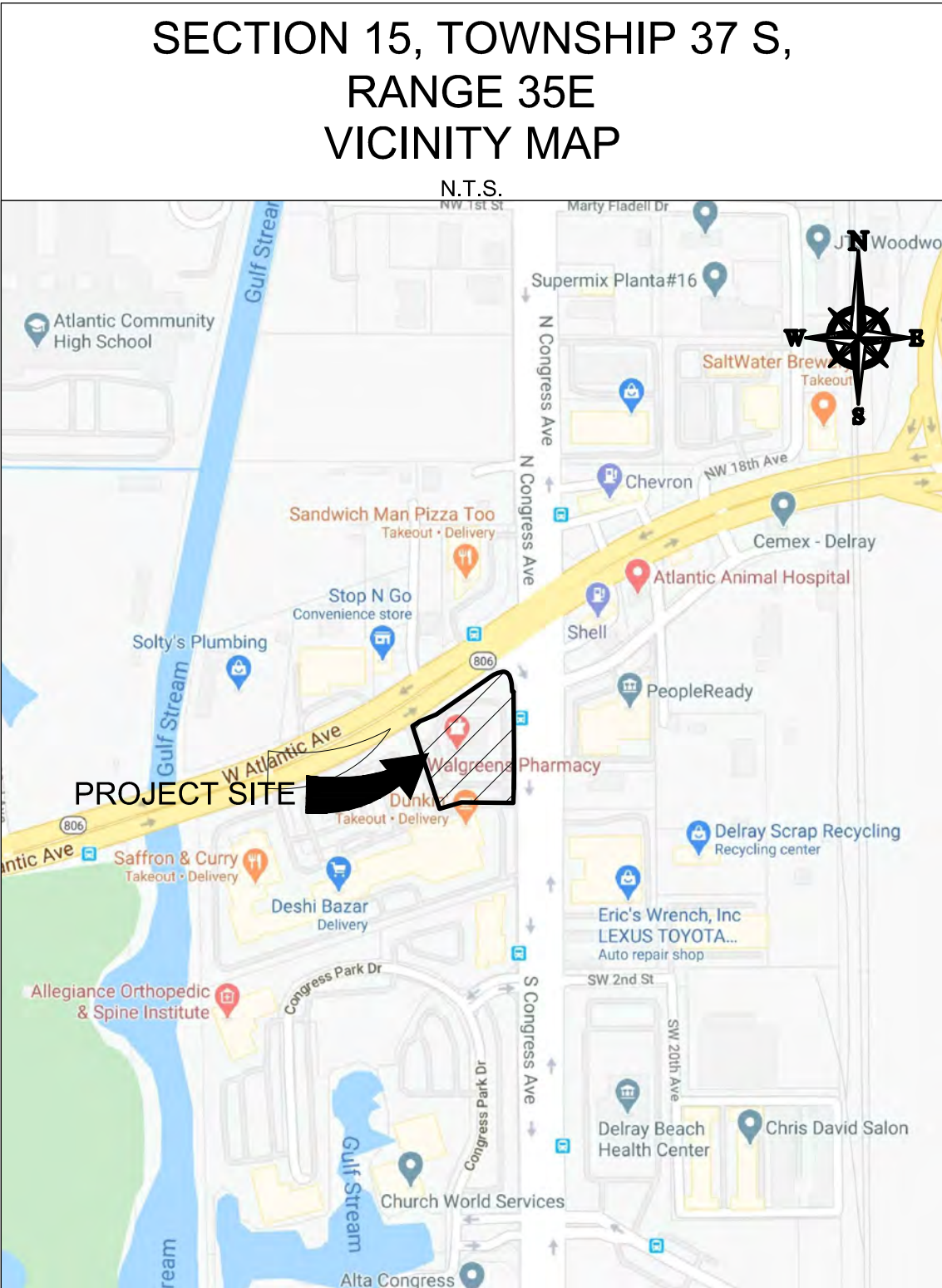


SITE DEVELOPMENT PLANS
FOR



ATLANTIC AVENUE & CONGRESS AVENUE
SECTION 18, TOWNSHIP 46S, RANGE 43E
PALM BEACH COUNTY, FL

RACETRAC PROJECT NO. 1490
RACETRAC STORE NO. TBD
FOLIO NUMBER: 12-43-46-18-56-001-0000



GENERAL NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE INSPECTION ACCORDING TO AGENCY INSTRUCTION.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK, INCLUDING LANDSCAPING.
- CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER'S CONSTRUCTION MANAGER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO USE ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. CONSTRUCTION MANAGER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE CONTRACTOR'S RESPONSIBILITY FOR PERFORMANCE OF THE ITEM.
- WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES. IT IS NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY WITH OTHER CONTRACTORS AND UTILITY COMPANIES.
- MATERIALS AND CONSTRUCTION METHODS FOR STREETS AND STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY.
- CONTRACTOR SHALL REVIEW SOIL REPORTS AND BORINGS PRIOR TO BIDDING THE PROJECT AND COMMENCING CONSTRUCTION.
- AT LEAST 72 HOURS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND APPROPRIATE AGENCIES AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS, THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE, AND OTHER INFORMATION AS REQUIRED. ANY WORK PERFORMED PRIOR TO NOTIFYING THE ENGINEER OR WITHOUT AGENCY INSPECTOR PRESENT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL USE EACH PLAN IN CONJUNCTION WITH THE ENTIRE SET OF DRAWINGS AND JOB SPECIFICATIONS. DO NOT REMOVE OR DEMOLISH ANYTHING WITHOUT VERIFYING AND COORDINATING WITH ALL ELECTRICAL, PLUMBING, MECHANICAL, GENERAL TRADES, AND UTILITY COMPANIES AS THEY EFFECT THE OVERALL PROJECT.
- ALL WORK SHOWN SHALL BE DONE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.

FDOT NOTES:

- GOVERNING STANDARD PLANS: FLORIDA DEPARTMENT OF TRANSPORTATION, FY 2019-20 STANDARDS PLANS FOR ROAD AND BRIDGE CONSTRUCTION AND APPLICATBLE INTERIM REVISIONS (IRS).

STANDARD PLANS FOR ROAD CONSTRUCTION AND ASSOCIATED IRS ARE AVAILABLE AT THE FOLLOWING WEBSITE:
[HTTP://WWW.FDOT.GOV/DESIGN/STANDARDPLANS](http://www.fdot.gov/design/standardplans)

APPLICABLE IRS: IRS36-001-01, IRS21-001-01

STANDARD PLANS FOR BRIDGE CONSTRUCTION ARE INCLUDED IN TEH STRUCTURES PLANS COMPONENT.

- GOVERNING STANDARD SPECIFICATIONS: FLORIDA DEPARTMENT OF TRANSPORTATION, JULY 2019 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AT THE FOLLOWING WEBSITE
[HTTP://WWW.FDOT.GOV/PROGRAMMANAGEMENT/IMPLEMENTED/SPECSBOOKS](http://www.fdot.gov/programmanagement/implemented/specsbooks)

LEGAL DESCRIPTION:

A PORTION OF PARCEL "A" OF "CONGRESS AT ATLANTIC PARCEL", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 88, PAGES 97, 98 AND 99 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWESTERLY CORNER OF SAID PARCEL "A"; THENCE NORTH 18°18'15" WEST ON THE WEST LINE OF SAID PARCEL "A" 234.83 FEET TO THE NORTHWESTERLY CORNER OF SAID PARCEL "A" ON THE SOUTHERLY RIGHT-OF-WAY LINE OF WEST ATLANTIC AVENUE AS DEPICTED ON STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY PLAN NUMBER 413841-2-52-01, SHEETS 34 AND 35, A POINT ON THE ARC OF A CIRCULAR CURVE, CONCAVE NORTHWESTERLY, THE RADIUS POINT OF WHICH BEARS NORTH 32°21'25" WEST; THENCE ON SAID RIGHT-OF-WAY LINE THE FOLLOWING 8 NUMBERED COURSES AND DISTANCES: 1) NORTHEASTERLY ON THE NORTH LINE OF SAID PARCEL "A", AND ON THE ARC OF SAID CURVE, WITH A RADIUS OF 1970.08 FEET AND A CENTRAL ANGLE OF 00°41'44" AN ARC DISTANCE OF 23.92 FEET; 2) NORTH 67°54'52" EAST 47.30 FEET; 3) NORTH 55°11'19" EAST 177.75 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE, CONCAVE SOUTHEASTERLY; 4) NORTHEASTERLY ON THE ARC OF SAID CURVE, WITH A RADIUS OF 89.00 FEET AND A CENTRAL ANGLE OF 21°32'34" AN ARC DISTANCE OF 33.46 FEET TO A POINT OF COMPOUND CURVATURE OF A CIRCULAR CURVE, CONCAVE SOUTHWESTERLY; 5) SOUTHEASTERLY ON THE ARC OF SAID CURVE, WITH A RADIUS OF 19.00 FEET AND A CENTRAL ANGLE OF 81°12'21" AN ARC DISTANCE OF 26.93 FEET TO A POINT OF COMPOUND CURVATURE OF A CIRCULAR CURVE, CONCAVE WESTERLY; 6) SOUTHERLY ON THE ARC OF SAID CURVE, WITH A RADIUS OF 89.00 FEET AND A CENTRAL ANGLE OF 21°33'47" AN ARC DISTANCE OF 33.49 FEET TO A POINT OF TANGENCY; 7) SOUTH 00°29'59" EAST 9.59 FEET; 8) NORTH 89°30'01" EAST 4.00 FEET TO THE INTERSECTION WITH THE EAST LINE OF SAID PARCEL "A", ALSO BEING THE WEST RIGHT-OF-WAY LINE OF SOUTH CONGRESS AVENUE; THENCE ON SAID EAST LINE AND ON SAID WEST RIGHT-OF-WAY LINE THE FOLLOWING 3 NUMBERED COURSES AND DISTANCES: 1) SOUTH 00°29'04" EAST 179.89 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE, CONCAVE WESTERLY; 2) SOUTHERLY ON THE ARC OF SAID CURVE, WITH A RADIUS OF 1,849.86 FEET AND A CENTRAL ANGLE OF 02°31'56" AN ARC DISTANCE OF 81.76 FEET TO A POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE, CONCAVE EASTERLY; 3) SOUTHERLY ON THE ARC OF SAID CURVE, WITH A RADIUS OF 1,969.86 FEET AND A CENTRAL ANGLE OF 01°06'21" AN ARC DISTANCE OF 38.02 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL "A"; THENCE NORTH 89°19'14" WEST ON THE SOUTH LINE OF SAID PARCEL "A" 139.93 FEET; THENCE SOUTH 73°41'05" WEST ON SAID SOUTH LINE 61.04 FEET TO THE POINT OF BEGINNING. CONTAINING 71,611 SQUARE FEET, 1.6440 ACRES.

TOGETHER WITH EASEMENTS FOR DRAINAGE, WATER, UTILITY, RECIPROCAL PARKING AND ACCESS RIGHTS, LANDSCAPE MAINTENANCE, INGRESS-EGRESS AND SIGNAGE EASEMENTS AS SET FORTH IN DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS RECORDED IN O.R. BOOK 11681, PAGE 1850, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, OVER AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

PARCEL "B" OF "CONGRESS AT ATLANTIC PARCEL", ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN PLAT BOOK 88, PAGES 97, 98 AND 99 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SURVEYOR

PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
954-572-1777

ENGINEER

THOMAS ENGINEERING GROUP
KEVIN A. BETANCOURT, P.E.
6300 NW 31 AVE
FORT LAUDERDALE, FL 33309
PHONE: (954) 202-7000
FAX: (954) 202-7070

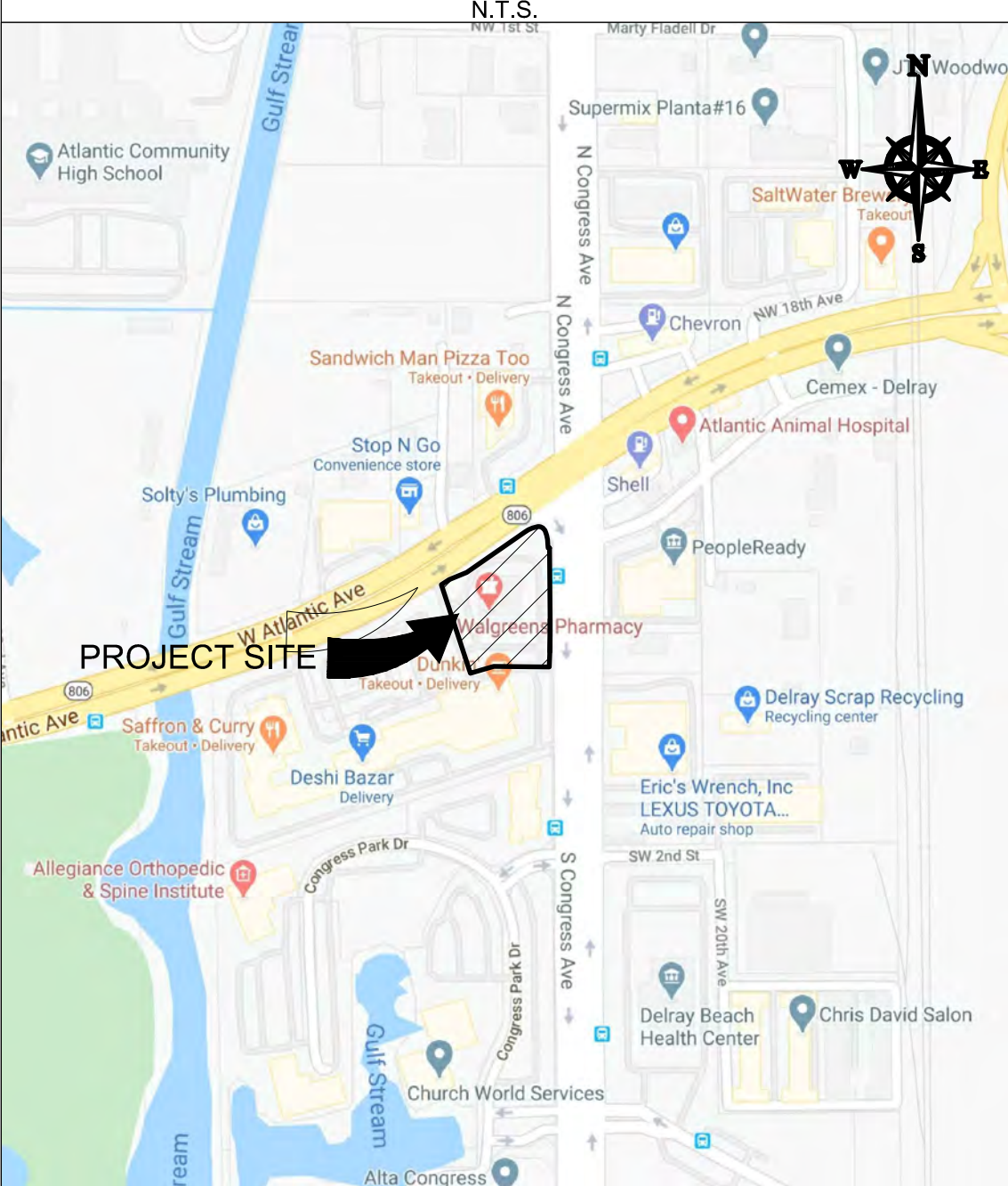
LANDSCAPE ARCHITECT

THOMAS ENGINEERING GROUP
RYAN J. KING EBRAHIMIAN, P.L.A.
PROFESSIONAL LANDSCAPE ARCHITECT
6300 NW 31 AVE
FORT LAUDERDALE, FL 33309
PHONE: (954) 202-7000
FAX: (954) 202-7070

OWNER/DEVELOPER

RACETRAC PETROLEUM, INC.
200 GALLERIA PARKWAY SE,
SUITE 900 ATLANTA, GEORGIA 30339
ENGINEERING: SAMANTHA JONES
(512) 417-3225
CONSTRUCTION: ANGIE RUDISEL
(770) 714-4581

SECTION 15, TOWNSHIP 37 S,
RANGE 35E
VICINITY MAP



SHEET INDEX OF DRAWINGS

SHEET	NAME	BY OTHERS	PLAN DATE	REVISION	PLAN DATE
C 0.0	COVER SHEET				
SRVY	ALTA & NSPS LAND TITLE	PULICE LAND SURVEYORS			
ES 1.0	EROSION CONTROL PLAN				
D 1.0	DEMOLITION PLAN				
C 1.1	SITE PLAN				
C 1.2	PAVEMENT MARKING & SIGNAGE PLAN				
C 1.3	CIRCULATION PLAN				
C 1.4	SITE DETAILS				
C 1.5	OFF-SITE TURN LANE PLAN				
C 2.1	GRADING PLAN				
C 2.2	CROSS SECTIONS				
C 3.1	PAVING PLAN				
C 4.1	JOINTS PLAN				
C 5.1	DRAINAGE PLAN				
C 5.2	PAVING & DRAINAGE DETAILS				
C 6.1	UTILITY PLAN				
C 6.2	UTILITY DETAILS				
SD1	RACETRAC STANDARD DETAILS				
SD2	RACETRAC STANDARD DETAILS				
SD3	RACETRAC STANDARD DETAILS				
SD4	RACETRAC STANDARD DETAILS				
SD5	RACETRAC STANDARD DETAILS				
L1.0	LANDSCAPE DISPOSITION PLAN				
L1.1	LANDSCAPE PLAN				
L1.2	LANDSCAPE DETAILS				
L1.2	LANDSCAPE SPECS				
L2.0	IRRIGATION PLAN				
L2.1	IRRIGATION DETAILS				
L2.2	IRRIGATION SPECS				
RT 2.0	FUEL PIPING PLAN				
RT 1.0	TANK & PIPING LAYOUT				
RT 3.0	ELECTRICAL LAYOUT				
RT 1.2	TANK DETAILS				
RT 3.0	TANK DETAILS				
RT 2.0	TANK & PIPING DETAILS				
RT 3.0	ISLAND DETAILS				
RT 1.0	DISPENSER DETAILS				
RT 2.0	TANK AND PIPING NOTES				
GP 1	CANOPY FOUNDATION PLAN				
GP 2	CANOPY ROOF PLAN				
GP 3	CANOPY LIGHT LAYOUT & DETAILS				
GP 4	CANOPY MISC DETAILS				
ARCHITECTURAL SHEETS BY OTHERS FOR SITE PLAN SET					
A010	DUMPSTER ENCLOSURE ELEVATION	HILL FOLEY ROSSI & ASSOC.			
A120	FLOOR DIMENSION PLAN	HILL FOLEY ROSSI & ASSOC.			
A200	ROOF PLAN	HILL FOLEY ROSSI & ASSOC.			
A300	EXTERIOR ELEVATIONS	HILL FOLEY ROSSI & ASSOC.			
C100	FUEL CANOPY ELEVATIONS	HILL FOLEY ROSSI & ASSOC.			
SP-1	SITE PHOTOMETRY PLAN	HILL FOLEY ROSSI & ASSOC.			

ENGINEER'S CERTIFICATION:
THIS PLAN WAS PREPARED UNDER MY DIRECTION AND THE THE BEST OF MY KNOWLEDGE COMPLIES WITH THE INTENT OF THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS, AS ADOPTED BY THE STATE OF FLORIDA LEGISLATURE, CHAPTER 72-328 F.S.



Know what's below.
Call before you dig.

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DATE

NO.

SECTION 15, TOWNSHIP 37 S, RANGE 35E VICINITY MAP

PROJECT SITE

PROFESSIONAL ENGINEER
KEVIN A. BETANCOURT
No. 63361
FLORIDA BOARD OF PROFESSIONAL ENGINEERS
FEBRUARY 2020 EXPIRATION DATE

PROFESSIONAL LANDSCAPE ARCHITECT
RYAN J. KING EBRAHIMIAN
No. 27528
FLORIDA BOARD OF PROFESSIONAL LANDSCAPE ARCHITECTS
FEBRUARY 2020 EXPIRATION DATE

THOMAS ENGINEERING GROUP
6300 NW 31 AVE
FORT LAUDERDALE, FL 33309
PHONE: (954) 202-7000
FAX: (954) 202-7070
WWW.THOMASENGINEERINGGROUP.COM

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PETROLEUM, INC. IS
PROHIBITED.

Racetrac

RACETRAC PETROLEUM, INC.
200 GALLERIA PARKWAY SE
SUITE 900 ATLANTA, GA 30339
(770) 431-7600

COVER SHEET

RACETRAC MARKET
& GAS STATION

DATE

10/27/20

SCALE

DRAWN-BY

JFV

DRAWING NAME:

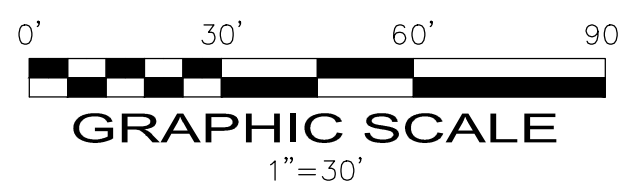
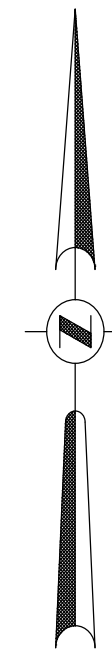
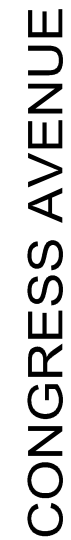
COVER SHEET

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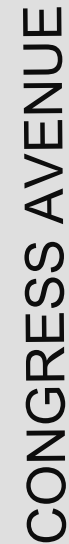
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SHEET NO.

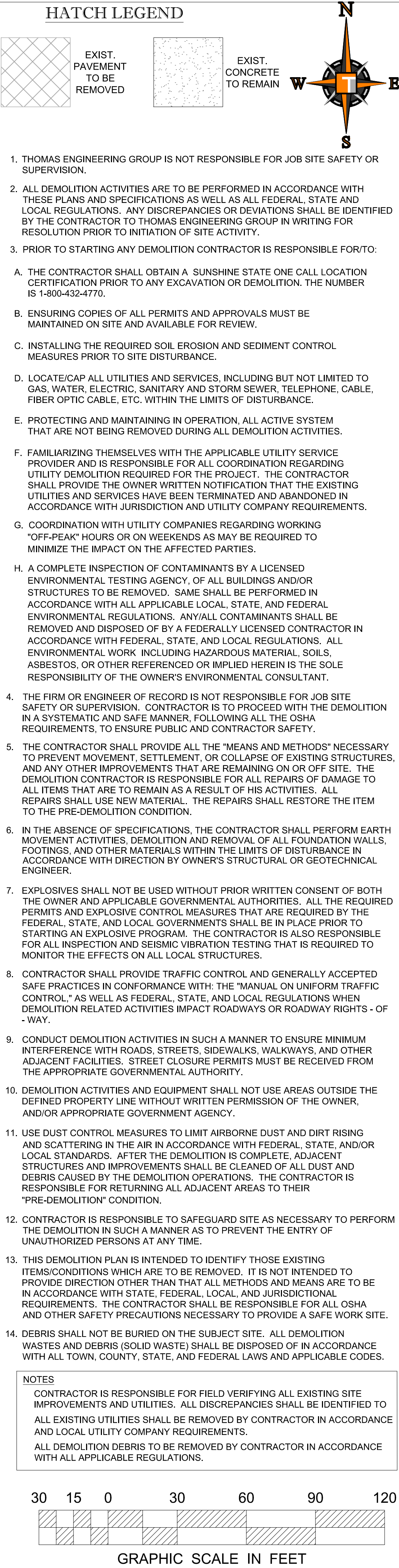
VERSION



☐ JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
☐ BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS6136
☐ VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
☐ DONNA C. WEST, PROFESSIONAL SURVEYOR AND MAPPER LS4290
 STATE OF FLORIDA

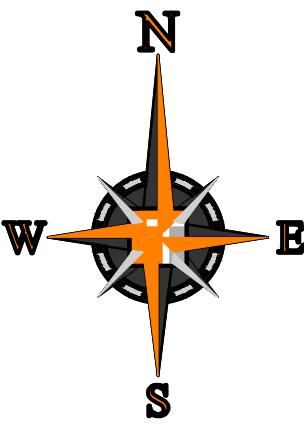


FILE: THE MORGAN COMPANIES
ORDER NO.: 67364



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[illegible]



THIS PLAN REFERENCES A BOUNDARY AND TOPOGRAPHIC SURVEY BY

PULICE LAND SURVEYOR'S, INC.
5831 NOB HILL ROAD, SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777

FOLIO: 12-43-46-18-56-001-0000

OWNER: D&N REALTY HOLDINGS 2
WALGREEN CO STORE #0506
C/O PO BOX 1159
DEERFIELD, IL 60015-6002

APPLICANT: RACETRAC C/O
THOMAS ENGINEERING GROUP, LLC

CURRENT USE: RETAIL

PROPOSED USE: 5,144 SF CONVENIENCE STORE
w/ 20 FUELING POSITIONS

LAND USE DESIGNATION: COMMERCIAL

ZONING DESIGNATION: PLANNED COMMERCIAL DISTRICT (PC)

WATER/WASTEWATER SERVICE PROVIDER: CITY OF DELRAY BEACH UTILITIES

AREA BREAKDOWN:

GROSS LOT AREA:	71,611 SF (1.64 AC)
ROW DEDICATION AREA:	2,586 SF (0.06 AC)
NET SITE AREA:	69,026 SF (1.58 AC)

PREVIOUS LANDSCAPE OPEN SPACE	18,394 SF
TOTAL	18,394 SF (26.65%)

IMPERVIOUS	
BUILDING ROOF AREA	6,123 SF
VEHICULAR USE AREA (VUA)	39,838 SF
CONC. / SIDEWALK AREA	4,671 SF
TOTAL	50,632 SF (73.35%)

TOTAL SITE AREA: 69,026 SF (1.58 AC)

LOT COVERAGE

BUILDING ROOF AREA	6,123 SF
FUEL CANOPY AREA (INCLUDED IN VUA)	8,622 SF
TOTAL	14,745 SF (21.4%)

SITE REQUIREMENTS

<u>SITE REQUIREMENTS:</u>	<u>REQUIRED</u>	<u>PROPOSED</u>
MIN. LOT AREA	15,000 SF	69,026 SF (1.58 AC)
MIN. FRONTAGE	150'	295'
MIN. LOT DEPTH	100'	287.27'
MAX. LOT COVERAGE	40%	21.4%
FLOOR TO AREA RATIO (F.A.R)	3.0	0.07
MAX. IMPERVIOUS AREA	75%	73.35%
MAX. BLDG. HEIGHT:	48'	23'

REQUIRED PARKING:

PARKING STALL DIMENSIONS	9' X 18'	10' X 18'
5,411 SF SERVICE STATION(FLOOR AREA)	21.64 SPACES	
(4 SPACES PER 1,000 SF)		
565 SF OUTDOOR SEATING AREA	2.26 SPACES	
(4 SPACES PER 1,000 SF)		
TOTAL	23.9 = 24 SPACES	28 SPACES

ACCESSIBLE PARKING (2 PER 26-50 SPACES)	REQUIRED 2 SPACES	PROPOSED 2 SPACES
--	----------------------	----------------------

PROPOSED SETBACKS:

<u>BUILDING</u>	<u>REQUIRED</u>	<u>PROPOSED</u>
FRONT (NORTH)	10'	158.54' BLDG. 42.65' CANOPY

REAR (SOUTH)	10'	12.13' BLDG >10' CANOPY
SIDE INTERIOR (WEST)	0'	19.25' BLDG 42.45' CANOPY

SIDE / ADJ. TO STREET (EAST)	10'	70.90' BLDG 56.14' CANOPY
------------------------------	-----	------------------------------

DISPENSERS

FRONT (NORTH)	15'	58.15'
REAR (SOUTH)	15'	>15'
SIDE INTERIOR (WEST)	15'	57.90'
SIDE/ADJ TO STREET (EAST)	15'	76.29'

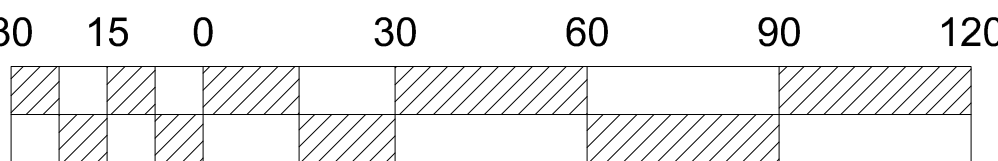
PROPOSED LANDSCAPE BUFFERS

FRONT (NORTH)	10'	10.15'
REAR (SOUTH)	5'	5.41'
SIDE INTERIOR(WEST)	5'	15.76'
SIDE/ADJ. TO STREET (EAST)	10'	10.00'

6" THICK CONCRETE PAVING

8" REINFORCED CONCRETE
FOR DUMPSTER AREA,
TANK AREA & CURB
BACKING

4" THICK CONCRETE
SIDEWALK



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Printed on Monday, February 01, 2021, 11:30 PM by Kevin Belancourt
G:\PACE\RAC\2020\F200063 - ATLANTIC AVE & CONGRESS AVE, DELRAY BEACH\DWG\SITE PLANS\F200063-SITE PLAN.dwg

KEVIN A. BETANCOURT
No. 83361
PROFESSIONAL ENGINEER
February 2021
FLORIDA LICENSE NO. 083361
FLORIDA BUSINESS & PROFESSIONAL EXAM NO. 27528

THOMAS
ENGINEERING GROUP

6300 NW 31ST AVE
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
FX: (954) 202-7070
www.ThomasEngineeringGroup.com

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200 GALLERIA PARKWAY SE
SUITE 900 ATLANTA, GA 30339
(770) 431-7600

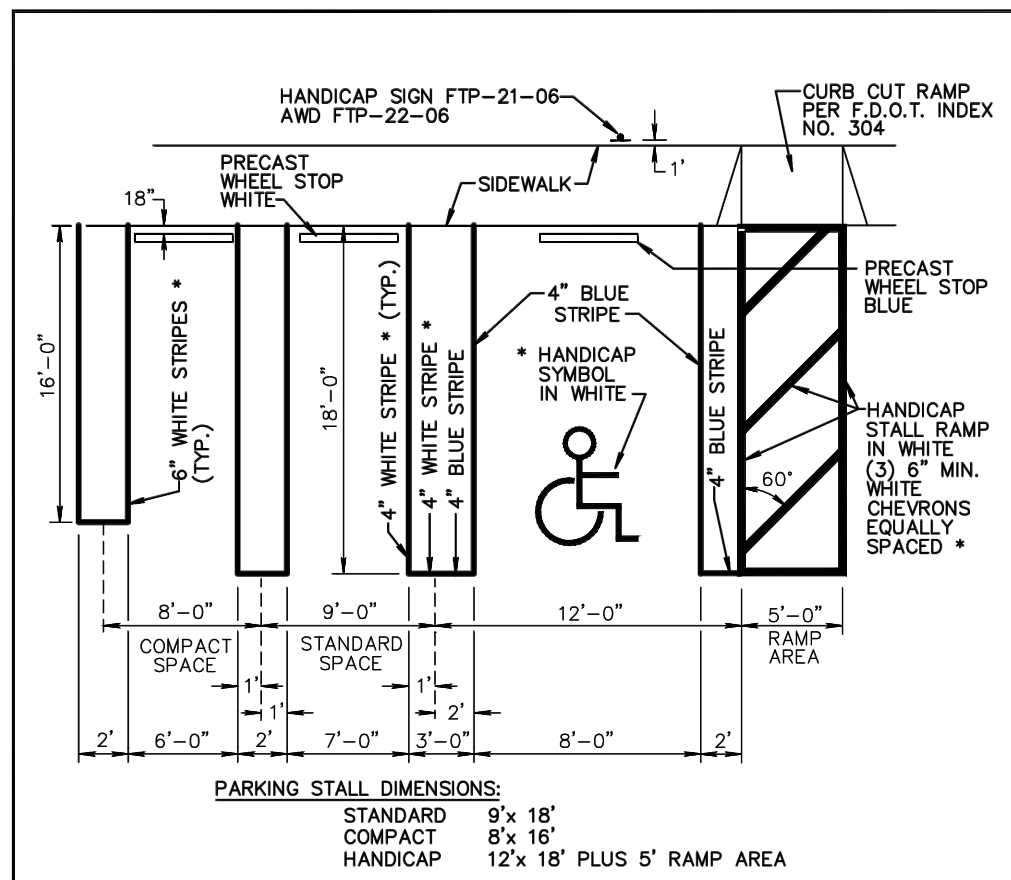
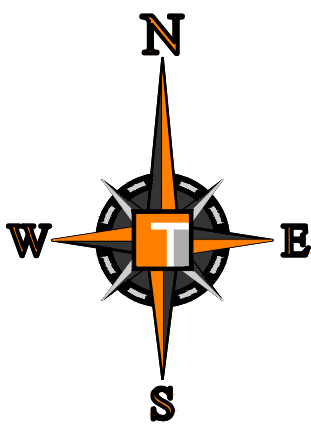
SITE PLAN

**ACETRAC MARKET
& GAS STATION**

ATLANTIC AVENUE &
CONGRESS AVENUE
DELRAY BEACH, FLORIDA

DATE	2/1/21
SCALE	1" = 30'
DRAWN-BY	JFV
DRAWING NAME:	
SITE PLAN	

C 1.1	1
SHEET NO.	VERSION

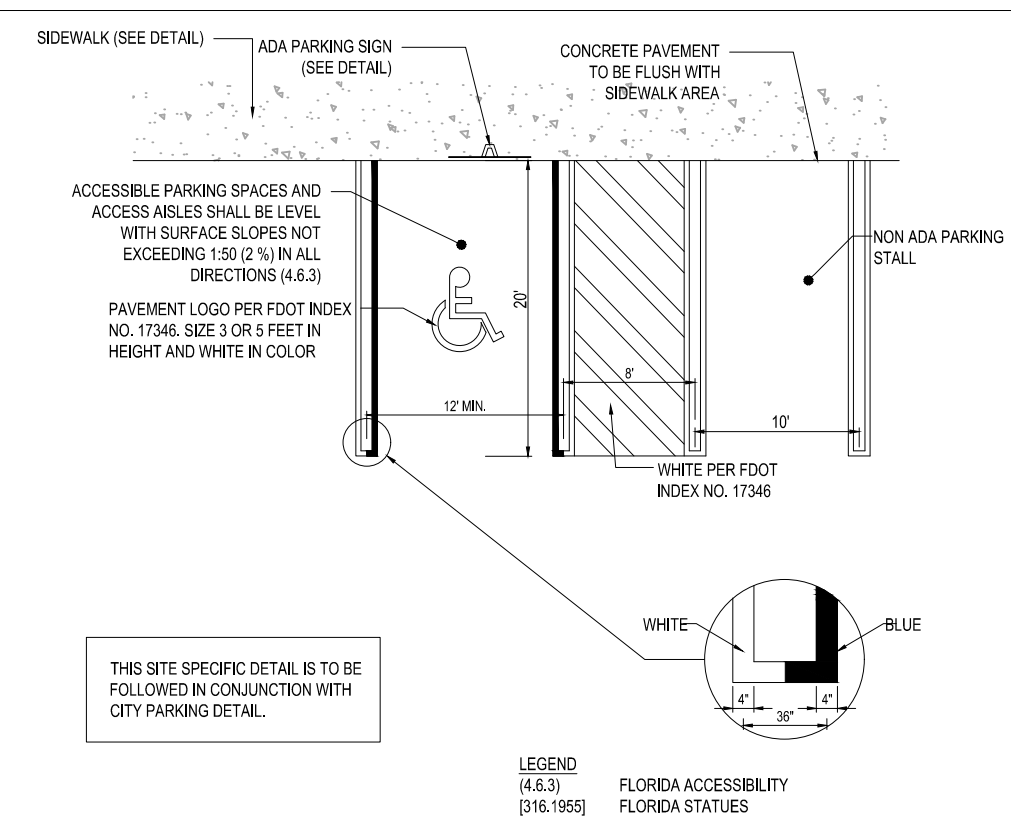


- * **NOTES:**
- 1. ON LIGHT COLORED SURFACE I.E. CONCRETE ALL HANDICAP MARKINGS SHALL BE BLUE AND STANDARD PARKING STRIPING SHALL BE 3" WHITE WITH 1" BLACK BORDER.
- 2. ALL STRIPING WITHIN PUBLIC RIGHT-OF-WAY SHALL BE 6 INCHES.
- 3. ALL MEASUREMENTS ARE FROM CENTER LINE.
- 4. ALL COMPACT SPACES MUST HAVE "COMPACT" STENCILED WITH BLACK PAINT ON WHEEL STOP.
- 5. BLUE STRIPE & H/C SYMBOL AND WALKWAY ON CONCRETE
- 6. 24" STOP BAR BETWEEN ALL PARKING LOTS AND PUBLIC R/W SHALL BE THERMOPLASTIC AND PER FDOT SPECIFICATIONS AND STOP SIGN R-1-1



TYPICAL PARKING SPACES:
(1 OF 3)

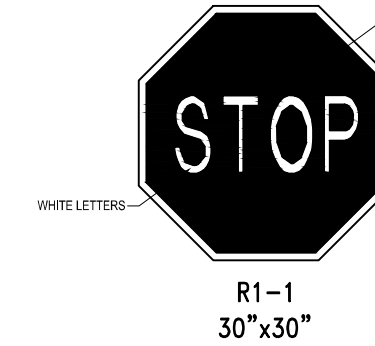
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RT 4.2a



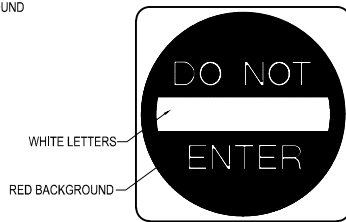
1	ACCESSIBLE PARKING SPACE - ADA COMPLIAN
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SCALE: NONE

SIGN LEGEND



R1-1
30"x30"



30"x3



WHITE LETTERS — RED BACKGROUND



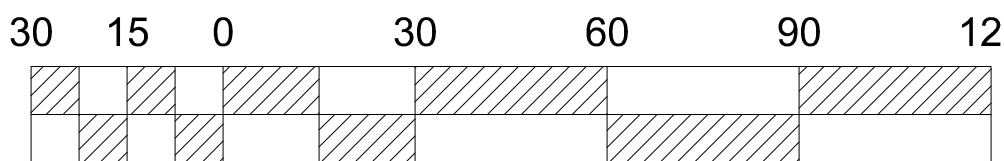
R3-1
RIGHT TURN
ONLY SIGN
(24"X24")

LEGEND

- | | |
|-------|-------------------------------|
| R1-1 | STOP SIGN (30" x 30") |
| R3-1 | RIGHT TURN ONLY SIGN |
| R5-1 | DO NOT ENTER SIGN (30" x 30") |
| R5-1a | WRONG WAY SIGN |
| DY | DOUBLE YELLOW |
| W | WHITE |
| Y | YELLOW |
| * | THERMOPLASTIC |

THERMOPLASTIC RETROREFLECTIVITY REQUIREMENTS

WHITE	250 MILLICANDELAS
YELLOW	175 MILLICANDELAS



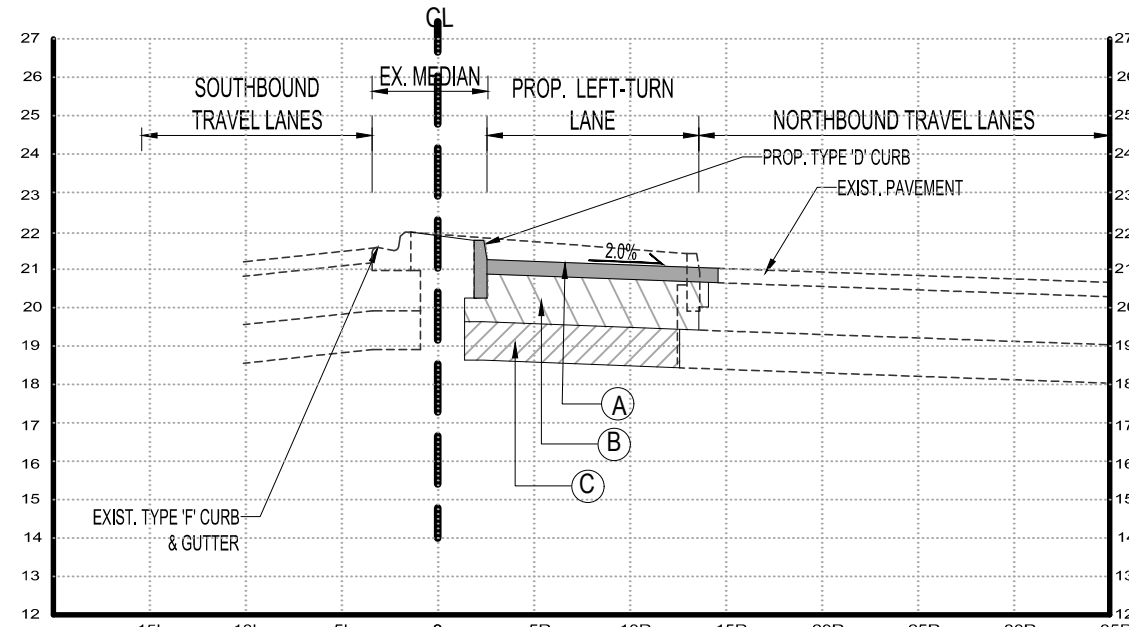
GRAPHIC SCALE IN FEET

CONTACT RACETRAC PETROLEUM, INC. PROJECT MANAGER PRIOR TO ANY REVISIONS TO THE PLAN SUPPLIED BY RACETRAC PETROLEUM, INC.



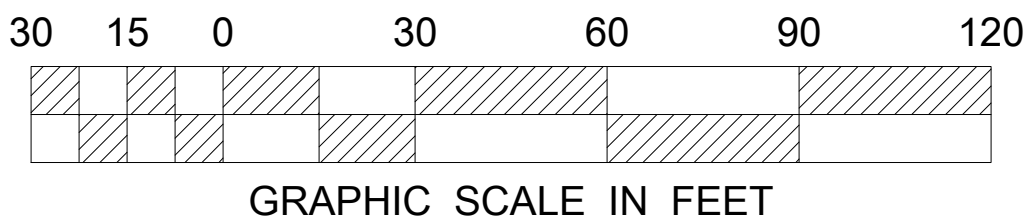
Diagram illustrating a curb and gutter cross-section. The diagram shows a vertical line representing the "PROP. ROW LINE" and "PROP. SIDEWALK". To the right of the sidewalk is a "SIDEWALK" area. Further right is a "11' WIDE DECEL LANE" and "SOUTHBOUND TRAVEL LANES". The diagram shows a "2.0% MAX" slope for the sidewalk and a "3%" slope for the "EXIST. ROW LINE" and "EXISTING PAVEMENT". A "PROP. TYPE 'F' CURB & GUTTER" is shown at the bottom. Callouts A, B, and C are used to identify specific components: A points to the curb, B points to the gutter, and C points to the existing pavement.

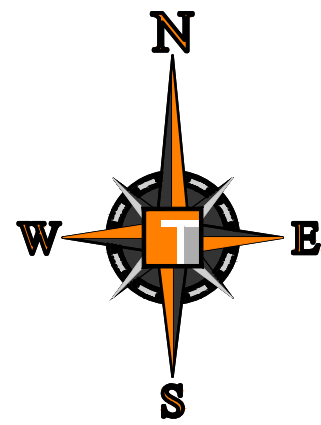
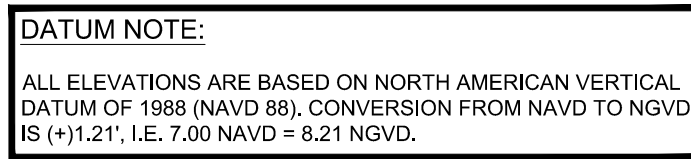
SECTION A-A
SCALE: H. 1"=10' - V. 1"=5'



SECTION B-B
SCALE: H. 1"=10' - V. 1"=5'

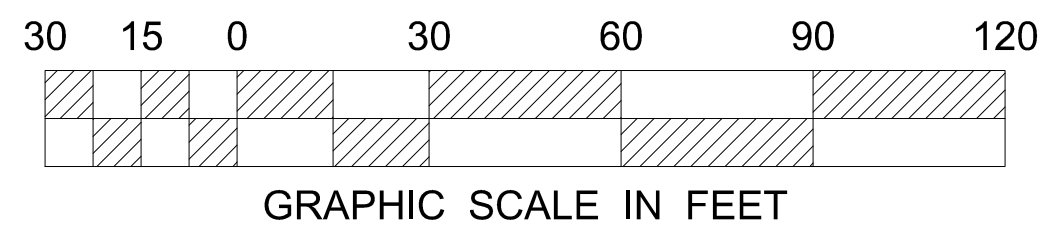
A	WEARING SURFACE - ASPHALT AREAS (RIGHT-OF-WAY): INSTALLATION OF 3" ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR TYPE CP-12.5 AND SP-10 ASPHALTIC CONCRETE. IT SHALL BE CONSTRUCTED WITH 1.5" TYPE CP-12.5 FRICTION COURSE OVER 2" TYPE SP-12.5 ASPHALT SURFACE COURSE WITH TACK COAT BETWEEN LIFTS.
B	LIME ROCK BASE - VEHICULAR AREAS (RIGHT-OF-WAY): LIME ROCK BASE COURSE MATERIAL FOR PAVED AREAS WITHIN FOOT RIGHT-OF-WAYS SHALL BE A MINIMUM 12" THICKNESS AND COMPACTED TO 98% MINIMUM DRY DENSITY PER AASHTO T-180 (LBR 100).
C	SUB-BASE : 12" STABILIZED SUB-BASE COMPACTED TO 98% OF MAX. DRY DENSITY PER AASHTO T-180 (MIN LBR 40).





1. TOPOGRAPHIC INFORMATION WAS TAKEN FROM A TOPOGRAPHIC SURVEY BY SURVEYING, LLC. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
2. CONTRACTOR SHALL SPECIFICALLY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES, INCLUDING EXISTING CONDUITS, UTILITIES PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ALL EXISTING UTILITIES (ABOVE AND BELOW GROUND) AS SHOWN ON THESE PLANS ARE APPROXIMATE AND WERE LOCATED BASED ON EITHER VISUAL OBSERVATIONS AT THE TIME OF SURVEY OR INFORMATION FROM PRIVATE UTILITY OWNERS.
4. RACETRAC PETROLEUM DOES NOT GUARANTEE THAT EXISTING UTILITY LOCATIONS ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES (ABOVE AND BELOW GROUND) PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR SHALL OBTAIN APPROPRIATE UTILITY COMPANIES AND THE UTILITIES PROTECTION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.
5. IF THE CONTRACTOR HAS ANY CONCERNS REGARDING THE LOCATION OF ANY OWNER AND/OR ENGINEER OF ANY UTILITY CONFLICTS WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
6. ALL CUT OR FILL SLOPES SHALL BE FLAT OR FLATTER UNLESS OTHERWISE NOTED.
7. EXISTING MANHOLE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILTS AND DEBRIS.
8. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
9. ALL STORM PIPES ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
10. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING AND TIE IRONS.
11. THE CONTRACTOR SHALL ADHERE TO THE TERMS AND CONDITIONS AS OUTLINES IN THE SPECIFICATIONS, AND SHALL BE RESPONSIBLE FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTIONS ACTIVITIES.
12. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING AND FOR ALL PAVED AREAS.
13. ALL UN-SURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH CITY / COUNTY SPECIFICATIONS UNTIL HEALTHY STAND OF GRASS IS OBTAINED.
14. CONTRACTOR SHALL ERECT WALLS TO PROTECT EXISTING UTILITIES FROM DAMAGE. THIS INCLUDES BUT IS NOT LIMITED TO, PROVIDING AND INSTALLING PROPER BRACING DURING BACKFILL BEING PLACES ADJACENT TO RETAINING WALLS.
15. CONTRACTOR SHALL REVIEW AND OBTAIN ALL NECESSARY PERMITS FROM RACETRAC.
16. CLEARING AND GRUBBING LIMITS SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATIONS. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UNDISTURBED AREAS, ALL PROPERTY CORNERS, AND REPLACING ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION.
17. PROPOSED SLOP ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
18. CONTRACTOR SHALL TRIM, TACK, AND MATCH EXISTING PAVEMENT AT CONNECTIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
19. ALL GRADING OPERATIONS SHALL BE STAKED BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR APPROVED BY THE OWNER.
20. EXISTING MANHOLES AND VALVE BOXES TO REMAIN IN PLACE SHALL BE ADJUSTED TO FINAL GRADES.

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
	UNDERGROUND WATER LINE	
	UNDERGROUND ELECTRIC LINE	
	UNDERGROUND TELEPHONE LINE	
	STORM SEWER	
	SANITARY SEWER MAIN	
	OVERHEAD WIRE	
	HYDRANT	
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	WATER METER	
	CLEAN OUT	
	SLOPE GRADE	
	SPOT GRADE	
	EXPANSION JOINT	



Know what's below.
Call before you dig.