

# FEDERICK ISLES, DELRAY BEACH, FL

## JMC DELRAY, LLC

### TOWN HOME



10180 Lexington Estates Blvd  
Boca Raton, FL 33428  
T 561.923.0745  
C 561.414.6729

8/10/20  
AR 008071

## GENERAL NOTES

- THE CONTRACTOR SHALL IN THE WORK OF ALL TRADES, PERFORM ANY AND ALL CUTTING AND PATCHING NECESSARY TO COMPLETE THE WORK, AND SHALL PROTECT THE EXISTING BUILDING FROM DAMAGE THE EXISTING CONSTRUCTION TO ITS ORIGINAL CONDITION TO RESTORE SATISFACTION OF THE OWNER AND THE ARCHITECT.
- OPERATIONS, OR UTILITIES WITHOUT OBTAINING OWNER'S PRIOR APPROVAL AND INSTRUCTIONS IN EACH CASE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING ALL FINISH SURFACES CLEAN AT COMPLETION OF THE WORK AND SHALL REMOVE ALL EXCESS MATERIAL AND DEBRIS FROM THE JOB REGULARLY.
- ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES.
- THE CONTRACTOR SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL ELEVATIONS, CONDITIONS, AND DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
- ANY CONFLICTS OR OMISSIONS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR GENERAL NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY AND BEFORE DRAWINGS GO WITH ANY WORK SO INVOLVED. DO NOT SCALE
- THE GENERAL CONTRACTOR SHALL COORDINATE AND VERIFY WITH ALL SUBCONTRACTORS THE SIZE AND LOCATION OF ALL PIPING, DUCTWORK, TRENCHES, SLEEVES, SPECIAL BOLTING FOR EQUIPMENT CONDUITS, ETC.
- JOB SITE MEASUREMENTS ARE THE FULL RESPONSIBILITY OF THE ITEMS BY ALL SUBCONTRACTORS PRIOR TO FABRICATION. KEN FOR ALL
- GENERAL CONTRACTOR RESPONSIBLE FOR INSTALLING SOLID BLOCKING BEHIND ALL SHELVING, CABINETS, ETC., OR EQUIPMENT REQUIRING BACKING.

## CODES

FLORIDA BUILDING & RESIDENCIAL CODE, 2017 W/ 6TH EDITION W/ ADDENDUMS, 2012 FLORIDA FIRE PREVENTION CODE & 2012 FLORIDA ACCESSIBILITY CODE  
NATIONAL ELECTRIC CODE 2014 EDITION  
ALL OTHER RULES, REGULATIONS, AND CODES HAVING JURISDICTION  
RESIDENTIAL:  
OCCUPANCY GROUP : GROUP R3 TOWNHOMES, FEE SIMPLE  
CONSTRUCTION TYPE : TYPE VB, UNPROTECTED, UNSPRINKLED

	PERMITTED	PROPOSED
MEAN BUILDING HEIGHT :	40'	24'-8"
NO. OF STORIES :	2	2
AREA (MULTI-STORY) :	7000	6,340 SQ.FT.

FIRE PROTECTION REQUIREMENTS AS PER TABLE 600, F.B.C.

STRUCTURAL ELEMENT	REQUIRED RATING	PROPOSED RATING	DESIGN NO.
INTERIOR BEARING WALLS	0	0	-
INTERIOR NON-BEARING WALLS	0	0	-
COLUMNS	0	0	-
BEAMS, GIRDERS, TRUSSES	0	0	-
ROOF CEILING	0	0	-
EXTERIOR BEARING WALLS	0	0	-

FIRE PROTECTION REQUIREMENTS : FIRE RESISTANCE PARTITIONS AS PER TABLE 700, S.B.C.

VERTICAL SHAFTS: 0 HR  
OCCUPANCY SEPARATIONS: 2 HR  
TENANT SEPARATIONS: 2 HR

## INDEX OF DRAWINGS

ARCHITECTURE BUILDING 2	
Sheet Number	Sheet Name
A0.1	TITLE SHEET
A0.2	SITE PLAN
A1.1	BUILDING PLANS
A1.2	ROOF PLANS
A2.1	SECTIONS
A2.3	SECTIONS

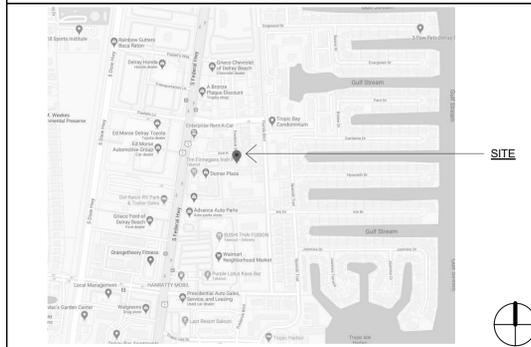
## SYMBOLS

DETAIL REFERENCE		DETAIL NUMBER SHEET NUMBER
ELEVATION REFERENCE		ELEVATION NUMBER SHEET NUMBER
SECTION REFERENCE		SECTION NUMBER SHEET NUMBER
ROOM NUMBER AND INTERIOR ELEVATION REFERENCE		WALL NUMBER INTERIOR ELEV. SHEET NUMBER
ROOM REFERENCE		ROOM NUMBER
DOOR REFERENCE		DOOR NUMBER
WINDOW REFERENCE		WINDOW NUMBER
NOTE REFERENCE		REFERENCE NUMBER
REVISION REFERENCE		REVISION NUMBER

## ABBREVIATIONS

ACOUS. ADJUSTABLE ALUMINUM APPROX.	ACOUSTICAL ADJUSTABLE ALUMINUM APPROXIMATE	N.I.C. NO. N.T.S.	NOT IN CONTRACT NUMBER NOT TO SCALE
BD. BLDG. BLK. BUCG. BM. BOT.	BOARD BUILDING BLOCK BLOCKING BEAM BOTTOM	O.A. OSB. O.C. O.D. O.F. C.I.	OVERALL OSBURE ON CENTER OUTSIDE DIAMETER OWNER FURNISH CONTRACTOR INSTALL
CAB. CEM. CER. CL. CLR. COL. CONC. CONN. CONT. CTSK.	CABINET CEMENT CERAMIC CAST IRON CLEAR COLUMN CONCRETE CONNECTION CONTINUOUS COUNTERSUNK	OFF. OPNG. OPP. PL. PLAS. PLYWD. PRL. PRECAST. P.T.D.F. P.N.	OFFICE OPENING OPPOSITE PLATE PLASTER PLYWOOD PAIR PRECAST PRESSURE TREATED DOUGLAS FIR PARTITION
DECOR. DET. D.F. DIA. DIM. DN. D.S. DWG.	DECORATIVE DETAIL DOUGLAS FIR DIAMETER DIMENSION DOWN DOWN SPOUT DRAWING	Q.T. R. RAD. RENOV. REQ. RM. R.O. RHD. R.W.L.	QUARRY TILE RISER RADIUS RENOVANCE REQUIRED ROOM ROUGH OPENING REINWOOD RAIN WATER LEADER
EA. ELEC. ED. ENL. EXP. EXT. EXIST.	EACH ELEVATION EQUAL ENLARGED EXPANSION EXTERIOR EXISTING	S.C. SCHED. SH. SHT. SM. SQ. SST. STD. STL.	SOLID CORE SCHEDULE SHEET SIMILAR SQUARE STAINLESS STEEL STANDARD STEEL
F.A.U. F.H.C. FIN. FL. FLASH. FLOOR. F.O.F. F.O.M. F.O.S. FT. FTG.	FIRE HOSE CABINET FINISH FLOOR FLASHING FLUORESCENT FACE OF FINISH FACE OF MASONRY FACE OF STUD FOOT/FEET FOOTING	STOR. STRUC. SUSP. SYM. T. T.C. TEL. T&G. THK. T.O.C. T.O.F.R. T.O.L. T.O.P. T.O.PL. TYP.	STORAGE STRUCTURAL SUSPENDED SYMMETRICAL TREAD TOP OF CURB TELEPHONE TONGUE AND GROOVE THICK TOP OF CHIMNEY TOP OF FRAMING TOP OF LEDGER TOP OF PLATE TOP OF PLATE TYPICAL
H.B. H.C. HOWD. HOWL. HGT. HM. HORE.	HOSE BRB HOLLOW CORE HARDWOOD HARDWARE HEIGHT HOLLOW METAL HORIZONTAL	U.O.N. VERT. VEST. V.G.D.F.	UNLESS OTHERWISE NOTED VERTICAL VESTIBULE VERTICAL GRAN DOUGLAS FIR
I.D. INCAND. INSUL. INT. JAN. JT. LAM. LAV. LOC. MAX. MECH. MET. MFR. MIN. MISC. M.O. MTD. MUL.	INSIDE DIAMETER INCANDESCENT INSULATION INTERIOR JANITOR JOINT LAMINATE LABORATORY LOCATION MAXIMUM MECHANICAL METAL MANUFACTURER MINIMUM MISCELLANEOUS MASONRY OPENING MOUNTED MULLION	W. W.C. WD. WDW. W.H. WSC. WT. SYMBOLS	WITHOUT WATER CLOSET WOOD WINDOW WATER HEATER WANSOT WEIGHT SYMBOLS
		A. @ C #	AND ANGLE AT CENTER LINE DIAMETER OR ROUND PERPENDICULAR ROUND OR NUMBER

## VICINITY MAP



## KEYNOTES

A keynote system is used on the drawings for materials references and notes-to-keynote legend on the drawings for information which relates to each keynote symbol on the respective drawing.

Each keynote symbol consists of a 2-digit number followed by a period and a letter suffix. The 2-digit number relates to the specification section which generally covers the item that is referenced, and the 2-digit suffix identifies specific reference notation used on the drawing. The digit suffix does not specify.

THE ORGANIZATION OF THE KEYNOTE SYSTEM ON THE DRAWINGS, WITH THE KEYNOTE REFERENCE NUMBERS RELATED TO THE SPECIFICATIONS SECTIONS NUMBERING SYSTEM, SHALL NOT CONTROL SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE.

Example: 06.01  
SUFFIX  
PREFIX

**Consultant**  
Civil Engineer  
Haley Engineering  
1680 SE 4th St  
Deerfield Beach, FL 33441  
(561) 260-6154  
johnhaley@comcast.net

**Consultant**  
Surveyor  
Bob Bugge the Surveyor  
233 E Gateway Blvd  
Boynton Beach, FL 33435  
(561) 732-7877  
bob@buggesurvey.com

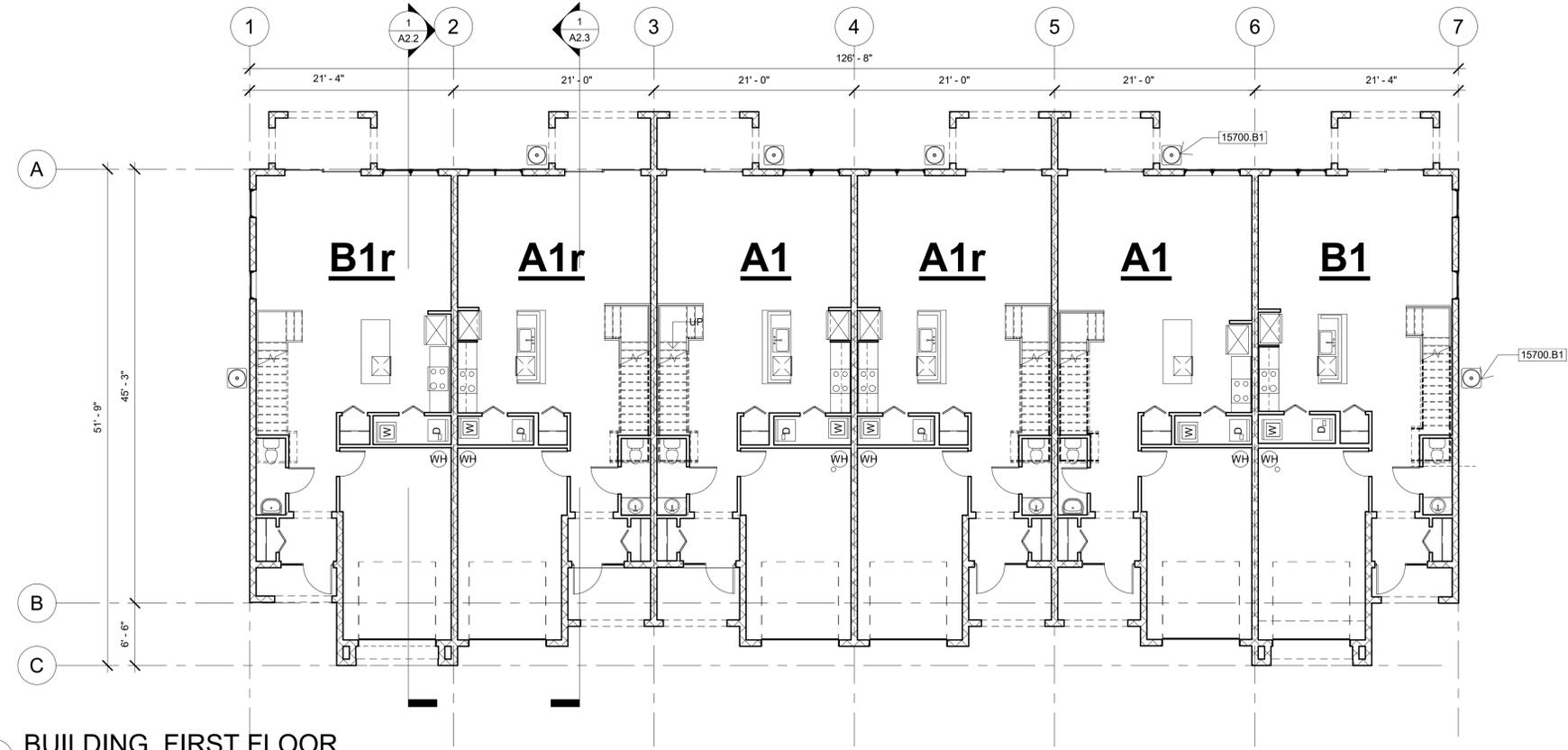
**Consultant**  
Landscape Architect  
William A Flint II  
1821 SW Palm City Rd, #B302  
Shart, FL 34984  
(772) 220-0424  
wflint3@gmail.com

**Consultant**  
Address  
Phone  
Fax  
e-mail

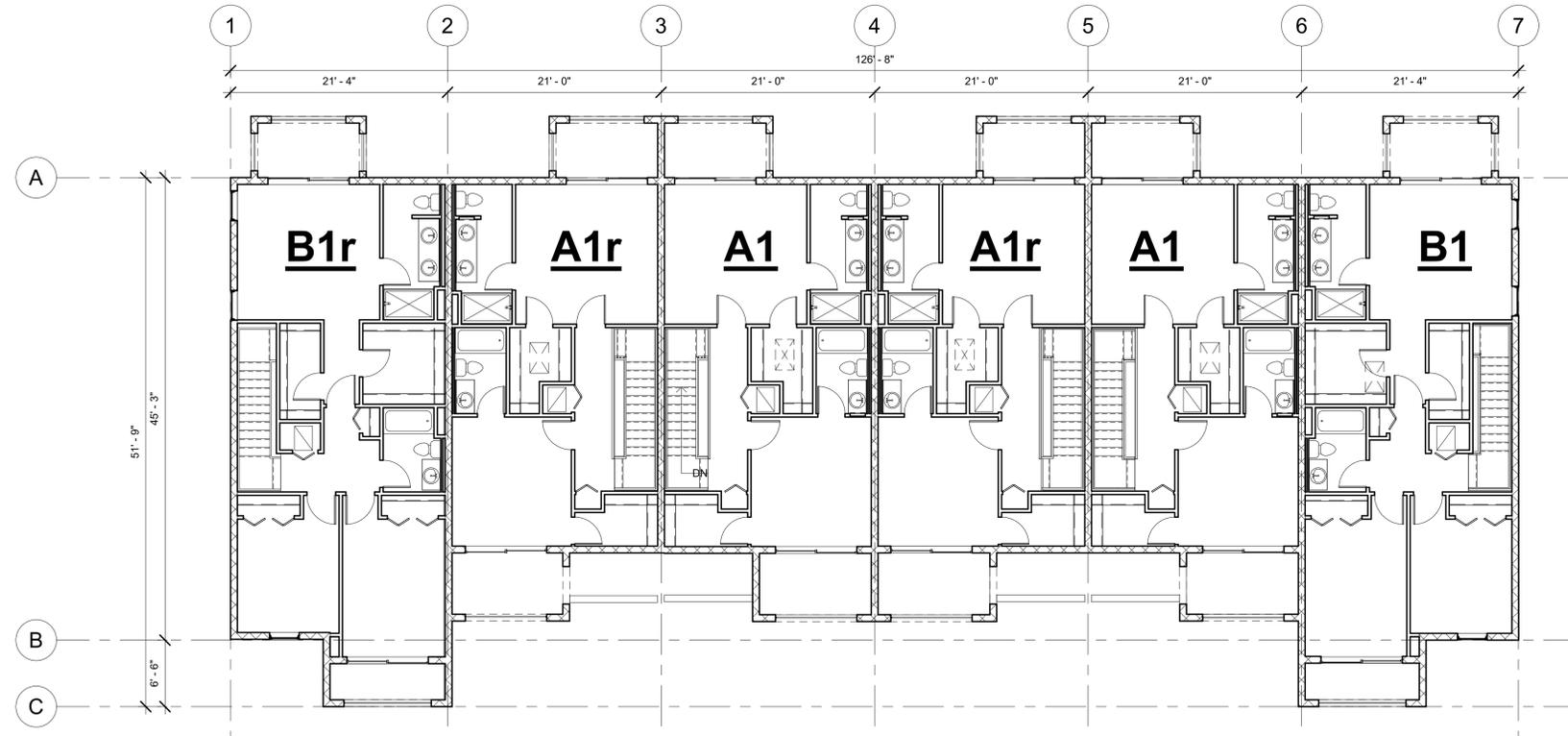
REVISION SCHEDULE		
Revision Number	Revision Description	Revision Date

<b>JMC DELRAY, LLC</b>	
<b>FEDERICK ISLES, DELRAY BEACH, FL</b>	
<b>TITLE SHEET</b>	
Project number	RIC 2007
Date	8/10/20
Drawn by	WB
Checked by	WB
<b>A0.1</b>	
Scale	1/8" = 1'-0"





1 BUILDING FIRST FLOOR  
1/8" = 1'-0"



2 BUILDING SECOND FLOOR  
1/8" = 1'-0"

Keynote Legend	
Key Value	Keynote Text
15700.B1	A/C Condensing Unit On Concrete Pad

NOTE 1:  
SEE UNIT PLANS FOR ADDITIONAL DIMENSIONS

**BUILDING GROSS AREA:**  
FIRST FLOOR: 6,641 SF  
SECOND FLOOR: 5,237  
TOTAL: 11,778 SF

**UNIT A1**  
1st Floor: 723 SF Garage: 263 SF  
2nd Floor: 701 SF Patio: 120 SF  
TOTAL: 1,424 SF

**UNIT B1**  
1st Floor: 723 SF Garage: 263 SF  
2nd Floor: 913 SF Patio: 76 SF  
TOTAL: 1,636 SF



10180 Lexington Estates Blvd  
Boca Raton, FL 33428  
T 561.923.0745  
C 561.414.6729

8/10/20  
AR 008071

Consultant  
Address  
Address  
Phone  
Fax  
e-mail

Consultant  
Address  
Address  
Phone  
Fax  
e-mail

REVISION SCHEDULE

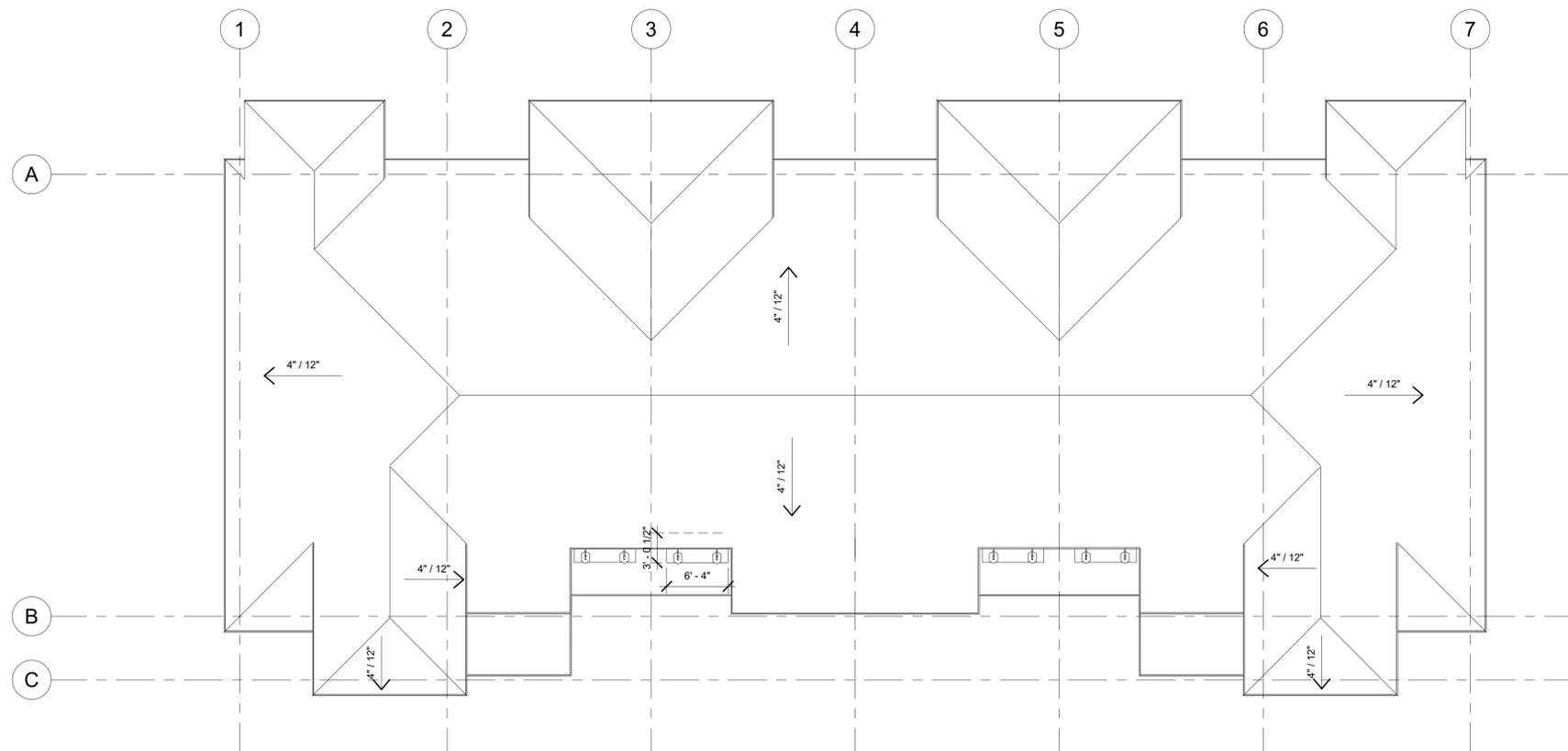
Revision Number	Revision Description	Revision Date

JMC DELRAY, LLC  
FEDERICK ISLES, DELRAY  
BEACH, FL  
BUILDING PLANS

Project number	RIC 2007
Date	8/10/20
Drawn by	Author
Checked by	Checker

A1.1

Scale 1/8" = 1'-0"



2 BUILDING PLAN - ROOF PLAN  
1/8" = 1'-0"

Keynote Legend	
Key Value	Keynote Text

NOTE 1: ALL ROOF PENETRATIONS SHALL BE 4'-0" FROM FIRE WALLS  
NOTE 2: TENANT SEPARATION WALLS PROVIDE DRAFTSTOPS



10180 Lexington Estates Blvd  
Boca Raton, FL 33428  
T 561.923.0745  
C 561.414.6729

8/10/20  
AR 008071

Consultant  
Address  
Phone  
Fax  
e-mail

REVISION SCHEDULE		
Revision Number	Revision Description	Revision Date

--	--	--

JMC DELRAY, LLC  
FEDERICK ISLES, DELRAY  
BEACH, FL

ROOF PLANS

Project number	RIC 2007
Date	8/10/20
Drawn by	Author
Checked by	Checker

A1.2

Scale	1/8" = 1'-0"
-------	--------------



Keynote Legend	
Key Value	Keynote Text
05510.A1	42" High Aluminium Guardrail
06110.A1	Wood Fascia W/ Drip
07310.A1	Asphalt Shingles
07410.A1	Aluminum Metal Roof
07410.D3	Aluminum Metal Roof W/ Aluminum Fascia & Soffit
08210.A1	Door - See Schedule
08520.A1	Aluminum Window - See Schedule
09220.A1	3/4" Cement Plaster
09220.B5	Raised Stucco Trim
15700.B1	A/C Condensing Unit On Concrete Pad



10180 Lexington Estates Blvd  
Boca Raton, FL 33428  
T 561.923.0745  
C 561.414.6729

8/10/20  
AR 008071

Consultant  
Address  
Address  
Phone  
Fax  
e-mail

REVISION SCHEDULE

Revision Number	Revision Description	Revision Date

JMC DELRAY, LLC  
FEDERICK ISLES, DELRAY  
BEACH, FL

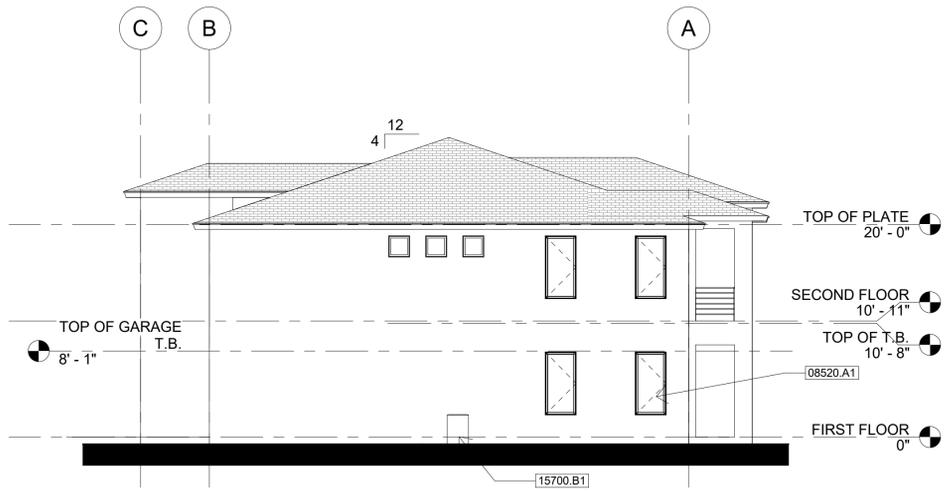
ELEVATIONS

Project number	RIC 2007
Date	8/10/20
Drawn by	WB
Checked by	WB

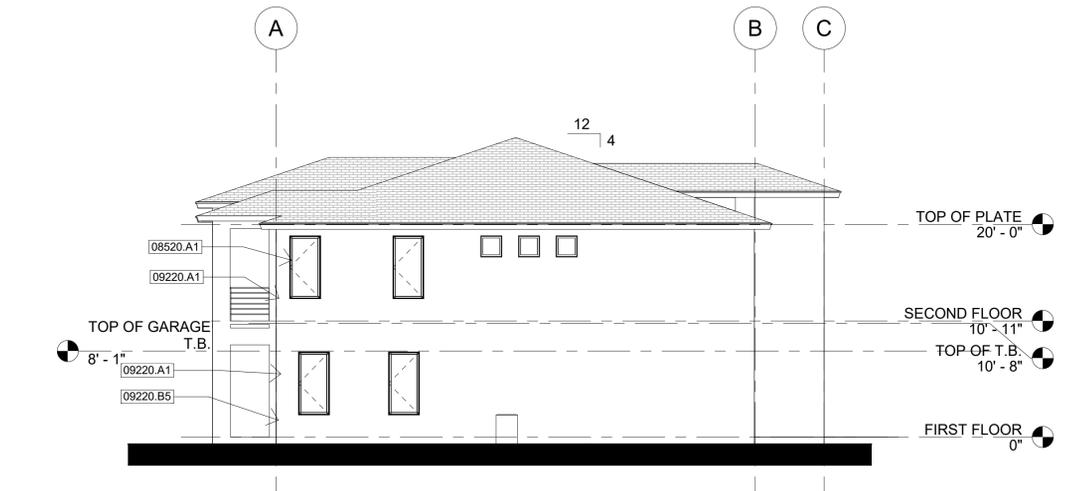
**A2.1**

Scale 1/8" = 1'-0"

1 BUILDING WEST ELEVATION  
1/8" = 1'-0"



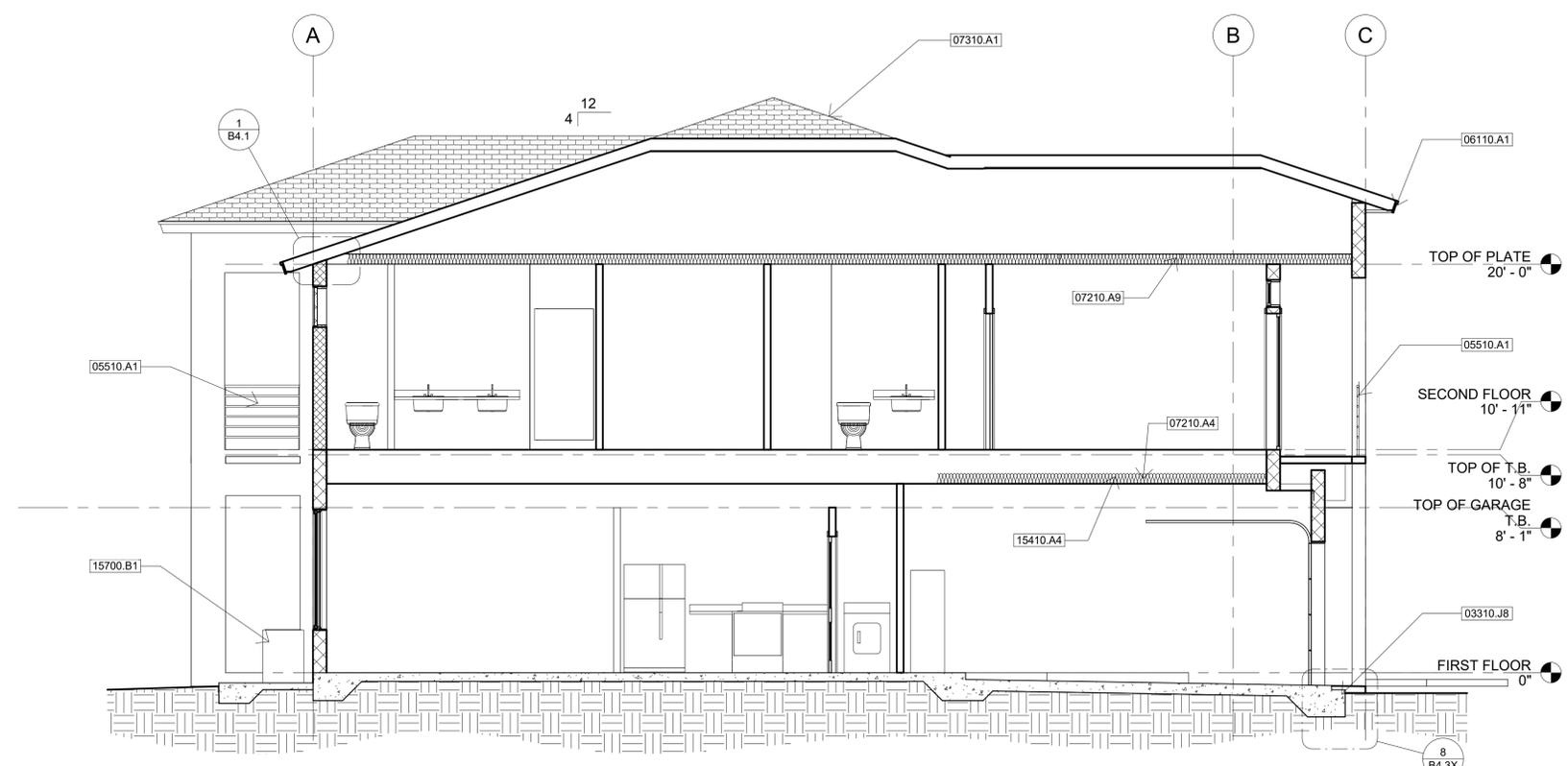
3 BUILDING SOUTH ELEVATION  
1/8" = 1'-0"



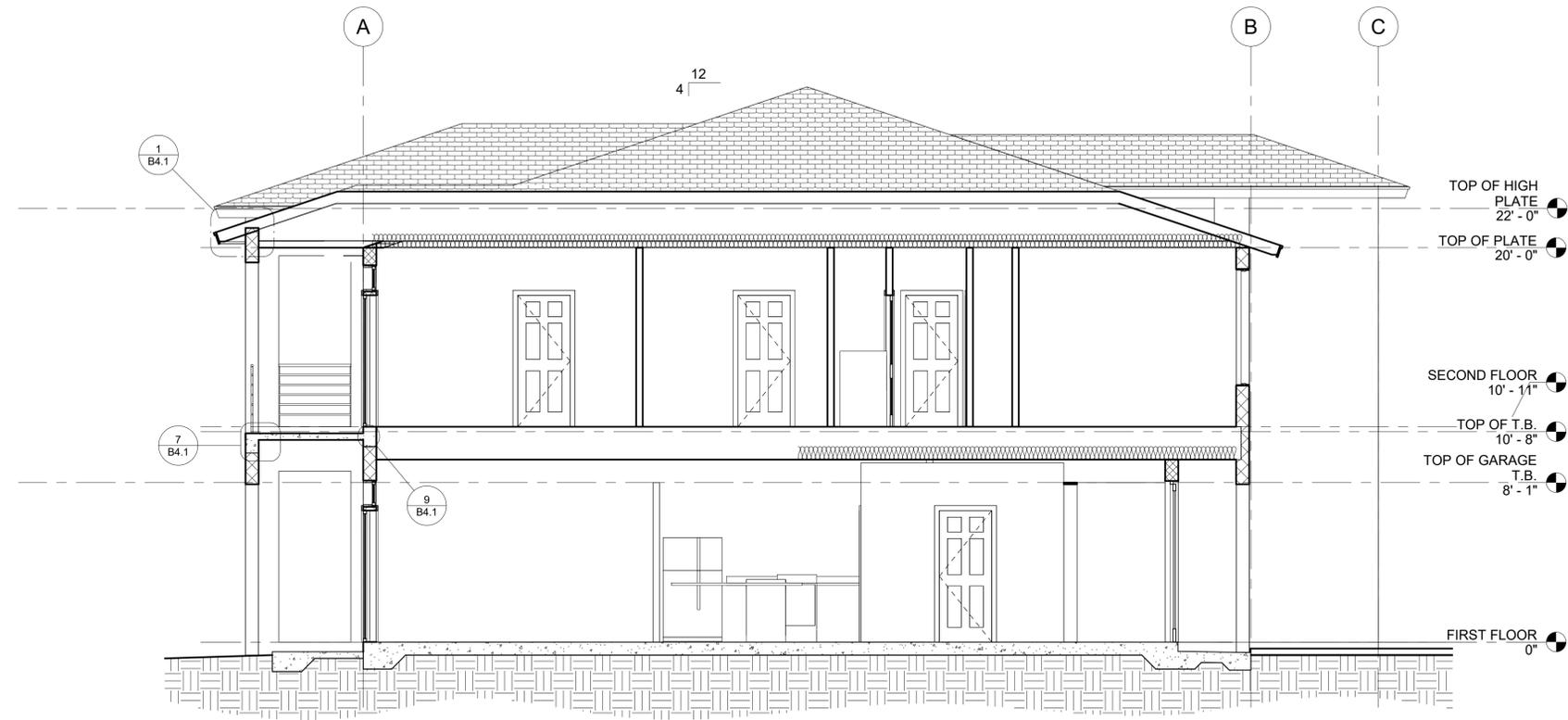
2 BUILDING NORTH ELEVATION  
1/8" = 1'-0"



4 BUILDING EAST ELEVATION  
1/8" = 1'-0"



1 SECTION A-A  
1/4" = 1'-0"



3 SECTION C-C  
1/4" = 1'-0"

Keynote Legend	
Key Value	Keynote Text
03310.J8	Concrete Footing & Slab - See Structural
05510.A1	42" High Aluminium Guardrail
06110.A1	Wood Fascia W/ Drip
07210.A4	R-19 Batt Insulation
07210.A9	R-38 Batt Insulation
07310.A1	Asphalt Shingles
15410.A4	Tub/Shower
15700.B1	A/C Condensing Unit On Concrete Pad



10180 Lexington Estates Blvd  
Boca Raton, FL 33428  
T 561.923.0745  
C 561.414.6729  
8/10/20  
AR 008071

Consultant  
Address  
Address  
Phone  
Phone  
Fax  
Fax  
e-mail  
e-mail

Consultant  
Address  
Address  
Phone  
Phone  
Fax  
Fax  
e-mail  
e-mail

REVISION SCHEDULE

Revision Number	Revision Description	Revision Date

JMC DELRAY, LLC  
FEDERICK ISLES, DELRAY  
BEACH, FL

SECTIONS

Project number RIC 2007  
Date 8/10/20  
Drawn by Author  
Checked by Checker

A2.2

Scale 1/4" = 1'-0"