

The Conditional Use approval allows the following uses, pursuant to LDR Section 4.4.13(C)(Allowable Uses)(1)(Principal, Accessory, and Conditional Uses), Table 4.4.13(A) – Allowable Uses and Structures in the CBD Sub-Districts:

• General retail uses and/or facilities, as in GC district (4.4.9), excluding automotive parts, beer, wine, liquor, meats, fish, lawn care equipment, pets and pet supplies;

• Business, professional, and medical uses, as in GC district (4.4.9); and,

• Services and facilities, as in GC district (4.4.9), excluding auctions, caterers, laundromats limited to self-service facilities, pet grooming, drive-through facilities, restaurants including drive-in and drive-through, tobacconist, Neighborhood Electric Vehicle (NEV) sales, lease or rental transactions only (no inventory on-site for any purpose), and rental of sporting goods and equipment (such as but not limited to bicycles, skates, boogie boards). With the exception of bicycles with an electric-helper motor as defined in Section 72.02, Delray Beach Code of Ordinances, all rented sporting goods must be non-motorized.

SITE DATA	CENTRAL BUSINESS DISTRICT (CBD) (WEST ATLANTIC NEIGHBORHOOD SUB-DISTRICT)		
ZONING DESIGNATION	REQUIRED		PROPOSED
FRONT SETBACK (EAST)	10'-0" (MIN.) / 15'-0" (MAX.)	BUILDING 13'-5"	BALCONY 9'-6"
REAR SETBACK (WEST)	10'-0" (MIN.)	55'-11"	
SIDE STREET SETBACK (SOUTH)	0'-0" (MIN.)	BUILDING 11'-2"	BALCONY 8'-2"
SIDE INTERIOR (NORTH) (see note 1)	10'-0" (MIN.)	52'-10"	
BUILDING HEIGHT (see note 2)	54'-0" (MAX.)	30.10' NAVD	
NUMBER OF STORIES	4 (MAX.)	2	
BUILDING FRONTAGE REQUIRED ON PRIMARY STREET	N/A	N/A	
CIVIC OPEN SPACE	SITES SMALLER THAN 20,000 S.F. = 0%		
AVERAGE CROWN OF ROAD ELEVATION	16.24' NAVD		
BASE BUILDING ELEVATION (see note 3)	17.74' NAVD	17.00' NAVD (SEE CIVIL 10YR. STORM CALC)	
<u>BUILDING HEIGHT:</u>			
1. SIDE SETBACK ABUTTING RESIDENTIAL ZONING DISTRICT, 1ST TO 3RD STORY			
2. MEASURED FROM THE CROWN OF ROAD OR THE FEMA PUBLISHED MINIMUM FLOOR ELEVATION (WHICHEVER IS GREATER) TO THE HIGHEST FINISHED ROOF SURFACE OF A FLAT ROOF OF THE ROOF OF A GABLE, HIP, OR GAMBLE ROOF.			
3. BASE BUILDING ELEVATION TO BE A MIN. OF 18" ABOVE AVERAGE CROWN OF ROAD ELEVATION.			

VEHICLE PARKING CALCULATIONS				
USE	SQ. FT.	REQUIREMENT	PROVIDED	
PROPOSED 2-STORY OFFICE/RETAIL/COMMERCIAL - NORTH	3,556 S.F.	7.11	18 SPACES	
PROPOSED 2-STORY OFFICE/RETAIL/COMMERCIAL - SOUTH	3,556 S.F.	7.11		
TOTAL	7,112 S.F.	14.22 OR 14		

VEHICLE PARKING TYPE BREAKDOWN			
	SIZE	PROPOSED	
TOTAL ON-SITE STANDARD (NON-ALLEY) PARKING SPACES:	9'-0" x 18'-0"	10	
TOTAL ON-SITE COMPACT PARKING SPACES:**	8'-0" x 16'-0"	6	
TOTAL ON-SITE HANDICAP PARKING SPACES:	12'-0" x 18'-0"	2	
**TOTAL COMPACT SPACES PROVIDED NOT TO EXCEED 30% OF THE TOTAL PARKING SPACES REQUIRED. TOTAL 30% COMPACT SPACES MAXIMUM ALLOWED. 30% OF 18 SPACES REQUIRED = 5.4. COMPACT SPACES PROVIDED 6			

BICYCLE PARKING CALCULATIONS			
	PROPOSED (S.F.)	REQUIRED	PROVIDED
PROPOSED 1ST FLOOR - NORTH	1,778 S.F.	1.78	8 (4 RACKS OF 2)
PROPOSED 2ND FLOOR - NORTH	1,778 S.F.	1.78	
PROPOSED 1ST FLOOR - SOUTH	1,778 S.F.	1.78	
PROPOSED 2ND FLOOR - SOUTH	1,778 S.F.	1.78	
TOTAL	7,112 S.F.	7.12 OR 8	

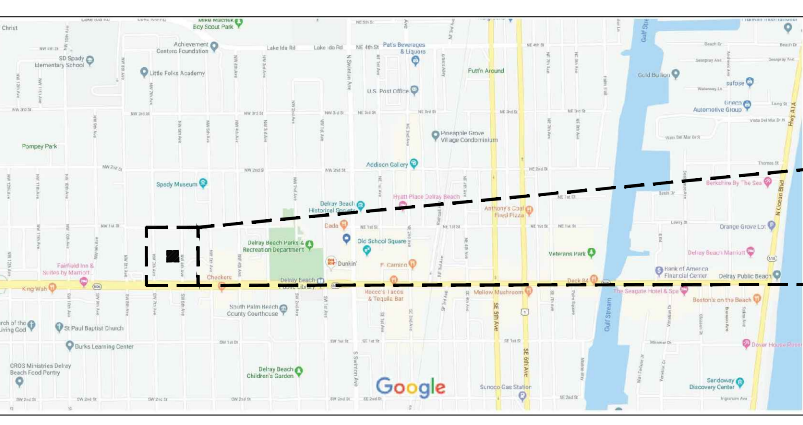
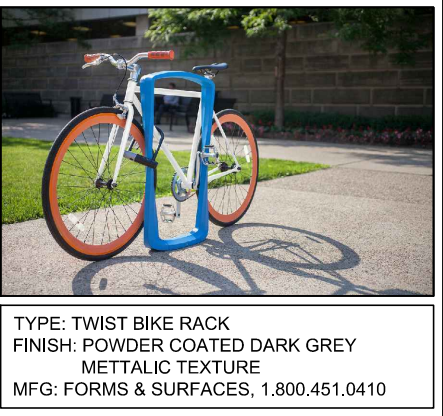
OFF-STREET LOADING			
USE	SQ. FT.	REQUIREMENT	PROVIDED
PROPOSED 2-STORY OFFICE/RETAIL/COMMERCIAL - NORTH	3,556 S.F.		
PROPOSED 2-STORY OFFICE/RETAIL/COMMERCIAL - SOUTH	3,556 S.F.	5,000 S.F. - 20,000 S.F. = 1 BERTH	(1) BERTH, 12'-0"x30'-0"
TOTAL	7,112 S.F.		

FRONTAGE TYPE			BRACKET BALCONY		
	MIN.	MAX.	PROPOSED		
BUILDING SETBACK	10' - 15'	9'			
DEPTH	8' - 5'	4'-0"			
WIDTH	0' - 12'	12'-6"			
FLOOR ELEV.	0'	21"			
ALLOWABLE ENCROACHMENT	5'	1'			

IMPERVIOUS DATA		
LOT SIZE	19,653 S.F.	
PROPOSED 2-STORY OFFICE/RETAIL/COMMERCIAL - NORTH	1,778 S.F.	9.04%
PROPOSED 2-STORY OFFICE/RETAIL/COMMERCIAL - SOUTH	1,778 S.F.	9.04%
ASPHALT	8,584 S.F.	43.677%
PAVER WALKWAYS	3,526 S.F.	17.94%
CONCRETE	117 S.F.	.6%
TOTAL IMPERVIOUS	15,783 S.F.	80.3%

PERVIOUS DATA		
LOT SIZE	19,653 S.F.	
LANDSCAPE	3,870 S.F.	19.7%
TOTAL PERVIOUS	3,870 S.F.	19.7%

F.A.R.		
FLOOR AREA RATIO	LOT 19,653 S.F.	MAX 3.0%
1ST FL. NORTH & SOUTH BUILDING	7,112 S.F.	
	7,112 / 19,653 =	0.36



BUILDING DATA	
CONSTRUCTION TYPE: V-8, SPRINKLERED	
OCCUPANCY TYPE: 'B' BUSINESS TO INCLUDE: OFFICE/RETAIL/COMMERCIAL	
BUILDING DESIGNED: ENCLOSED	
FLORIDA BUILDING CODE - 2017, 6TH EDITION	

UTILITY SERVICE NOTE	
ALL UTILITIES SHALL BE FED TO BUILDING UNDERGROUND.	
CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION	

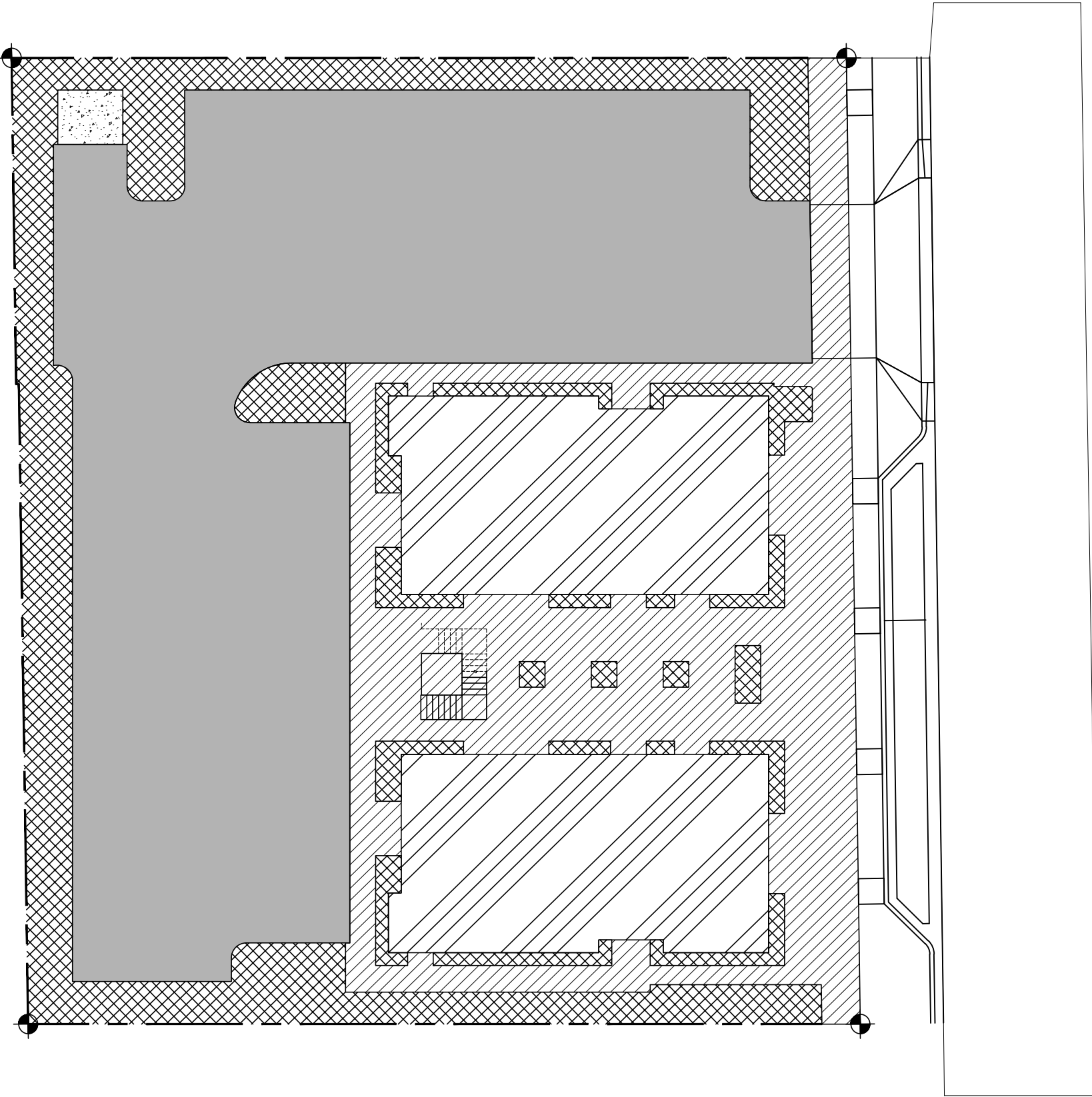
SECURITY CAMERA NOTE	
SECURITY CAMERAS SHALL BE INSTALLED THROUGHOUT SITE AND UNDER CANOPY AND ALL DOORS. INSTALL ALARM SIGNAGE AT ALL DOORS.	

FIRE SPRINKLER NOTES	
1. PROPOSED 2-STORY STRUCTURES TO BE PROTECTED THROUGHOUT w/ AUTOMATIC SPRINKLERS AND MONITORED IN ACCORDANCE w/ 2017 FBC AND APPLICABLE LOCAL BUILDING CODES.	

KEY LEGEND	
	PERVIOUS AREA
	IMPERVIOUS AREA
	ASPHALT AREA
	PAVER AREA

DRAWING INDEX	
A1	SITE PLAN
	DATA INFO
A2	SITE LOT COVERAGE
A3	1ST FLOOR PLAN
A4	2ND FLOOR PLAN
	FRONT (EAST) REAR(WEST) ELEVATION
A5	SIDE(NORTH & SOUTH) ELEVATION
A6	ROOF PLAN
A7	WALL OPENING %

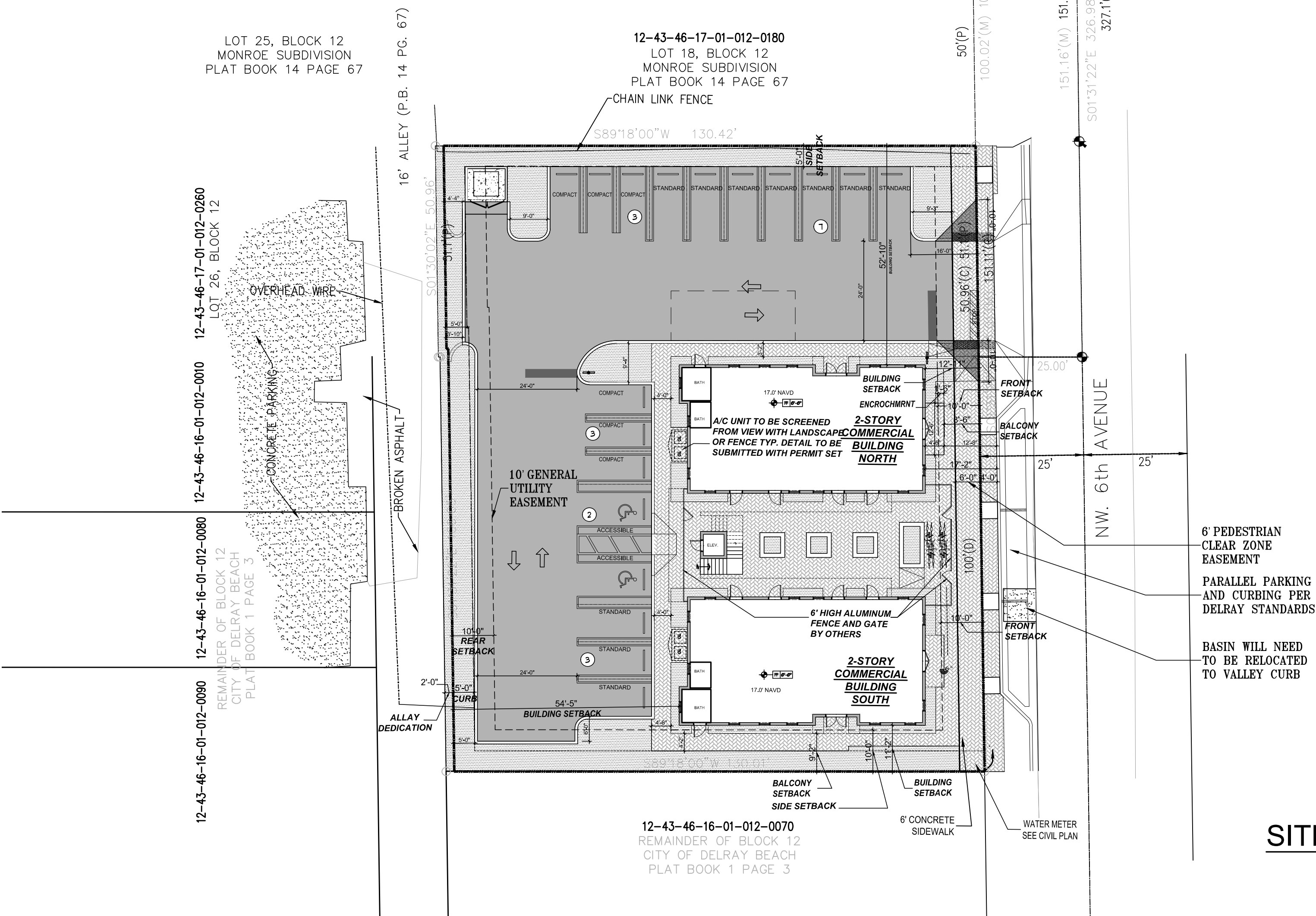
DATA INFO
SCALE 1" = 20'-0"



IMPERVIOUS / PERVIOUS
CALCULATIONS

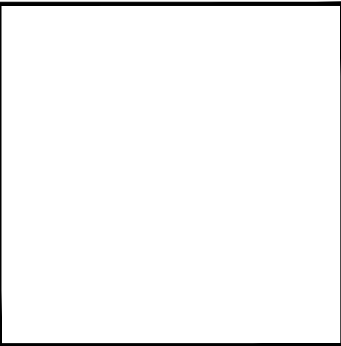
PERVIOUS = 3,677 S.F.
IMPERVIOUS = 15,976 S.F.

SITE LOT COVERAGE
SCALE 1" = 20'-0"



SITE PLAN
SCALE 1" = 20'-0"

PERMIT SET 08-04-20



REVISIONS	BY
START	JL 7-03-19
SPRAD REVISION	JL 8-19-20
SPRAD REVISION	JL 10-05-20

HATCHER COMMERCIAL BUILDING
LOT 20 & 26 NW 6TH AVE,
DELRAY BEACH, FLORIDA 33444

NORM PAUL ARCHITECT
12119 SALINAS WAY
DELRAY BEACH FL 33446
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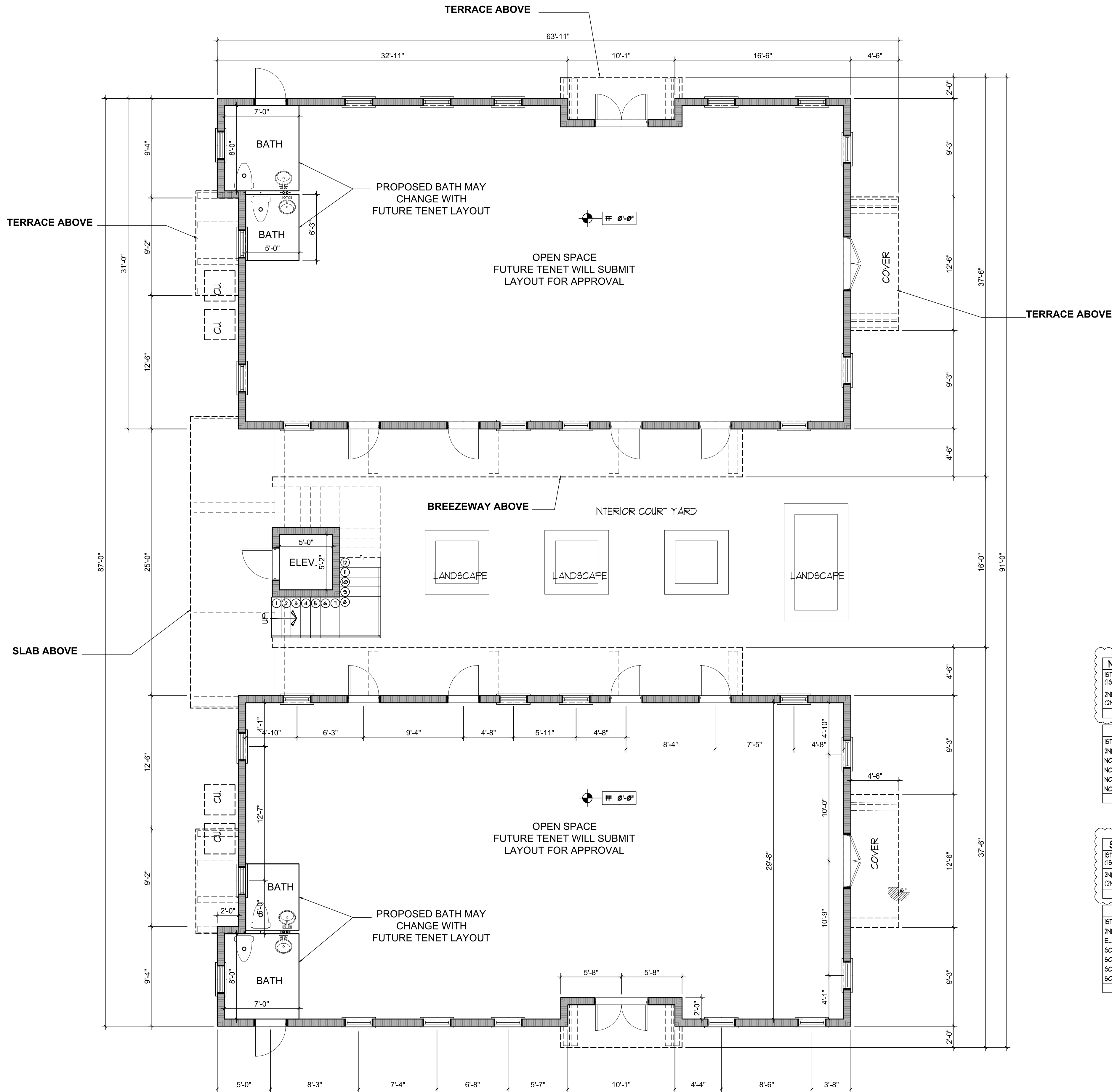
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CLAY CUBE INC.
751 PARK OF COMMERCE DRIVE
SUITE #126 BOCA RATON FL 33487
TEL: (561) 271-5441
EMAIL: CLAYCUBE@GMAIL.COM
DRAWN: JL
DATE: 02/11/20
SCALE: 1" = 10'-0"

SHEET
A1
OF 7 SHEETS

REVISIONS	BY
START	JL
SPRAB REVISION	JL
SPRAB REVISION	JL
SPRAB REVISION	JL



NORTH BUILDING GROSS AREA	
1ST FL. NORTH BUILDING (1ST FL. OFFICE/RETAIL/COMMERCIAL)	1718 SF
2ND FL. NORTH BUILDING (2ND FL. OFFICE)	1718 SF
	3556 SF

TOTAL GROSS AREA	
1ST FL. NORTH BUILDING	1718 SF
2ND FL. NORTH BUILDING	1718 SF
NORTH BALCONY	289 SF
NORTH FRONT COVER	54 SF
NORTH REAR TERRACE	38 SF
NORTH SIDE TERRACE	43 SF
	3960 SF

SOUTH BUILDING GROSS AREA	
1ST FL. SOUTH BUILDING (1ST FL. OFFICE/RETAIL/COMMERCIAL)	1718 SF
2ND FL. SOUTH BUILDING (2ND FL. OFFICE)	1718 SF
	3556 SF

TOTAL GROSS AREA	
1ST FL. SOUTH BUILDING	1718 SF
2ND FL. SOUTH BUILDING	1718 SF
ELEVATOR	41 SF
SOUTH BALCONY	308 SF
SOUTH FRONT COVER	54 SF
SOUTH REAR TERRACE	38 SF
SOUTH SIDE TERRACE	43 SF
	4060 SF

1ST FLOOR PLAN
SCALE 3/16" = 1'-0"



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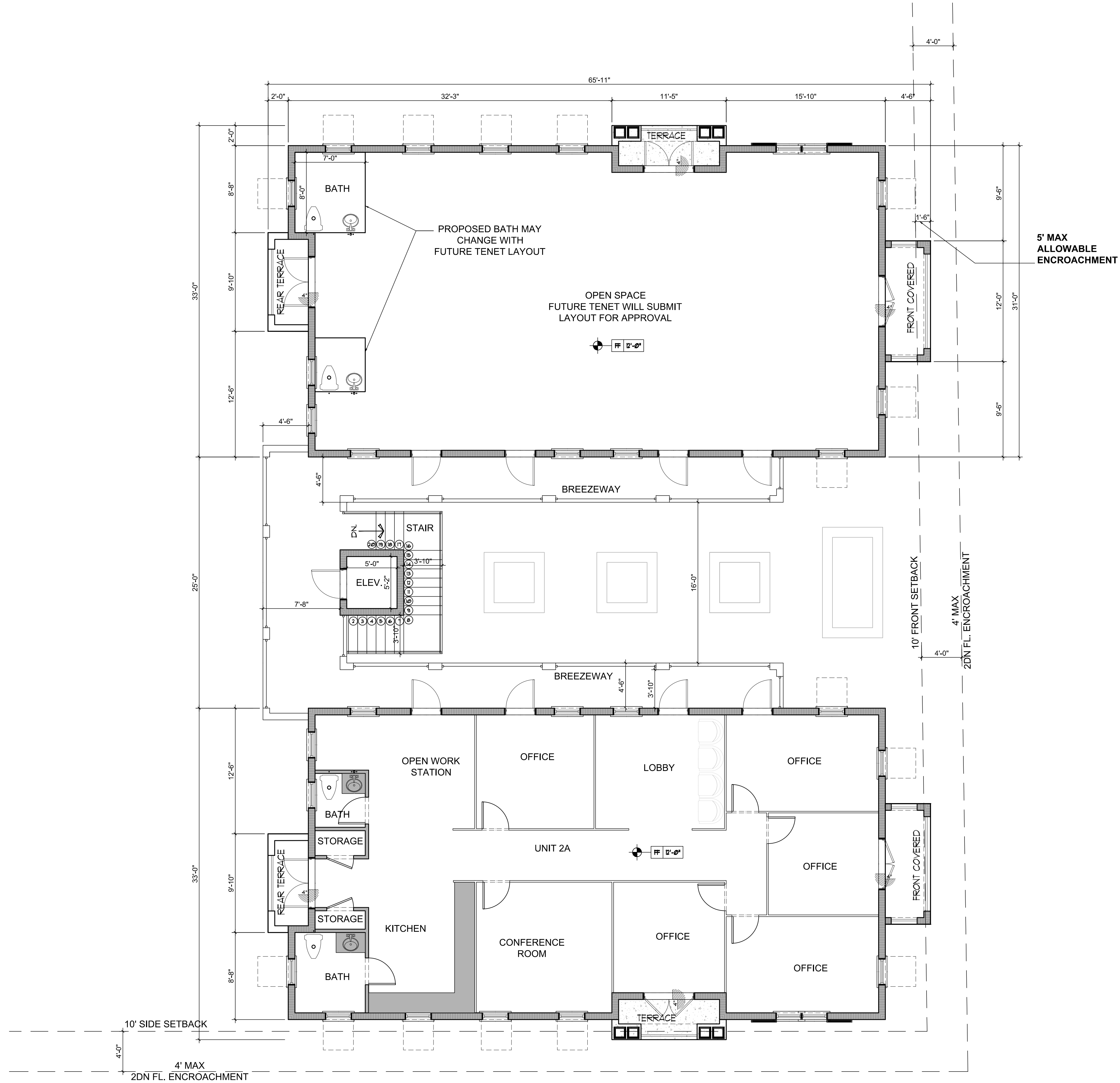
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DRAWN JL
DATE 02/11/20
SCALE 1/4" = 1'-0"

SHEET

A2

OF 7 SHEETS



2ND FLOOR PLAN

SCALE 3/16" = 1'-0"



PERMIT SET 02-25-20

REVISIONS	BY
START	JL 7-03-19
SPRAB REVISION	JL 8-19-20

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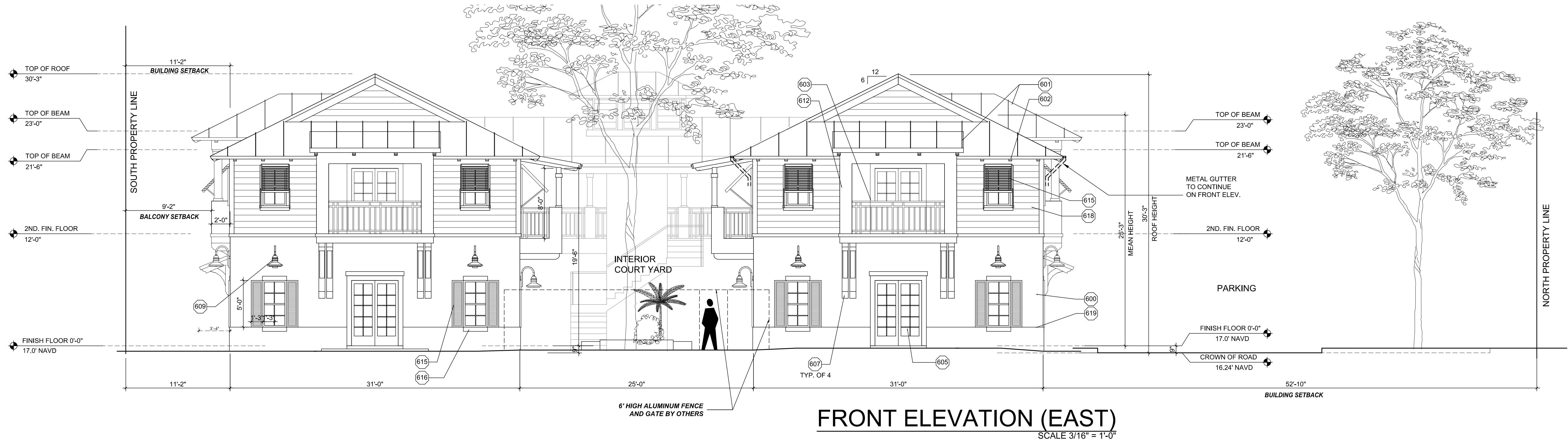
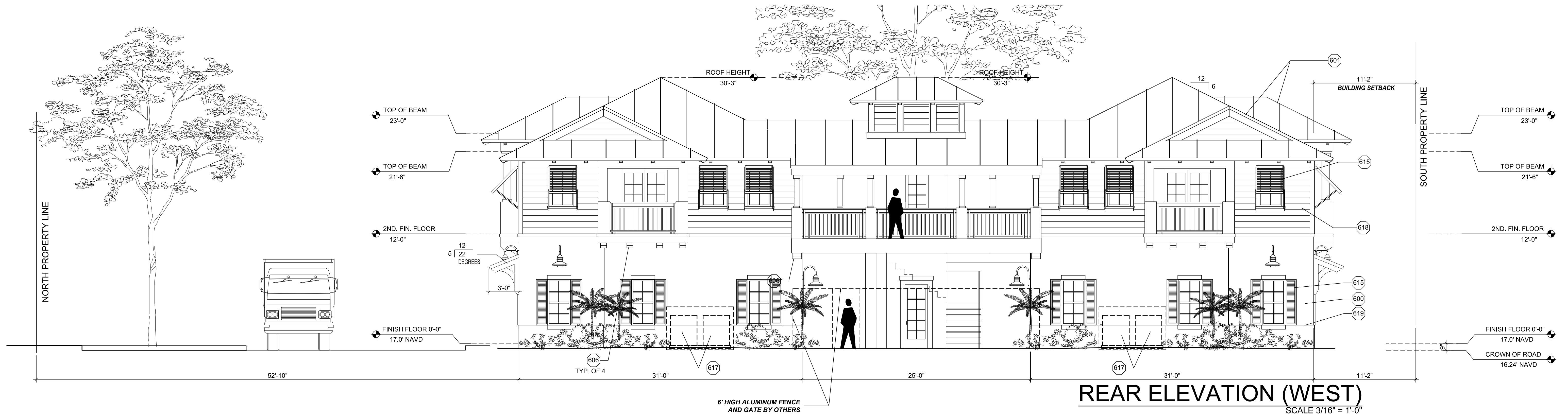


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SCALE: 1/4" = 1'-0"

SHEET

A3

OF 7 SHEETS



CONTRACT SET 02-25-20

REVISIONS	BY
START	JL
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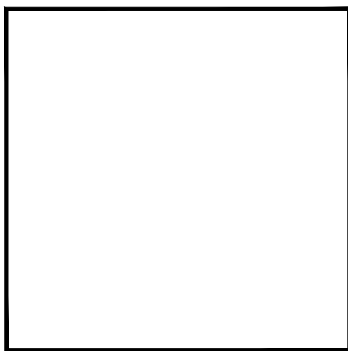


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DATE: 02/11/20
SCALE: 1/4" = 1'-0"

SHEET

A4

OF 7 SHEETS



REVISIONS	BY
START	JL
6/18/20	JL
6/19/20	JL

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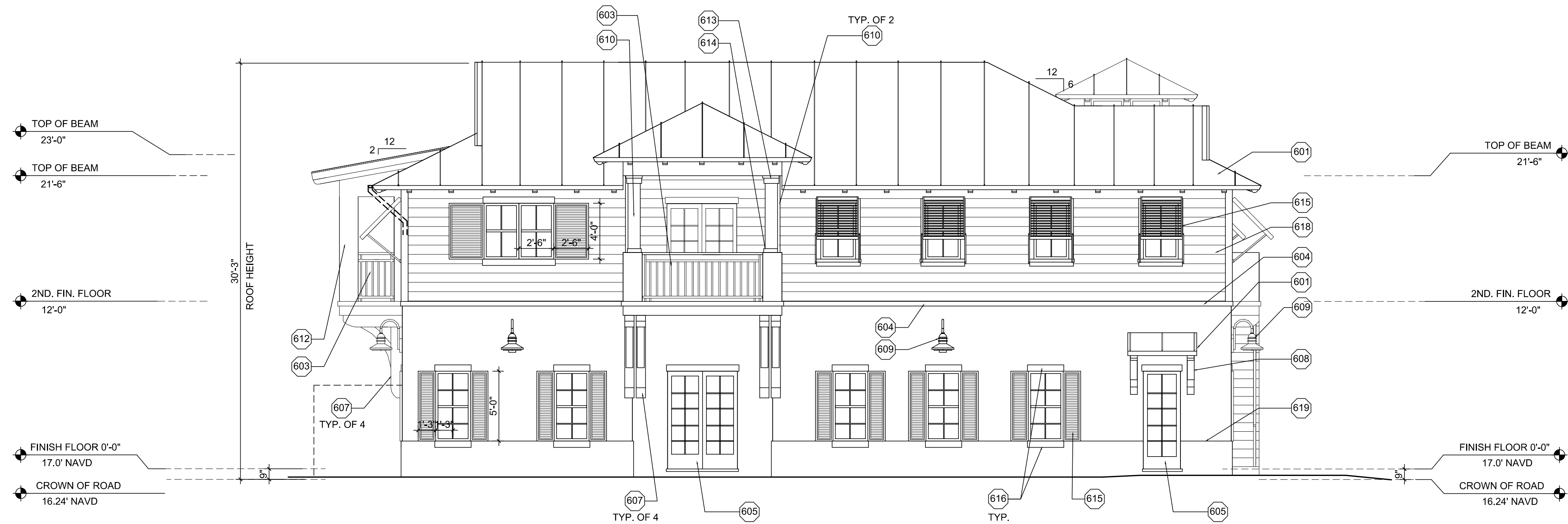
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DRAWN: JL
DATE: 02/11/20
SCALE: 1/4" = 1'-0"

SHEET

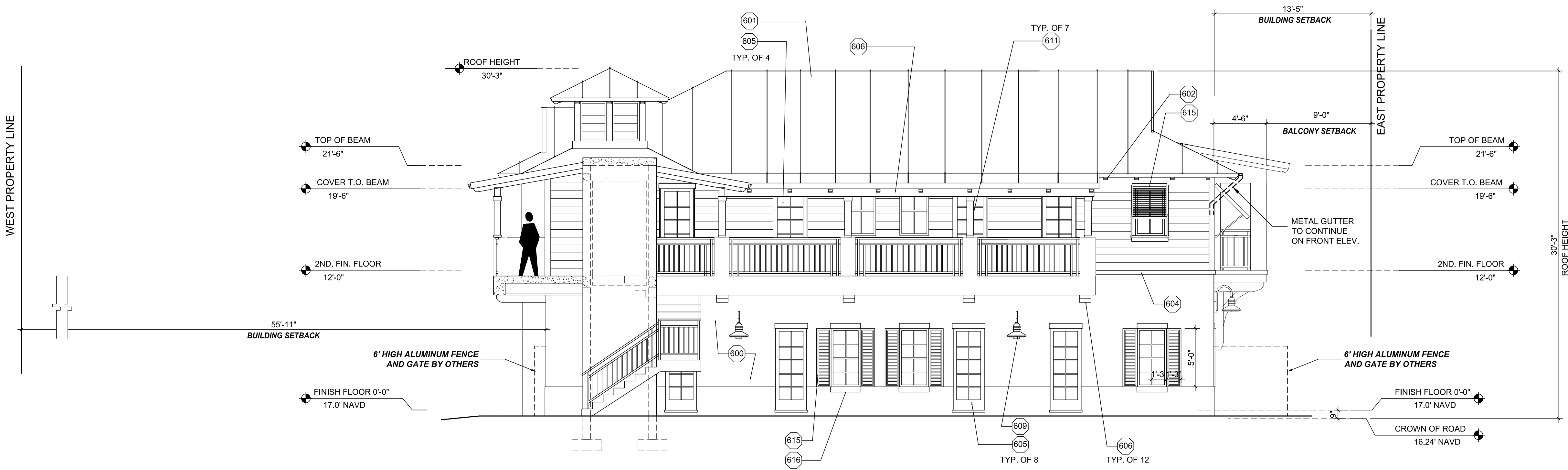
A5

OF 7 SHEETS

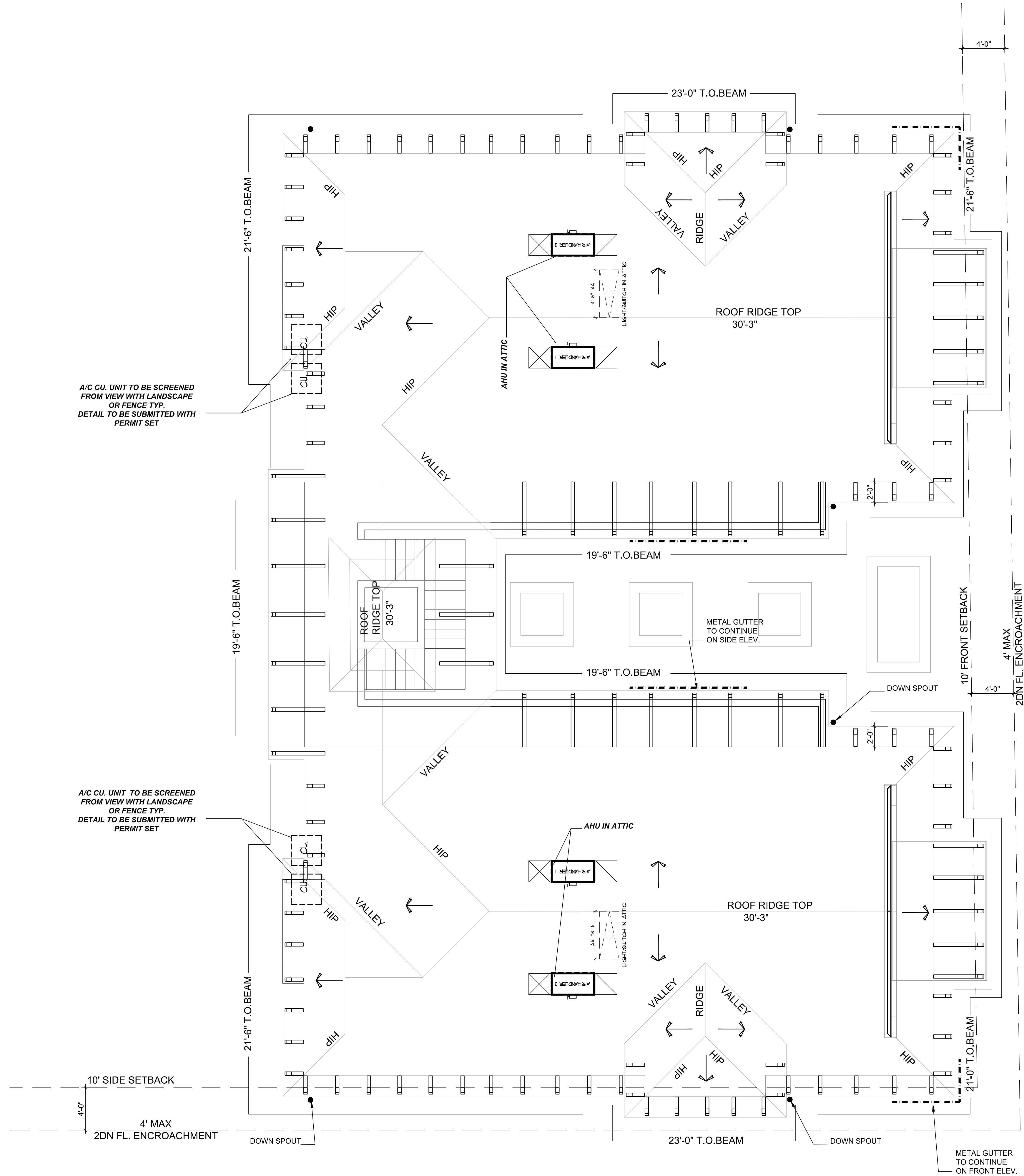
KEYNOTES	
600	SMOOTH STUCCO FINISH (TYP.) (SW 889 OXFORD WHITE)
601	METAL ROOF (COLOR GRAY)
602	STUCCO FOAM OUTRIGGERS 42" O.C. MAX (TYP.) (COLOR BLACK)
603	METAL RAIL (COLOR BLACK)
604	4" STUCCO BAND
605	METAL ENTRY DOOR
606	12X8 DEC. AZEK WOOD FINISH BEAM
607	6"x60" AZEK WOOD FINISH BRACKETS (COLOR BLACK)
608	4"x48" AZEK WOOD FINISH BRACKETS (COLOR BLACK)
609	18"x14" H. METAL LANTERNS (COLOR BLACK)
610	10"x10" AZEK WOOD FINISH COLUMN (COLOR WHITE)
611	6"x6" AZEK WOOD FINISH COLUMN (COLOR WHITE)
612	16"x16" STUCCO COLUMN (SW 889 OXFORD WHITE)
613	2'-4"x12" STUCCO CAP (SW 889 OXFORD WHITE)
614	3"x12" STUCCO BASE (SW 889 OXFORD WHITE)
615	DECORATIVE WOOD SHUTTERS (COLOR BLACK)
616	STUCCO 4" SILL & HEADER (COLOR WHITE)
617	A/C CONDENSER (SCREEN NOTE SEE SITE PLAN)
618	6" STUCCO SIDING NORTH BUILDING (SW 276 CAMBRIDGE HEIGHTS)
619	6" STUCCO SIDING SOUTH BUILDING (SW 889 LAKE VICTORIA)
619	1"x24" H. WATERTABLE



RIGHT ELEVATION (NORTH)
SCALE 3/16" = 1'-0"



LEFT ELEVATION (SOUTH)
SCALE 3/16" = 1'-0"



ROOF PLAN
SCALE 3/16" = 1'-0"



PERMIT SET 02-25-20

REVISIONS		BY
START	JL	7-03-19
SPRAB REVISION	JL	8-19-20

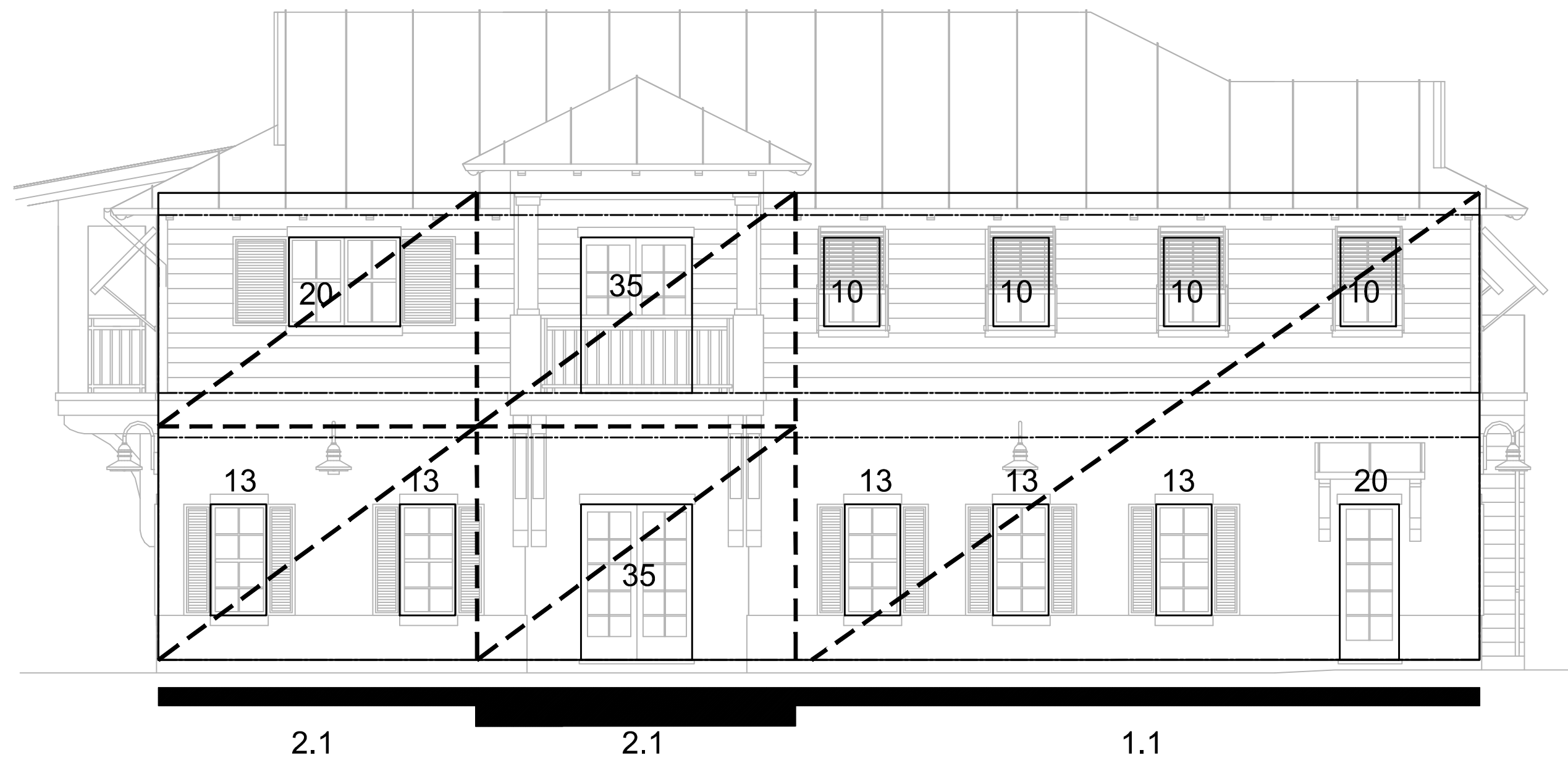
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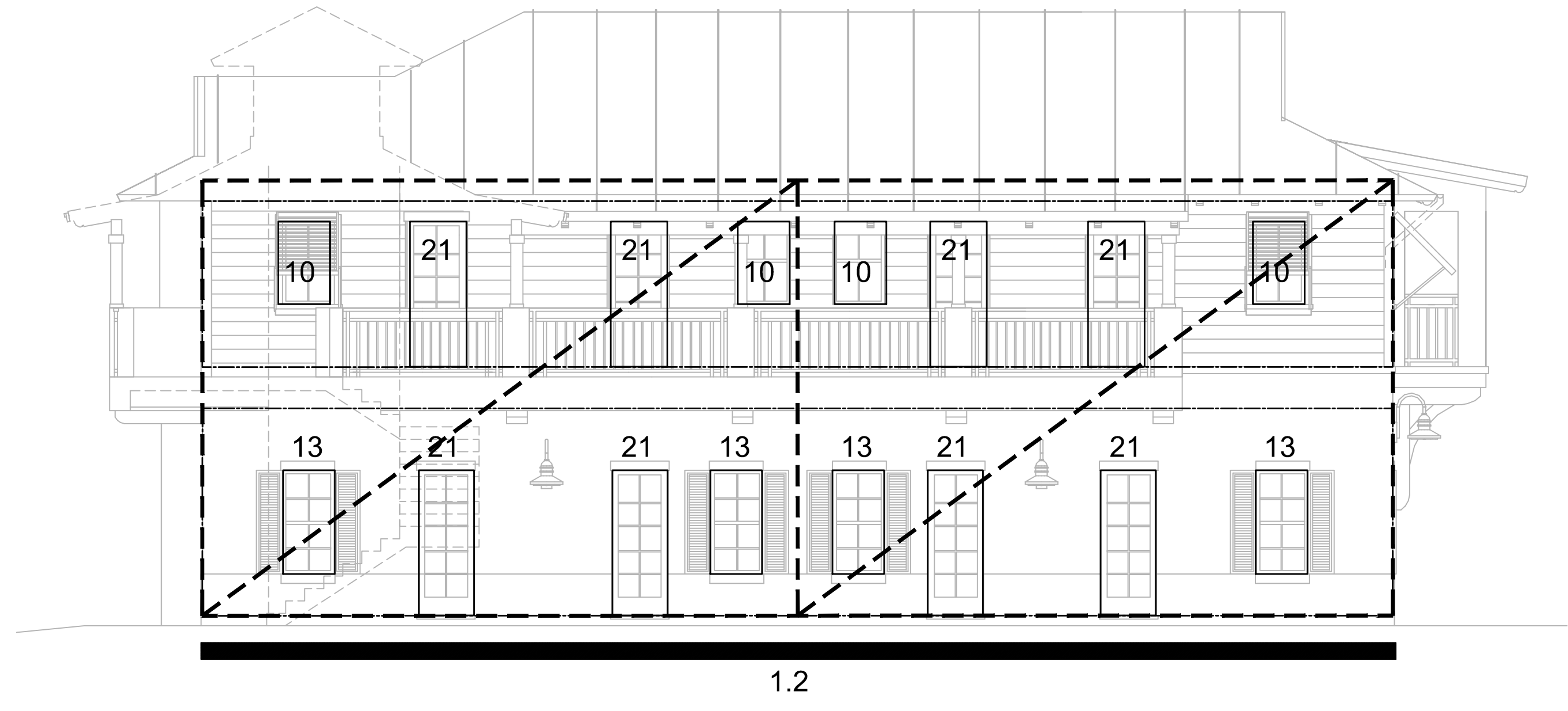


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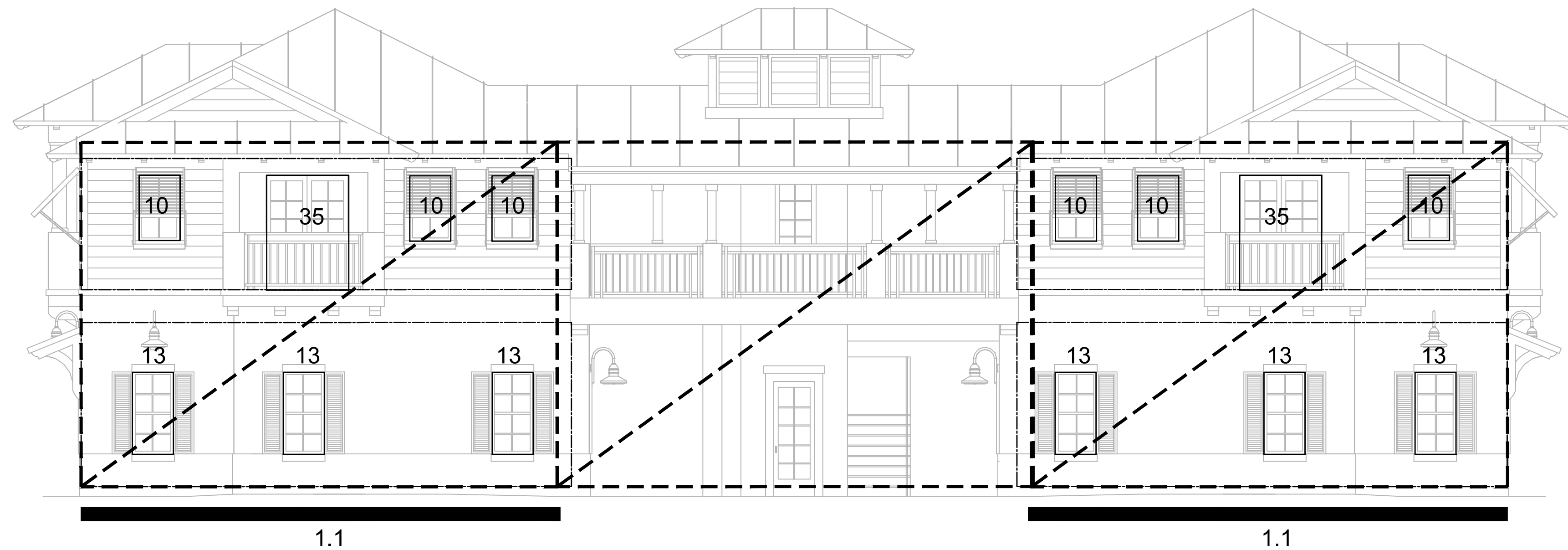
NORTH elevation face = 1,034 sf
window openings = 215/1034 = 20.8%
* undivided openings larger than 8 sf = 0 sf

RIGHT ELEVATION (NORTH)
SCALE 3/16" = 1'-0"



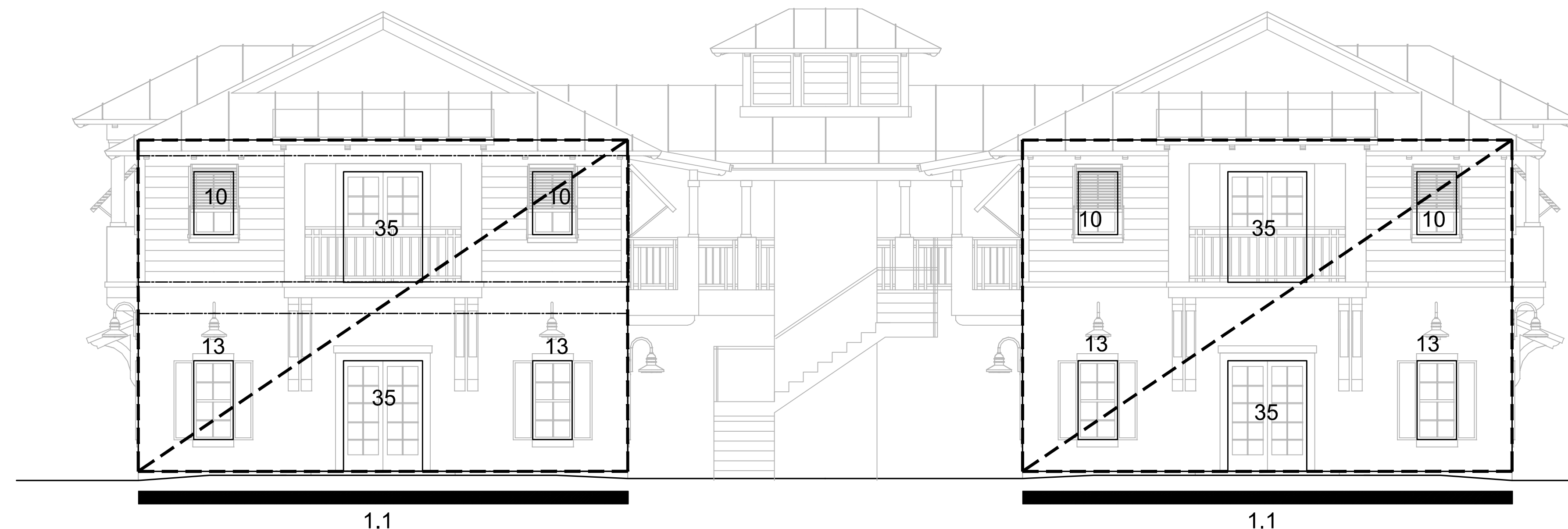
SOUTH elevation face = 1,034 sf
window openings = 260/1034 = 25.1%
* undivided openings larger than 8 sf = 0 sf

LEFT ELEVATION (SOUTH)
SCALE 3/16" = 1'-0"



WEST elevation face = 1,076 sf
window openings = 208/1,076 = 19.3%
* undivided openings larger than 8 sf = 0 sf

REAR ELEVATION (WEST)
SCALE 3/16" = 1'-0"



EAST elevation face = 1,116 sf
window openings = 232/1,116 = 20.7%
* undivided openings larger than 8 sf = 0 sf

FRONT ELEVATION (EAST)
SCALE 3/16" = 1'-0"

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SHEET

A7

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