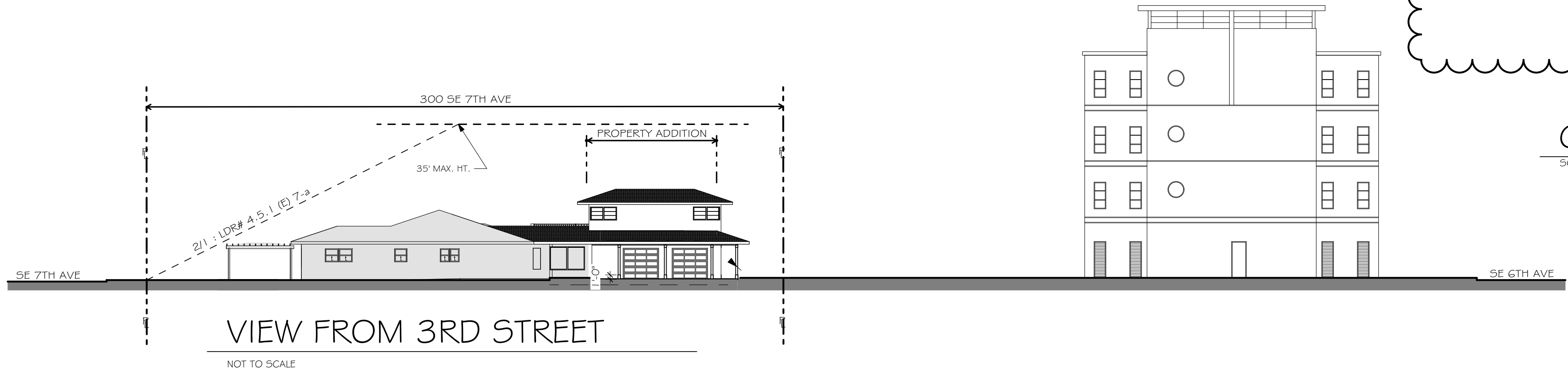


PROPOSED SITE PLAN
SCALE: 1" = 10'

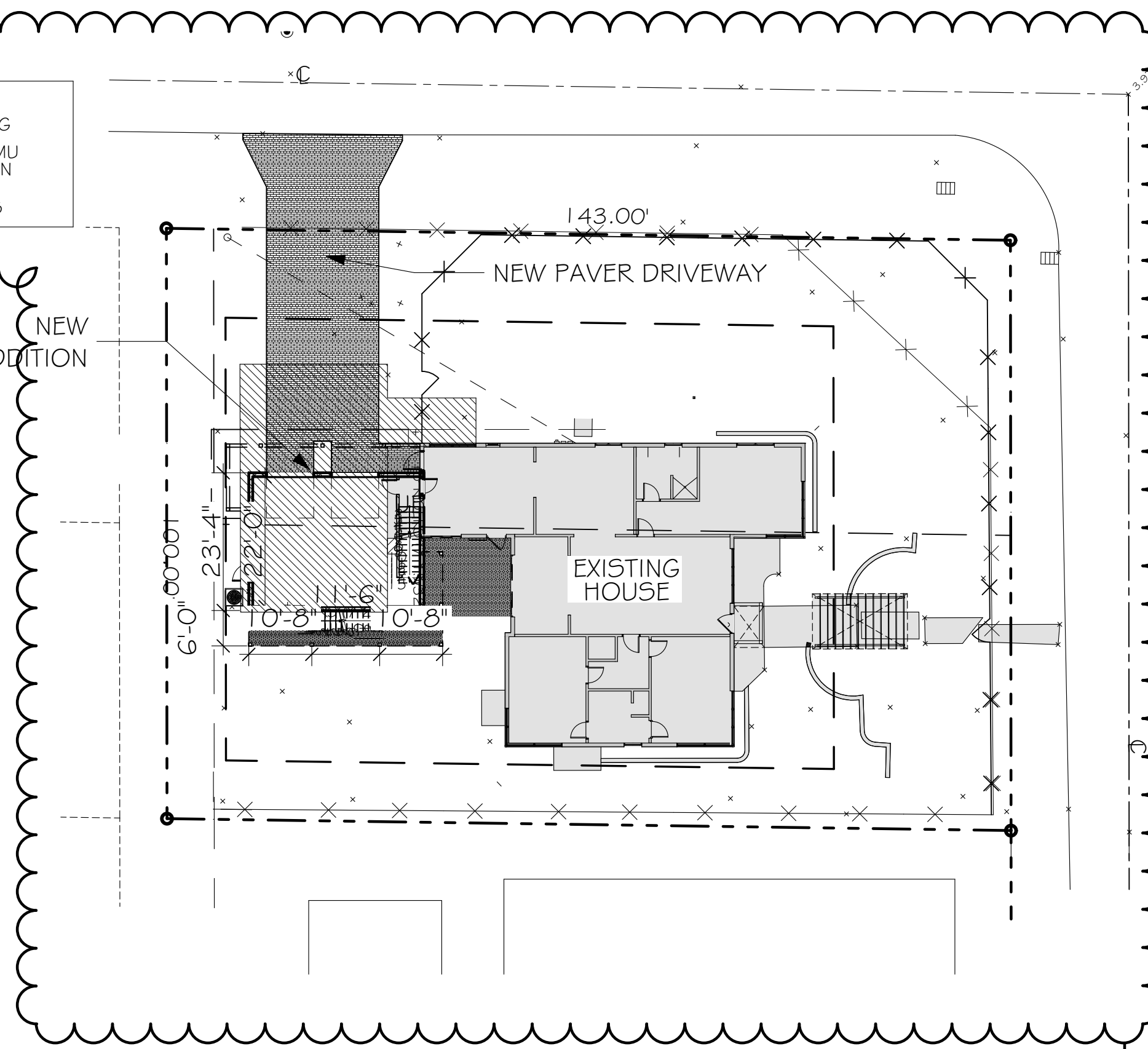


(PER LDR 4.3.4 K)
(PER LDR 4.3.4 K)
(PER LDR 4.3.4 K)
(PER LDR 4.3.4 K)
(PER LDR 4.3.4 K)
(PER LDR 4.3.4 K)
(PER LDR 4.3.4 K)
(PER LDR 4.6.16 D-2d)

(PER LDR 4.3.4 K)

ZONING AND CODE INFORMATION:			
ZONING: R1-AA SINGLE FAMILY RESIDENCE			
CONSTRUCTION TYPE: V-B			
CURRENT USE: 0100 - SINGLE FAMILY			
PROPOSED USE: 0100 - SINGLE FAMILY			
HISTORIC DISTRICT: MARINA HISTORIC DISTRICT			
SITE/LAND DATA:		REQUIRED	EXISTING
TOTAL SITE AREA:		9,500 SF	14,299 SF (.329 AC)
MIN. LOT WIDTH:		75/95'	100'
MIN. LOT DEPTH:		100'	143'
MIN. LOT FRONTAGE:		75/95'	100'
MIN. FLOOR AREA:		1,500 SF	1,973 SF
MAX. LOT COVERAGE (BLDG):		NA	18.4%
GREEN SPACE (PERMEABLE):		(25%)MIN.	66.5%
SETBACKS:		REQUIRED	EXIST.
FRONT:		30'-0"	34'-10"
REAR:		10'-0"	42'-8"
SIDE (STREET):		15'-0"	34'-11"
SIDE (INTERIOR):		10'-0"	13'-0"
MAX. BUILDING HEIGHT:		35'-0"	± 11'-9"
BUILDING DATA:			
EXISTING FIRST FLOOR (A/C):		1,973 SF	
NEW ADDITION SECOND FLOOR (A/C):		692 SF	
TOTAL SF (A/C):		2,665 SF	
EXISTING COVERED ENTRY:		40 SF	
NEW COVERED PORCH:		414 SF	
NEW SECOND FLOOR OPEN BALCONY:		300 SF	
NEW GARAGE:		692 SF	
TOTAL SF:		1,446 SF	
TOTAL UNDER ROOF =		4,111 SF	

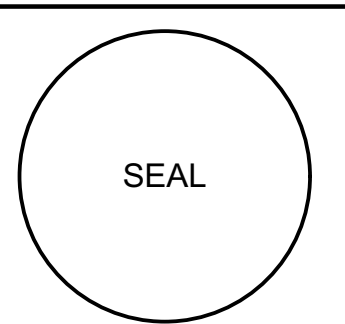
SYMBOL LEGEND	
[Solid Gray Box]	EXISTING
[Hatched Box]	NEW CMU ADDITION
[Dotted Box]	NEW PAVERS



COMPOSITE OVERLAY PLAN
SCALE: 1" = 20'



**STEVE SIEBERT
ARCHITECTURE**
466 N. FEDERAL HIGHWAY
BOYNTON BEACH, FL 33435
PH. 561.880.7894
Steve@stevesiebert.com
www.stevesiebert.com



STEVEN W. SIEBERT
FLORIDA AR0017834
NEW JERSEY 21A101517500
TEXAS 26934

ADDITION FOR
THE KUBIN RESIDENCE
300 SE 7TH AVE
DELRAY BEACH, FLORIDA 33444

HISTORIC SUBMISSION SET

THE WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS.
COPYRIGHT © STEVE SIEBERT ARCHITECTURE-UNAUTHORIZED ANY REPRODUCTION OR OTHER USE OF THIS DRAWING IS PROHIBITED.

PROJECT NO: 20-275
DATE: 01.11.21
DRAWN BY: BRT
CHECKED BY: SWS
REVISIONS:
CITY COMMENTS (08.26.20)

SITE PLAN
SP1.1

NOTES:
HARDWARE SCHEDULE IS NOT TOTALLY INCLUSIVE & MAY VARY IN SCOPE. SEE FINAL HARDWARE SUPPLIERS HARDWARE LIST FOR COMPLETE DESCRIPTION.

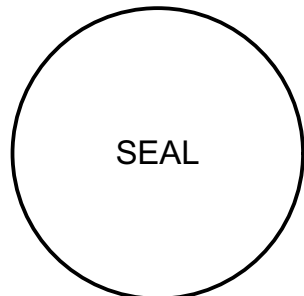
- DOOR & WINDOW NOTES:
1. REFER TO GENERAL NOTES & SPEC. ON SHEET AO.1 FOR ADDITIONAL NOTES
 2. ALL NEW WINDOWS AND DOORS GLAZING SHALL BE CLEAR (NO TINT AND NON-REFLECTIVE)
 3. GC SHALL COORDINATE OPENINGS W/ DOOR & WINDOW MANUFACTURER.
 4. ALL DOORS AND WINDOWS TO BE IMPACT RATED
 5. ALL SHOWER ENCL. GLASS DOORS AND/OR WINDOWS SHALL BE TEMP. GLASS "SAFETY GLASS"
 6. REFER TO PROPOSED ELEVATIONS FOR WINDOW AND DOOR TYPES
 7. REFER TO STRUCTRAL DWGS. FOR MIN. PRESSURES REQUIMENTS.
 8. REFER TO SHEET A1.2 FOR DOOR AND WINDOW JAMB DETAILS.
 9. ALL 8' HIGH DOORS MUST HAVE (2) PAIR OF BUTTS PER-DOOR-MOUNT <8' SHALL HAVE 1-1/2 PAIR PUTTS

WINDOW SCHEDULE										
NO.	ROOM NAME	W	HT	MATERIAL	ZONE	REQUIRED PRESSURES	APPROVED PRESSURES	PRODUCT APPROVAL	MULLION BARS	COMMENTS
W01	GARAGE	6'-0"	4'-0"	ALUMN.						
W201	SECOND FLOOR	2'-6"	5'-0"	ALUMN.						
W202	SECOND FLOOR	2'-6"	5'-0"	ALUMN.						
W203	SECOND FLOOR	2'-6"	5'-0"	ALUMN.						
W204	SECOND FLOOR	3'-0"	3'-0"	ALUMN.						
W205	SECOND FLOOR	6'-0"	3'-0"	ALUMN.						
W206	SECOND FLOOR	6'-0"	3'-0"	ALUMN.						
W207	SECOND FLOOR	3'-0"	3'-0"	ALUMN.						
W208	SECOND FLOOR	2'-6"	5'-0"	ALUMN.						

DOOR SCHEDULE:										
ID	W	HT	THK	MATERIAL	ZONE	REQUIRED PRESSURES	APPROVED PRESSURES	PRODUCT APPROVAL	HRDWR GROUP	COMMENTS
D101	3'-0"	6'-8"	1-3/4"	ALUMN.	5	+37.7/-62.9				
D102	2'-6"	6'-8"	1-3/4"	SC.	---	---		---		
D103	2'-6"	6'-8"	1-3/4"	ALUMN.	---					
D104	3'-0"	6'-8"	1-3/4"	ALUMN.	5	+37.7/-62.9				
D105	8'-0"	7'-0"		ALUMN.	5	+37.7/-62.9	+65/-73.5	I7-1023.10		
D106	8'-0"	7'-0"		ALUMN.	5	+37.7/-62.9	+65/-73.5	I7-1023.10		
D107	2'-8"	6'-8"	1-3/4"	WD.	---					
D200	6'-0"	6'-8"	1-3/4"	ALUMN.						



STEVE SIEBERT
ARCHITECTURE
466 N. FEDERAL HIGHWAY
BOYNTON BEACH, FL 33435
PH. 561.880.7894
Steve@stevesiebert.com
www.stevesiebert.com



STEVEN W. SIEBERT
FLORIDA AR0017834
NEW JERSEY 21A101517500
TEXAS 26934

ADDITION FOR
THE KUBIN RESIDENCE
300 SE 7TH AVE
DELRAY BEACH, FLORIDA 33444

HISTORIC SUBMISSION SET

THE WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS.
COPYRIGHT STEVE SIEBERT ARCHITECTURE-UNAUTHORIZED ANY REPRODUCTION OR OTHER USE OF THIS DRAWING IS PROHIBITED.

PROJECT NO: 20-275

DATE: 01.11.21

DRAWN BY: BRT

CHECKED BY: SWS

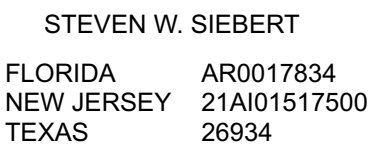
REVISIONS:

△ CITY COMMENTS (09.2.1.20)

△ CITY COMMENTS (11.1.13.20)

SCHEDULES AND DETAILS


A1.2



ADDITION FOR
THE KUBIN RESIDENCE

300 SE 7TH AVE
DELRAY BEACH, FLORIDA 33444

THE WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS.
COPYRIGHT STEVE SIEBERT ARCHITECTURE-UNAUTHORIZED ANY REPRODUCTION OR OTHER USE OF THIS DRAWING IS PROHIBITED.

PROJECT NO: 20-275
DATE: 01.11.21
DRAWN BY: BRT
CHECKED BY: SWS
REVISIONS:
 CITY COMMENTS (09.21.20)

A2.1



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

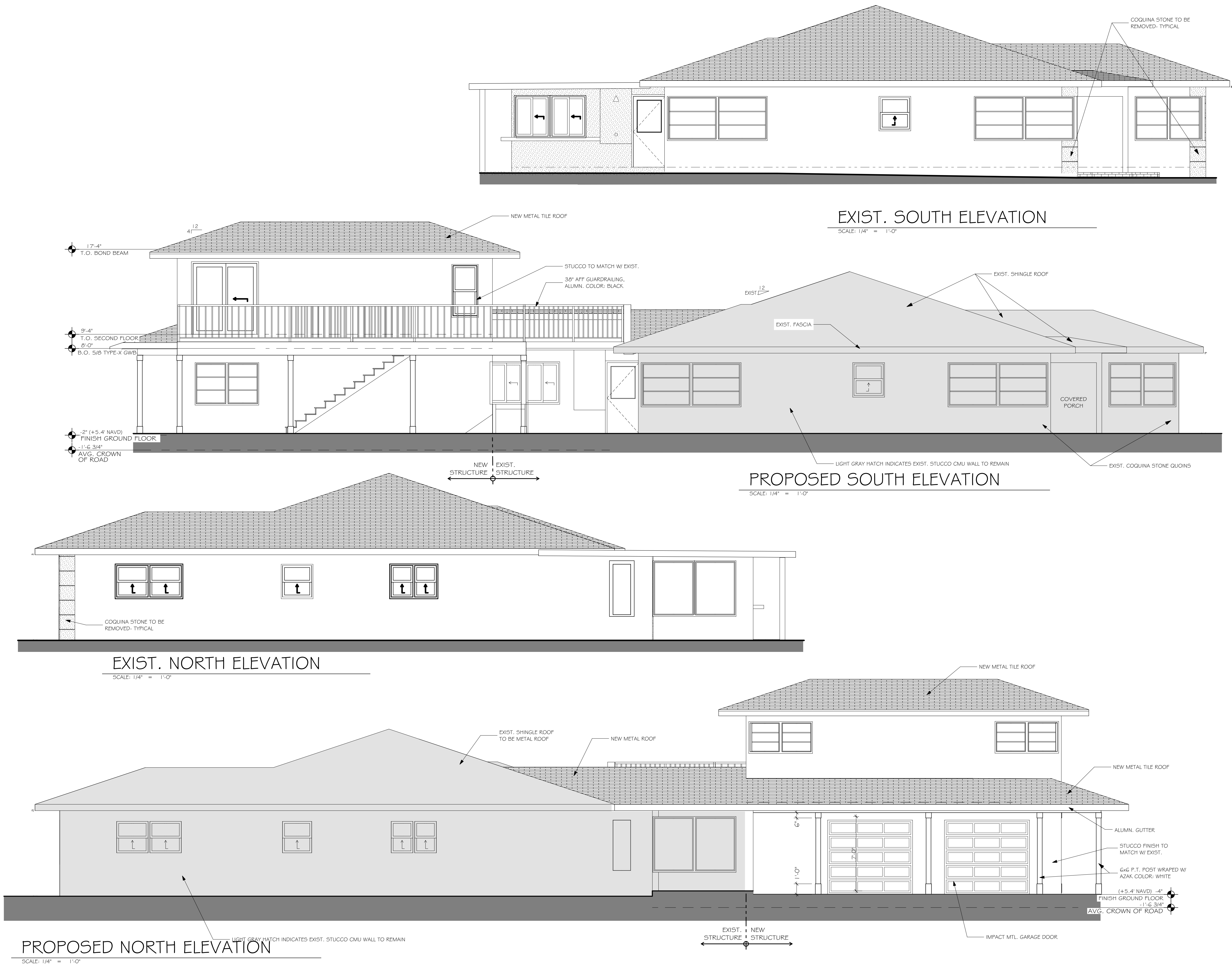


SCALE: 1/4" = 1'-0"

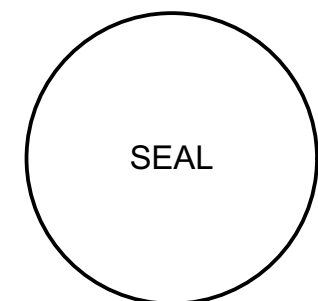


SCALE: 1/4" = 1'-0"

Volumes\SSA Projects\Active Projects\20-275 300 SE 7th Kubin Addition\20-275 Kubin (Historic review).pln



**STEVE SIEBERT
ARCHITECTURE**
466 N. FEDERAL HIGHWAY
BOYNTON BEACH, FL 33435
PH: 561.880.7894
Steve@stevesiebert.com
www.stevesiebert.com



STEVEN W. SIEBERT
FLORIDA AR0017834
NEW JERSEY 21A101517500
TEXAS 26934

ADDITION FOR
THE KUBIN RESIDENCE
300 SE 7TH AVE
DELRAY BEACH, FLORIDA 33444

HISTORIC SUBMISSION SET

THE WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS. COPYRIGHT STEVE SIEBERT ARCHITECTURE-UNAUTHORIZED ANY REPRODUCTION OR OTHER USE OF THIS DRAWING IS PROHIBITED.

PROJECT NO: 20-275
DATE: 01.11.21
DRAWN BY: BRT
CHECKED BY: SWS
REVISIONS:

ELEVATIONS

A2.2



△ NORTH WEST ELEVATION
NOT TO SCALE



△ EAST ELEVATION
NOT TO SCALE



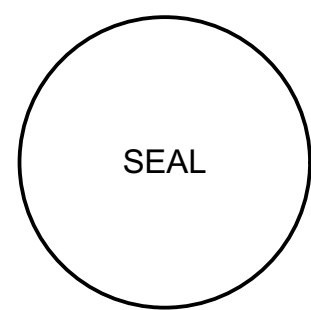
△ SOUTH ELEVATION
NOT TO SCALE



△ NORTH ELEVATION
NOT TO SCALE



STEVE SIEBERT
ARCHITECTURE
466 N. FEDERAL HIGHWAY
BOYNTON BEACH, FL 33435
PH: 561.860.7694
Steve@stevesiebert.com
www.stevesiebert.com



STEVEN W. SIEBERT
FLORIDA AR0017834
NEW JERSEY 21AIO1517500
TEXAS 26934

ADDITION FOR
THE KUBIN RESIDENCE
300 SE 7TH AVE
DELRAY BEACH, FLORIDA 33444

HISTORIC SUBMISSION SET

THE WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS. COPYRIGHT STEVE SIEBERT ARCHITECTURE-UNAUTHORIZED ANY REPRODUCTION OR OTHER USE OF THIS DRAWING IS PROHIBITED.

PROJECT NO: 20-275

DATE: 01.11.21

DRAWN BY: BRT

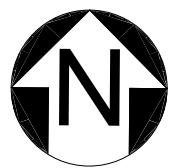
CHECKED BY: SWS

REVISIONS:

△ CITY COMMENTS (08.26.20)

3D VIEWS

A3.1



EXISTING VIEWS

NOT TO SCALE



VIEW 1



VIEW 2



VIEW 3



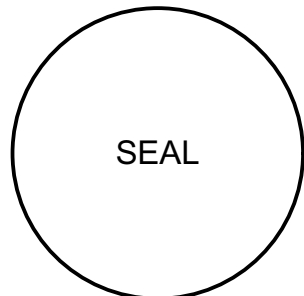
VIEW 4



VIEW 5



STEVE SIEBERT
ARCHITECTURE
466 N. FEDERAL HIGHWAY
BOYNTON BEACH, FL 33435
PH. 561.860.7694
Steve@stevesiebert.com
www.stevesiebert.com



STEVEN W. SIEBERT
FLORIDA AR0017834
NEW JERSEY 21A101517500
TEXAS 26934

ADDITION FOR
THE KUBIN RESIDENCE
300 SE 7TH AVE
DELRAY BEACH, FLORIDA 33444

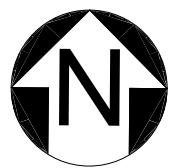
HISTORIC SUBMISSION SET

THE WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS. COPYRIGHT STEVE SIEBERT ARCHITECTURE-UNAUTHORIZED ANY REPRODUCTION OR OTHER USE OF THIS DRAWING IS PROHIBITED.

PROJECT NO: 20-275
DATE: 01.11.21
DRAWN BY: BRT
CHECKED BY: SWS
REVISIONS:

EXISTING VIEWS

A4.1



EXISTING VIEWS

NOT TO SCALE



VIEW 1



VIEW 2



VIEW 3



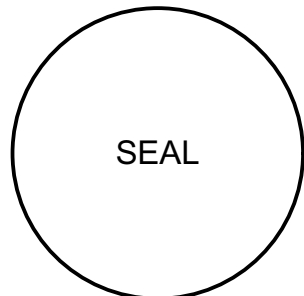
VIEW 4



VIEW 5



STEVE SIEBERT
ARCHITECTURE
466 N. FEDERAL HIGHWAY
BOYNTON BEACH, FL 33435
PH. 561.880.7894
Steve@stevesiebert.com
www.stevesiebert.com



STEVEN W. SIEBERT
FLORIDA AR0017834
NEW JERSEY 21A101517500
TEXAS 26934

ADDITION FOR
THE KUBIN RESIDENCE
300 SE 7TH AVE
DELRAY BEACH, FLORIDA 33444

HISTORIC SUBMISSION SET

THE WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS. COPYRIGHT STEVE SIEBERT ARCHITECTURE-UNAUTHORIZED ANY REPRODUCTION OR OTHER USE OF THIS DRAWING IS PROHIBITED.

PROJECT NO: 20-275

DATE: 01.11.21

DRAWN BY: BRT

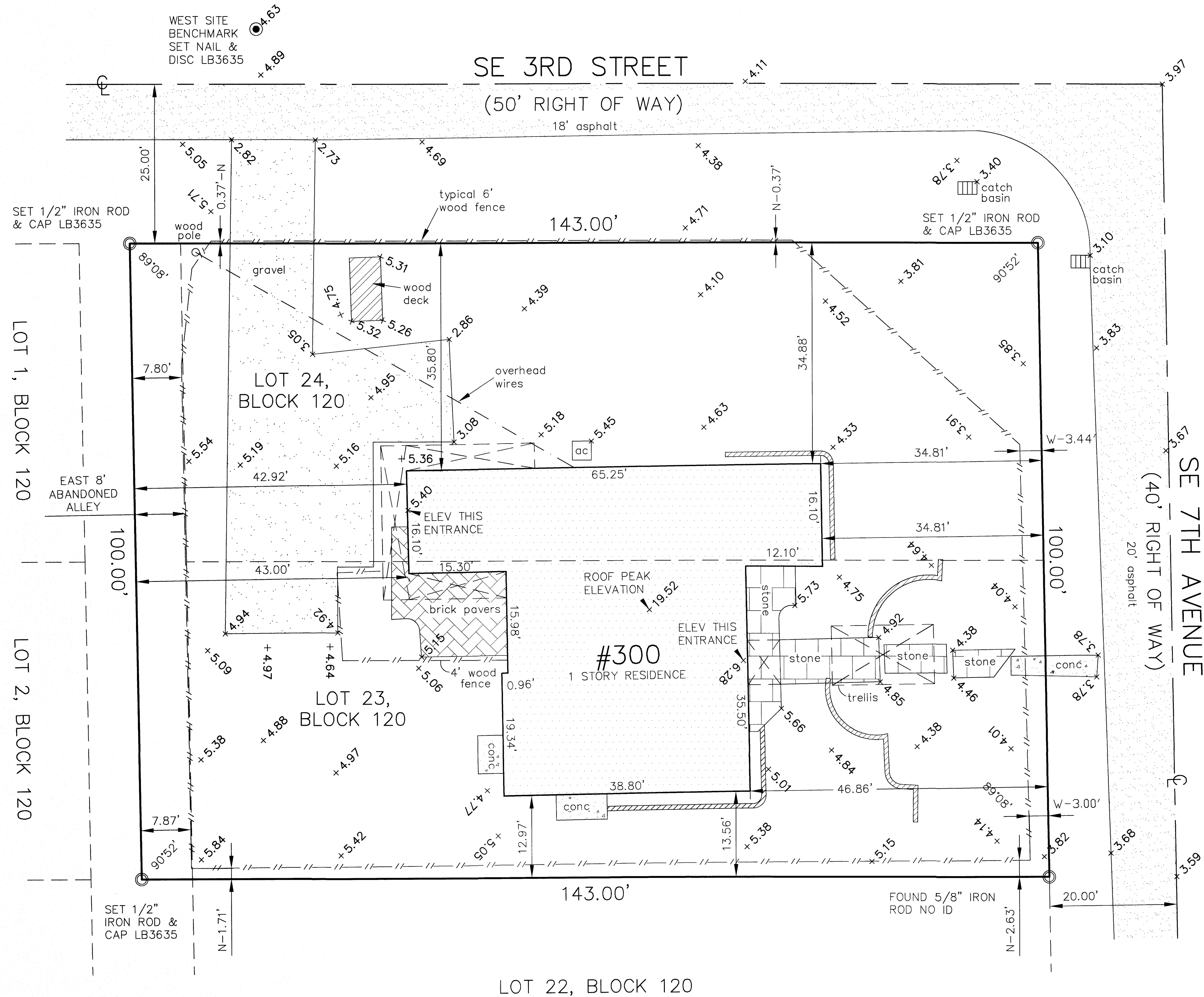
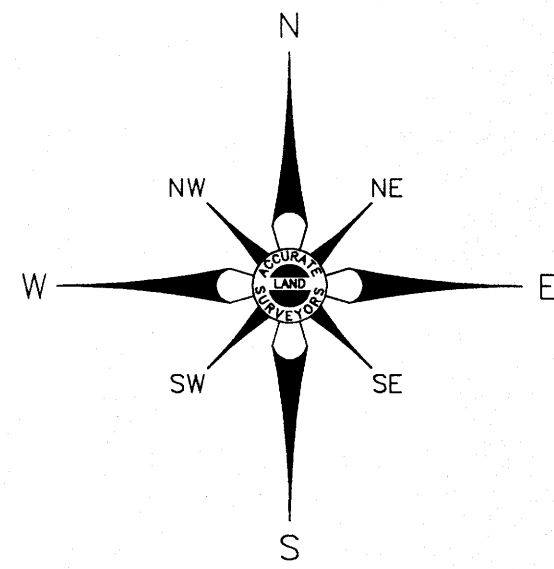
CHECKED BY: SWS

REVISIONS:

△ CITY COMMENTS (08.26.20)

EXISTING PHOTOS

A4.2



ACCURATE LAND SURVEYORS, INC.
L.B. #3635

1150 E. ATLANTIC BLVD.
POMPANO BEACH
FLORIDA 33060
TEL. (954) 782-1441
FAX. (954) 782-1442

BOUNDARY SURVEY

LEGEND OF ABBREVIATIONS:

A	=	CENTRAL ANGLE	N.A.V.D.	=	ELEVATIONS IN FEET BASED ON N.A.V.D.
CB	=	CHORD BEARING	SO FT	=	SQUARE FEET
R	=	RADIUS	P.C.P.	=	PERMANENT CONTROL POINT
R.W.	=	RIGHT OF WAY	P.B.C.R.	=	PALM BEACH COUNTY RECORDS
P.C.	=	POINT OF CURVATURE	P	=	PLAT
P.T.	=	POINT OF TANGENCY	N&D	=	NAIL & DISC
WM	=	WATER METER	P.O.C.	=	POINT OF COMMENCEMENT
OH	=	OVERHEAD	P.O.B.	=	POINT OF BEGINNING
N	=	NORTH	AC	=	AIR CONDITIONER
S	=	SOUTH	FOND	=	FUND
E	=	EAST	CHATT	=	CHATTAGOOCHIE
W	=	WEST	STA	=	STATION
CONC	=	CONCRETE	F.P.L.	=	FLORIDA POWER & LIGHT
D.B.	=	DEED BOOK	N.T.S.	=	NOT TO SCALE
CLF	=	CHAIN LINK FENCE	B.C.R.	=	BROWARD COUNTY RECORDS
BLVD	=	BOULEVARD	M.D.C.R.	=	MIAMI DADE COUNTY RECORDS
ENCL	=	ENCROACHMENT	P.B.	=	PLAT BOOK
IP	=	IRON PIPE	O.R.B.	=	OFFICIAL RECORDS BOOK
IR	=	IRON ROD	FF	=	FINISHED FLOOR
P.R.M.	=	PERMANENT REFERENCE MONUMENT	GAR	=	GARAGE
N.G.V.D.	=	NATIONAL GEODETIC VERTICAL DATUM	ELEC	=	ELECTRIC
U.E.	=	UTILITY EASEMENT	SEC	=	SECTION
D.E.	=	DRAINAGE EASEMENT	TWP	=	TOWNSHIP
A.E.	=	ANCHOR EASEMENT	RGE	=	RANGE
MAINT	=	MAINTENANCE	CE	=	CENTERLINE
ESMT	=	EASEMENT	ASPH	=	ASPHALT
ELEV	=	ELEVATION	MNGLE	=	MANHOLE
B.M.	=	BENCHMARK	(M)	=	MEASURED
(ALTA)	=	AMERICAN LAND TITLE ASSOCIATION	LP	=	LIGHT POLE
(NSPS)	=	NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS	F.D.O.T.	=	FLORIDA DEPARTMENT OF TRANSPORTATION
A.E.	=	APPARENT ENCROACHMENT			

STREET ADDRESS:

300 SE 7TH AVENUE DELRAY BEACH, FL 33483

LEGAL DESCRIPTION:

LOT 23 AND 24, BLOCK 120, BLANK-NICHOLS SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 13, AT PAGE 28, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, TOGETHER WITH THE EAST 8 FEET OF ABANDONED ALLEY LYING WEST OF AND ADJACENT TO SAID LOT 23 & 24, BLOCK 120.

CERTIFY TO:

1. LISA M. RUTH

NOTES:

- UNLESS OTHERWISE NOTED FIELD MEASUREMENTS ARE IN AGREEMENT WITH RECORD MEASUREMENTS.
- ANGLES SHOWN HEREON ARE BASED ON P.B. 13, PG. 28, P.B.C.R.
- THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS, OR OTHER MATTERS OF RECORDS BY ACCURATE LAND SURVEYORS, INC.
- OWNERSHIP OF FENCES AND WALLS IF ANY NOT DETERMINED.
- THIS DRAWING IS THE PROPERTY OF ACCURATE LAND SURVEYORS, INC. AND SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
- THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE CERTIFIED HEREON, TO BE VALID ONE YEAR FROM THE LAST DATE OF SURVEY AS SHOWN.
- THE FLOOD ZONE INFORMATION SHOWN HEREON IS FOR THE DWELLABLE STRUCTURE ONLY UNLESS OTHERWISE INDICATED.
- THE LOCATION OF OVERHEAD UTILITY LINES ARE APPROXIMATE IN NATURE DUE TO THEIR PROXIMITY ABOVE GROUND, SIZE, TYPE & QUANTITY MUST BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION.
- THIS SURVEY MEETS OR EXCEEDS SUBURBAN LINEAR: 1 FOOT IN 7,500 FEET.

FLOOD ZONE DATA:

FLOOD ZONE: AE
BASE FLOOD ELEVATION: 6' NAVD
CONTROL PANEL NUMBER: 125102/12099C0979-F
EFFECTIVE:
REVISED:

ELEVATIONS:

REFERENCE BENCHMARK: FLORIDA
DEPARTMENT OF TRANSPORTATION
BENCHMARK #806
(93 US CO3) SE CORNER SWNTON AND
ATLANTIC AVENUE, ELEVATION:
18.59' NAVD1988

DATE OF FIELD SURVEY: 04-02-2020	DRAWN BY: ER
FIELD BOOK: 20-0636	CHECKED BY: RLT
REVISIONS & SURVEY UPDATES	DATE OF SURVEY & REVISIONS
CONVERT TO 1"=10"	07-13-2020 AL/RLT

CERTIFICATION:

THIS IS TO CERTIFY THAT THIS ABOVE GROUND SKETCH OF BOUNDARY SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SKETCH MEETS THE CURRENT STANDARDS OF PRACTICE ESTABLISHED BY THE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, CHAPTER 54-17, FLORIDA ADMINISTRATIVE CODES, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

ROBERT L. THOMPSON (PRESIDENT)
PROFESSIONAL SURVEYOR AND MAPPER No. 3869 - STATE OF FLORIDA
SHEET 1 OF 1 SCALE 1"=10' SKETCH NUMBER SU-20-0636

