVENUE
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DATE & DESCRIPTION

20 NOVEMBER 2020
CONCEPTUAL REVIEW

THE PANDULA ARCHITECTS, INC.
AAC 001445

EUGENE PANDULA
ARCHITECT
AR 0009015

SHEET TITLE

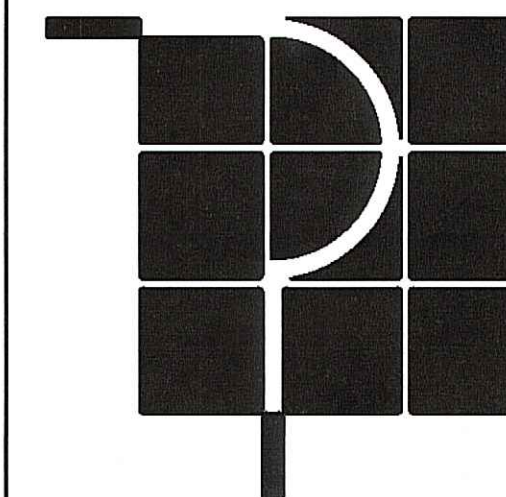
EXISTING
FLOOR PLAN
DRAWING FOR CONCEPTUAL
REVIEW ONLY

SHEET NUMBER

CONCEPTUAL
A-3

PROJECT NUMBER

1913



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PETTINICCHI
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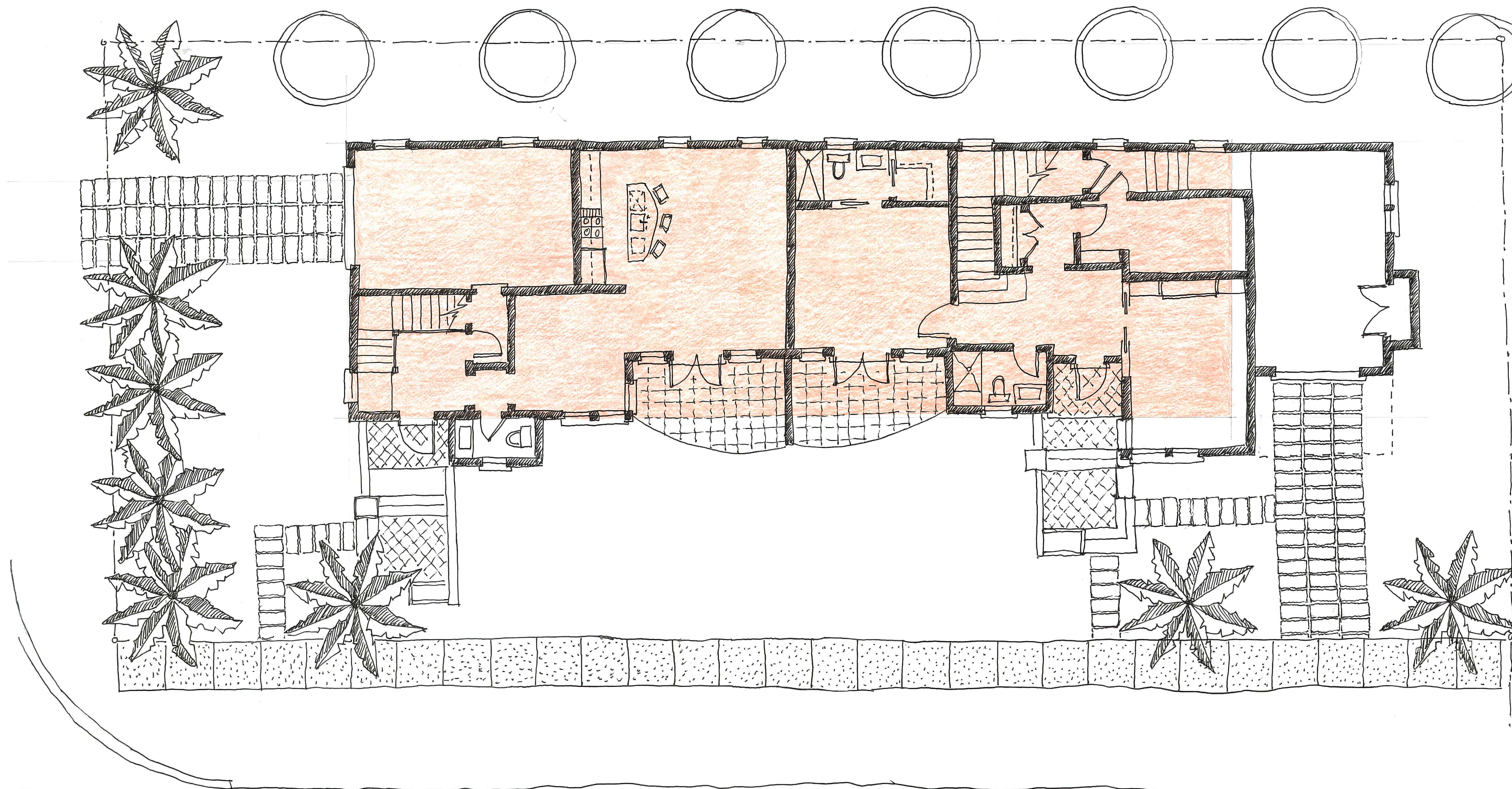
THE PANDULA ARCHITECTS, INC.
AAC 001445

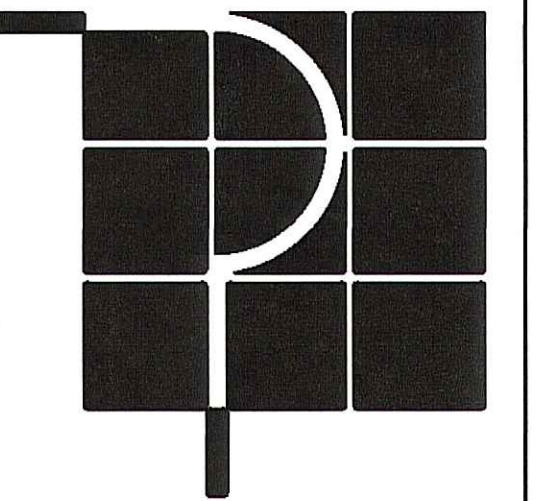
EUGENE PANDULA
ARCHITECT
AR 0009015

SHEET TITLE
CONCEPTUAL
SITE PLAN
DRAWING FOR CONCEPTUAL
REVIEW ONLY

SHEET NUMBER
CONCEPTUAL
A-4

PROJECT NUMBER
1913





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PETTINICCHI
PROPERTY

711 S.E. 2nd AVENUE
DELRAY BEACH, FLORIDA

DATE & DESCRIPTION

20 NOVEMBER 2020
CONCEPTUAL REVIEW

THE PANDULA ARCHITECTS, INC.
AAC 001445

EUGENE PANDULA
ARCHITECT
AR 0009015

SHEET TITLE

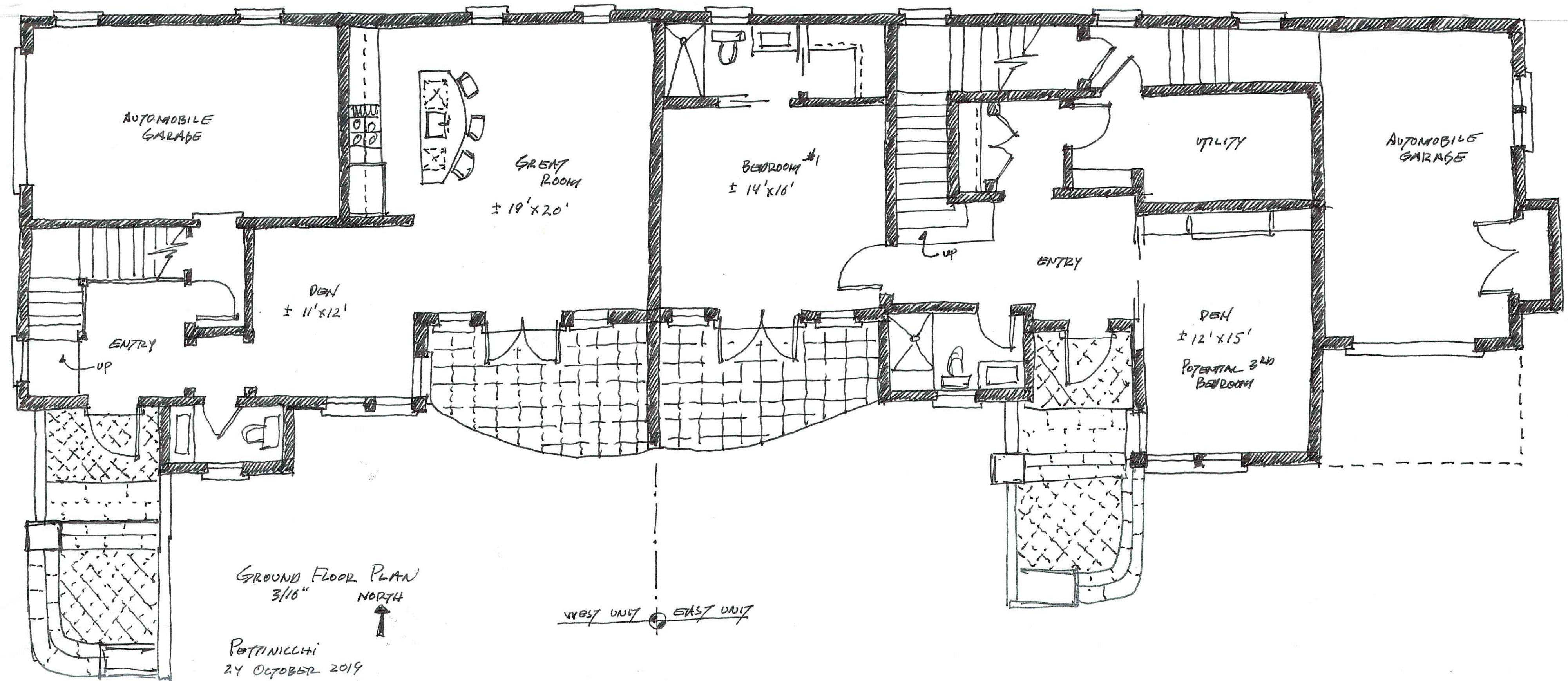
CONCEPTUAL
FLOOR PLANS
DRAWING FOR CONCEPTUAL
REVIEW ONLY

SHEET NUMBER

CONCEPTUAL
A-5

PROJECT NUMBER

1913

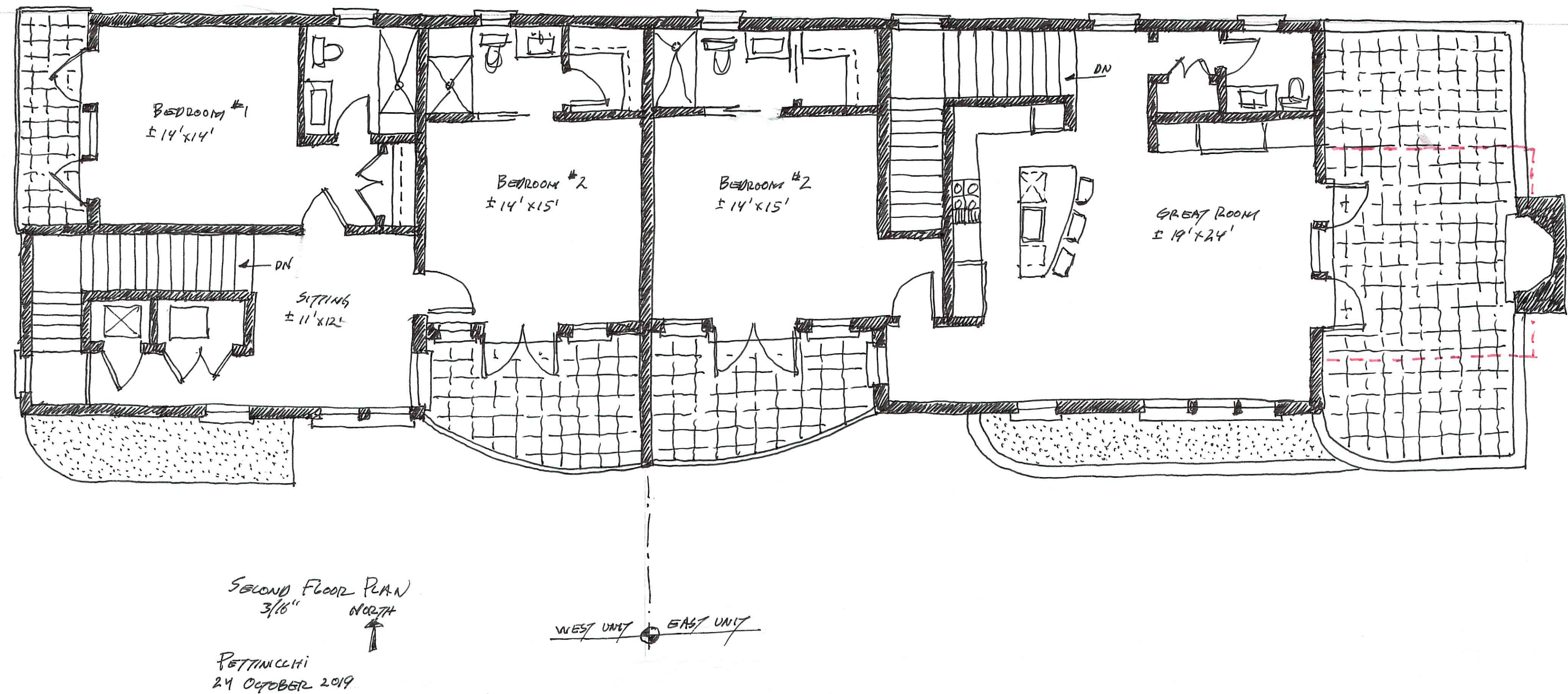


GROUND FLOOR PLAN
3/16"



PETTINICCHI
24 OCTOBER 2019

WEST UNIT EAST UNIT

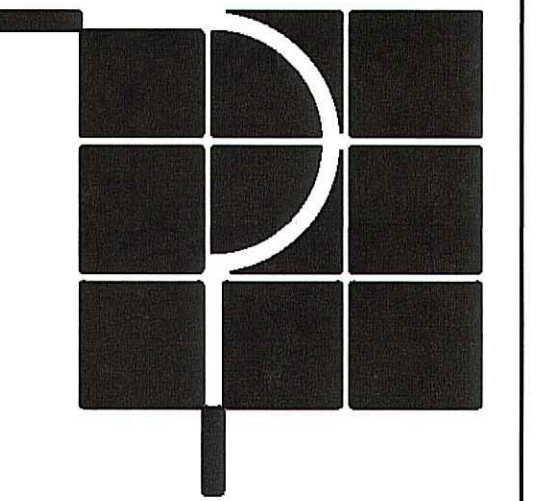


SECOND FLOOR PLAN
3/16"



PETTINICCHI
24 OCTOBER 2019

WEST UNIT EAST UNIT



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33480

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AAC 001445

PETTINICCHI
PROPERTY

711 S.E. 2nd AVENUE
DELRAY BEACH, FLORIDA

DATE & DESCRIPTION

20 NOVEMBER 2020
CONCEPTUAL REVIEW

THE PANDULA ARCHITECTS, INC.
AAC 001445

EUGENE PANDULA
ARCHITECT
AR 0009015

SHEET TITLE
CONCEPTUAL
BUILDING ELEVATION
DRAWING FOR CONCEPTUAL
REVIEW ONLY

SHEET NUMBER
CONCEPTUAL
A-6

PROJECT NUMBER
1913



Concept "A"
South Building Elevation
30 October 2019

