



*Development Services Department*

**BOARD ACTION REPORT – APPEALABLE ITEM**

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**Project Name:** The George

**Project Location:** 655 George Bush Blvd

**Request:** Class V Site Plan Modification

**Board:** Site Plan Review and Appearance Board

**Meeting Date:** January 13, 2021

**Board Vote:** Approved on a 5-2 vote

**Board Action:**

Approved (5 to 2), the Class V (2020-183) Site Plan, Landscape Plan, and Architectural Elevations for The George located at 655 George Bush Boulevard as amended, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.

**Project Description:**

The subject site is a 0.32-acre property with Palm Beach County parcel control number 12-43-46-09-16-002-0100, located at 655 George Bush Blvd. The subject site is zoned General Commercial (GC). The request before the Site Plan Review and Board (SPRAB) was for a Class V Site Plan (2020-183), Landscape Plan, and Architectural Elevations associated with the construction of an 18,387 gross square foot, four-story mixed-use residential/office building.

**Board Comments:**

Comments from the board members included concerns about the small size of interior landscape islands, the architectural appearance, environmental issues, roof, building separation, and access to the neighboring building on the east (Sail Inn 657 George Bush Blvd).

**Public Comments:**

A letter was provided to the board by Carney Stanton PL, an attorney on behalf of the owner of The Sail Inn, with several comments regarding the project (see attached). The comments included concerns about the proposed project's impact on their property regarding environmental issues, construction, access, and a request for an easement along the west property line from the applicant to facilitate maintenance.

**Associated Actions:**

Prior to the board making the final motion on the item, the agent of the applicant (Richard Jones Architecture) requested that the board provide a brief recess so they can contact their client regarding the easement request from the neighboring property. The board motioned and provided a 10-minute recess. Once the meeting reconvened, the agent stated that they spoke with their client and they would be willing to work with their neighbor to provide the easement.

**Next Action:**

The SPRAB action is final unless appealed by the City Commission.









project:  
**the george**  
 corner of george bush  
 blvd & ne 7th ave  
 delray beach, fl

dave bodker  
 landscape architecture/planning llc  
 601 n. congress ave., suite 105-s  
 delray beach, florida 33445  
 561-278-6311  
 #A2000999

sheet title:  
**illustrative  
 plan**

project number:  
 520  
 date: 8/2/2020  
 scale: 1" = 10'  
 drawn by: ill

revisions:  
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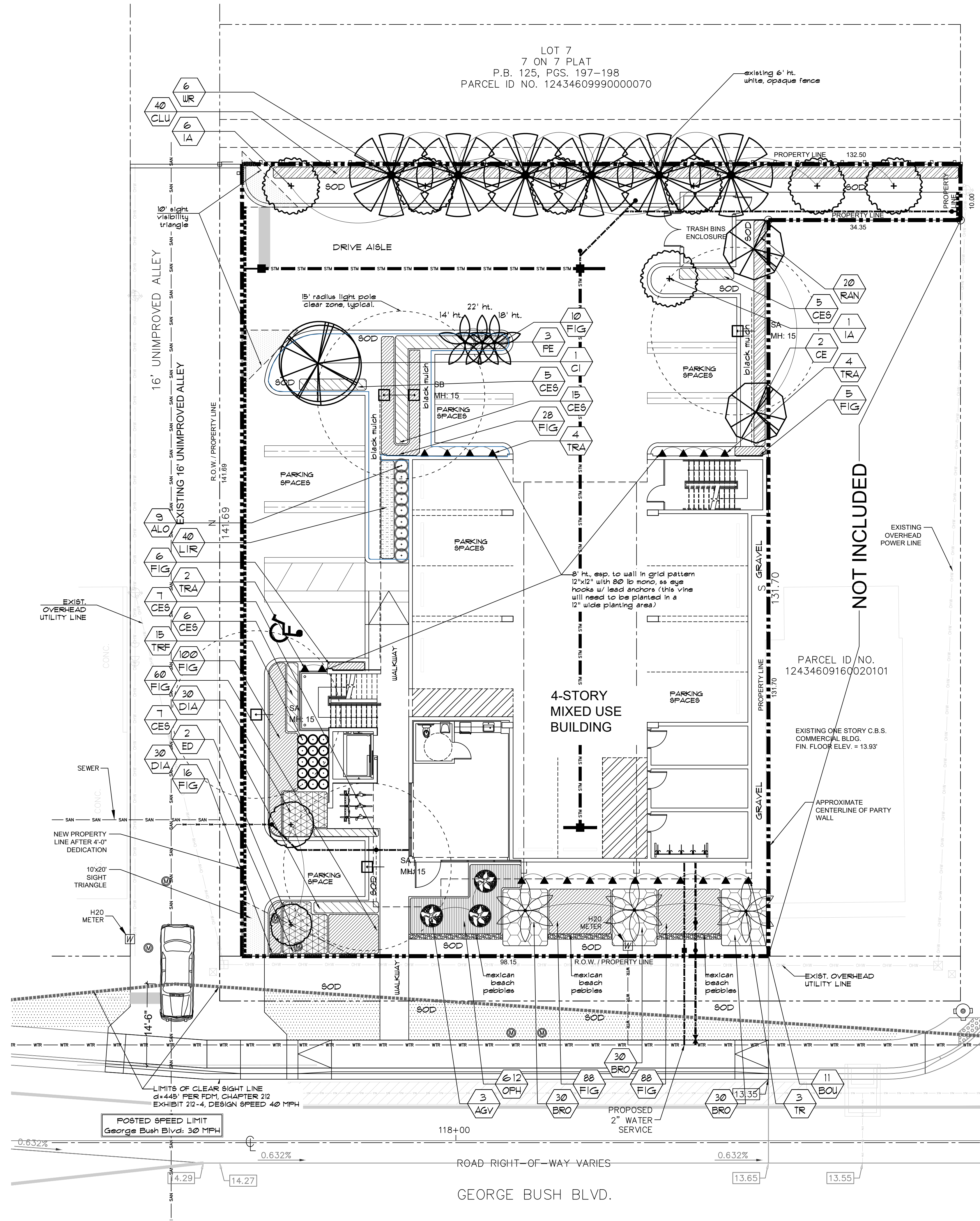
sheet:  
**IL-1**  
 1 of 1 sheets











## CODE DATA

multiple family, commercial, & industrial

A	TOTAL LOT AREA		14,250 S.F.
B	STRUCTURES, PARKING, WALKWAYS, DRIVES, ETC.		10,154 S.F.
C	TOTAL PERVIOUS LOT AREA	$C = (A - B)$	3,496 S.F.
D	AREA OF SHRUBS AND GROUND COVERS REQUIRED	$D = (C \times 30)$	1,049 S.F.
E	AREA OF SHRUBS AND GROUND COVERS PROVIDED		1,186 S.F.
F	NATIVE VEGETATION REQUIRED	$F = (D \times 25)$	263 S.F.
G	NATIVE VEGETATION PROVIDED		480 S.F.
H	TOTAL PAVED VEHICULAR USE AREA		10,481 S.F.
I	TOTAL INTERIOR LANDSCAPE AREA REQUIRED	$I = (H \times 10)$	1,049 S.F.
J	TOTAL INTERIOR LANDSCAPE AREA PROVIDED		1,683 S.F.
K	TOTAL INTERIOR SHADE TREES REQUIRED	$K = (I/125 \text{ S.F.})$	8 TREES
L	TOTAL INTERIOR SHADE TREES PROVIDED		5 TREES
M	TOTAL LINEAR FEET SURROUNDING PARKING OR VEHICULAR USE AREAS		182 L.F.
N	TOTAL NUMBER OF PERIMETER TREES REQUIRED	$N = (M/20)$ $N = (M/25)$ IF ADJACENT TO PROPERTY IN RESIDENTIAL USE	8 TREES
O	TOTAL NUMBER OF PERIMETER TREES PROVIDED		11 TREES
P	TOTAL NUMBER OF EXISTING TREES TO BE SAVED ON SITE		0 TREES
Q	TOTAL NUMBER OF NATIVE TREES REQUIRED	$Q = ((K + N) \times 50)$	9 TREES
R	TOTAL NUMBER OF NATIVE TREES PROVIDED		10 TREES
S	TOTAL NUMBER OF TREES ON PLAN PROVIDED		16 TREES

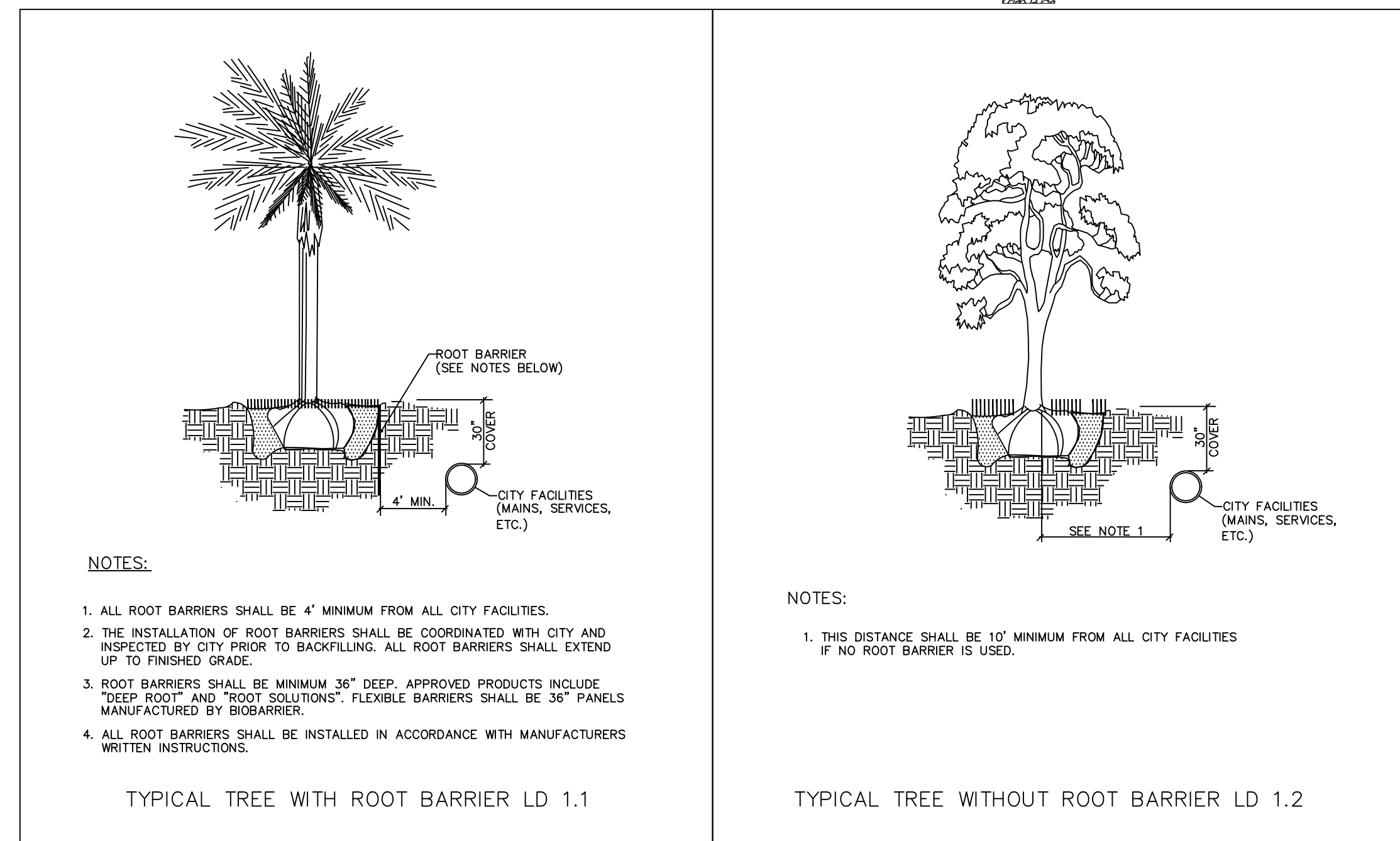
- ALL PLANT MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER.
- MULCH SHALL BE APPLIED TO A MINIMUM DEPTH OF THREE (3) INCHES IN ALL PLANTING BEDS.
- ALL PROHIBITED PLANT SPECIES SHALL BE ERADICATED FROM THE SITE.
- ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM, AUTOMATICALLY OPERATED, TO PROVIDE COMPLETE COVERAGE TO ALL PLANT MATERIALS AND GRASS.
- SOD AND IRRIGATION SHALL BE PROVIDED WITHIN THE UNPAVED PORTION OF THE RIGHT-OF-WAY ADJACENT TO THE PROPERTY LINE.
- THREE (3) PALMS ARE EQUIVALENT TO ONE (1) SHADE TREE.
- ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS: LD 11 & LD 12.

NOTE:  
ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS LD 11 AND LD 12.

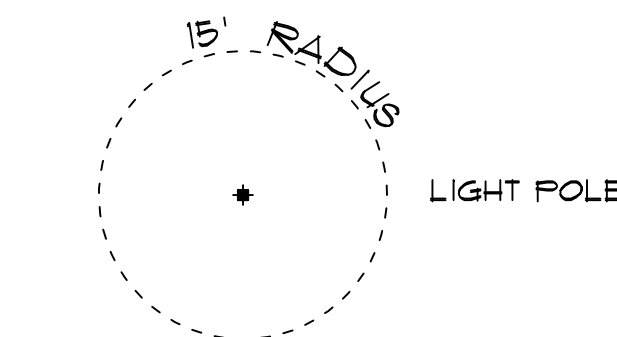
THE AREA BETWEEN THE PROPERTY LINE / ROW LINE AND THE EDGE OF PAVEMENT OF CITY STREETS SHALL BE SODDED OR LANDSCAPED WITH A GROUND COVER ACCEPTABLE TO THE CITY ENGINEERING DEPARTMENT. IT IS UNDERSTOOD THAT ANY REPAIRS DUE TO CITY MAINTENANCE WILL BE REPLACED. (THE CITY WILL ONLY REPLACE WITH ST. AUGUSTINE OR BAHIA GRASS).

A COST ESTIMATE WILL BE SUBMITTED AT THE TIME OF THE BUILDING PERMIT APPLICATION.

AN IRRIGATION PLAN WILL BE SUBMITTED AT THE TIME OF THE BUILDING PERMIT APPLICATION.



## LEGEND



## PLANT LIST

SYM	BOTANICAL/COMMON NAME	SPECIFICATIONS	QTY	NATIVE
CE	Conocarpus erectus Green Buttonwood	16' ht. x 1' spr., 3" cal., 8' c.t.	2	x
CI	Calophyllum inophyllum Brazilian Beauty Leaf	16' ht. x 1' spr., 3" cal., 8' c.t.	1	
ED	Elaeocarpus decipiens Japanese Blueberry	16' ht. x 5' spr., 3" cal., 8' c.t., pyramidal	2	
IA	Ilex attenuata East Palatka Holly	16' ht. x 5' spr., 3" cal., 8' c.t.	7	x
FE	Ftychosperma elegans Solitaire Palm	o.s. ht. as noted on plan	3	
TR	Trinax radiata Thatch Palms	22' o.s. ht. matched, specimens	3	x
WR	Washingtonia robusta Washington Palm	33' o.s. ht.	6	
AGV	Agave 'Blue Glow' Blue Glow Agave	3' ht. x 3' apr.,	3	
ALO	Alocasia odora 'California' Dwarf Elephant Ear	36" ht. x 36" apr., 24" o.c.	9	
BOU	Bougainvillea 'purple' Purple bougainvillea	8' runners, esp. to metal grid	11	
BRO	Bromeliad 'Jeffrey Block' Bromeliads	18" ht. x 18" apr., 18" o.c.	30	
CES	Conocarpus erectus 'sericeus' Silver Buttonwood	36" ht. x 24" apr., 24" o.c.	45	x
CLU	Clusia guttifera Small Leaf Clusia	4 1/2' ht. x 3' spr., 3" o.c.	40	
DIA	Dianella tasmanica Blueberry Flax Lily	18" ht. x 18" apr., 18" o.c.	60	
FIG	Ficus microcarpa Green Island	10" ht. x 10" apr., 12" o.c.	401	
LIR	Liriope 'evergreen giant' Giant Liriope	10" ht. x 10" apr., 12" o.c.	40	
OPH	Ophiopogon japonicus Mondo Grass	4" ht. x 4" apr., 6" o.c.	612	
RAN	Randia aculeata White Indigo Berry	24" ht. x 18" apr., 24" o.c.	20	x
TRA	Trachelospermum jasminoides Confederate Jasmine	8' ht., esp. to wall in grid pattern 12"x12" with 20 lb mono, as eye hooks w/ lead anchors (this vine will need to be planted in a 12" wide planting area)	10	
TRF	Tripsacum floridanum Dwarf Fakahatchee Grass	18" ht. x 18" apr., 24" o.c.	15	x
SOD	Stenotaphrum secundatum St. Augustine Sod	full, fresh sod	as req'd	
	Mexican Beach Pebbles	3" dia., 3" layer	as req'd	

project:  
**the george**  
corner of george bush  
blvd & ne 7th ave  
delray beach, fl

dave bodker  
landscape architecture/planning inc.

601 n. congress ave., suite 105-a  
delray beach, florida 33445  
561-276-6311

#LA0000999

sheet title:

**planting  
plan**

project number:

520

date: 05/11/2020

scale: 1" = 10'

drawn by: st

revisions:

- 7/28/20 city comments
- 11/23/20 city comments

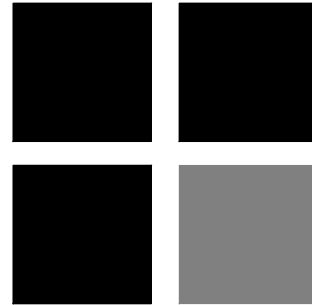
sheet:

**L-2**

2 of 3 sheets



RICHARD JONES



ARCHITECTURE

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DELRAY BEACH, FLORIDA 33444  
V 561.274.9186 | F 561.274.9196  
AA26001617 | IB26001056

WWW.RJARCHITECTURE.COM

the GEORGE  
DELRAY BEACH, FLORIDA

MARC JULIEN HOMES  
755 NW 17TH AVE, SUITE 107  
DELRAY BEACH, FL 33445

FLORIDA LICENSURE

AA26001617 | IB26001056

COMMISSION # 19-044  
DESIGNER: RJ  
DRAWN BY: JH/RB  
PLAN REVIEW: RJ

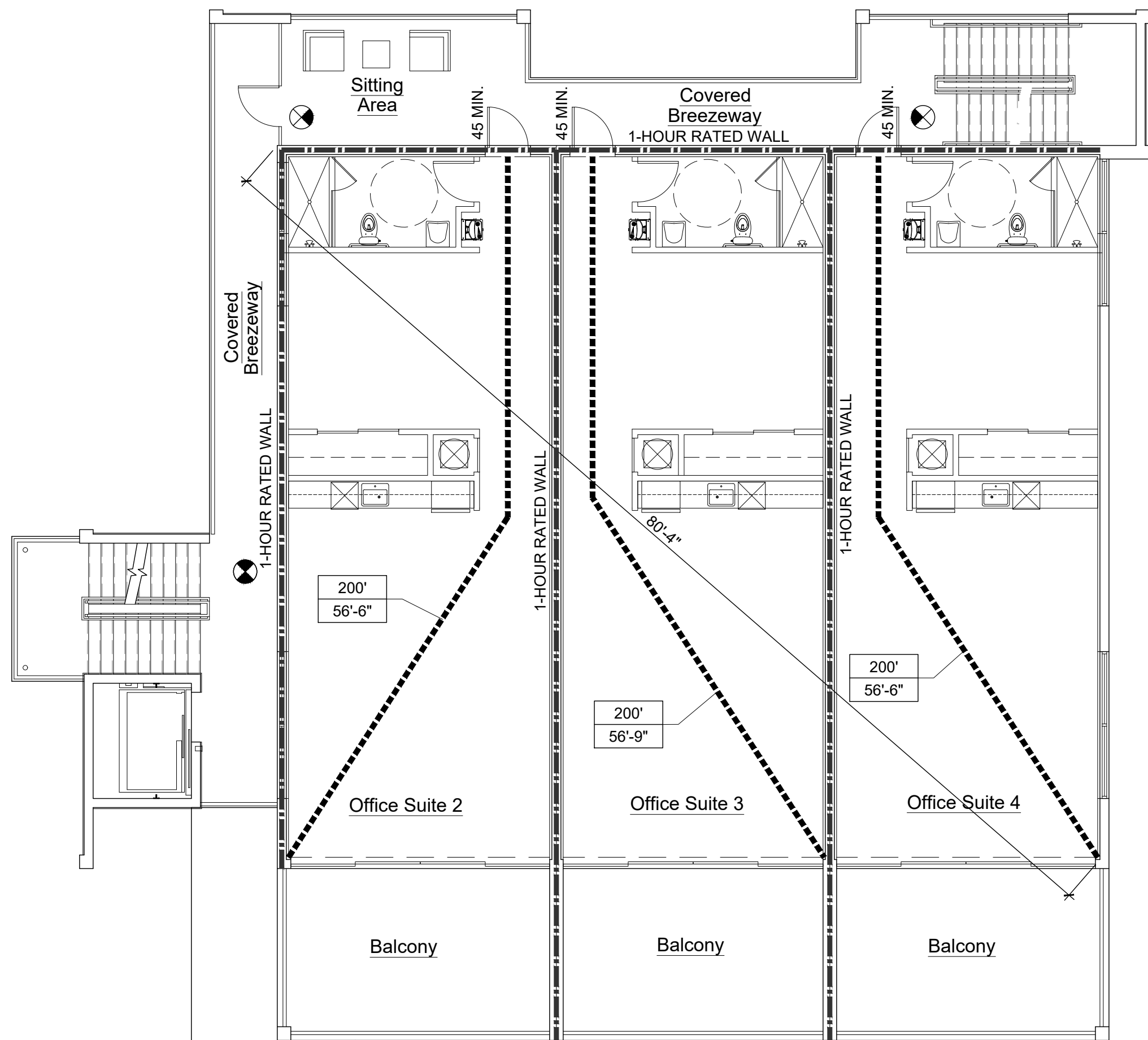
SUBMITTALS:  
CLASS-5  
SUBMITTAL: 05.11.20

REVISIONS:  
1 TAC COMMENTS: 08.19.20  
2 TAC COMMENTS: 10.09.20  
3 TAC COMMENTS: 11.17.20

LIFE SAFETY  
GROUND &  
SECOND  
FLOOR PLAN

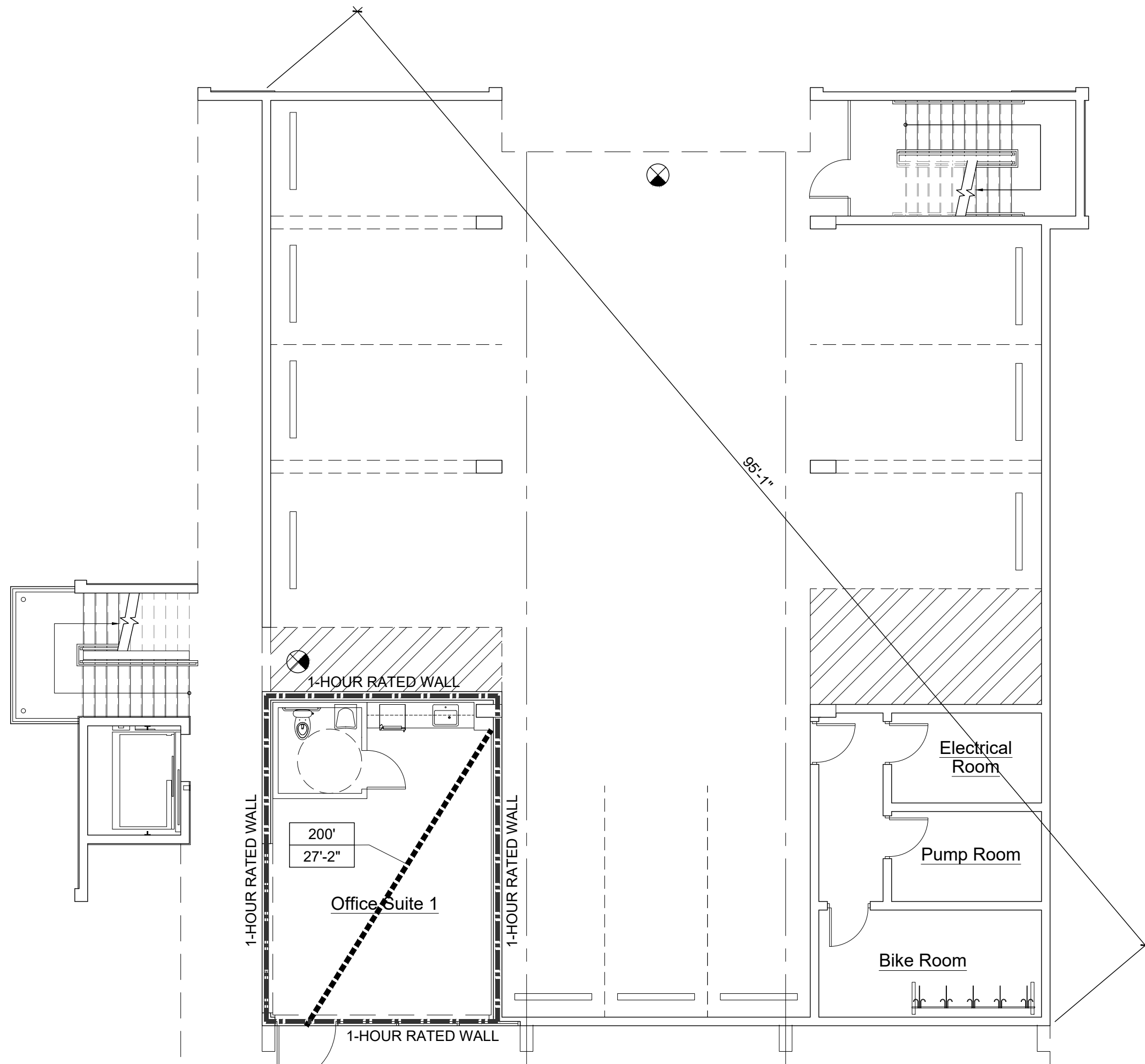
LS-1

RICHARD JONES ARCHITECTURE



Second Floor Plan

Scale: 1/8"=1'-0"



Ground Floor Plan

Scale: 1/8"=1'-0"

## LIFE SAFETY LEGEND

WALLS / PARTITIONS / DOORS		EGRESS						FIRE ALARM & PROTECTION				FIRE EXTINGUISHERS		SIGNAGE			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	1 HR FIRE RATED SEPARATION: ALL DOORS AND PENETRATIONS HORIZONTALLY THRU SEPARATION SHALL HAVE A 20-MINUTE FIRE RESISTANCE RATING AT CORRIDOR PARTITIONS AND A 45-MINUTE FIRE RESISTANCE RATING AT OTHER LOCATIONS		EXIT TAG		SECONDARY MEANS OF EGRESS, IF REQUIRED		EXIT SIGN & EMERGENCY LIGHT FIXTURE, COMBINATION W/ 90 MINUTE BATTERY PACK		EMERGENCY LIGHT FIXTURE W/ 90 MINUTE BATTERY PACK		SIGNALING HORN (TV) WITH VISUAL SIGNAL (STROBE, 75CD UNLESS NOTED)		CLASS A: PROVIDE ONE FIRE EXTINGUISHER PER NFPA 10 FOR EACH 3,000 SQ. FT. OF BUILDING WITH A 75'-0" MAX. TRAVEL DISTANCE. F.E. RATING: 2A		EVACUATION GRAPHIC DIAGRAM OF EGRESS ROUTES FROM SPACE		SIGN TO READ: "EXIT THIS LEVEL FOR TRANSFER TO SECONDARY MEANS OF EGRESS."
	2 HR FIRE RATED SEPARATION: ALL DOORS AND OPENINGS SHALL BE PROTECTED BY A 90-MINUTE FIRE-RESISTANT RATING		EGRESS WIDTH PROVIDED IN INCHES		EGRESS CAPACITY OF DOORS WIDTH (# OF OCCUPANTS)		LIGHTED EXIT SIGN - SINGLE FACED W/ 90 MINUTE BATTERY PACK		EMERGENCY LIGHT FIXTURE W/ 90 MINUTE BATTERY PACK		FIRE ALARM STROBE, MOUNTED 80" AFF. F.E. RATING: 2A		(W) DENOTES WALL HUNG (WC) DENOTES WALL HUNG CABINET (RC) DENOTES RECESSED CABINET		TACTILE EXIT SIGN, WALL-MOUNTED ADJACENT TO STAIR ENTRY DOOR ON LATCH SIDE @ 60" TO CENTERLINE OF SIGN.		MAXIMUM OCCUPANCY SIGN TO READ: "OCCUPANCY BY MORE THAN 'X' PERSONS IS DANGEROUS AND UNLAWFUL." CONFIRM WITH LOCAL JURISDICTION HAVING AUTHORITY FOR SIGNAGE REQUIREMENTS.
	3 HR FIRE RATED HAZARD AND EXIT SEPARATION: ALL DOORS AND PENETRATIONS SHALL HAVE A 180 MINUTE FIRE-RESISTANCE RATING		MAXIMUM TRAVEL DISTANCE ALLOWED		LIGHTED EXIT SIGN - DOUBLE FACED W/ 90 MINUTE BATTERY PACK		EXIT SIGN NOTE: DARKENED AREA OF EXIT SIGN INDICATES FACE OF SIGN VIEWED. EXIST SIGNS TO BE NO MORE THAN 100' APART.		EMERGENCY LIGHT FIXTURE W/ 90 MINUTE BATTERY PACK		EMERGENCY LIGHT FIXTURE W/ 90 MINUTE BATTERY PACK		"NO EXIT" SIGN, MOUNT ON DOOR @ CENTERLINE OF ACTIVE LEAF 54" A.F.F.		"NO EXIT" SIGN, MOUNT ON DOOR @ CENTERLINE OF ACTIVE LEAF 54" A.F.F.		"FIRE EXTINGUISHER INSIDE" USE SIGN ONLY WHERE FIRE EXTINGUISHER IS LOCATED WITHIN A ROOM THAT REMAINS UNLOCKED WHILE THE BUILDING IS OCCUPIED
	FIRE RATED DOORS "X" = 20 MIN. 45 MIN. 90 MIN. 180 MIN.  (REFER TO FIRE-RESISTANCE RATING OF WALL OR PARTITION.)		PATH OF TRAVEL		PRIMARY MEANS OF EGRESS (NOT SHOWN FOR SPACES WITH ONLY A PRIMARY EGRESS REQUIREMENT)		LIGHTED EXIT SIGN - SINGLE FACED W/ 90 MINUTE BATTERY PACK		LIGHTED EXIT SIGN - SINGLE FACED W/ 90 MINUTE BATTERY PACK		SMOKE DETECTOR - NON SYSTEM, 120V (PROVIDE W/ BATTERY BACKUP)		(D) DENOTES DUCT MOUNTED (C) DENOTES CEILING MOUNTED (F) DENOTES FLUSH WALL MOUNTED (WP) DENOTES WEATHERPROTECTED		FIRE EXTINGUISHER INSIDE		"FIRE EXTINGUISHER INSIDE" USE SIGN ONLY WHERE FIRE EXTINGUISHER IS LOCATED WITHIN A ROOM THAT REMAINS UNLOCKED WHILE THE BUILDING IS OCCUPIED
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## FIRE PROTECTION NOTES

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- FIRE RESISTANT ASSEMBLIES, MATERIALS, PROPERTIES AND THICKNESS REQUIRED, SHALL COMPLY WITH THOSE WHICH HAVE SUCCESSFULLY BEEN PERFORMED UNDER TESTS MADE BY A RECOGNIZED LABORATORY PER ASTM E119 OR BASED ON CALCULATIONS PERMITTED BY THE FBC AND BUILDING OFFICIAL.

- LIFE SAFETY DRAWINGS SHALL BE USED IN CONJUNCTION AND COORDINATED WITH THE FIRE ALARM, MECHANICAL, ELECTRICAL DRAWINGS WHETHER INCLUDED WITH THESE DRAWINGS OR UNDER SEPARATE PERMIT.
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- FIRE ALARM SYSTEM WITH VOICE EVAC SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 101:12.3.4

### FIRE RESISTANT MATERIAL NOTES:

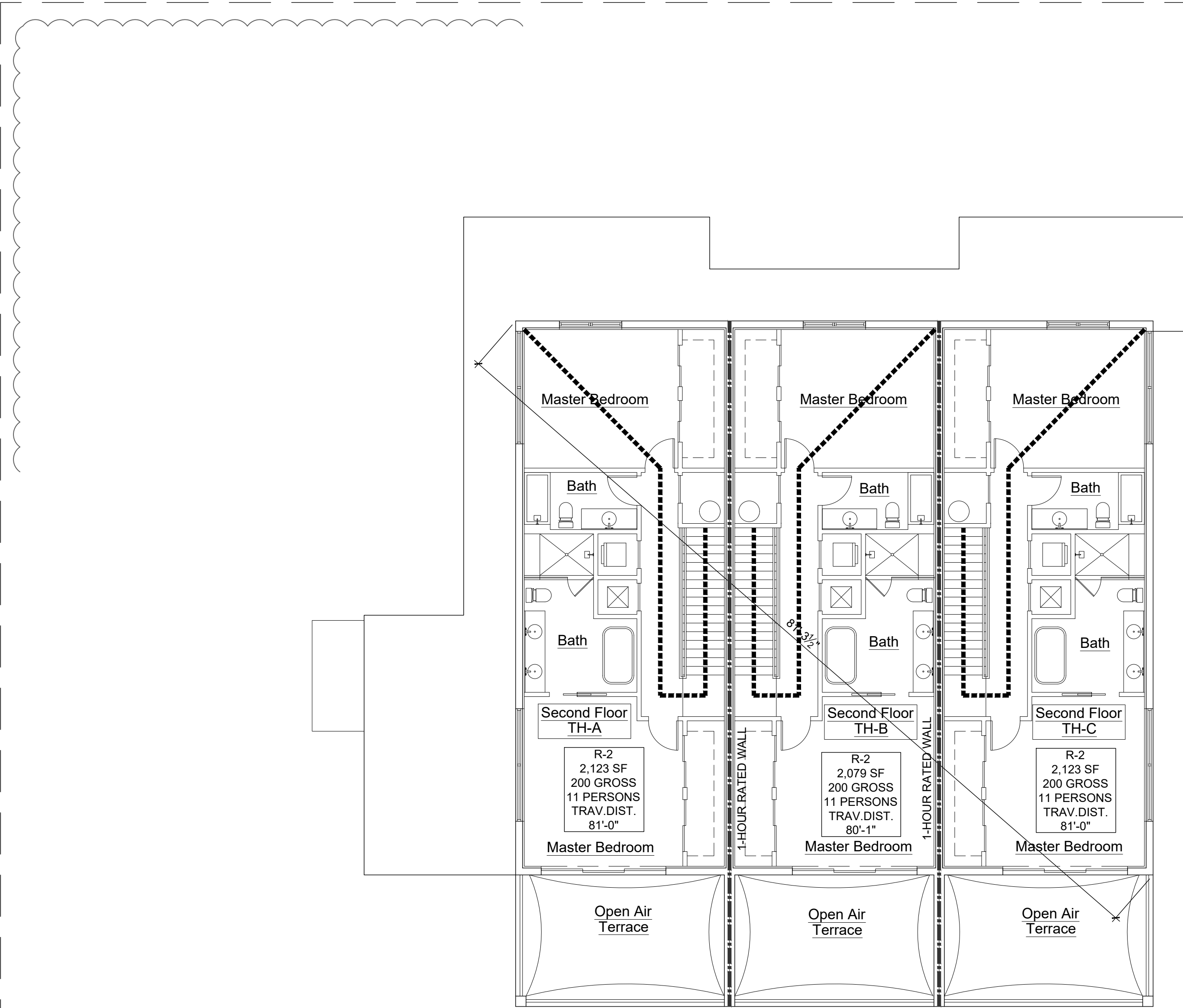
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### DOOR LOCKING DEVICES NOTE: (NFPA, FLORIDA FIRE PREVENTION CODE 2018)

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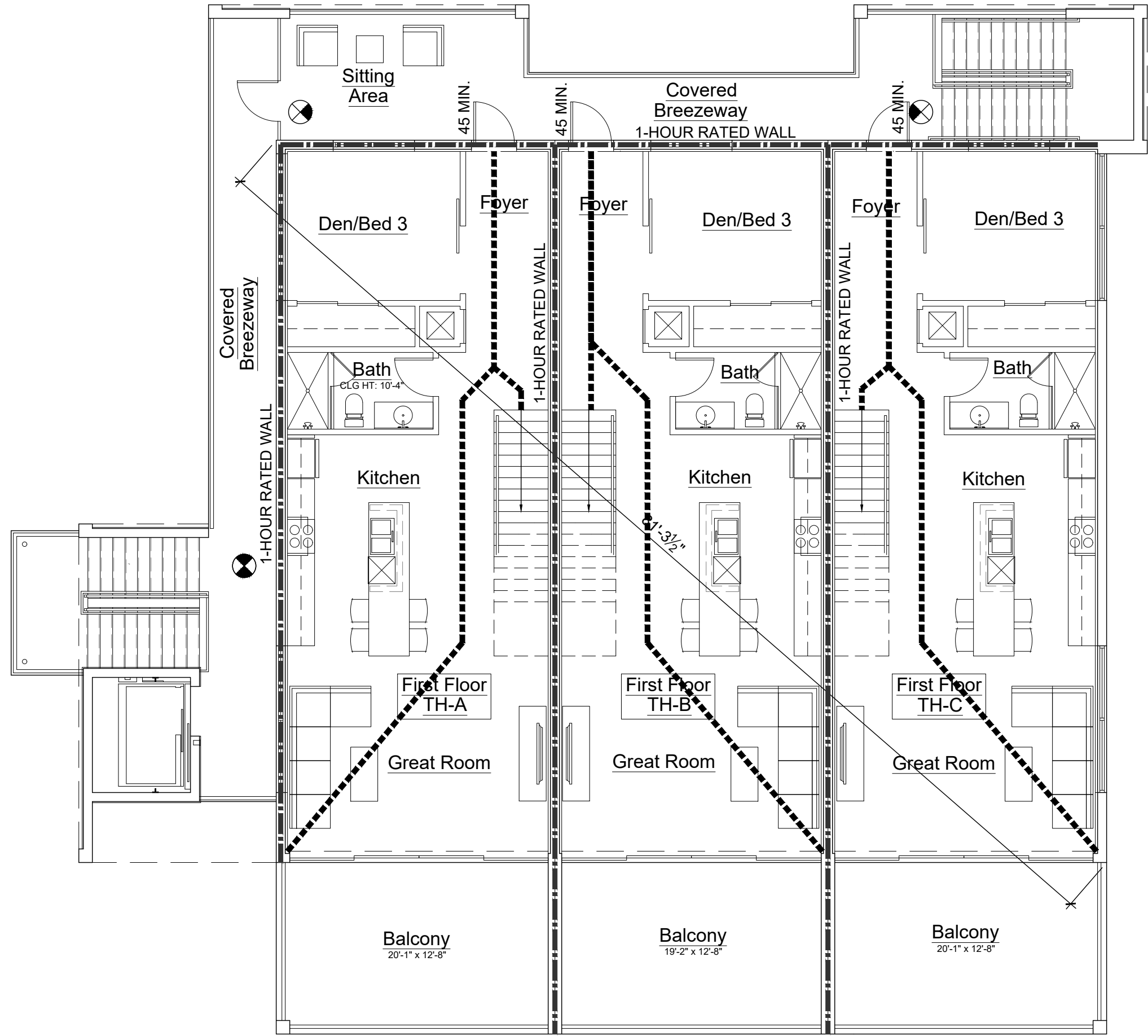
## OCCUPANT LOAD CALC.

(F.B.C. TABLE 1004.1.2)		
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OFFICE/RETAIL AREA	3,757 SQUARE FEET	38(37.57) OCCUPANTS
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TOTAL BUILDING:		73 OCCUPANTS



Fourth Floor Plan

Scale: 1/8"=1'-0"



Third Floor Plan

Scale: 1/8"=1'-0"

## LIFE SAFETY LEGEND

WALLS / PARTITIONS / DOORS		EGRESS				FIRE ALARM & PROTECTION				FIRE EXTINGUISHERS		SIGNAGE			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	1 HR FIRE RATED SEPARATION: ALL DOORS AND PENETRATIONS HORIZONTALLY THRU SEPARATION SHALL HAVE A 20-MINUTE FIRE RESISTANCE RATING AT CORRIDOR PARTITIONS AND A 45-MINUTE FIRE RESISTANCE RATING AT OTHER LOCATIONS		EXIT TAG		SECONDARY MEANS OF EGRESS, IF REQUIRED		EXIT SIGN & EMERGENCY LIGHT FIXTURE COMBINATION W/ 90 MINUTE BATTERY PACK		THERMAL DETECTOR, FIXED + RATE-OF-RISE		FIRE ALARM STROBE, MOUNTED 80" AFF		EVACUATION GRAPHIC DIAGRAM OF EGRESS ROUTES FROM SPACE		SIGN TO READ: "EXIT THIS LEVEL FOR TRANSFER TO SECONDARY MEANS OF EGRESS."
	2 HR FIRE RATED SEPARATION: ALL DOORS AND OPENINGS SHALL BE PROTECTED BY A 90 MINUTE FIRE-RESISTANT RATING.		EGRESS WIDTH PROVIDED IN INCHES		LIGHTED EXIT SIGN - SINGLE FACED W/ 90 MINUTE BATTERY PACK		EMERGENCY LIGHT FIXTURE W/ 90 MINUTE BATTERY PACK		THERMAL DETECTOR, FIXED TEMP.		MANUAL STATION		TACTILE EXIT SIGN, WALL-MOUNTED ADJACENT TO STAIR ENTRY DOOR ON LATCH SIDE @ 60" TO CENTERLINE OF SIGN.		MAXIMUM OCCUPANCY SIGN TO READ: "OCCUPANCY BY MORE THAN X PERSONS IS DANGEROUS AND UNLAWFUL." CONFIRM WITH LOCAL JURISDICTION HAVING AUTHORITY FOR SIGNAGE REQUIREMENTS.
	3 HR FIRE RATED HAZARD AND EXIT SEPARATION: ALL DOORS AND PENETRATIONS SHALL HAVE A 180 MINUTE FIRE-RESISTANCE RATING.		MAXIMUM TRAVEL DISTANCE ALLOWED		LIGHTED EXIT SIGN - DOUBLE FACED W/ 90 MINUTE BATTERY PACK		EXIT SIGN NOTE: DARKENED AREA OF EXIT SIGN INDICATES FACE OF SIGN VIEWED. EXIST SIGNS TO BE NO MORE THAN 100' APART.		SMOKE DETECTOR - NON SYSTEM, 120V (PROVIDE W/ BATTERY BACKUP)		(D) DENOTES DUCT MOUNTED (C) DENOTES CEILING MOUNTED (F) DENOTES FLUSH WALL MOUNTED (WP) DENOTES WEATHERPROTECTED		"NO EXIT" SIGN, MOUNT ON DOOR @ CENTERLINE OF ACTIVE LEAF 54" A.F.F.		ELEVATOR SIGN: "IN CASE OF FIRE, DO NOT USE ELEVATOR, USE STAIRS."
	FIRE RATED DOORS X" = 20 MIN. 45 MIN. 90 MIN. 180 MIN. (REFER TO FIRE-RESISTANCE RATING OF WALL OR PARTITION.)		DISTANCE IN FEET FROM AN OCCUPIABLE POINT 12" FROM WALL TO THE NEAREST EXIT		PATH OF TRAVEL		LIGHTED EXIT SIGN - SINGLE FACED W/ 90 MINUTE BATTERY PACK		SMOKE DETECTOR - PHOTO		FIRE EXTINGUISHER		ACCESSIBLE ROUTE SIGN (DIRECTIONAL WHERE INDICATED)		"FIRE EXTINGUISHER INSIDE" USE SIGN ONLY WHERE FIRE EXTINGUISHER IS LOCATED WITHIN A ROOM THAT REMAINS UNLOCKED WHILE THE BUILDING IS OCCUPIED
	PRIMARY MEANS OF EGRESS (NOT SHOWN FOR SPACES WITH ONLY A PRIMARY EGRESS REQUIREMENT)		LIGHTED WALL MOUNTED EXIT SIGN W/ 90 MINUTE BATTERY PACK		EXTERIOR WALL PACK EMERGENCY LIGHT										

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TOTAL BUILDING:		73 OCCUPANTS

## LIFE SAFETY THIRD & FOURTH FLOOR PLAN

LS-2



10 S.E. FIRST AVENUE | SUITE 102  
DELRAY BEACH, FLORIDA 33444  
V 561.274.9186 | F 561.274.9196  
AA26001617 | IB26001056

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the GEORGE  
DELRAY BEACH, FLORIDA

MARC JULIEN HOMES  
755 NW 17TH AVE, SUITE 107  
DELRAY BEACH, FL 33445

FLORIDA LICENSURE

AA26001617 | IB26001056

COMMISSION # 19-044  
DESIGNER: RJ  
DRAWN BY: JH/RB  
PLAN REVIEW: RJ

SUBMITTALS:  
CLASS-5  
SUBMITTAL: 05.11.20

REVISIONS:  
1 TAC COMMENTS: 08.19.20  
2 TAC COMMENTS: 10.09.20  
3 TAC COMMENTS: 11.17.20



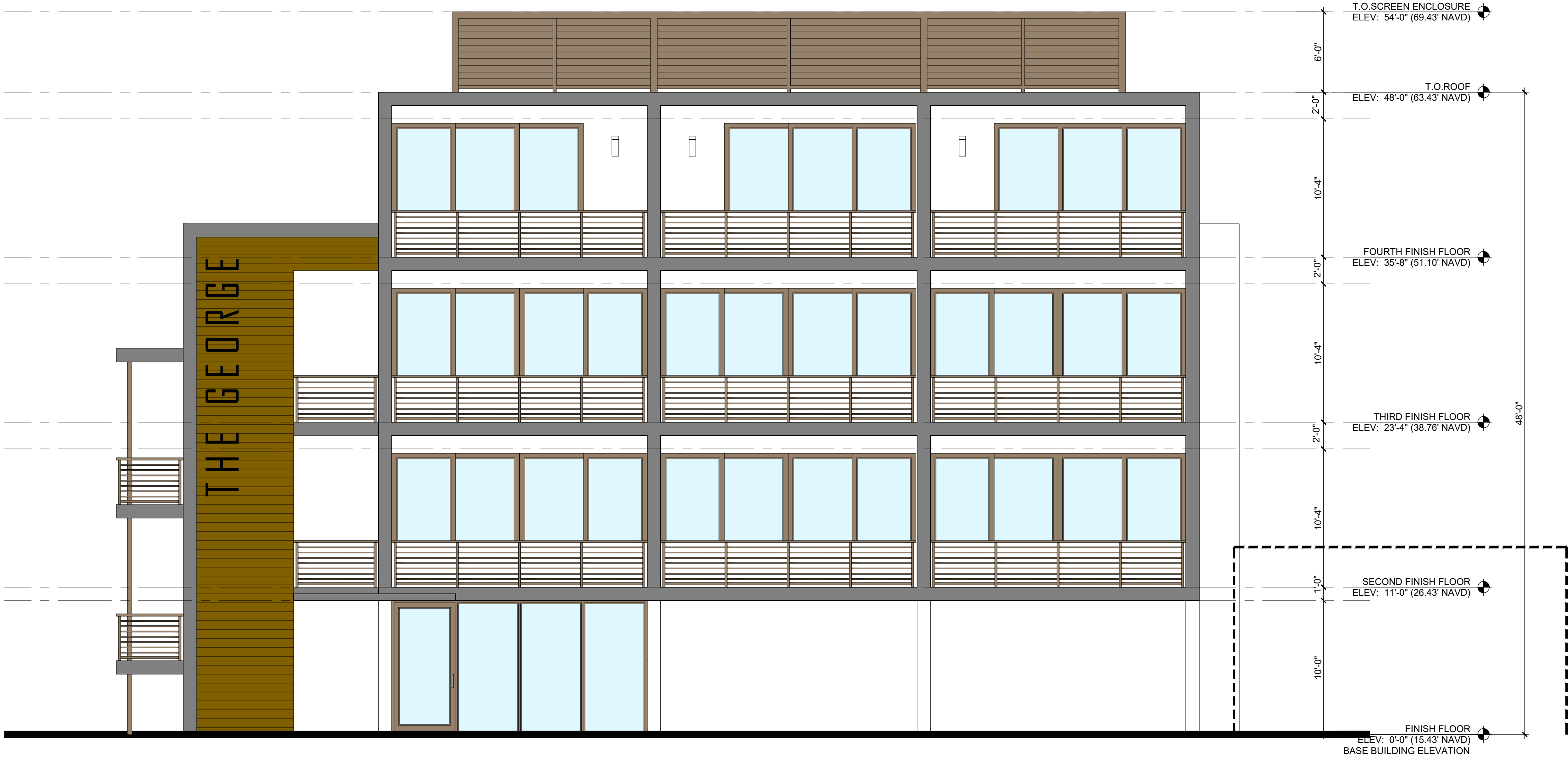
BRONZE ALUMINUM WINDOW/DOOR FRAMES  
BRONZE ALUMINUM RAILING  
BRONZE ALUMINUM ROOF EQUIPMENT SCREENING  
BRONZE ALUMINUM BUILDING NAME

WALL ACCENTS STUCCO SCORE LINES @ 8" ON CENTER  
SW 7702 SPICED CIDER

SHERWIN WILLIAMS EXTRA WHITE SW 7005  
AT ALL EXTERIOR WALLS TYPICAL

SHERWIN WILLIAMS GAUNTLET GRAY SW 7019  
AT FRONT EYEBROWS AND BALCONIES AND  
SIDE TOP EYEBROW DETAIL

COLOR CHART



South Elevation

Scale: 3/16"=1'-0"

RICHARD JONES  
ARCHITECTURE

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DESIGNER: RJ  
DRAWN BY: JH/RB  
PLAN REVIEW: RJ

SUBMITTALS:  
CLASS-5 SUBMITTAL: 05.11.20

REVISIONS:  
1 TAC COMMENTS: 08.19.20  
2 TAC COMMENTS: 10.09.20  
3 TAC COMMENTS: 11.17.20

SOUTH  
ELEVATION

A-3.1

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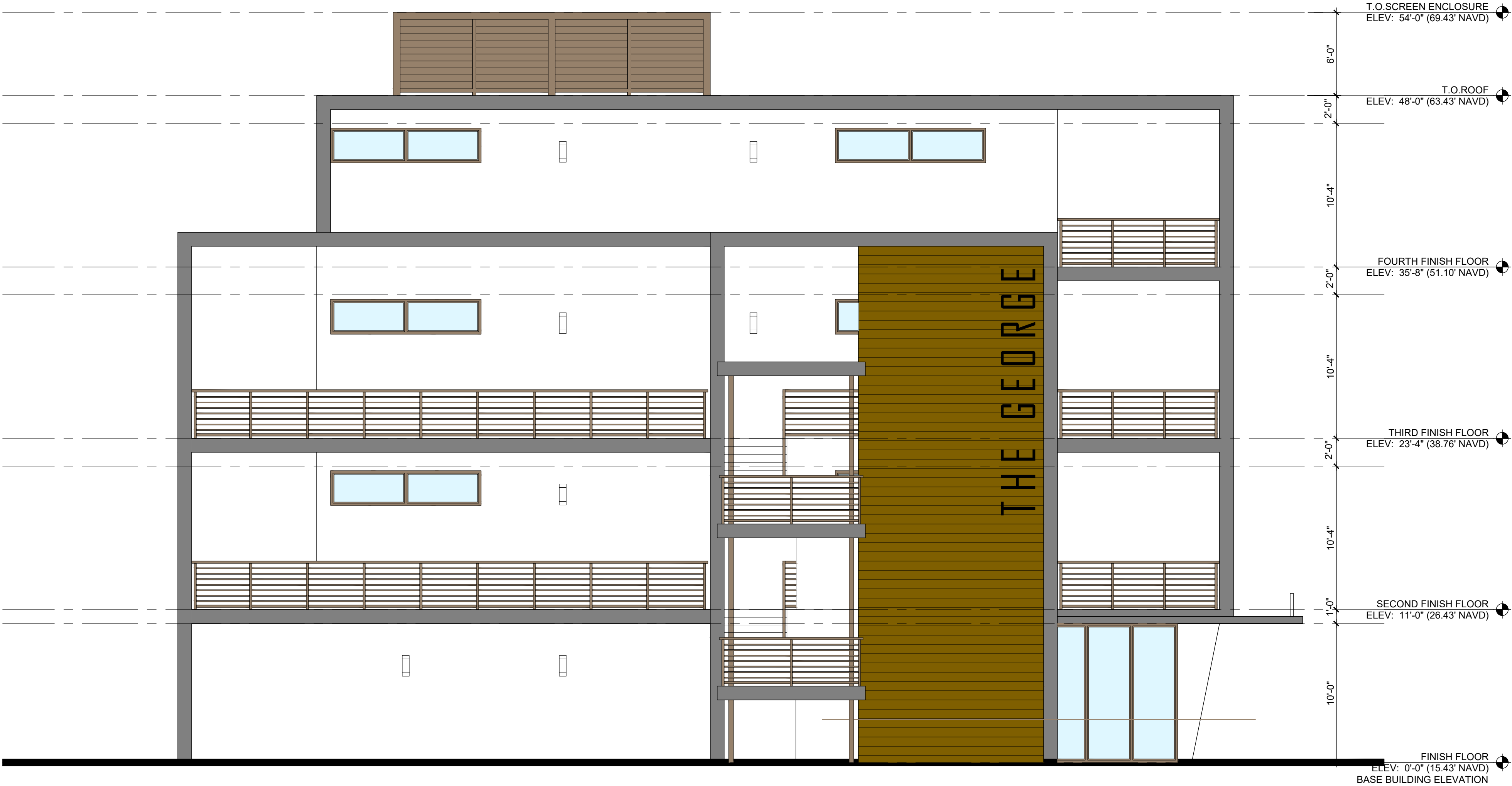
BRONZE ALUMINUM WINDOW/DOOR FRAMES  
BRONZE ALUMINUM RAILING  
BRONZE ALUMINUM ROOF EQUIPMENT SCREENING  
BRONZE ALUMINUM BUILDING NAME

WALL ACCENTS STUCCO SCORE LINES @ 8" ON CENTER  
SW 7702 SPICED CIDER

SHERWIN WILLIAMS EXTRA WHITE SW 7005  
AT ALL EXTERIOR WALLS TYPICAL

SHERWIN WILLIAMS GAUNTLET GRAY SW 7019  
AT FRONT EYEBROWS AND BALCONIES AND  
SIDE TOP EYEBROW DETAIL

COLOR CHART



West Elevation

Scale: 3/16"=1'-0"

RICHARD JONES

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FLORIDA

LICENSURE

AA26001617 | IB26001056

COMMISSION # 19-044  
DESIGNER: RJ  
DRAWN BY: JH/RB  
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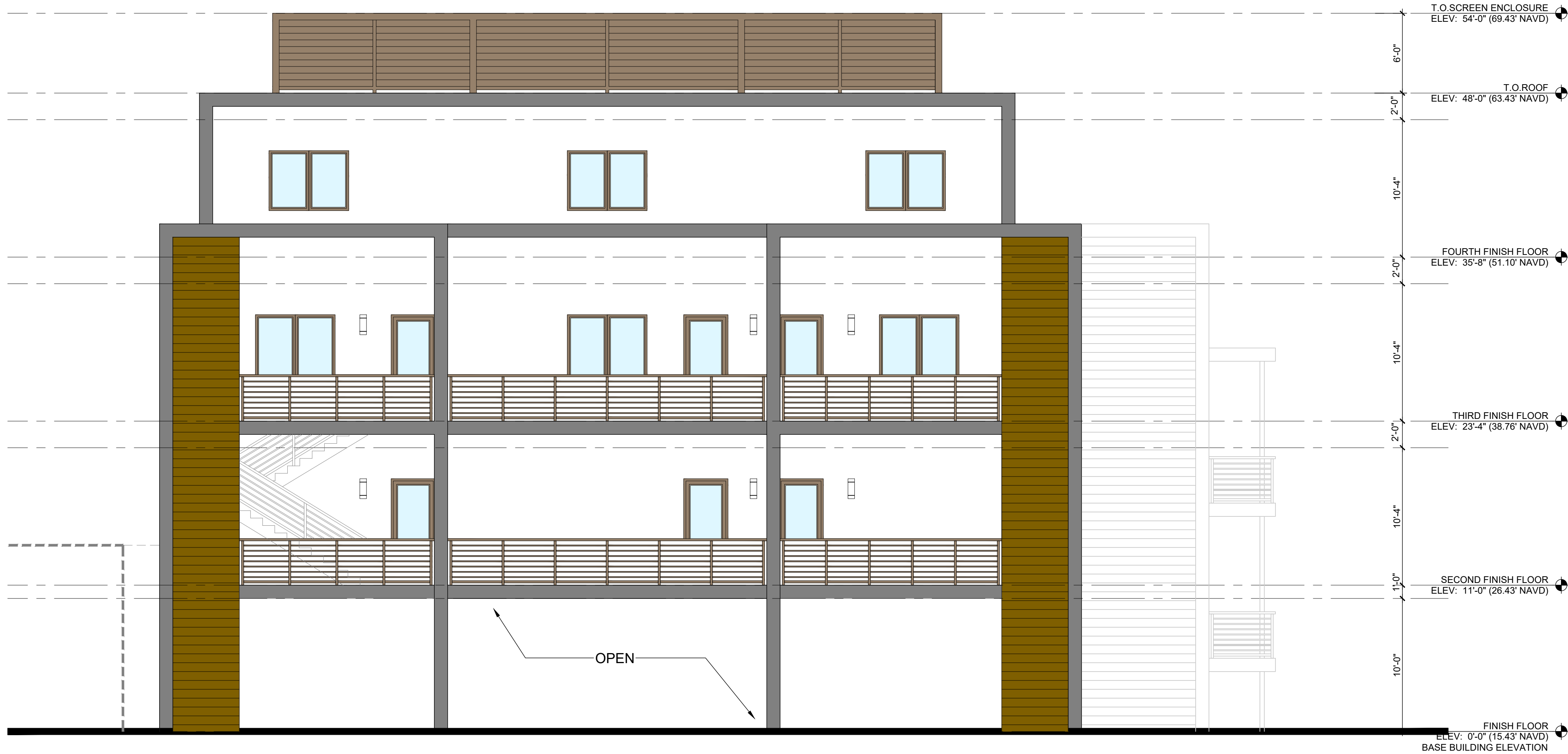
WEST  
ELEVATION

A-3.2

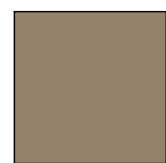
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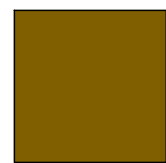




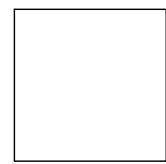
## COLOR CHART



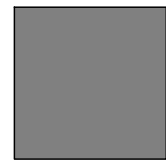
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BRONZE ALUMINUM RAILING  
BRONZE ALUMINUM ROOF EQUIPMENT SCREENING  
BRONZE ALUMINUM BUILDING NAME



WALL ACCENTS STUCCO SCORE LINES @ 8" ON CENTER  
SW 7702 SPICED CIDER



SHERWIN WILLIAMS EXTRA WHITE SW 7005  
AT ALL EXTERIOR WALLS TYPICAL



SHERWIN WILLIAMS GAUNTLET GRAY SW 7019  
AT FRONT EYEBROWS AND BALCONIES AND  
SIDE TOP EYEBROW DETAIL

North Elevation

Scale: 3/16"=1'-0"

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COMMISSION # 19-044  
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PLAN REVIEW: RJ

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CLASS-5 05.11.20  
SUBMITTAL:

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NORTH  
ELEVATION

A-3.3

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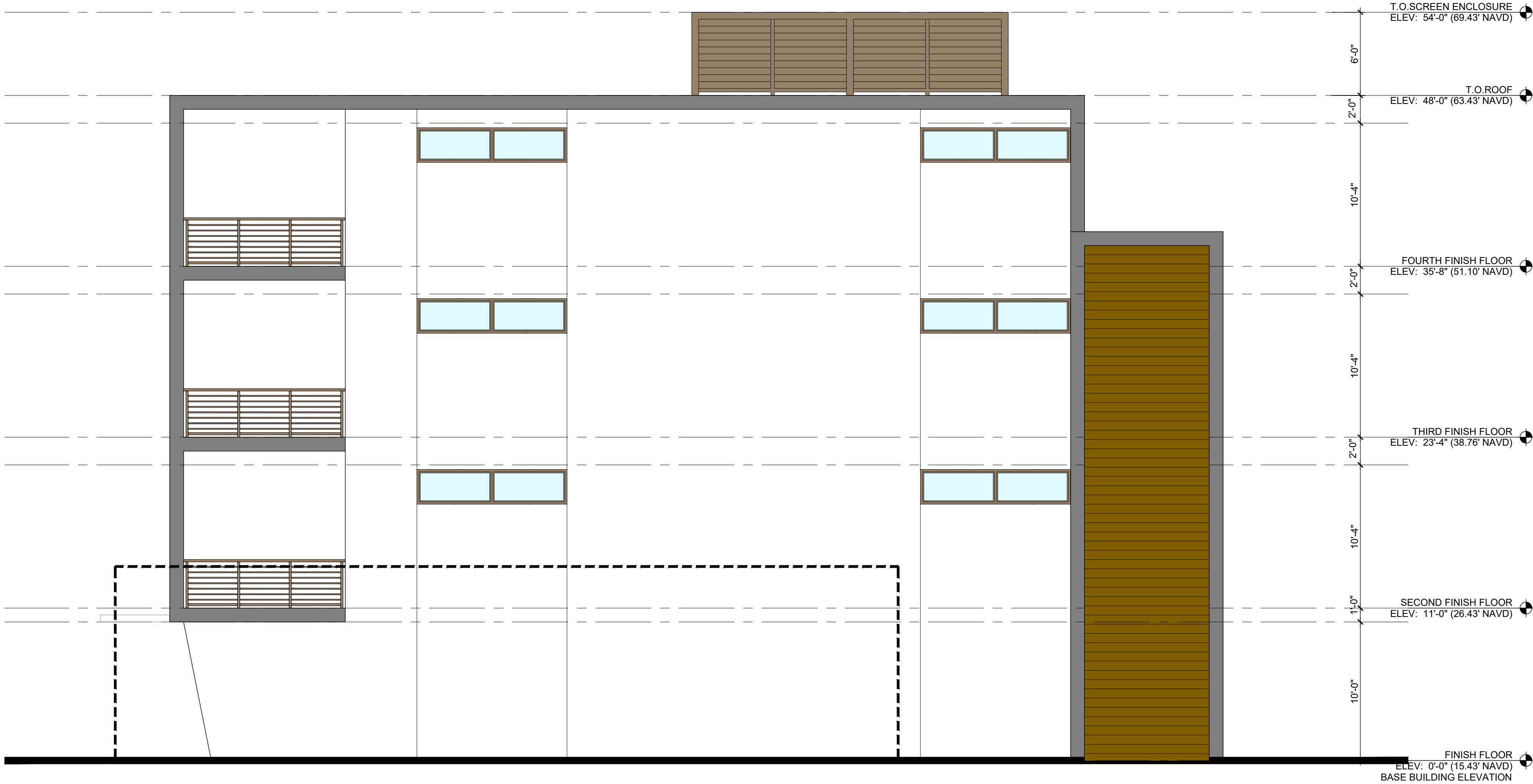
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COLOR CHART



East Elevation

Scale: 3/16"=1'-0"

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EAST  
ELEVATION

A-3.4

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# CARNEY STANTON P.L.

*Attorneys At Law*

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TEL: (561) 278-5565  
FAX: (561) 330-8233  
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January 12, 2021

Mr. Kent Walia  
Planning & Zoning Department  
City of Delray Beach  
Delray Beach, FL-33444

In Re: Comments on the "George" Project /  
655 George Bush Boulevard

Dear Kent:

This office represents The Sail Inn situated at 637 George Bush Boulevard, which is immediately west and adjacent to the proposed "The George" project (the "Project") currently under consideration by the Site Plan Appearance & Review Board (SPRAB).

As the immediate adjacent property owner, we have concerns pertaining to the design of the Project and the effects that this project will have on my client's property.

First, the design appears as though there will be some type of separation (3') between the exterior western wall of my client's building and the building to be constructed. We are unsure what this separation is for and what effect this will have on our building. We are trying to understand what the purpose of it and I would appreciate if you could provide us with some type of explanation.

Second, we are concerned about access to our property, which is an operating bar, during the construction period. The bar operates during the daytime hours as well as in the evening. As you know, parking is extremely limited and the access to my client's building, which is already small, could be materially and negatively impacted by the parking of the construction vehicles related to the construction of the George. Please provide us with some type of comment on how the parking during the construction period is to be addressed and what measures are being taken to ensure that my client's parking will not be impacted, nor will the ability to use the bar and the backlot (which is currently being used, under a temporary permit, due to COVID).

Third, we want to make sure what kind of provisions are being made in the event that, while digging and creating the foundation and otherwise doing the construction on the property, to mitigate any damage to my client's structure and requiring repairs any damage to my client's property, including wall cracks and other unanticipated "settlement" issues which may arise due to the construction.

Fourth, in the northeast portion of the property, there is a narrow entrance from N.E. 9th Avenue (described on the plan as trash pickup). What buffering is being provided to ensure that the trucks utilizing this entrance to collect the garbage and trash, will not interfere with the quiet enjoyment of the backlot of my client's property. Is there any intention to build a wall? I do not see it on the plans.

Fifth, in noting the eastern boundary of the proposed plan, there appears to be a stairwell which connects to my client's western wall. This configuration (at least from what I can see on the plans) would mean that anyone accessing the west wall would have to go around to the other side of the building in order to do so (in other words, this stairwell blocks the continuous ability to walk up and down the west portion of the wall.

Since there will now be open space on the western wall of my client's property, we will need some type of easement so that we will have access to that wall over the George Property (this was not necessary before because the wall abutted the western wall of my property – now that it is not, it will require a different type of maintenance, etc., and access must be provided, as part of the approval, for my client to reach that portion of his property.

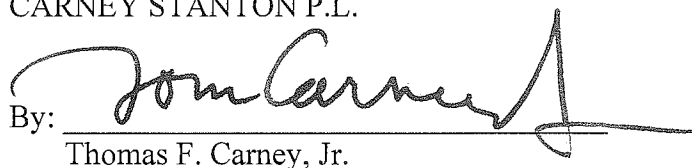
Are there provisions being made to replace the wooden fence on the rear western boundary line of the property. With the intensity of the building being constructed, some requirement should be imposed to build a wall in its place.

Regarding the environmental issues, we know that the property upon which this structure is being constructed had environmental issues from the migration of contaminants from the gas station to its west. We want to make sure that any construction on this site does not aggravate the contaminants and accelerate any migration to my client's property.

I look forward to hearing from you. Please confirm the date and time of the meeting as we will wish to make comments at the meeting. Please note that we are an affected party for purposes of participating in the discussion.

Sincerely,

CARNEY STANTON P.L.

By:   
Thomas F. Carney, Jr.

cc: Michael Holzheid / The Sail Inn