

HISTORIC PLANNING BOARD SUBMISSION:

THE GILBERT RESIDENCE

18 NE 7TH ST.
DELRAY BEACH, FLORIDA 33444

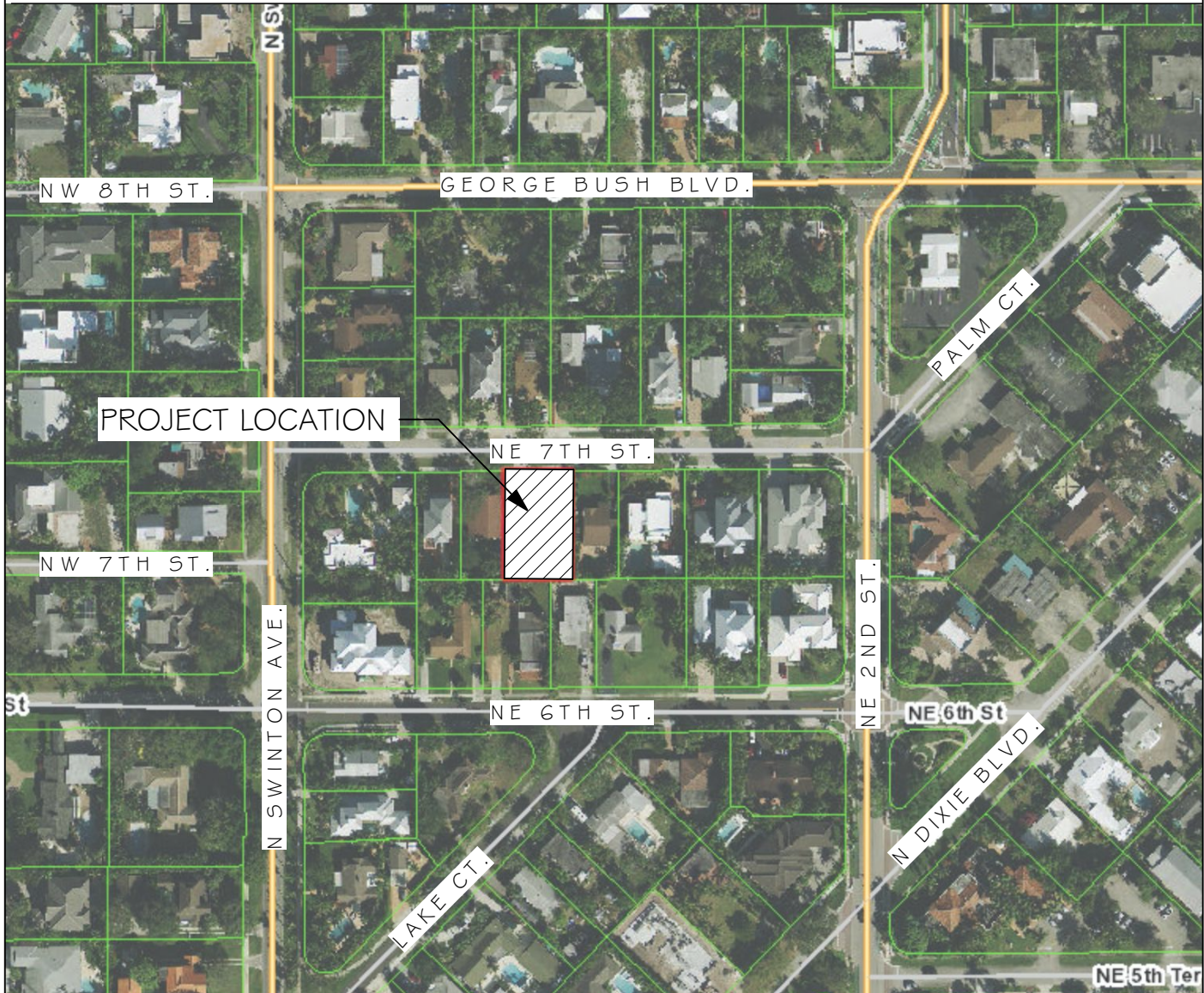
LIST OF DRAWINGS:

CS.1 COVER SHEET
SP.1 SITE PLAN & TABULAR DATA
A1.1 PROPOSED FLOOR PLAN
A4.1 EXTERIOR ELEVATIONS
A5.1 EXISTING VIEWS

GENERAL NOTES:

1. ALL IDEAS, DRAWINGS, PLANS AND ARRANGEMENTS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY AND THE PROPERTY OF THE ARCHITECT AND/OR ENGINEER OF RECORD. THEY WERE CREATED FOR AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. THE IDEAS, DESIGNS, DRAWINGS, PLANS AND ARRANGEMENTS OF THE SPECIFIED PROJECT SHALL NOT BE USED BY OR DISCLOSED TO ANY PERSONS, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT AND ENGINEER(S) OF RECORD.
2. ALL SHOP DRAWINGS SHALL BE SUBMITTED FOR THE ARCHITECT/ENGINEER OF RECORD REVIEW ONLY AFTER THEY HAVE BEEN THOROUGHLY REVIEWED BY THE GENERAL CONTRACTOR FOR CONSTRUCTION METHODS, DIMENSIONS, FIELD CONDITIONS, "AS-CONSTRUCTED" DIMENSIONS AND OTHER TRADE REQUIREMENTS, AND STAMPED WITH THE CONTRACTOR'S APPROVAL STAMP.
3. ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR ANY SURVEY OR CIVIL DWGS. THAT ARE INSERTED INTO THIS SET AND/OR LACK OF. THIS INCLUDES BUT NOT LIMITED TO PROPOSED AND/OR EXISTING CONDITIONS OF GRADING, PARKING, DRIVEWAYS, SEWER LINES, DRAINAGE, FINISH FLOOR ELEVATIONS, PROPERTY LINE LOCATIONS, EXISTING VEGETATION LOCATIONS, AND ETC.

LOCATION MAP:



ARCHITECTURAL RENDERING:



ABBREVIATIONS:

AT	H.C.	HOLLOE CORE
ACOUSTICAL TILE	H.M.	HOLLOW METAL
ADJUSTABLE	H.V.A.C.	HEATING, VENTILATION, & AIR
ANCHOR BOLT		CONDITIONING
AIR CONDITIONING	INSUL.	INSULATION
ABOVE FINISH FLOOR	INV.	INVERT
ALUMINUM	LAM.	LAMINATED
ALTERNATE	MAT.	MATERIAL
BOARD	M.C.	MECHANICAL CONTRACTOR
BUILDING	M.H.	MAN HOLE
BENCH MARK	MLDG.	MOLDING
BRIDGING OR BEARING	MTL. MET.	METAL
CENTER TO CENTER	MIN.	MINIMUM
CENTER LINE	M.T.	METAL THRESHOLD
CABINET	N.I.C.	NOT IN CONTRACT
CATCH BASIN	NO.	NUMBER
CAST IRON	NOM.	NOMINAL
CERAMIC	O.C.	ON CENTER
CEILING	OPG.	OPENING
CLEAN OUT	O.W.	OPEN WEB
CONCRETE	P.C.	PLUMBING CONTRACTOR
COORDINATE	PL	PLATE
COLUMN	PT.	PRESSURE TREADED
CONTINUOUS	P.S.I.	POUNDS PER SQUARE INCH
DETAIL	R.A.	RETURN AIR
DOWN	RM.	ROOM
DECK	REQ'D	REQUIRED
DOWN SPOUT	REIN.	REINFORCING
DRY WALL	S.B.	SPALSH BLOCK
DRAWING	SCH.	SCHEDULE
ELECTRICAL CONTRACTOR	SEC.	SECTION
ELEVATION	S.C.	SOLID CORE
ELECTRICAL	S.S.	STAINLESS STEEL
EXISTING	S.V.B.	STRAIGHT VINYL BASE
EXPOSED OR EXPANSION	SPEC.	SPECIFICATION
FIRE EXTINGUISHER	T.O.	TOP OF
FINISHED FLOOR	T.O.F.	TOP OF FOOTING
FLOOR	T.O.P.	TOP OF PLATE
FULL SIZE	T.O.S.	TOP OF STEEL
FOOT OR FEET	TYP.	TYPICAL
FOOTING	THK.	THICK OR THICKNESS
GENERAL CONTRACTOR	T&G	TOUNGUE AND GROOVE
GLASS OR GLAZING	V.C.T.	VINYL COMPOSITION TILE
GLAZED PAINT	V.C.B.	VINYL COVE BASE
GYPSUM	VIF	VERIFY IN FIELD
HOSE BIB	W/	WITH
HEIGHT	W.I.	WROUGHT IRON
HARDENER	WD.	WOOD
	W.W.F.	WELDED WIRE FABRIC

WALL LEGEND:

	EXISTING CMU WALL
	EXISTING INTERIOR WALL
	EXISTING FIRE RATED PARTITION WALL
	CMU WALL
	CMU WALL, W/ ONE SIDE 1x PT FURRING & GYPSUM BOARD
	CMU WALL, W/ ONE SIDE 2x PT FURRING & GYPSUM BOARD
	CMU WALL, W/ ONE SIDE 1-5/8" MTL. STUD & GYPSUM BOARD
	PARTITION WALL (PARTY WALL)- CMU WALL, W/ 1-5/8" MTL. STUD & 5/8" GYPSUM BOARD ON EACH SIDE. NOTE: FIRE RATED PARTITION WALL
	PARTITION WALL (PARTY WALL)- CMU WALL, W/ 2x PT FURRING & 5/8" GYPSUM BOARD ON EACH SIDE. NOTE: FIRE RATED PARTITION WALL
	INTERIOR WALL
	INTERIOR FIRE RATED PARTITION WALL

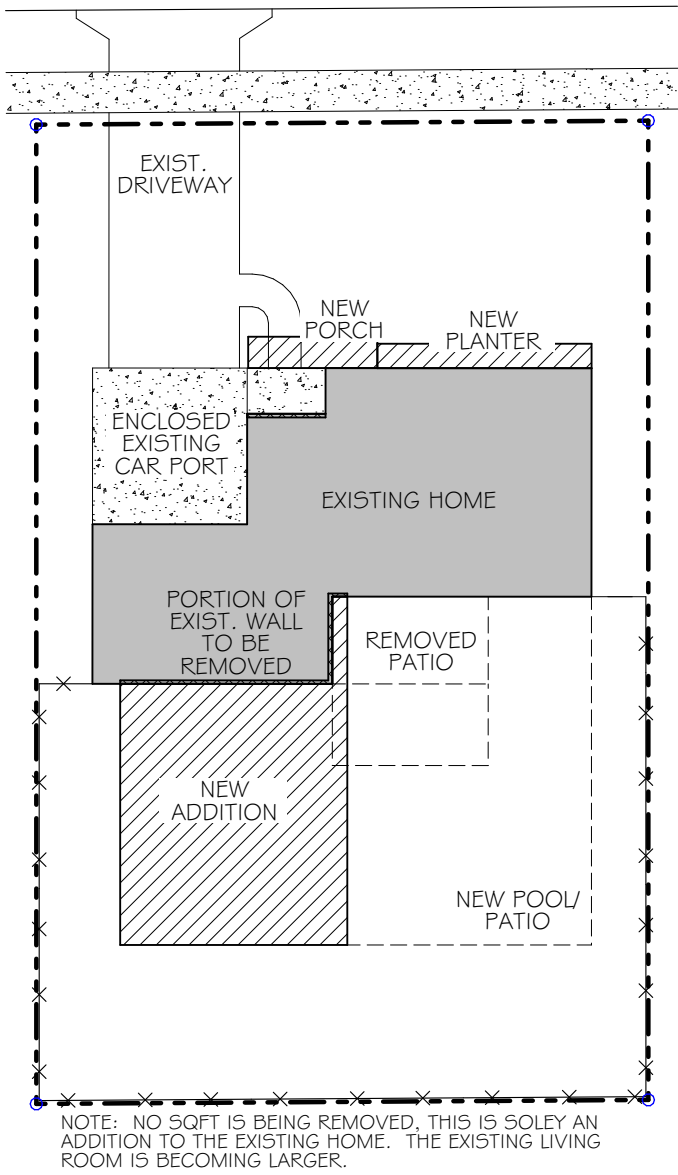
ARCHITECTURAL SYMBOLS:

	REVISION MARKER
	ELEVATION MARK
	ROOM NUMBER
	DOOR TAG- REFER TO DOOR SCHEDULE
	WINDOW TAG- REFER TO WINDOW SCHEDULE
	WALL DETAIL, REFER TO PARTITION DETAILS
	FIXTURE TAG
	SECTION LETTER
	WALL SECTION
	BUILDING SECTION
	DETAIL

PROJECT DESCRIPTION:

THE PROPOSED PROJECT IS AN REAR BEDROOM ADDITION, NEW POOL AND PATIO, ENCLOSING AN EXISTING CAR PORT, A NEW FRONT PORCH AND AN EXTERIOR FACADE REMODEL TO AN EXISTING NON-CONTRIBUTING 1-STORY CBS HOME IN THE DEL-IDA HISTORIC DISTRICT.

OVERLAY PLAN:

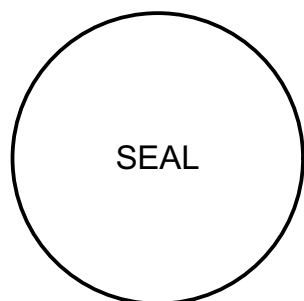


DESIGN TEAM:

OWNER:	SURVEYOR:
MR./MRS. ERIC AND ROSITA GILBERT 161 ALPINE DR. ROCHESTER, NY 14618	ATLANTIC COAST SURVEYING, INC. 5615 S. UNIVERSITY DR. DAVIE, FL 33328 (954) 252-5254
ARCHITECT:	
STEVE SIEBERT ARCHITECTURE 466 N. FEDERAL HIGHWAY BOYNTON BEACH, FL 33435 (561) 880-7894 STEVE@STEVESIEBERT.COM	



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TEXAS 26934

ADDITION FOR:
THE GILBERT RESIDENCE
18 NE 7TH ST.
DELRAY BEACH, FLORIDA

HISTORIC APP.

THE WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS.
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PROJECT NO: 20-276
DATE: 6/24/2020
DRAWN BY: SK.
CHECKED BY: S.S.
REVISIONS:
1. SPA (1.1, 1.2, 2.0)
2. SPA (1.1, 8.2.1)

COVER SHEET

CS.1

NOTE:
SITE PLAN IS ILLUSTRATIVE & IS
SHOWN FOR BUILDING LOCATION
ONLY.

PROJECT DATA:

PROJECT & OWNER INFORMATION:

OWNER: MR./MRS. ERIC AND ROSITA GILBERT
ADDRESS: 18 NE 7TH ST.
DELRAY BEACH, FLORIDA 33444
P.C.N.: 12-43-46-09-29-002-0191
LEGAL: DEL-IDA PARK W 25 FT OF LT 1 & E 25 FT OF LT 19 BLK 2 (DEL-IDA
PARK HISTORIC DISTRICT)
HISTORIC: DEL-IDA HISTORIC DISTRICT, NON-CONTRIBUTING

ZONING AND CODE INFORMATION:

ZONING: R-1-AA - Single Family Residential (12-DELRAY BEACH)
CONSTRUCTION TYPE: III-B
CURRENT USE: SINGLE FAMILY - 0100
PROPOSED USE: SINGLE FAMILY - 0100

FLORIDA BUILDING CODE:
FBC-2017 BUILDING CODE & FBC-2017 6TH EDITION RESIDENTIAL
FBC-EC=FLORIDA BUILDING CODE ENERGY CONSERVATION 2017
FLORIDA FIRE PREVENTION CODE, 5TH EDITION
NEC NFPA 70 2014 EDITION, NATIONAL ELECTRICAL CODE
FS= FLORIDA STATUTES

SITE/LAND DATA:	REQUIRED	PROPOSED	EXISTING
TOTAL SITE AREA:	+/-9,003.8 SF (206.7 AC)		
MIN. LOT SIZE:	9,500 SF	EXISTING	+/-9,003.8 SF
MIN. LOT WIDTH:	75/95'	EXISTING	75'
MIN. LOT DEPTH:	100'	EXISTING	120'
LOT FRONTAGE:	75/95'	EXISTING	75'
MIN. FLOOR AREA:	1,500 SF	3,009 SF (PROPOSED)	2,028 SF
MAX. LOT COVERAGE:	NA	33.4% (3,009.4 SF)	22.5% (2,028 SF)
MIN. OPEN SPACE:	25%	46.7% (4,283 SF)	67.1% (6,040 SF)
MAX. HEIGHT:	35'	12'-2" PROPOSED	10'-2" EXISTING

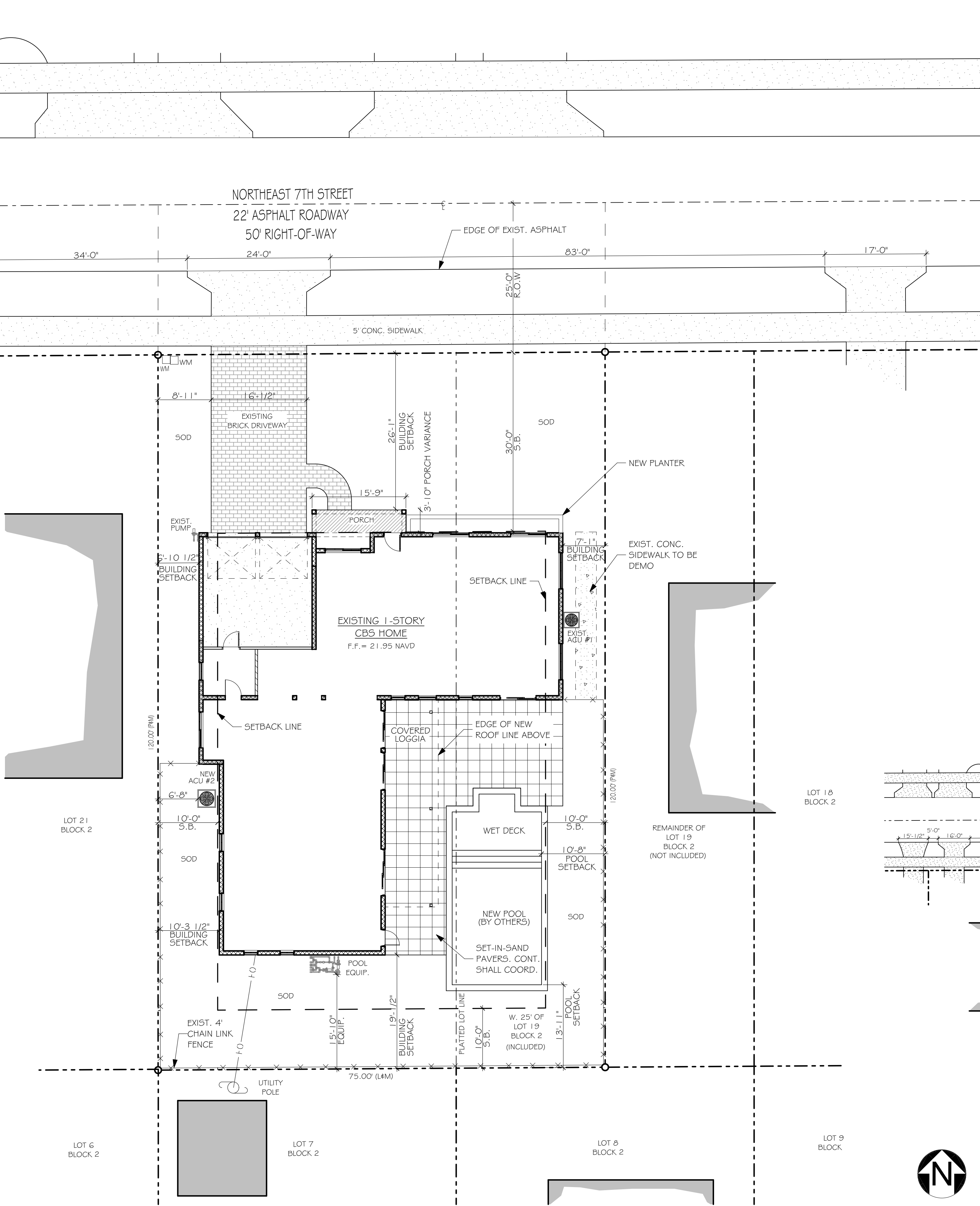
SETBACKS:	REQUIRED	EXISTING HOUSE	PROPOSED HOUSE
FRONT:	30'	30.29'	26.1'(PORCH) **
REAR:	10'	51.23'	19.0'
SIDE INTERIOR (EAST):	10'	6.95'	6.95'
SIDE INTERIOR (WEST):	10'	6.88'	6.88' (10.3' ADDITION)
POOL (EAST)	10'	-	10'-8"
POOL (SOUTH)	10'	-	19'-11"

BUILDING DATA:

EXISTING HOUSE (UA)= 1,606 SF
EXISTING COVERED PORCH (UC)= 60 SF
EXISTING CAR PORT (UC)= 361 SF
TOTAL EXISTING SF= 2,027 SF

PROPOSED HOUSE (UA)= 2,549 SF
PROPOSED COVERED PORCH (UC)= 96 SF
PROPOSED REAR LOGGIA (UC)= 477 SF
PROPOSED GARAGE (UC)= 363 SF
TOTAL EXISTING SF= 3,485 SF

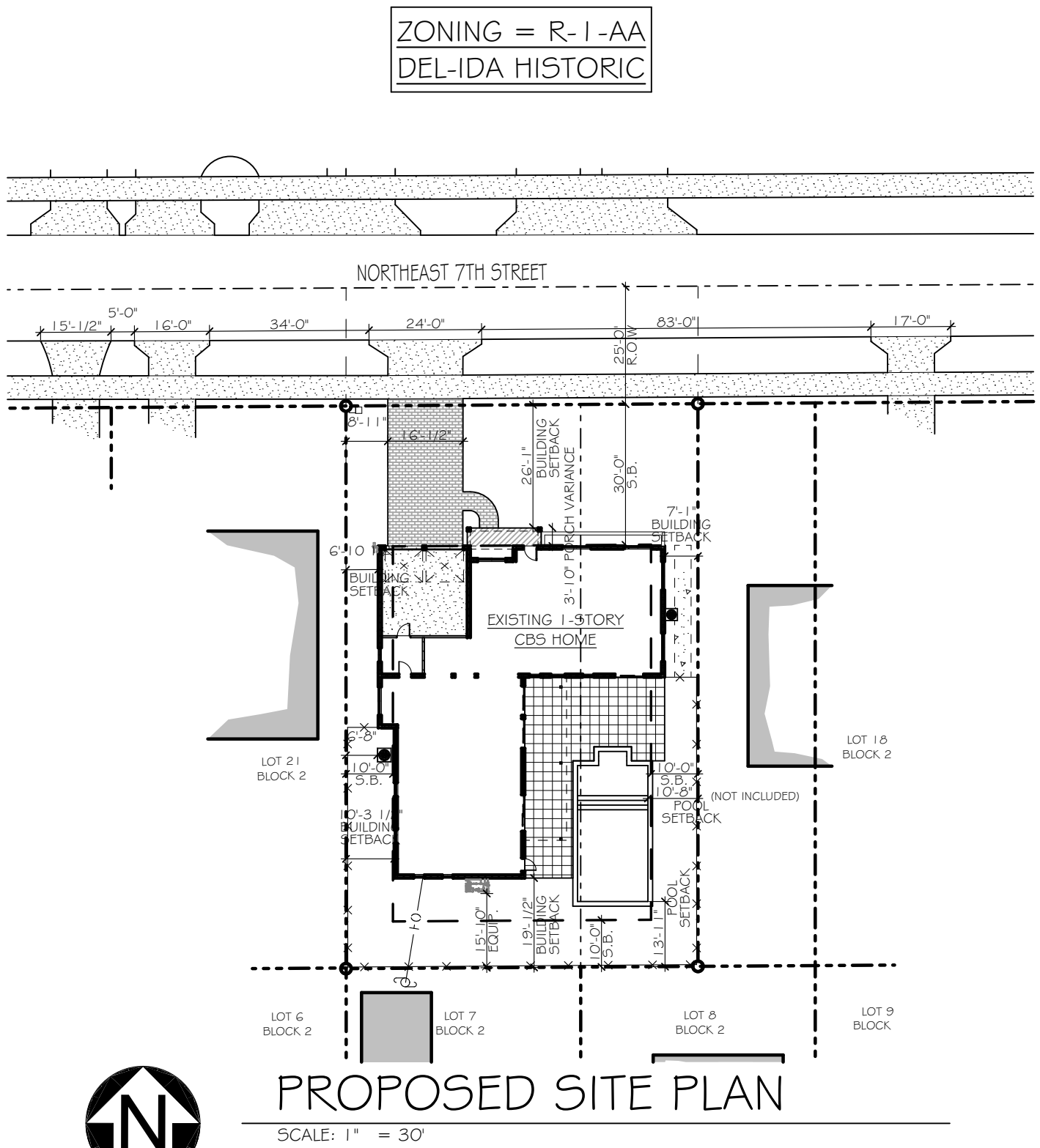
** PROJECT WILL REQUIRE A VARIANCE FOR THE FRONT PORCH IN ORDER TO MATCH
SURROUNDING HOMES AND HISTORICAL DETAIL REQUIREMENTS.
** DEMOLITION, NO SQFT IS TO BE DEMOLISHED FROM THE ORIGINAL HOME. NEW SQFT
IS AN ADDITION TO THE EXISTING FAMILY ROOM. THE EXISTING OUTSIDE WALLS THAT ARE
NOW INTERIOR ARE THE ONES ONLY TO BE REMOVED ALONG WITH THE CEILING ABOVE
AND REBUILT.



PROPOSED SITE PLAN

SCALE: 1" = 10'

NOTE: ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR ANY
SURVEY/CIVIL WORK AND/OR ANY SUCH DRAWINGS THAT ARE
INSERTED INTO THIS SET AND/OR LACK THERE OF. THIS
INCLUDES BUT IS NOT LIMITED TO THE PROPOSED AND/OR
EXISTING CONDITIONS OF GRADING, PARKING, DRIVEWAYS,
SEWER LINES, DRAINAGE, FINISH FLOOR ELEVATIONS, PROPERTY
LINE LOCATIONS, EXISTING VEGETATION LOCATIONS, AND ETC.
ALL FINISH FLOOR ELEVATIONS SHALL BE CONFIRMED BY THE
CITY OF BOCA RATON OR A LICENSED CIVIL ENGINEER.

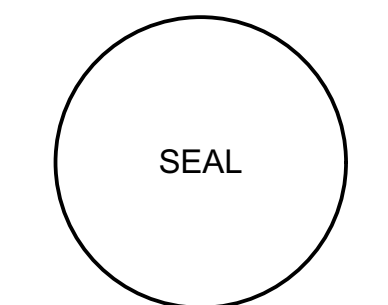


PROPOSED SITE PLAN

SCALE: 1" = 30'



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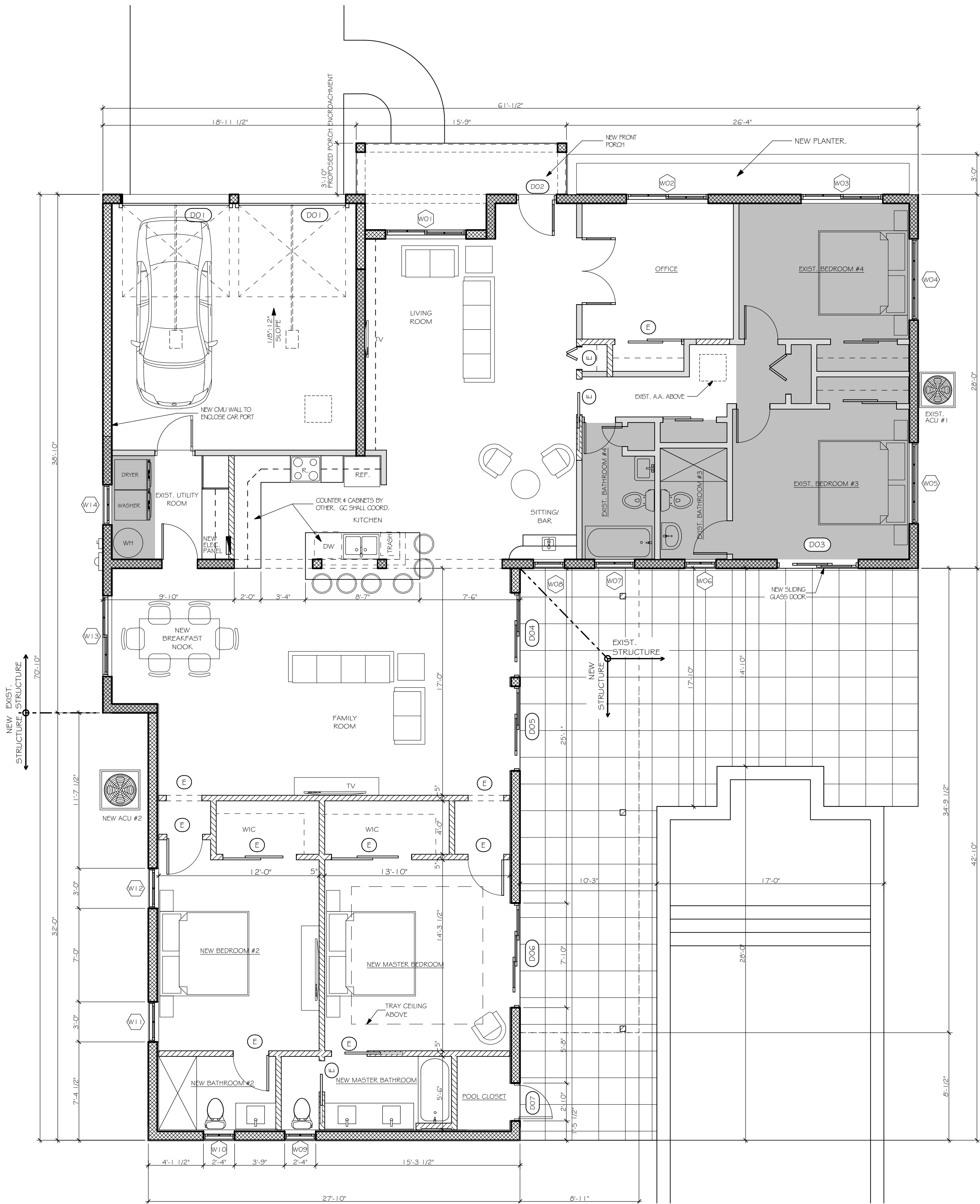
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CHECKED BY: S.S.
REVISIONS:
5PA (1.1, 1.2, 2.0)
5PA (1.1, 1.8, 2.1)

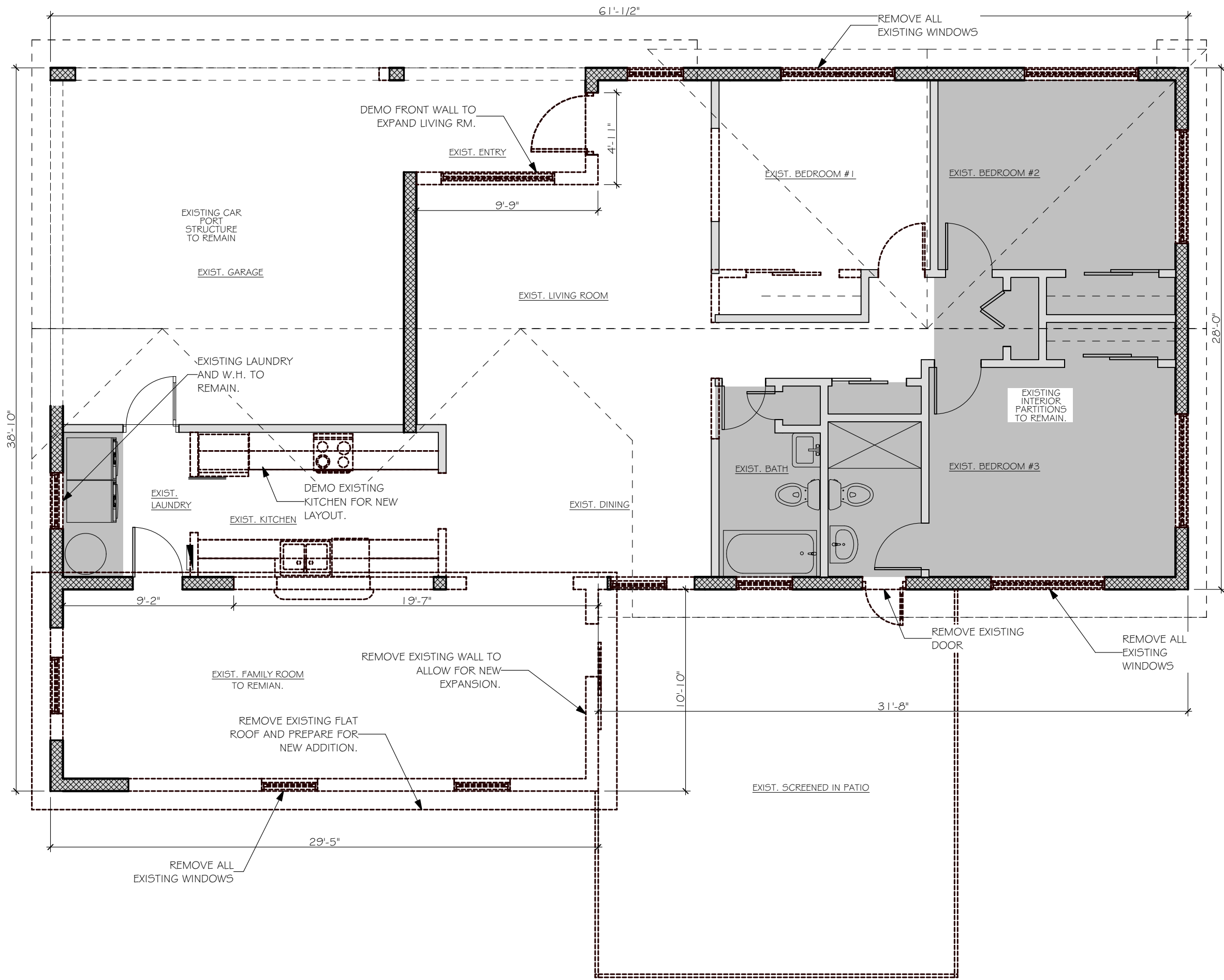
SITE PLAN & TABULAR
DATA
SP1.1



PROPOSED FLOOR PLAN

SCALE: 3/16" = 1'-0"

WALL LEGEND	
	EXISTING EXTERIOR WALL
	EXISTING INTERIOR WALL
	NEW EXTERIOR WALL
	NEW INTERIOR WALL



DEMO FLOOR PLAN

SCALE: 3/16" = 1'-0"

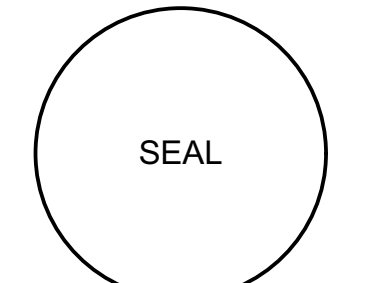
DOOR SCHEDULE:										
ID	W	HT	THK	MATERIAL	REQUIRED PRESSURES (PSF)	APPROVED PRESSURES (PSF)	PRODUCT APPROVAL	TYPE	HRDWR GROUP	COMMENTS
DO1	8'-0"	7'-0"	1-3/8"	F.G.	PER NOA	PER NOA	BY GC		S	SEE NOTES
DO2	2'-8"	6'-8"	1-3/8"	F.G.	PER NOA	PER NOA	BY GC		S	SEE NOTES
DO3	5'-9"	6'-8"	1-3/8"	ALUM.	PER NOA	PER NOA	BY GC		S	SEE NOTES
DO4	6'-0"	8'-0"	1-3/8"	ALUM.	PER NOA	PER NOA	BY GC		S	SEE NOTES
DO5	6'-0"	8'-0"	1-3/8"	ALUM.	PER NOA	PER NOA	BY GC		S	SEE NOTES
DO6	7'-6"	8'-0"	1-3/8"	ALUM.	PER NOA	PER NOA	BY GC		S	SEE NOTES
DO7	2'-6"	6'-8"	1-3/8"	F.G.	PER NOA	PER NOA	BY GC		S	SEE NOTES

WINDOW SCHEDULE:										
ID	W	HT	REQUIRED PRESSURES	APPROVED PRESSURES	PRODUCT APPROVAL	MULLION BARS	TYPE	MATERIAL	COLOR	COMMENTS
WO1	6'-0"	5'-0"	PER NOA	PER NOA	BY GC	SEE ELEV.	IMPACT	Aluminum	WHT.	SEE NOTES
WO2	6'-1"	4'-0"	PER NOA	PER NOA	BY GC	SEE ELEV.	IMPACT	Aluminum	WHT.	SEE NOTES
WO3	6'-1"	4'-0"	PER NOA	PER NOA	BY GC	SEE ELEV.	IMPACT	Aluminum	WHT.	SEE NOTES
WO4	6'-1"	3'-2"	PER NOA	PER NOA	BY GC	SEE ELEV.	IMPACT	Aluminum	WHT.	SEE NOTES
WO5	6'-1"	3'-2"	PER NOA	PER NOA	BY GC	SEE ELEV.	IMPACT	Aluminum	WHT.	SEE NOTES
WO6	2'-4"	2'-0"	PER NOA	PER NOA	BY GC	SEE ELEV.	IMPACT	Aluminum	WHT.	SEE NOTES
WO7	3'-0"	3'-1"	PER NOA	PER NOA	BY GC	SEE ELEV.	IMPACT	Aluminum	WHT.	SEE NOTES
WO8	2'-4"	3'-2"	PER NOA	PER NOA	BY GC	SEE ELEV.	IMPACT	Aluminum	WHT.	SEE NOTES
WO9	2'-4"	2'-4"	PER NOA	PER NOA	BY GC	SEE ELEV.	IMPACT	Aluminum	WHT.	SEE NOTES
WO10	2'-4"	2'-4"	PER NOA	PER NOA	BY GC	SEE ELEV.	IMPACT	Aluminum	WHT.	SEE NOTES
WO11	3'-0"	4'-0"	PER NOA	PER NOA	BY GC	SEE ELEV.	IMPACT	Aluminum	WHT.	SEE NOTES
WO12	3'-0"	4'-0"	PER NOA	PER NOA	BY GC	SEE ELEV.	IMPACT	Aluminum	WHT.	SEE NOTES
WO13	6'-0"	5'-0"	PER NOA	PER NOA	BY GC	SEE ELEV.	IMPACT	Aluminum	WHT.	SEE NOTES
WO14	3'-0"	3'-1"	PER NOA	PER NOA	BY GC	SEE ELEV.	IMPACT	Aluminum	WHT.	SEE NOTES

- DOORS AND WINDOWS NOTES:
- GC SHALL COORDINATE OPENINGS W/ DOOR OR WINDOW MANUFACTURER.
 - ALL GLAZED GLASS TO BE, CLEAR, NON-REFLECTIVE
 - ALL NEW WINDOWS & DOORS SHALL BE IMPACT RATED, ALUM.



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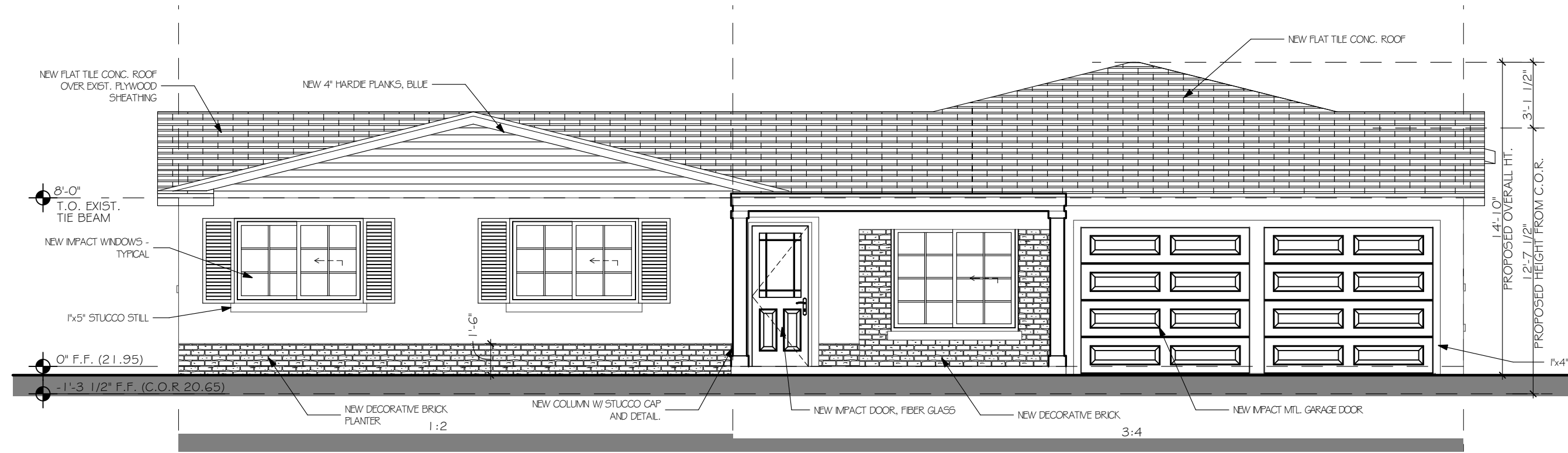
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CHECKED BY: S.S.
REVISIONS:
1 SPA (1.1, 1.2, 2.0)
2 SPA (1.1, 1.8, 2.1)

PROPOSED FLOOR PLAN

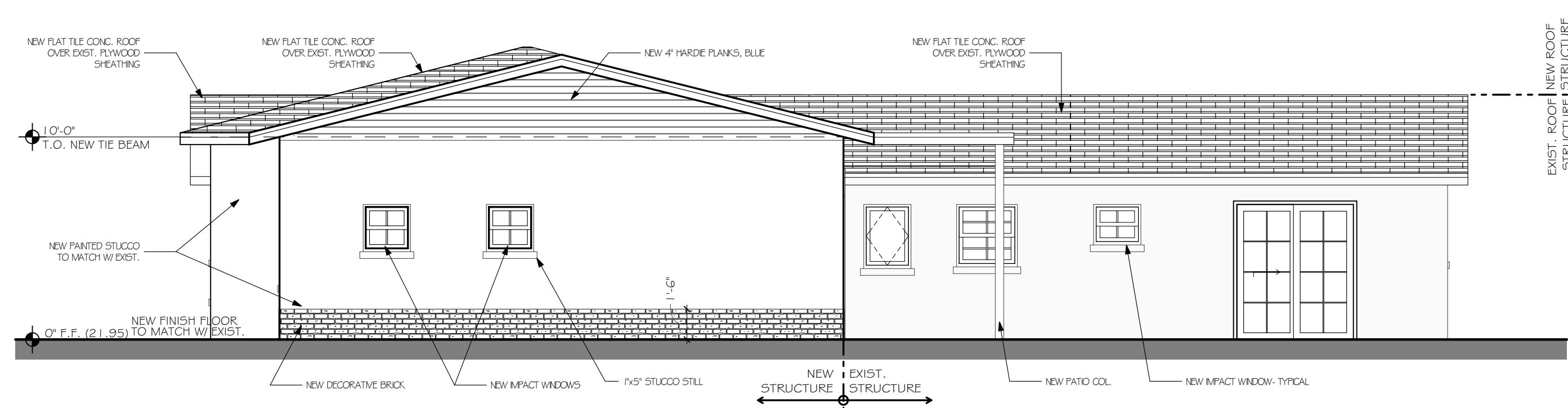
A1.1

Volumes/SSA Projects/Active Projects/20-276 18 NE 7st. Delray (Gilbert)/20-276 18 NE 7st. (Gilbert FINAL SPA).pin



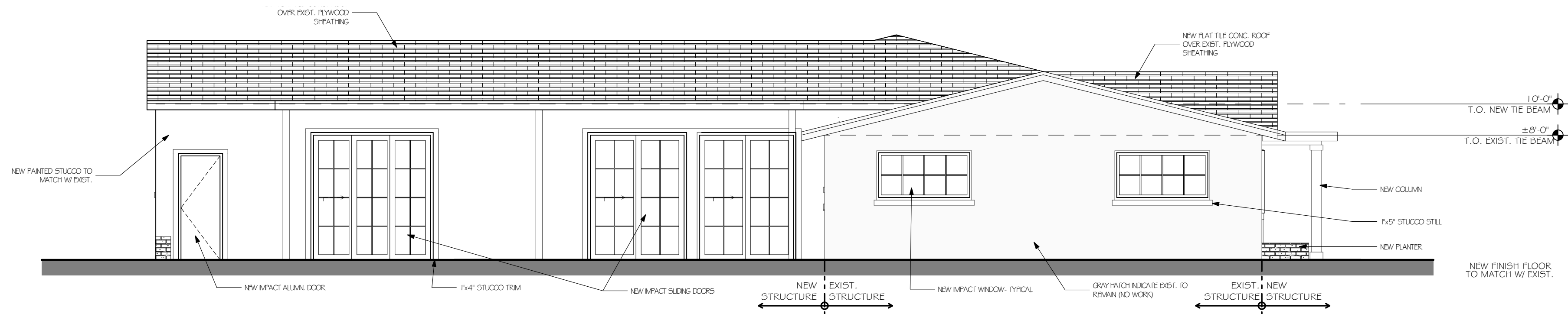
NORTH ELEVATION

SCALE: 3/16" = 1'-0"



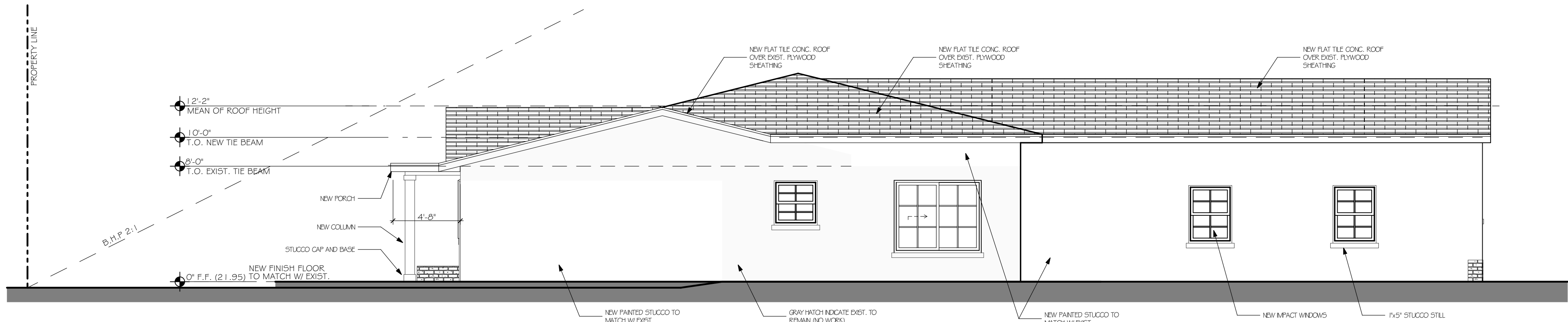
SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



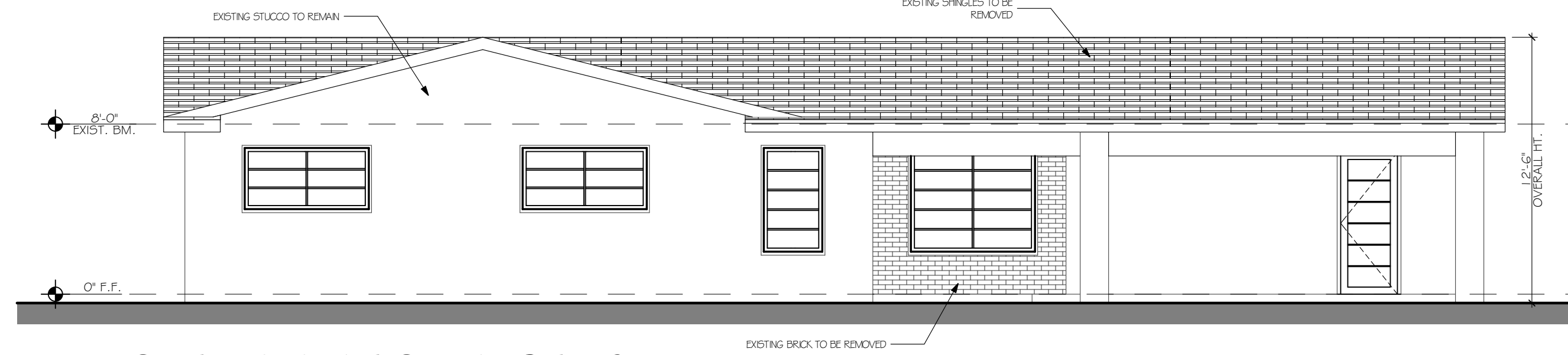
EAST ELEVATION

SCALE: 3/16" = 1'-0"



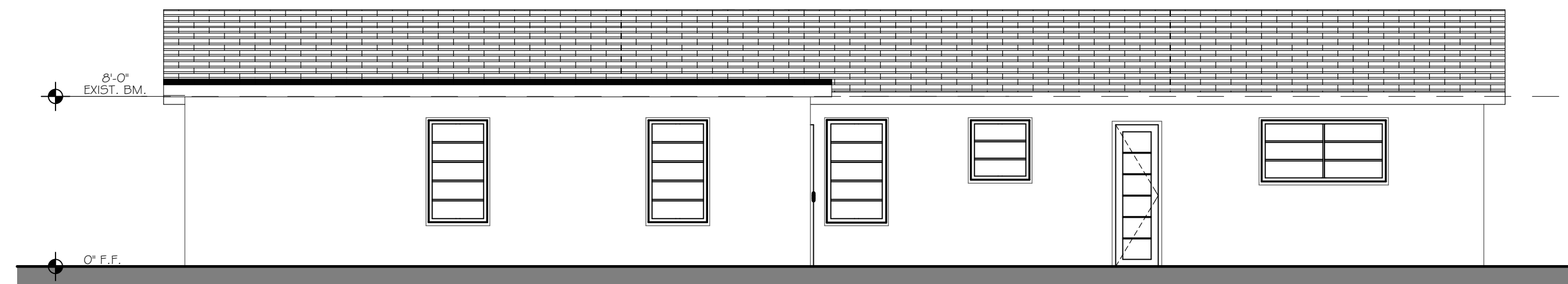
WEST ELEVATION

SCALE: 3/16" = 1'-0"



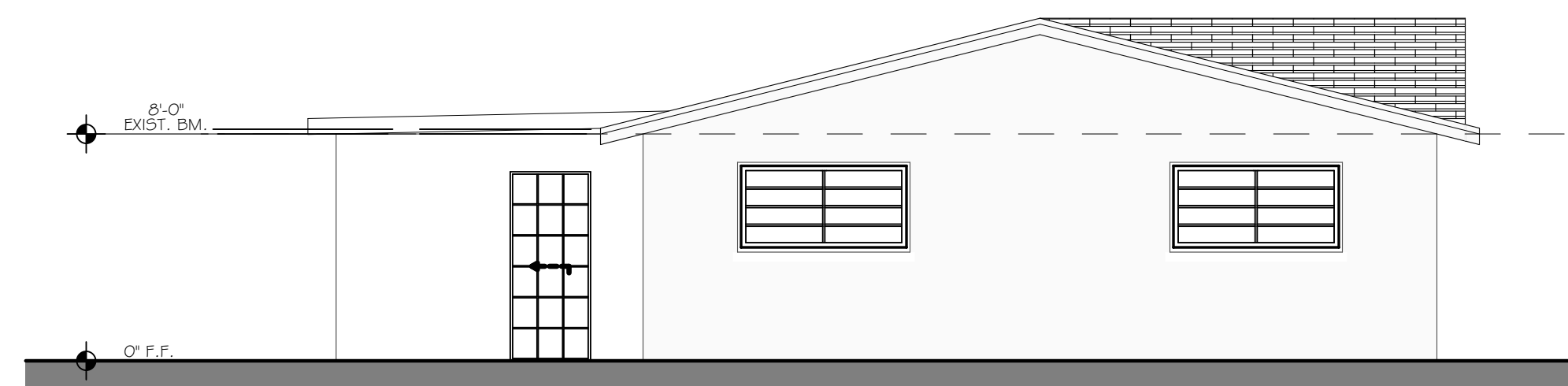
NORTH ELEVATION EXISTING

SCALE: 3/16" = 1'-0"



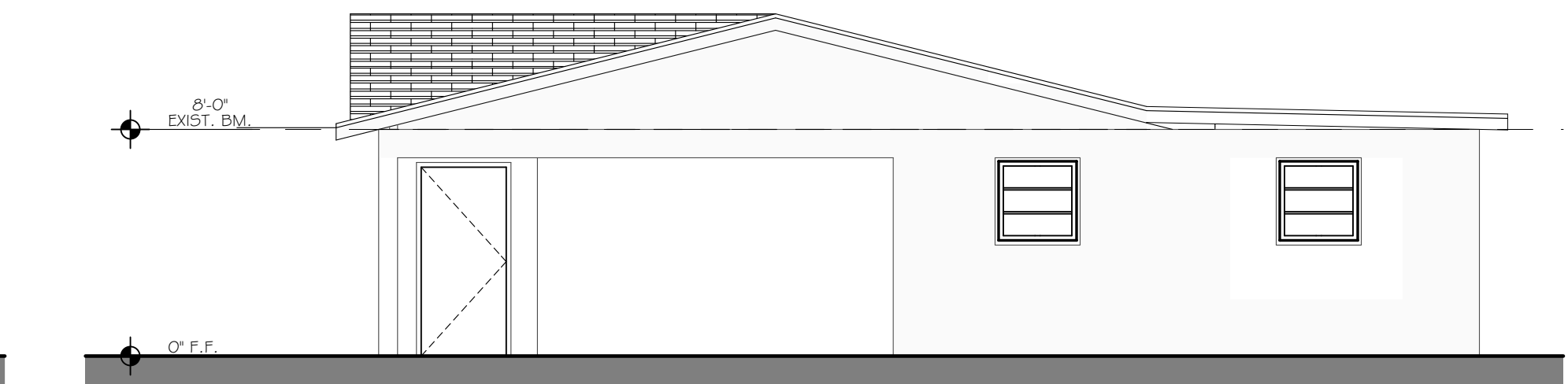
SOUTH ELEVATION EXISTING

SCALE: 3/16" = 1'-0"



EAST ELEVATION EXISTING

SCALE: 3/16" = 1'-0"



WEST ELEVATION EXISTING

SCALE: 3/16" = 1'-0"

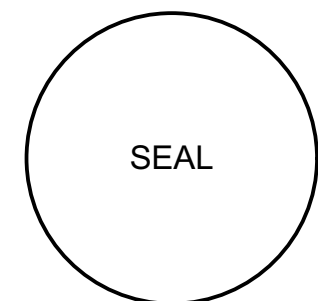
LDR 4.5.1 (E)(7) NOTES:

REFER TO JUSTIFICATION LETTER FOR LDR REQUIREMENTS.



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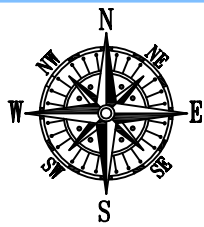
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2 SPA (1.1, 1.2, 2.1)

EXTERIOR ELEVATIONS

A4.1

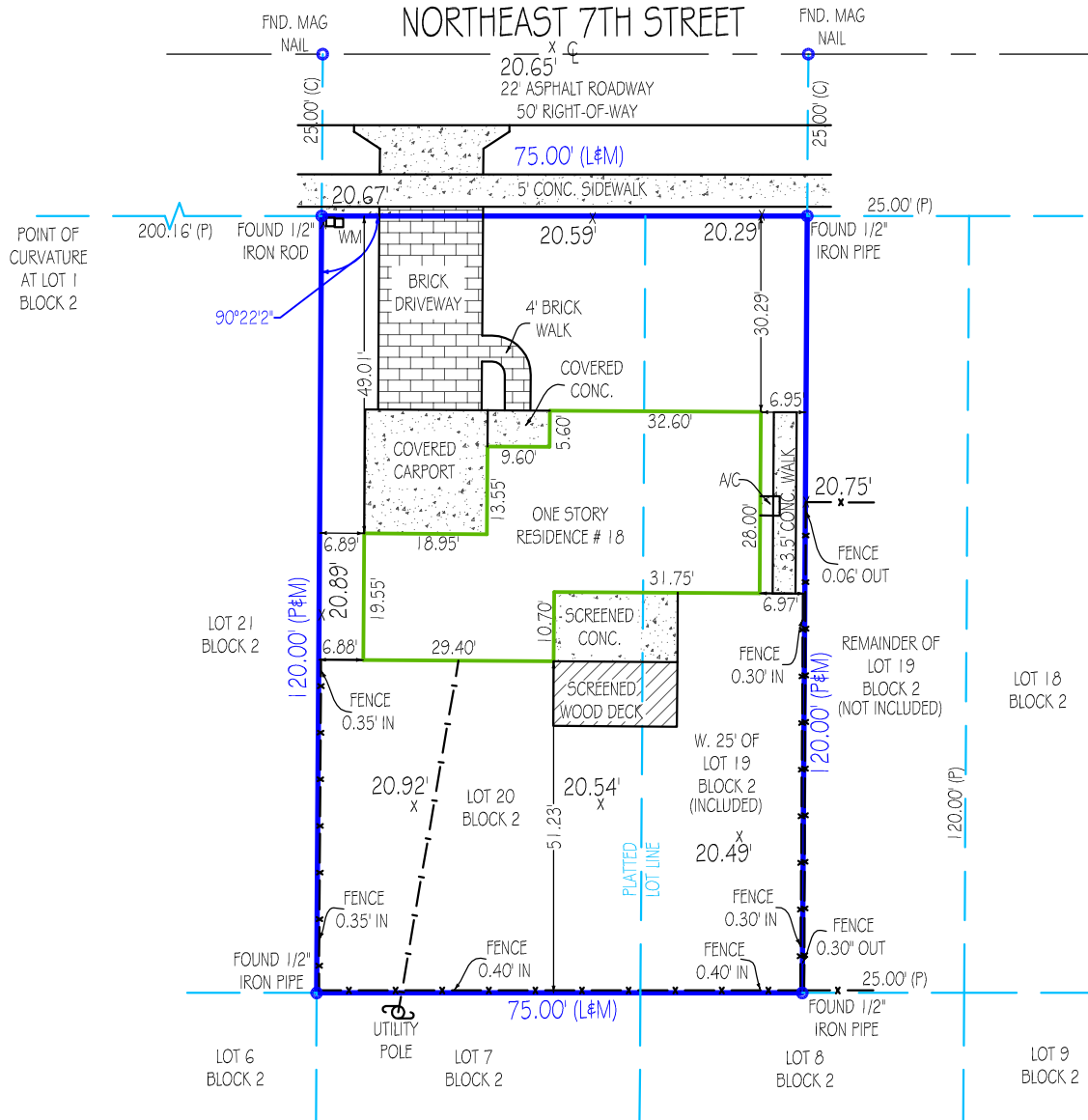


SCALE: 1"=30'

BEARING REFERENCE:
NONE. RECORD INFORMATION LACKS ANGULAR DATA.
ALL ANGULAR DATA SHOWN BASED UPON FIELD OBSERVATION ONLY.



AERIAL PHOTOGRAPH
(MAY NOT SHOW LATEST IMPROVEMENTS)
(NOT-TO-SCALE)



FOR CONSTRUCTION PURPOSES
BENCHMARK: PBCBM "SWINTEEN"
ELEVATION = 22.28'

N.G.V.D. 1929

Platted Easements, Notable or Adverse Conditions (unplatted easements also listed if provided by client): IF APPLICABLE, RECIPIENTS OF THIS SURVEY SHOULD REVIEW THE POSITION OF ANY FENCE LINES SHOWN HEREON AND THEIR RELATIONSHIP TO THE BOUNDARY LINE

This survey has been issued by the following Landtec Surveying office:
481 E. Hillsboro Blvd. Ste 100-A
Deerfield Beach, FL 33441
Office: (561) 367-3587 Fax: (561) 465-3145
www.LandtecSurvey.com

LB # 8007

PLEASE NOTE:
SUBJECT PROPERTY IS SERVICED BY PUBLIC UTILITIES.
NO APPROVAL FOR CONSTRUCTION HAS BEEN MADE BY THIS OFFICE.

Job Number : 102716-SE

Rev.:

Drawn By : G.S.

Rev.:

Date of Field Work : 04/03/2020

Rev.:

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SURVEYING
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... measurably better!