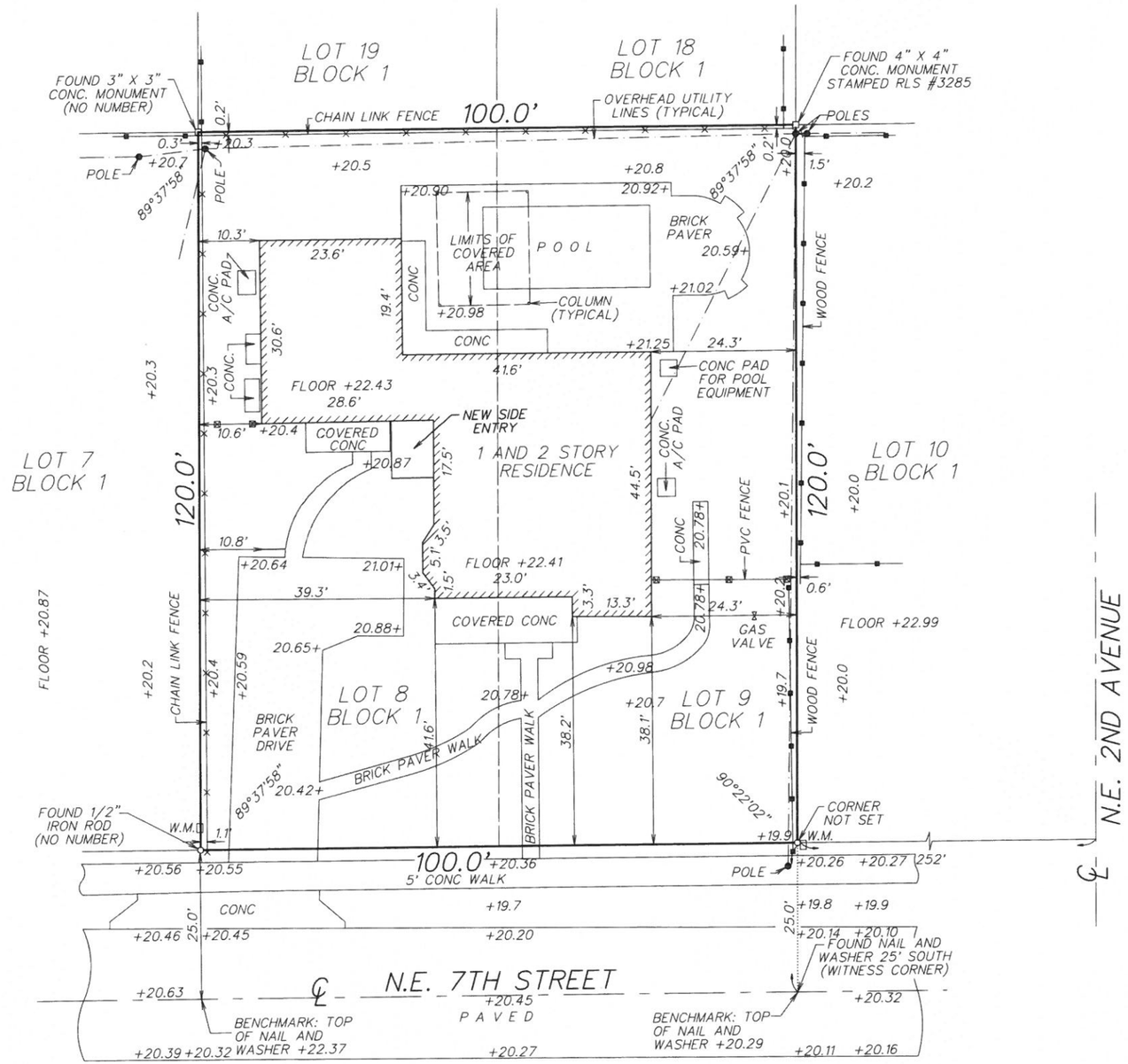

SURVEYOR'S REPORT/LEGEND:

℄ = CENTERLINE

CONC = CONCRETE

W.M. = WATER METER

FLOOD ZONE: X
COMMUNITY PANEL NO. 125102
MAP NO.: 12099C0977F
SUFFIX: F
MAP DATE: OCTOBER 5, 2017

+20.29 = ELEVATION BASED ON NORTH AMERICAN VERTICAL DATUM 1988. SOURCE "L-NET GPS NETWORK"

NOTE: ALL BOUNDARY LINES AND ANGULAR DIMENSIONS ARE PLAT AND SURVEY UNLESS STATED OTHERWISE.

ALL DIMENSIONS SHOWN HEREON ARE BASED ON THE STANDARD U.S. FOOT.

THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL OF CLOSURE OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR COMMERCIAL/HIGH RISK PROPERTY. CLOSURE WAS ACHIEVED BASED ON A REDUNDANCY OF MEASUREMENTS FOR VERTICAL, HORIZONTAL AND ANGULAR DIMENSIONS.

NO SUBSURFACE SEARCH WAS MADE FOR UTILITIES OR UNDERGROUND FOOTERS

DESCRIPTION:

LOTS 8 AND 9, BLOCK 1, DEL-IDA PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 9, PAGE 52, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

MAP OF BOUNDARY SURVEY

SITE ADDRESS: 105 N.E. 7TH STREET,
DELRAY BEACH, FLORIDA 33444
PARCEL CONTROL NO. 12-43-46-09-29-001-0080

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Paul D. Engle

PAUL D. ENGLE
SURVEYOR & MAPPER #5708

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

O'BRIEN, SUITER & O'BRIEN, INC.
LAND SURVEYORS
CERTIFICATE OF AUTHORIZATION #LB353
SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE
955 N.W. 17TH AVENUE, SUITE K-L DELRAY BEACH, FLORIDA 33445
(561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY: MARCH, 16 2020	REVISED: 03/25/20 – ADDED PROPOSED ADDITIONS	SCALE: 1" = 10'
FIELD BOOK: D.264 PAGE NO.: 32		ORDER NO.: 01-9kb

INTERIOR RENOVATION FOR

105 NE 7TH STREET.

GENERAL NOTES:

1. CONSTRUCTION SHALL FOLLOW "F.B.C. 6TH EDITION 2017" AS ADOPTED BY THE COUNTY AND AS APPLICABLE TO THE AREA IN WHICH THE BUILDING IS TO BE CONSTRUCTED WITH ALL APPLICABLE AMENDMENTS.
2. BUILDER SHOULD COORDINATE ALL THE WORK OF ALL THE TRADES.
3. BUILDER, SUBCONTRACTOR, SUPPLIER, ETC. SHALL VERIFY ALL DIMENSIONS, CONDITIONS AT JOB SITE, PLANS, SPECIFICATIONS, ETC. PRIOR TO STARTING ANY WORK AND WITHIN SEVEN (7) CALENDAR DAYS OF BUILDER'S RECEIPT OF THESE PLANS SHALL NOTIFY THE AMES INTERNATIONAL ARCHITECTURE (IN WRITING ONLY) OF ANY AND ALL DISCREPANCIES (WHETHER DISCREPANCIES ARE ERRORS OF COMMISSION OR OMISSION OR NOT). OTHERWISE THE AMES INTERNATIONAL ARCHITECTURE WILL NOT ASSUME ANY RESPONSIBILITY FOR ANY ERRORS, AND THE BUILDER, SUBCONTRACTOR, SUPPLIER, ETC. SHALL ASSUME FULL RESPONSIBILITY FOR ANY ERRORS AND CORRECT ERRORS AT THEIR OWN EXPENSE.
4. TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE PLANS AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE, CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN IT'S ENTIRELY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.
5. SITE WORK: FILL UNDER ALL SLABS SHALL BE CLEAN SAND AND SHALL BE COMPACTED TO A MINIMUM OF 95% AND A MAXIMUM DENSITY AS PER ASTM D-1557, CONTRACTOR SHALL VERIFY UNDER COMPACTION. ALLOWABLE SOIL BEARING PRESSURE 2500 P.S.F. MIN. SEE GEOTECHNICAL ENGINEER RECOMENDATIONS.
6. WOOD: ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR-LARCH NO.2 OR BETTER. ALL LUMBER IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED. SHOP DRAWINGS AND DESIGN CALCULATIONS FOR ROOF TRUSSES BEARING THE SIGNATURE AND SEAL OF A FLORIDA REGISTERED ENGINEER SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
7. DOORS AND WINDOWS: WINDOWS INDICATED WITH (E) MUST BE MANUFACTURED TO CONFORM WITH THE BUILDING CODE WITH RESPECT TO MINIMUM EMERGENCY EGRESS REQUIREMENTS. ALL SLIDING GLASS DOORS SHALL BE TEMPERED. ALL WINDOWS AND DOORS SHALL BE CAULKED AND WEATHER STRIPPED. WINDOW UNITS SHALL DISPLAY LABELS COMPLIANCE WITH FLORIDA STATE MODEL CODE SECTION 502.4. WINDOW AND DOOR MANUFACTURERS SHALL ALSO COORDINATE WITH BUILDER FIELD VERIFY ALL OPENING SIZES PRIOR TO FABRICATION.
8. THE AMES INTERNATIONAL ARCHITECTURE RESERVES, MAINTAINS AND RETAINS IT'S COMMON LAW COPYRIGHT RIGHTS AND ANY OTHER RIGHTS (EXPRESSED AND/IMPLIED) IN THESE PLANS, DESIGNS, IDEAS, SPECIFICATIONS, ETC. THESE PLANS, IDEAS, DESIGNS, ETC. ARE NOT TO BE REPRODUCED, COPIED, DUPLICATED, ETC. IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION FROM THE AMES INTERNATIONAL ARCHITECTURE NOR ARE THEY TO BE LOANED OR ASSIGNED TO ANY PERSONS, FIRMS, ASSOCIATIONS, CORPORATIONS, ETC. WITHOUT FIRST OBTAINING A WRITTEN PERMISSION FROM THE AMES INTERNATIONAL ARCHITECTURE, IN EACH AND EVERY INSTANCE.
9. ANY CHANGES, REVISIONS, ALTERATIONS, ETC. REQUIRED TO THESE PLANS, DRAWINGS, SPECIFICATIONS, ETC. SHALL BE REQUESTED IN WRITING ONLY BY THE BUILDER OR BY THE OWNER TO THE AMES INTERNATIONAL ARCHITECTURE ANY CHANGES, REVISIONS, ALTERATIONS, DEVIATIONS, ETC. NOT MADE BY THE AMES INTERNATIONAL ARCHITECTURE (IN WRITING ONLY) WILL FULLY, UNCONDITIONALLY AND TOTALLY RELEASE THE AMES INTERNATIONAL ARCHITECTURE FROM ANY AND ALL RESPONSIBILITY, CLAIMS AGAINST THE AMES INTERNATIONAL ARCHITECTURE FOR CULPABILITY, ETC. FROM THE DATE SHOWN ON THE PLANS ORIGIN UNTIL THE END OF TIME.
10. BUILDER SHALL PROVIDE INSULATION AS PER ENERGY CALCULATIONS AND/OR PLAN SPECIFICATIONS.
11. ALL MATERIALS SHOWN OR CALLED FOR ON THESE DRAWINGS SHALL BE INSTALLED WITH MANUFACTURERS RECOMMEND AND SPECIFICATIONS.
12. APPROVED MANUF. SPECIFICATIONS SHALL TAKE PRECEDENCE OVER ANY DETAILS AND SPECIFICATIONS FOUND IN THESE PLANS. DEVIATIONS FROM THESE PLANS, SPECIFICATIONS AND NOTES MUST CONFORM TO LOCAL BUILDING CODE REQUIREMENTS. AND MUST BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION
13. NO ONE SHALL ASSUME ANY DIMENSION BY DIRECTLY SCALING CONSTRUCTION DOCUMENTS OR ANY REPRODUCTIONS AND SAME. IF ANY ADDITIONAL DIMENSIONS ARE REQUIRED BY CONTRACTOR AND/OR RESIDENT, CONTACT THE AMES INTERNATIONAL ARCHITECTURE FOR VERIFICATION. OTHERWISE, THE AMES INTERNATIONAL ARCHITECTURE WILL NOT ASSUME ANY RESPONSIBILITY FOR ANY ERROR NOR WILL THEY CORRECT ANY ERROR AT THEIR EXPENSE.
14. ALL WINDOWS USED AS EMERGENCY EGRESS OPENING TO COMPLY WITH "F.B.C. 6TH EDITION 2017".
15. ALL SHOWER ENCLOSURES AND DOORS TO HAVE TEMPERED GLASS.
16. ALL SLIDING GLASS DOORS TO HAVE TEMPERED GLASS.
17. GLAZING CONTRACTOR SHALL INSTALL ALL GLASS IN ACCORDANCE WITH "F.B.C 6TH EDITION 2017".
18. ALL EXTERIOR FIXED GLASS (EXCEPT AT WINDOWS) AND ALL INTERIOR FIXED GLASS SHALL HAVE TEMPERED GLASS.
19. ALL SHOWERS MUST BE EQUIPPED WITH ANTI-SCALE FAUCETS

INDEX OF DRAWINGS

SHEET NO.	SHEET CONTENTS
	ARCHITECTURAL DRAWINGS
A01	COVER SHEET & GENERAL NOTES
A02	SITE PLAN, ARCHITECTURAL
A02.1	COMPOSITE OVERLAY
A03	DEMOLITION PLAN
A04	1ST FLOOR PLAN
A05	2ND FLOOR PLAN
A06	ROOF PLAN
A07	BUILDING ELEVATION
A08	BUILDING ELEVATION
A09	BUILDING ELEVATION
A10	BUILDING ELEVATION
A11	PERSPECTIVES
A12	EXISTING HOUSE PHOTOS
A13	DOOR & WINDOW SCHEDULE
	CIVIL DRAWINGS
C-1	CIVIL PLAN & CALCULATIONS
C-2	EROSION + SEDIMENT CONTROL PLAN

HISTORIC PRESERVATION BOARD

ALAN & RUTH BAUM
105 NE 7TH STREET
DEL-IDA, DELRAY BEACH, 33444

REVISIONS	BY
2/17/2021 CITY/HISTORIC COMM.	AG
3/19/2021 HISTORIC COMM.	AG

Shane Ames - Architect

Ames INTERNATIONAL ARCHITECTURE

ADDRESS • HISTORIC DEL-IDA PARK, PROFESSIONAL DISTRICT, 200 SE DIXIE BOULEVARD, DELRAY BEACH, FLORIDA, 33444, PHONE : 5095274 6444, FAX : 5095274 6446.

DRAWN: A.G.
CHECKED:
DATE: 10/22/2019
SCALE: AS NOTES
JOB NO.: 19_4861
SHEET: A01
OF XX SHEETS

COVER SHEET

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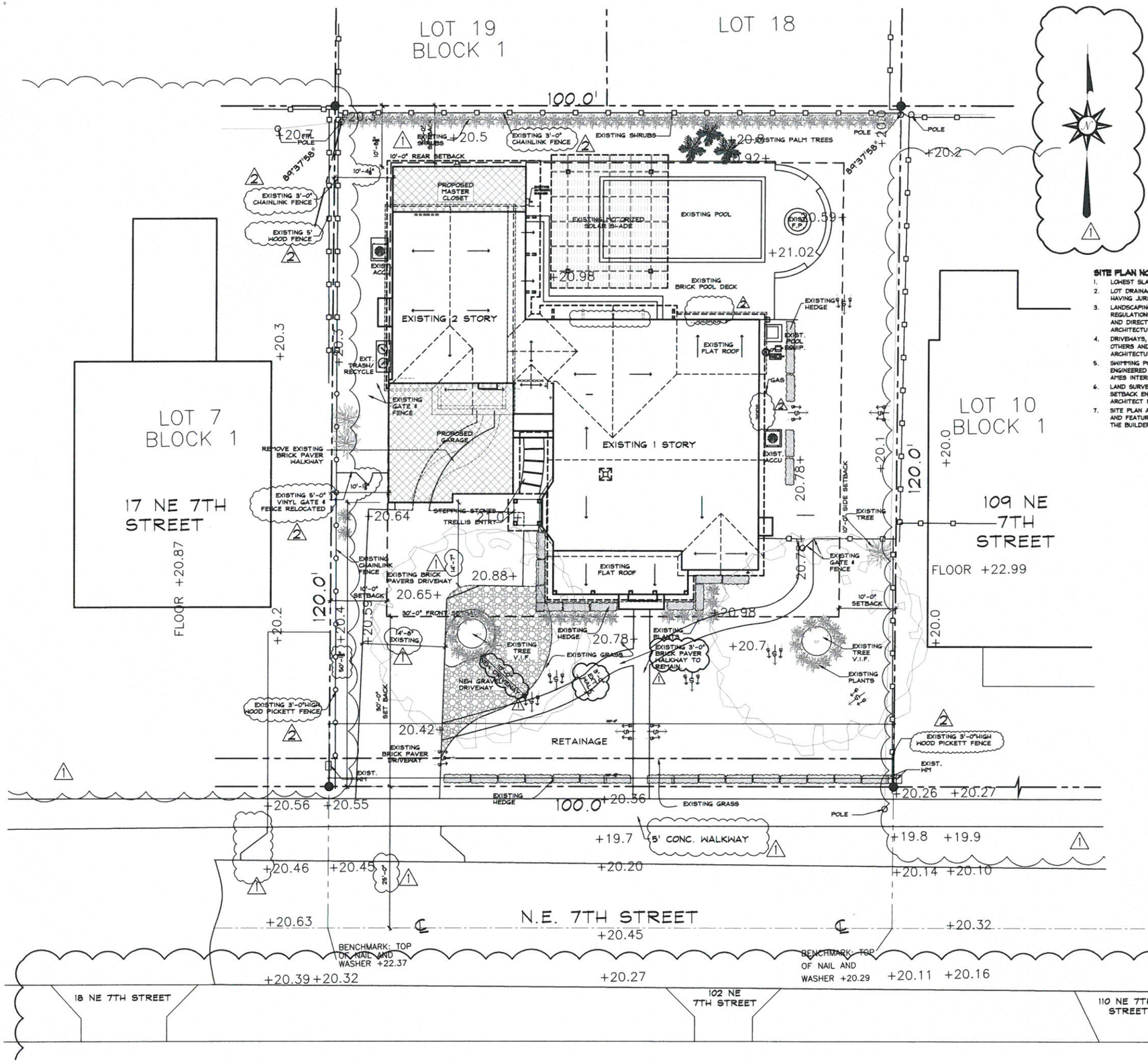

LOCATION MAP

NTS

SITE PLAN NOTES

1. LOWEST SLAB AT LIVING AREA SHALL BE MINIMUM 18" ABOVE CROWN OF ROAD.
2. LOT DRAINAGE SHALL BE AS ALL LOCAL CODES, REGULATIONS AND RESTRICTIONS HAVING JURISDICTION.
3. LANDSCAPING, IRRIGATION, BERMING, ETC., SHALL BE AS ALL LOCAL CODES, REGULATIONS, RESTRICTIONS HAVING JURISDICTION, AND FURTHER, AS SELECTED AND DIRECTED BY BUILDER. (NOT A PART OF THE AMES INTERNATIONAL ARCHITECTURE CONTRACT).
4. DRIVEWAYS, WALKWAYS, SLAB ON GRADE, POOL DECKS, SWIMMING POOL ARE BY OTHERS AND PERMITTED SEPARATELY.(NOT A PART OF THE AMES INTERNATIONAL ARCHITECTURE, CONTRACT).
5. SWIMMING POOL, DECK, SPA, ETC., BY OTHERS, SEE POOL SUBCONTRACTORS ENGINEERED SHOP DRAWINGS. PERMITTED SEPARATELY AND NOT A PART OF THE AMES INTERNATIONAL ARCHITECTURE CONTRACT. SEE OWNER.
6. LAND SURVEYOR SHALL VERIFY LOCATION OF HOUSE ON SITE AND ANY OCCURRING SETBACK ENCROACHMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY WORK BEING DONE.
7. SITE PLAN AS DRAWN REFLECTS ARCHITECTS CONCEPTION OF OVERALL SITE LAYOUT AND FEATURES, AND MAY NOT NECESSARILY BE AN ACCURATE REPRESENTATION OF THE BUILDERS STANDARD INCLUDED FEATURES OR LAYOUT AND DESIGN.

AREA CALCULATIONS

	REQUIRED/ PERMITTED	EXISTING	PROPOSED
FRONT SETBACK	30'-0"	30'-0"	30'-0"
SIDE INTERIOR SETBACK	10'-0"	10'-0"	10'-0"
SIDE STREET SETBACK	N/A	N/A	N/A
REAR SETBACK	10'-0"	10'-0"	10'-0"
HEIGHT/FLOORS	35'-0"	10'-0"	10'-0"
WIDTH OF SITE	75'/95	100'-0"	100'-0"
DEPTH OF SITE	100'-0"	120'-0"	120'-0"
FRONTAGE	75'/95	100'-0"	100'-0"
TOTAL SITE AREA	9,500MIN.	12,000	12,000
PERVIOUS AREA		6,580.75	6,021.83
IMPERVIOUS AREA		5,419.25	5,978.17
OPEN SPACE(LANDSCAPE)		6,580.75	6,021.83
WATER BODIES	N/A	N/A	N/A
GROUND FLOOR AREA		2,537	3,014
TOTAL FLOOR AREA		2,866	3,575
LOT COVERAGE	35%	21% (2,537)	25.1% (3,014)
FLOOR AREA RATIO	N/A	N/A	N/A
NUMBER OF DWELLING UNITS		1	1
DENSITY (UNITS PER ACRE)	N/A	N/A	N/A

CODE PARAMETERS

GOVERNING CODE	2017 F.B.C.
MUNICIPALITY	CITY OF DELRAY BEACH
OCCUPANCY CLASS.	SINGLE FAMILY RESIDENTIAL
MAX. BUILDING HEIGHT	35'-0" ABOVE GRADE
FRONT SETBACK	30'-0"
REAR SETBACK	10'-0"
SIDE SETBACK	10'-0"
POOL SETBACK	10'-0"
ZONING	RIAA
	DEL-IDA PARK
LAND USE DESIGNATION	LD-LOW DENSITY
FLOOD ZONE	X

LEGAL DESCRIPTION

LOT 8 & 9, BLOCK 1 DEL-IDA PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9,PAGE 52 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SCOPE:
ADDITION OF GARAGE,MASTER CLOSET & INTERIOR RENOVATION.

HISTORIC PRESERVATION BOARD

ALAN & RUTH BAUM

105 NE 7TH STREET
DEL-IDA, DELRAY BEACH, 33444

REVISIONS	BY
2/17/2021 CITY/HISTORIC COMM.	AG
3/19/2021 HISTORIC COMM.	AG

Shane Ames - Architect

Ames INTERNATIONAL ARCHITECTURE

DRAWN A.G.
CHECKED
DATE 10/22/2019
SCALE 1/8" = 1'-0"
JOB NO. 19_4861
SHEET A02
OF XX SHEETS

SITE PLAN

ADDRESS: - HISTORIC DEL-IDA PARK, PROFESSIONAL DISTRICT, 205 DIXIE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE: - (561)274 6444. FAX: - (561)274-6445.

Law - AA0003207 ARCH:# - AR0003001

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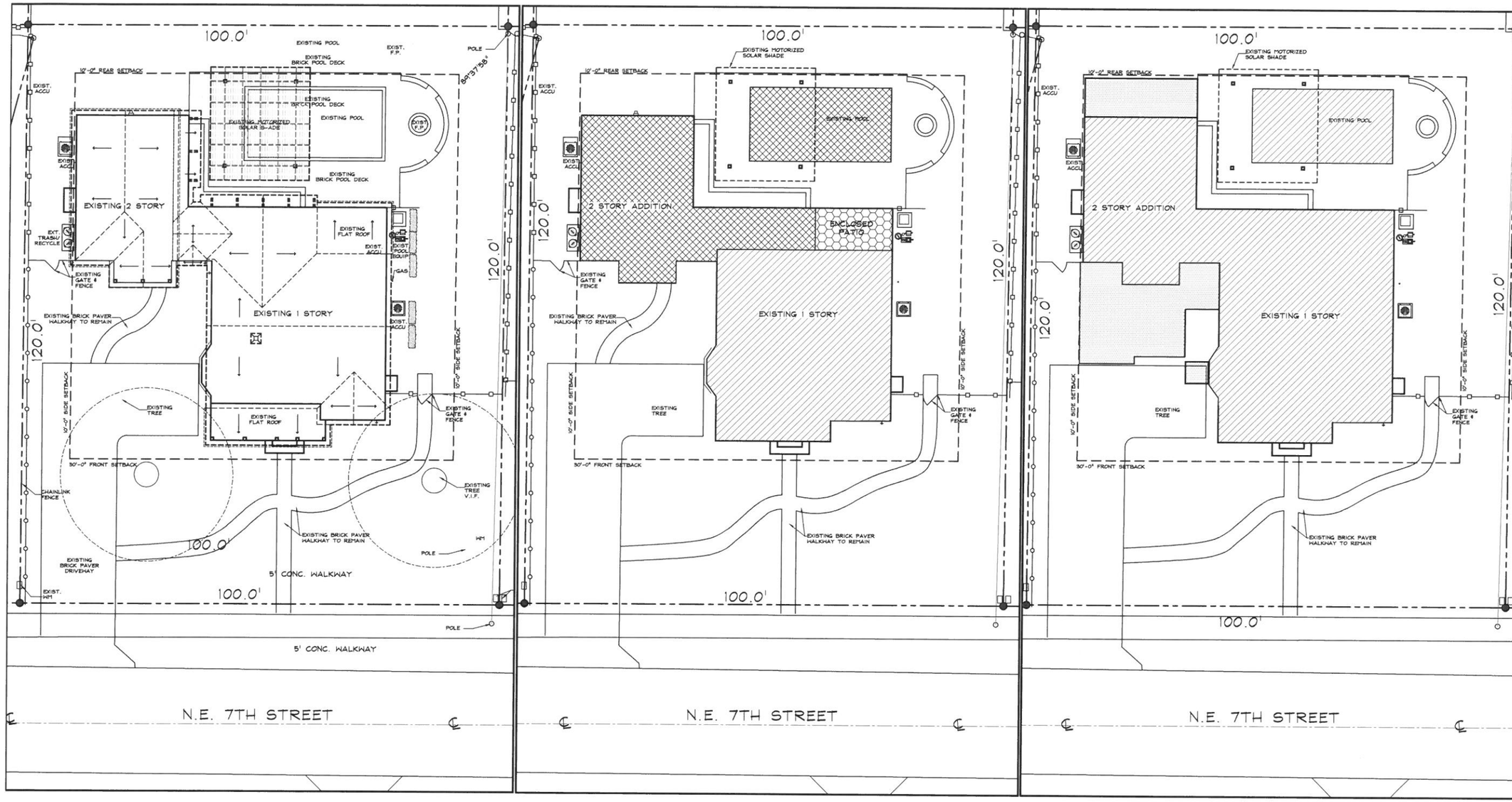

DIAGRAM OF PROPERTY HISTORY
SCALE: 1/8"=1'-0"

- 1942 BUILT-EXISTING STRUCTURE
- 1950 ENCLOSURE OF PATIO
- 2001 ADDITION

EXISTING/PROPOSED SITE OVERLAY DIAGRAM
SCALE: 1/8"=1'-0"

- 1942 BUILT-EXISTING STRUCTURE
- 1950 ENCLOSURE OF PATIO
- 2001 ADDITION
- 2021 PROPOSED ADDITION

HISTORIC PRESERVATION BOARD

ALAN & RUTH BAUM
105 NE 7TH STREET
DEL-IDA, DELRAY BEACH, 33444

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3/19/2021 HISTORIC COMM.	AG

Shane Ames - Architect
Ames INTERNATIONAL ARCHITECTURE

COMPOSITE OVERLAY

DRAWN A.G.
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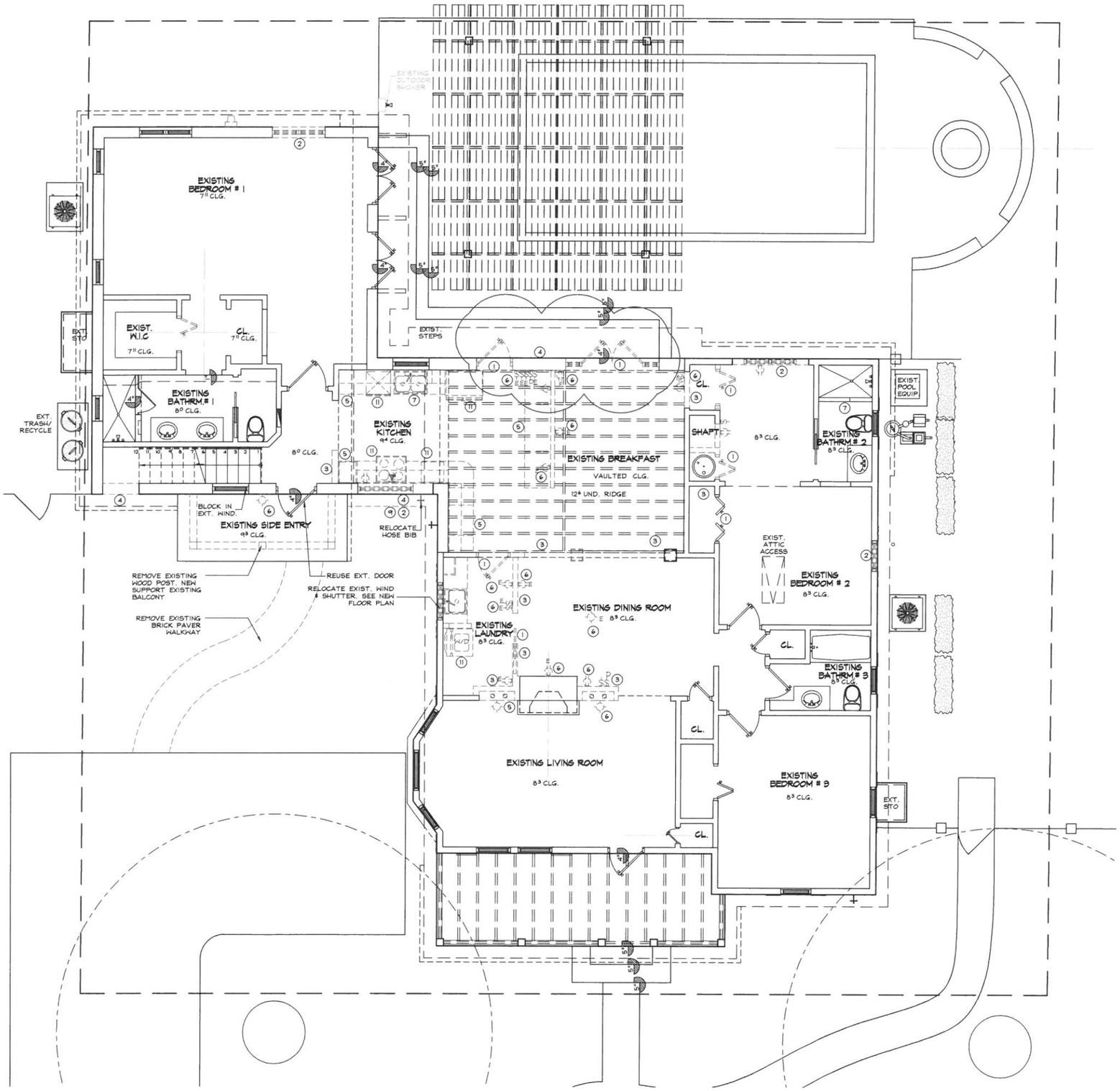

DEMOLITION NOTES:

1. DOTTED LINES DENOTES ITEMS BEING REMOVED. COOR. WITH NEW PLAN FOR EXTENT OF DEMO.
2. GENERAL CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING PRIOR TO ANY DEMOLITION, OF THE PORTION OF THE STRUCTURE.
3. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD AND COORDINATE THE DEMO. PLAN WITH THE NEW LAY OUT IN ORDER TO DETERMINE THE EXTENT OF DEMOLITION AND ADVISE THE ARCHITECT OF ANY DISCREPANCY PRIOR TO ANY DEMOLITION OR CONSTRUCTION.
4. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE.
5. GENERAL CONTRACTOR TO PERFORM ALL WORK ACCORDING TO ALL APPLICABLE CODES AND AS PER MANUFACTURER'S WRITTEN SPECIFICATIONS.
6. GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL DISTURBED AREAS AS PER CODE TO MATCH EXISTING ADJACENT FINISHES.
7. ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
8. REMOVED ELEC. FIX. SHALL BE CAPED OFF AND MADE SAFE. ALL WORK SHALL BE DONE AS PER LOCAL CODE.
9. FOR MODIFICATION TO A/C ,SEE A/C PLAN BY OTHERS.
10. REMOVED PLUM. FIX. SHALL BE CAPED OFF AND MADE SAFE. ALL WORK SHALL BE DONE AS PER
11. ALL AREAS HAVING PORTION OF WALLS, FLOORS, AND CEILINGS REMOVED SHALL BE PATCHED AND FINISHED TO MATCH EXIST. MATERIALS AND CONDITIONS. EXISTING SURFACES SHALL BE PREPARED TO RECEIVE NEW FINISHES AS INDICATED ON TYPICAL WALL SECTION, TYP. PARTITION DETAILS, ETC. LOCAL CODE.
12. ALL ITEMS DETERMINED BY OWNER TO BE SALVAGEABLE SHALL BE REMOVED PRIOR TO START OF DEMOLITION. SEE OWNER FOR STORAGE.
13. REMOVAL OF ANY PORTION OF WALL, FLOOR, OR CEILING WHICH CONTAIN ELECTRICAL, HVAC OR PLUMBING SHALL HAVE SUCH ITEMS REROUTED OR REESTABLISHED AS PER ELECTRICAL, HVAC, OR PLUMBING PLANS PROVIDED, SEE CONSTRUCTION DOCUMENTS.
14. NEIGHBORING EXISTING STRUCTURES AROUND THE BUILDING UNDER DEMOLITION ARE TO BE SURVEYED FOR ANY EXISTING CRACKS IN THE STRUCTURAL ELEMENTS, AND NEIGHBORS ARE TO BE NOTIFIED.
15. GC. AND ALL TRADES INVOLVED IN THE PROJECT SHALL SURVEY THE EXIST. CONDITIONS PRIOR TO ANY WORK AND BE FAMILIAR WITH THE EXTENT OF WORK AND ALL NECESSARY STEPS IN ORDER TO COMPLETE THE PROJECT.

DEMOLITION LEGEND:

1. REMOVE DOOR
2. REMOVE WINDOW
3. REMOVE INTERIOR WALL
4. REMOVE EXTERIOR CMU WALL
5. REMOVE BUILT-IN
6. REMOVE ELECTRICAL FIXTURES
7. REMOVE PLUMBING FIXTURES
8. REMOVE A/C DUCTS & ALL RELATED A/C COMPONENTS
9. REMOVE/MODIFY ROOF STRUCTURE
10. REMOVE FLOOR COVERING
11. REMOVE APPLIANCES
12. ALTER FINISH FLOOR ELEVATION AS REQUIRED SEE NEW PLANS
13. REMOVE SOFFIT/BEAM
14. NEW OPENING
15. REMOVE EXISTING DRIVEWAY/WALKWAY
16. REMOVE EXISTING CONDENSER UNIT
17. TO BE REMODELED
18. REMOVE CEILING

NOTE:
1. FOR REMODELED & NEW PLUMBING FIXTURES RECONNECT TO EXISTING PLUMBING.
2. ALL ABANDONED PLUMBING TO BE CAPPED OFF AT FLOOR. GC TO COORDINATE AS REQUIRED

NOTE:
1. CONNECT NEW TO EXISTING PLUMBING LINES.
2. GC TO VERIFY ALL EXISTING PLUMBING LINE IN THE FIELD.

2

DEMOLITION LEGEND	
SYMBOL	TYPE OF WALL
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED

HISTORIC PRESERVATION BOARD

ALAN & RUTH BAUM
105 NE 7TH STREET
DEL-IDA, DELRAY BEACH, 33444

REVISIONS	BY
2/17/2021 CITY/HISTORIC COMM.	AG
3/19/2021 HISTORIC COMM.	AG

Shane Ames - Architect

Ames INTERNATIONAL ARCHITECTURE

DRAWN A.G.
CHECKED
DATE 10/22/2019
SCALE 1/4" = 1'-0"
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SHEET A03
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DEMOLITION PLAN - PHASE 2

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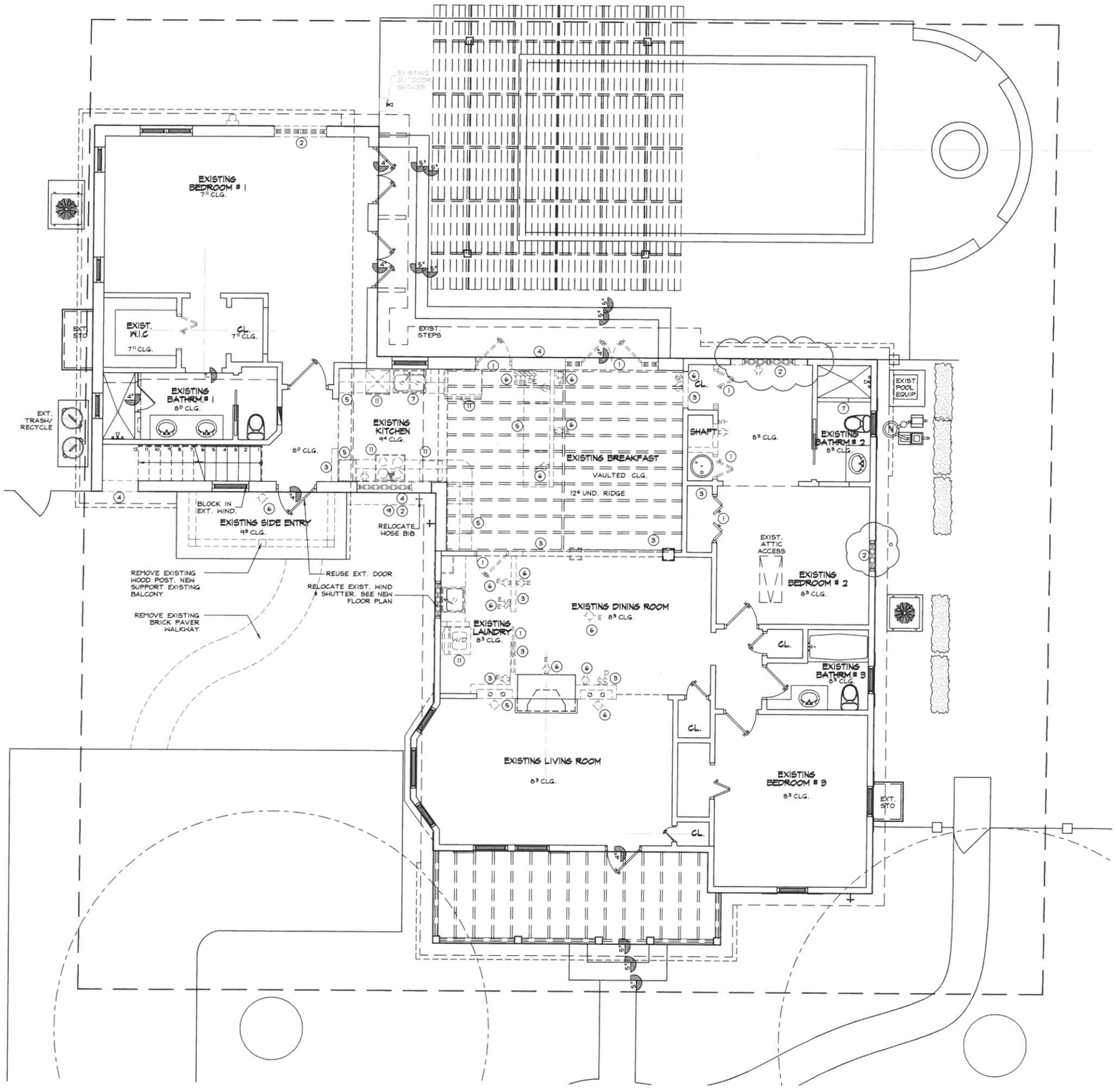
LBR - AA0002507 ARCHES - AR0002001



DEMOLITION NOTES:

1. DOTTED LINES DENOTES ITEMS BEING REMOVED. COOR. WITH NEW PLAN FOR EXTENT OF DEMO.
2. GENERAL CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING PRIOR TO ANY DEMOLITION, OF THE PORTION OF THE STRUCTURE.
3. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD AND COORDINATE THE DEMO. PLAN WITH THE NEW LAY OUT IN ORDER TO DETERMINE THE EXTENT OF DEMOLITION AND ADVISE THE ARCHITECT OF ANY DISCREPANCY PRIOR TO ANY DEMOLITION OR CONSTRUCTION.
4. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE.
5. GENERAL CONTRACTOR TO PERFORM ALL WORK ACCORDING TO ALL APPLICABLE CODES AND AS PER MANUFACTURER'S WRITTEN SPECIFICATIONS.
6. GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL DISTURBED AREAS AS PER CODE TO MATCH EXISTING ADJACENT FINISHES.
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9. FOR MODIFICATION TO A/C , SEE A/C PLAN BY OTHERS.
10. REMOVED PLUM. FIX. SHALL BE CAPED OFF AND MADE SAFE. ALL WORK SHALL BE DONE AS PER
11. ALL AREAS HAVING PORTION OF WALLS, FLOORS, AND CEILINGS REMOVED SHALL BE PATCHED AND FINISHED TO MATCH EXIST. MATERIALS AND CONDITIONS. EXISTING SURFACES SHALL BE PREPARED TO RECEIVE NEW FINISHES AS INDICATED ON TYPICAL WALL SECTION, TYP. PARTITION DETAILS, ETC. LOCAL CODE.
12. ALL ITEMS DETERMINED BY OWNER TO BE SALVAGEABLE SHALL BE REMOVED PRIOR TO START OF DEMOLITION. SEE OWNER FOR STORAGE.
13. REMOVAL OF ANY PORTION OF WALL, FLOOR, OR CEILING WHICH CONTAIN ELECTRICAL, HVAC OR PLUMBING SHALL HAVE SUCH ITEMS REROUTED OR REESTABLISHED AS PER ELECTRICAL, HVAC, OR PLUMBING PLANS PROVIDED, SEE CONSTRUCTION DOCUMENTS.
14. NEIGHBORING EXISTING STRUCTURES AROUND THE BUILDING UNDER DEMOLITION ARE TO BE SURVEYED FOR ANY EXISTING CRACKS IN THE STRUCTURAL ELEMENTS, AND NEIGHBORS ARE TO BE NOTIFIED.
15. GC. AND ALL TRADES INVOLVED IN THE PROJECT SHALL SURVEY THE EXIST. CONDITIONS PRIOR TO ANY WORK AND BE FAMILIAR WITH THE EXTENT OF WORK AND ALL NECESSARY STEPS IN ORDER TO COMPLETE THE PROJECT.

DEMOLITION LEGEND:

1. REMOVE DOOR
2. REMOVE WINDOW
3. REMOVE INTERIOR WALL
4. REMOVE EXTERIOR CMU WALL
5. REMOVE BUILT-IN
6. REMOVE ELECTRICAL FIXTURES
7. REMOVE PLUMBING FIXTURES
8. REMOVE A/C DUCTS & ALL RELATED A/C COMPONENTS
9. REMOVE/MODIFY ROOF STRUCTURE
10. REMOVE FLOOR COVERING
11. REMOVE APPLIANCES
12. ALTER FINISH FLOOR ELEVATION AS REQUIRED SEE NEW PLANS
13. REMOVE SOFFIT/BEAM
14. NEW OPENING
15. REMOVE EXISTING DRIVEWAY/WALKWAY
16. REMOVE EXISTING CONDENSER UNIT
17. TO BE REMODELED
18. REMOVE CEILING

NOTE:
1. FOR REMODELED & NEW PLUMBING FIXTURES RECONNECT TO EXISTING PLUMBING.
2. ALL ABANDONED PLUMBING TO BE CAPPED OFF AT FLOOR. GC TO COORDINATE AS REQUIRED

NOTE:
1. CONNECT NEW TO EXISTING PLUMBING LINES.
2. GC TO VERIFY ALL EXISTING PLUMBING LINE IN THE FIELD.

2

DEMOLITION LEGEND	
SYMBOL	TYPE OF WALL
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED

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DEMOLITION PLAN - PHASE 2

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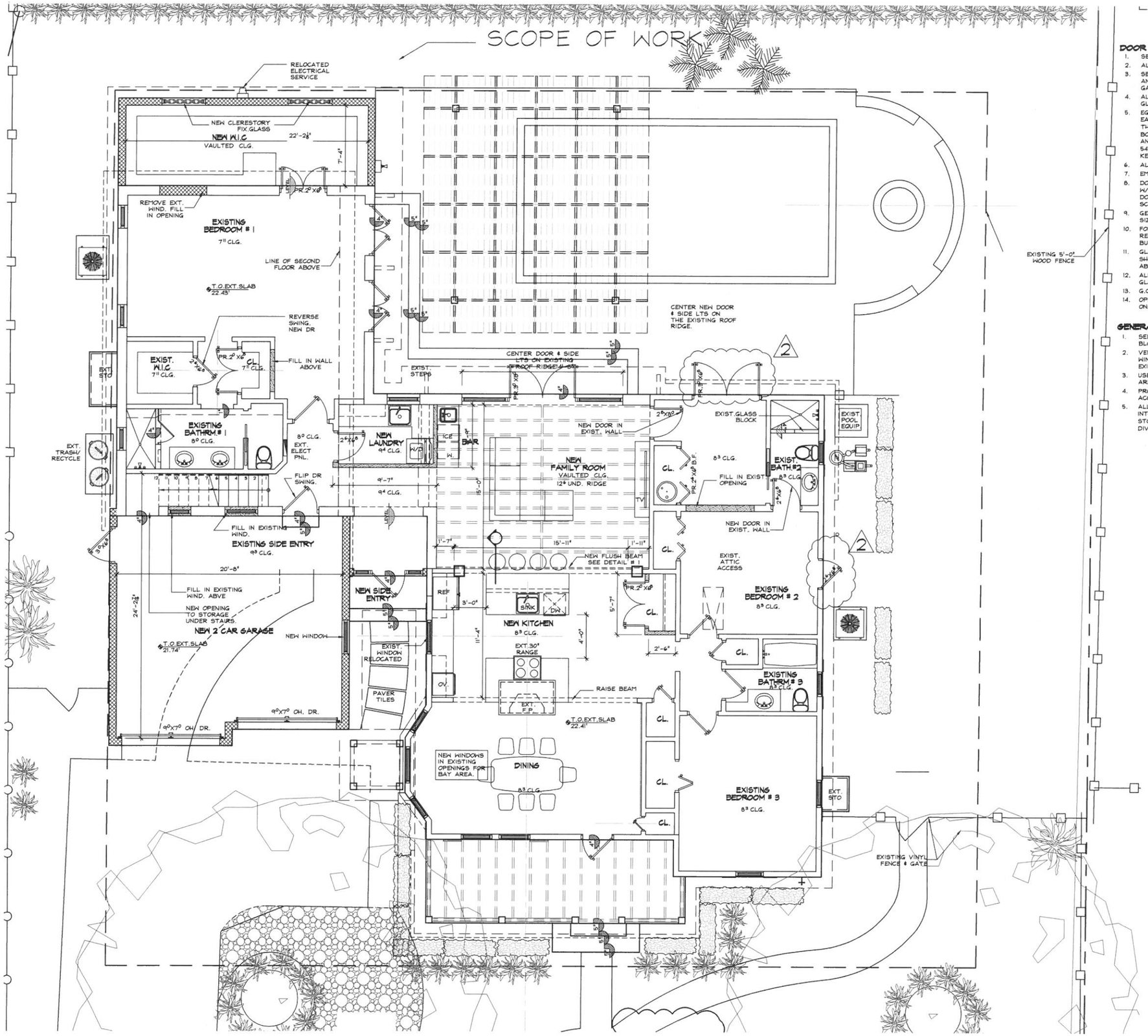

DOOR / WINDOW NOTES

1. SEE PLAN AND ELEVATIONS FOR HIGH GLASS SIZE AND LOCATIONS.
2. ALL GLAZING SHALL COMPLY WITH CHAPTER 24. OF F.B.C. 2010 RES.
3. SEE DETAIL SHEETS FOR ANCHORAGE OF ALL DOOR JAMBS, HEADS AND SILLS. ALSO REFER TO DETAIL SHEET FOR ANCHORAGE OF GARAGE DOOR BUCKS.
4. ALL WINDOWS AND GLASS IN EXT. DOOR TO BE IMPACT-RESISTANT GLASS.
5. EGRESS WINDOWS SHALL COMPLY WITH SEC. 1005.4.2/F.B.C. 2010 RES. EACH EGRESS WINDOW SHALL PROVIDE A CLEAR OPENING NOT LESS THAN 20" IN WITH, 24" IN HEIGHT AND MIN. OF 5.7 S.F. IN AREA. BOTTOM EDGE OF SUCH OPENING SHALL NOT BE MORE THAN 44" AFF. AND NO PART OF THE OPERATING MECHANISM SHALL BE MORE THAN 54" AFF. THE MODE OF OPERATION SHALL NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT.
6. ALL GLASS SHOWER & TUB ENCLOSURES SHALL BE TEMPERED GLASS.
7. EMERGENCY EGRESS DOOR - DO NOT SHUTTER.
8. DOORS BETWEEN GARAGE & HOUSE MUST BE SOLID CORE 1 3/4" THICK W/ 2x4 SOLID RABBETED JAMB, OR A C-LABEL METAL DOOR & JAMB. DOORS TO HAVE AUTOMATIC CLOSER AS INDICATED IN DOOR SCHEDULE.
9. GENERAL CONTRACTOR TO FIELD VERIFY ALL WINDOW & DOOR SIZES/OPENINGS PRIOR TO ORDERING FROM SUPPLIER.
10. FOR ALL EXTERIOR DOORS/WINDOWS, PRODUCT APPROVAL IS REQUIRED. SUBMIT TO ARCHITECT OR ENGINEER FOR REVIEW AND TO BUILDING DEPT. FOR APPROVAL.
11. GLASS OR MIRRORS IMMEDIATELY SURROUNDING A BATHTUB OR SHOWER ENCLOSURE SHALL BE SAFETY GLAZED WHERE LESS THAN 60" ABOVE FLOOR OF TUB OR SHOWER.
12. ALL GLASS IN DOORS & ALL SLIDING GLASS DOORS TO BE TEMPERED GLASS.
13. G.C. TO COORDINATE THRESHOLD FOR ALL DOORS ON MASONRY WALL.
14. OPERABLE WINDOWS WITH MORE THEN ONE LOCKING POINT SHALL HAVE ONLY ONE POINT OF OPERATION.

GENERAL NOTES:

1. SEE FOUND. PLAN FOR SLAB STEPS & SLOPES & FOR COLUMNS,FILLED BLOCK CELLS, ETC.
2. VERIFY ALL MASONRY & WD. FRAME OPENING SIZES TO FIT DOORS & WINDOWS BEFORE CONSTRUCTION - NOTIFY ARCHITECT IF A CONFLICT EXISTS.
3. USE WATER-RESISTANT GYP. BOARD IN ALL BATHROOMS & OTHER WET AREAS.
4. PROVIDE WOOD BACKING BEHIND CABINETS, SHELVES, BATH ACCESSORIES, ETC.
5. ALL ATTIC SPACES AND SPACES ABOVE CEILING SHALL BE DIVIDED INTO HORIZONTAL AREAS NOT TO EXCEED 3,000 S.F. BY DRAFT STOPS. PROVIDE A 22"x36" (MIN) ATTIC ACCESS INTO EACH SPACE DIVIDED BY A DRAFT STOP. (SEE DTL SHEET)

WALL LEGEND	
SYMBOL	TYPE OF WALL
	CONC. BLOCK
	WD. OR MTL. FRAME (FULL HEIGHT)
	BEARING WD. FRAME WALL / CONC. COL.
	INTERIOR WD. OR MTL. FR. (KNEE WALL)
	EXTERIOR CMU (KNEE WALL)

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FLOOR PLAN - GARAGE + CLOSET ADDITION

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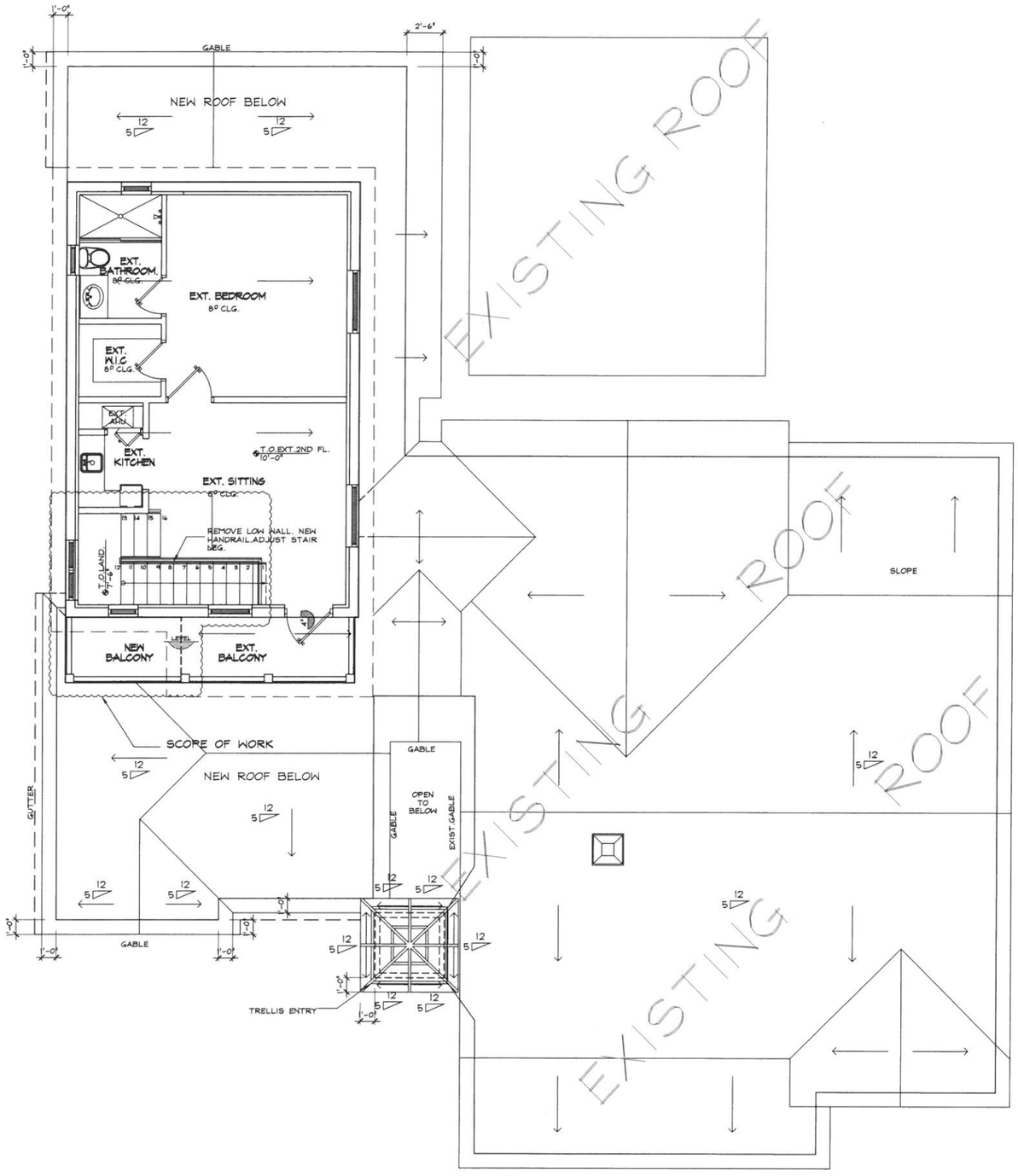

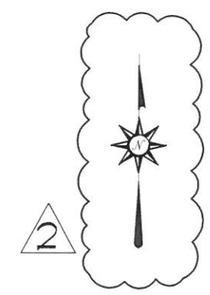

WALL LEGEND	
SYMBOL	TYPE OF WALL
	CONC. BLOCK
	WD. OR MTL. FRAME (FULL HEIGHT)
	BEARING WD. FRAME WALL / CONC. COL.
	INTERIOR WD. OR MTL. FR. (KNEE WALL)
	EXTERIOR CMU (KNEE WALL)

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2ND FLOOR PLAN

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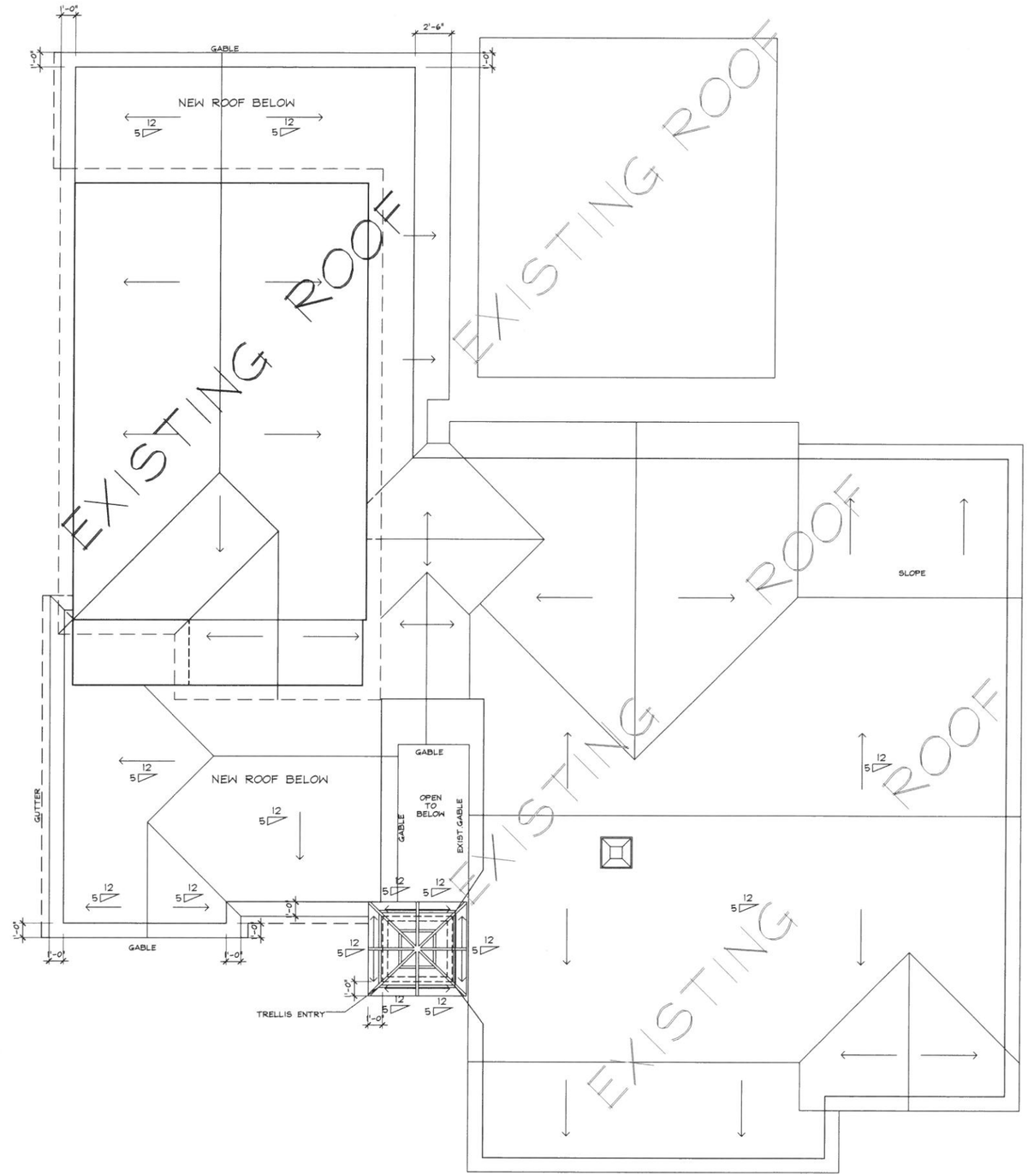

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SEE STRUCTURAL NOTE SHEET
FOR ALL COMPLYING NOTES

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ARCHITECTURAL ROOF PLAN

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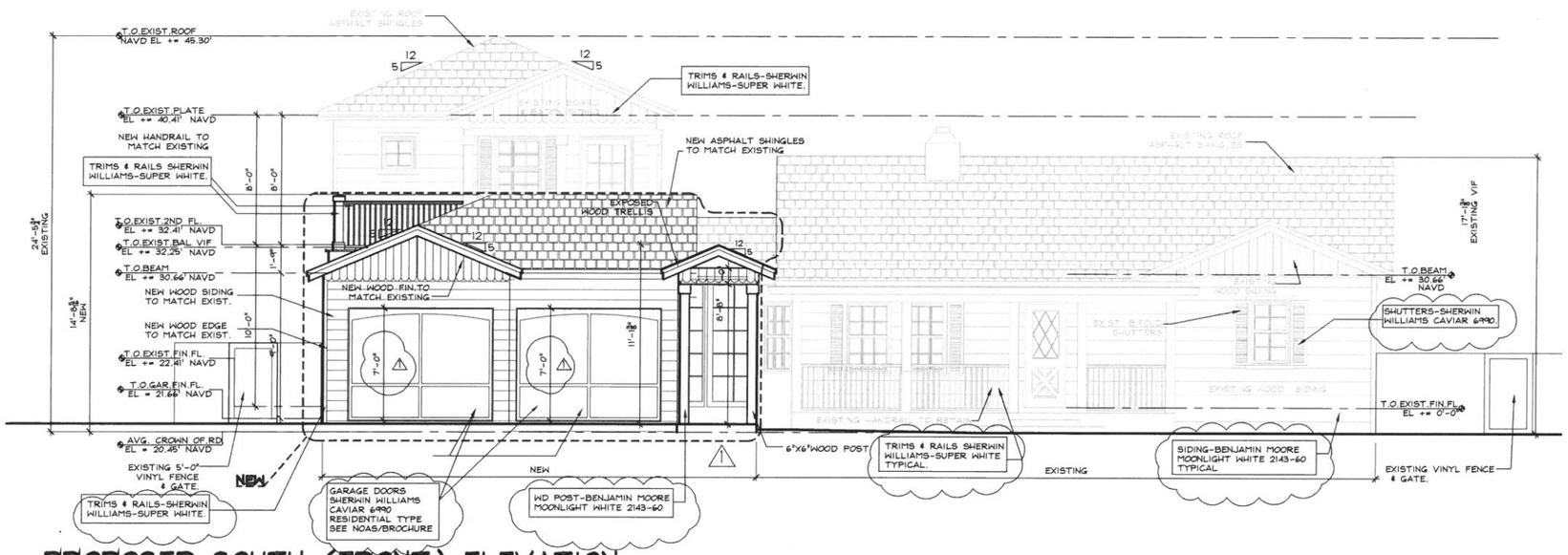

PROPOSED SOUTH (FRONT) ELEVATION

EXISTING SOUTH (FRONT) ELEVATION

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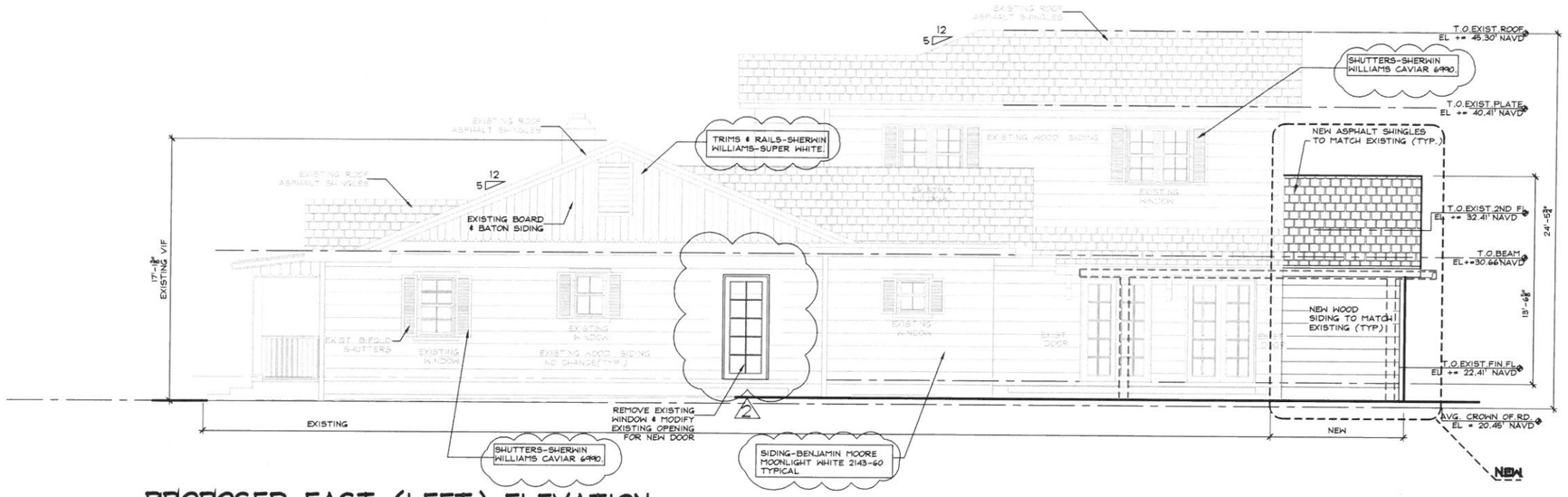
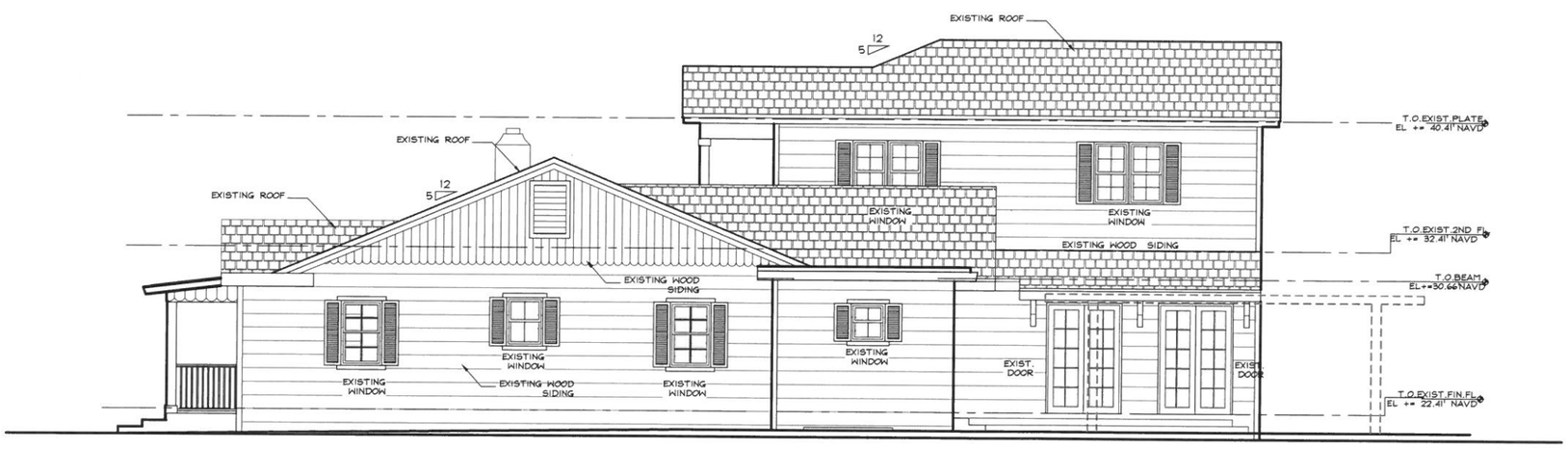


PROPOSED EAST (LEFT) ELEVATION



EXISTING EAST (RIGHT) ELEVATION

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BUILDING ELEVATIONS

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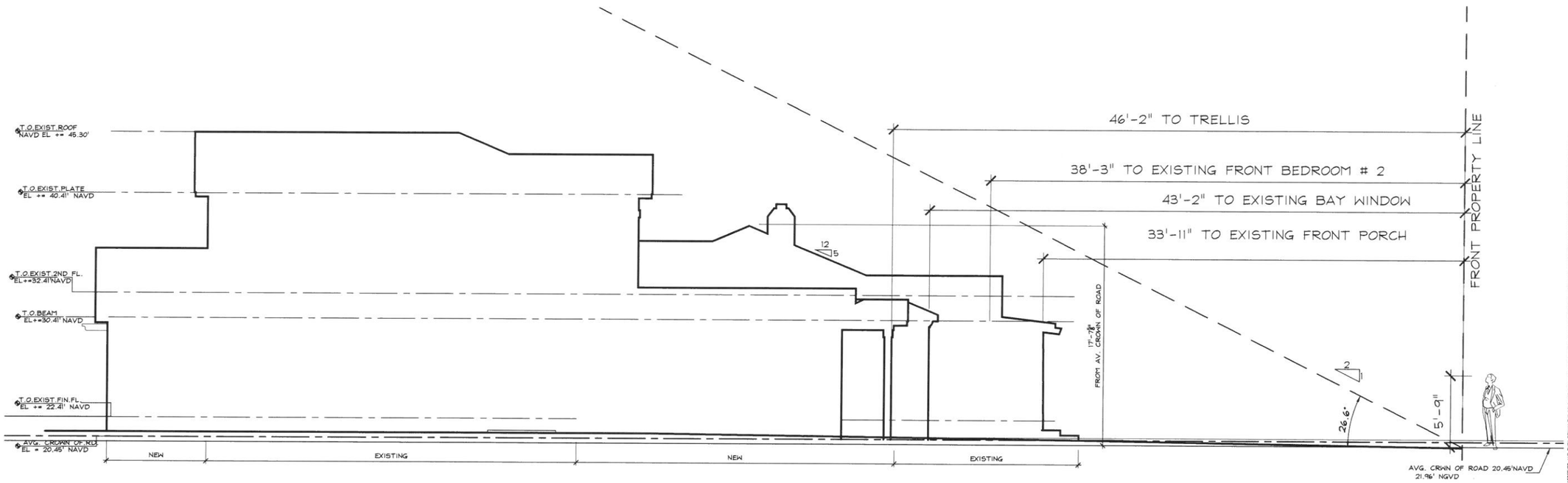

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BUILDING HEIGHT PLANE DIAGRAM

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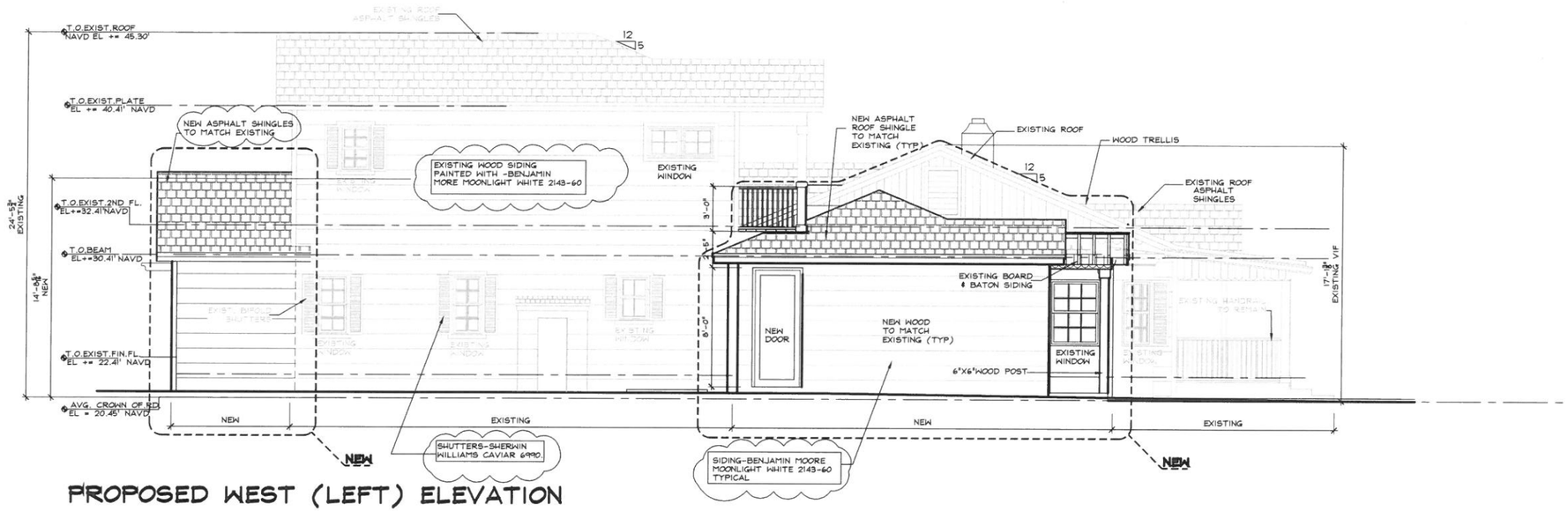
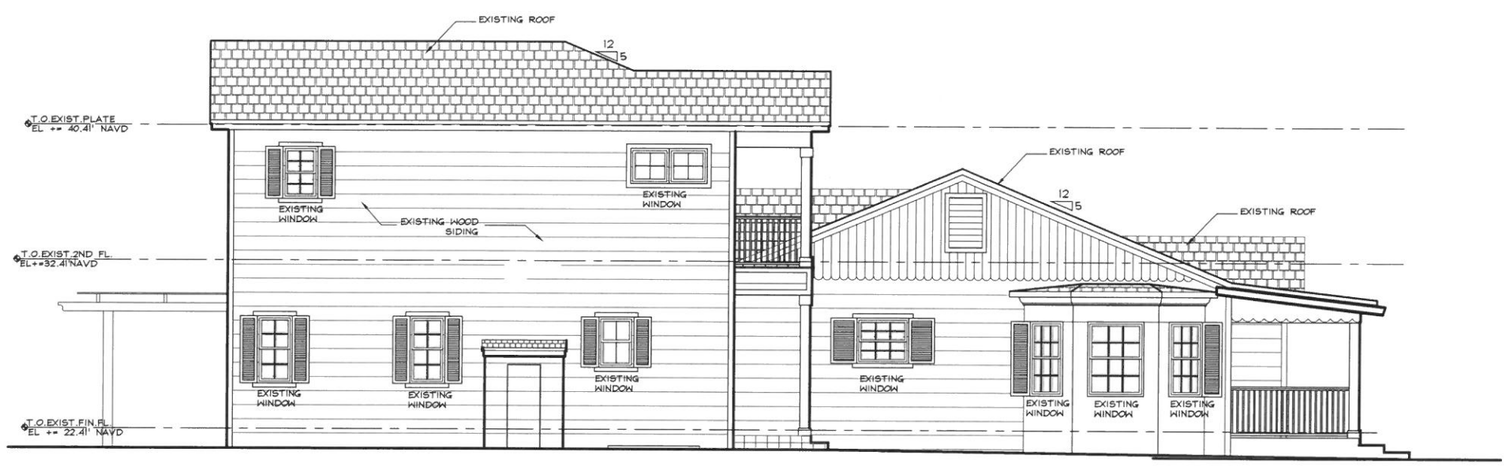


PROPOSED WEST (LEFT) ELEVATION



EXISTING WEST (LEFT) ELEVATION

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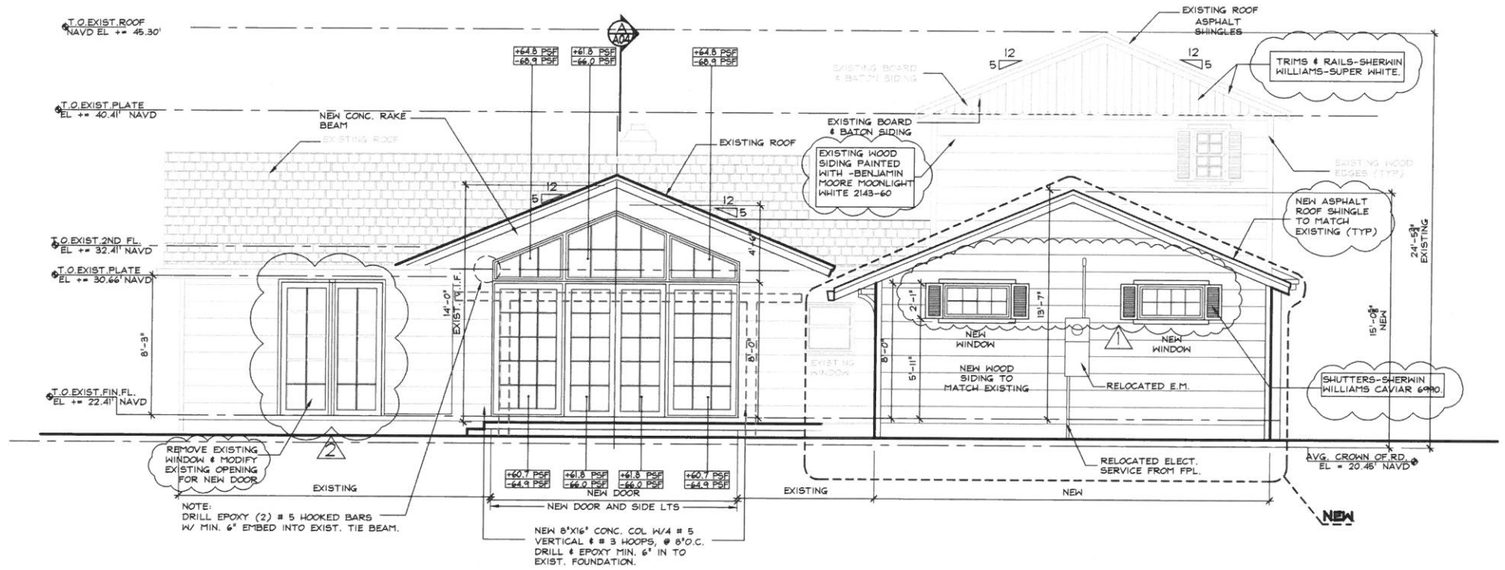
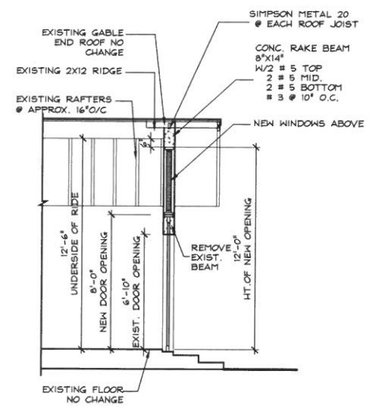


PROPOSED NORTH (REAR) ELEVATION



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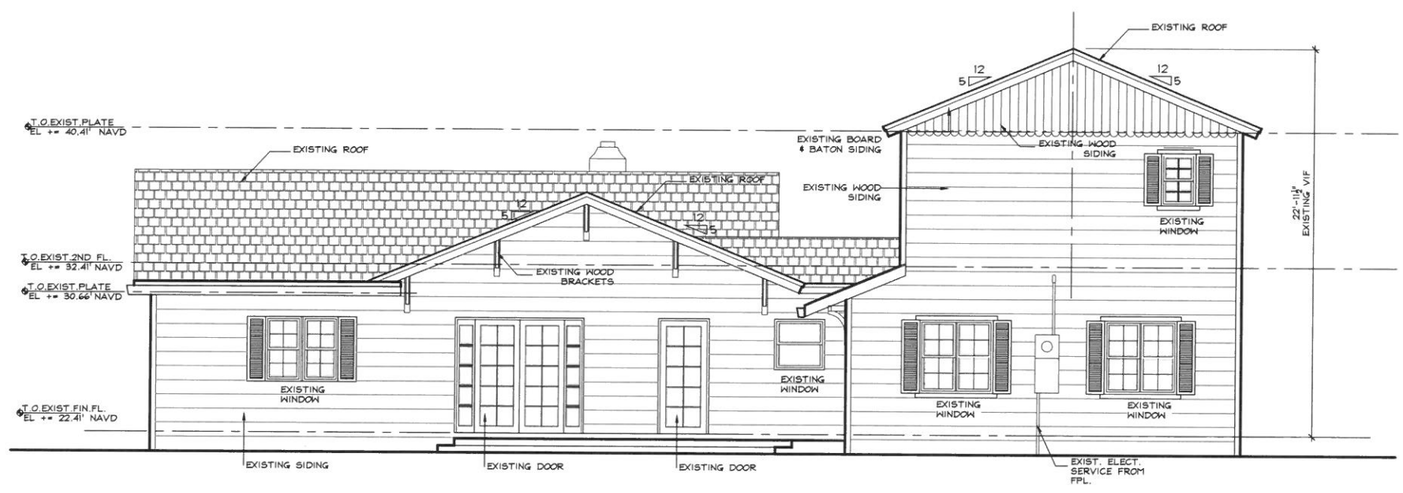

EXISTING NORTH (REAR) ELEVATION

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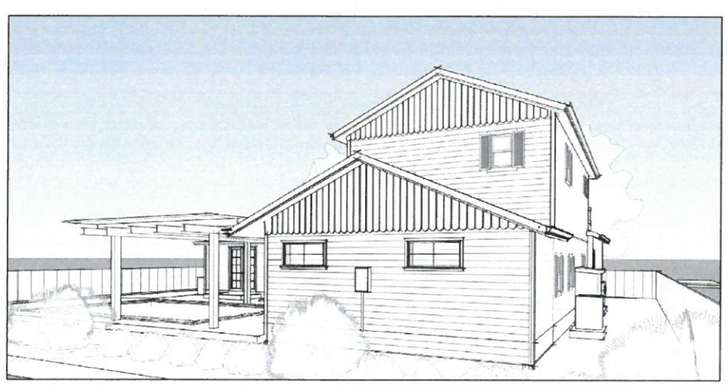
SOUTHWEST PERSPECTIVE

SOUTH PERSPECTIVE

NORTH EAST PERSPECTIVE



NORTH EAST PERSPECTIVE

TRELLIS CENTERED ON BAY WINDOW

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PERSPECTIVES

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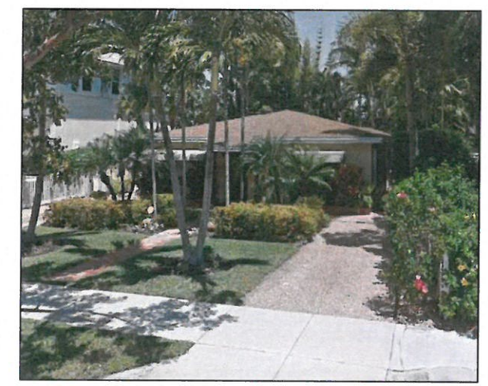
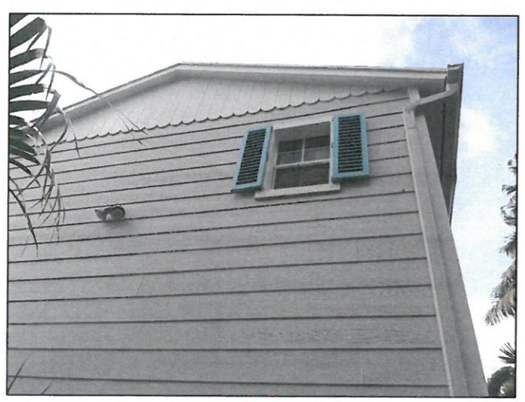
NORTH VIEWS OF EXISTING RESIDENCE

SOUTH VIEW

EAST VIEWS OF EXISTING RESIDENCE



17 NE 7TH STREET



WEST VIEWS OF EXISTING RESIDENCE

109 NE 7TH STREET

HISTORIC PRESERVATION BOARD

ALAN & RUTH BAUM

105 NE 7TH STREET
DEL-IDA, DELRAY BEACH, 33444

REVISIONS	BY
2/17/2021 CITY/HISTORIC COMM.	AG
3/19/2021 HISTORIC COMM.	AG

Shane Ames - Architect

Ames
INTERNATIONAL ARCHITECTURE

DRAWN: A.G.
CHECKED:
DATE: 10/22/2019
SCALE: 1/2" = 1'-0"
JOB NO.: 19_4861
SHEET: A12
OF XX SHEETS

EXISTING HOUSE + ADJACENT NEIGHBORS

ADDRESS: HISTORIC DEL-IDA PARK, PROFESSIONAL DISTRICT, 205 2002 BOULEVARD, DELRAY BEACH, FLORIDA, 33444, PHONE: (561)274 8444, FAX: (561)274 8446

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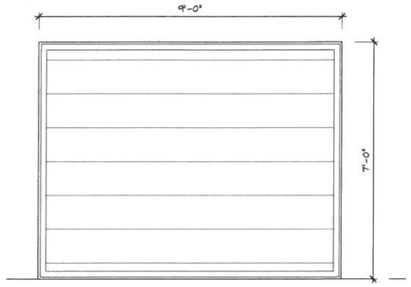
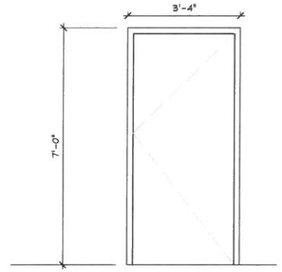
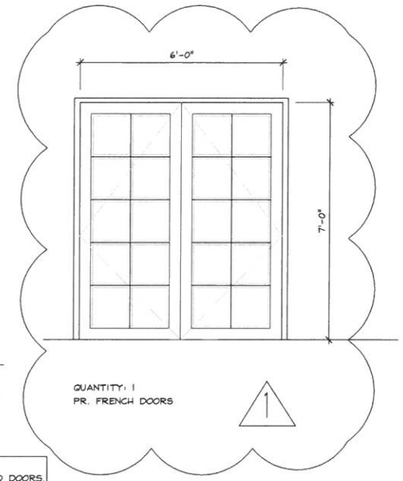


QUANTITY: 2
OVERHEAD GARAGE DOOR

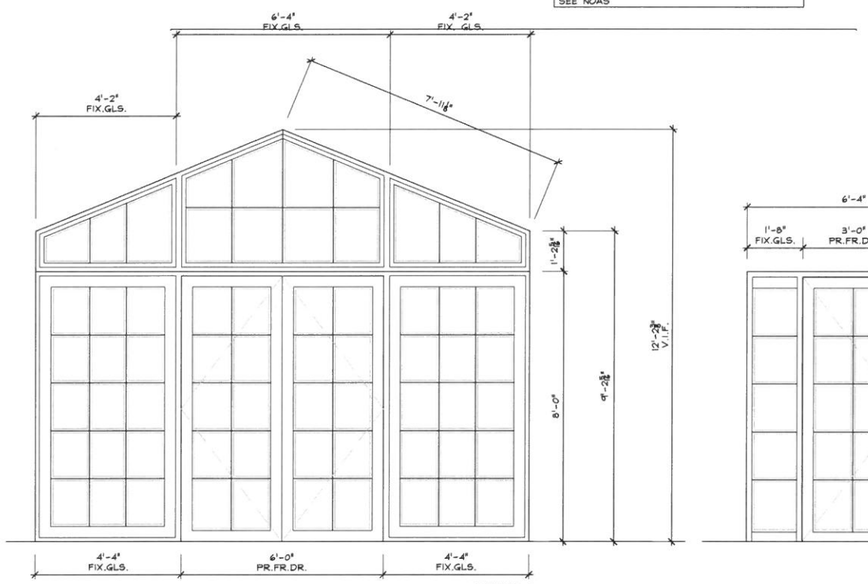


QUANTITY: 1
FL. PNL GARAGE SIDE DOOR

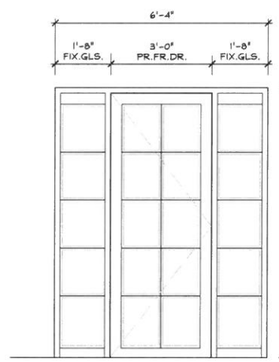


QUANTITY: 1
PR. FRENCH DOORS

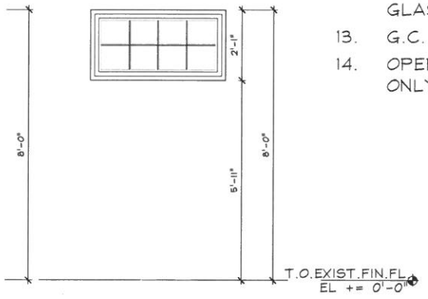
NOTE:
IMPACT GLASS FOR ALL WINDOWS AND DOORS.
SEE NOAS



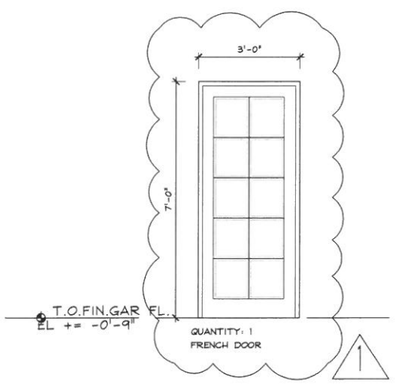
QUANTITY: 1
NEW DBL.FR.DR. W/SIDE LTS AT FAMILY ROOM



QUANTITY: 1
NEW SIDE ENTRY DOOR



QUANTITY: 2
NEW FIXED CLERESTORY AT
MASTER CLOSET



QUANTITY: 1
FRENCH DOOR

DOOR / WINDOW NOTES

1. SEE PLAN AND ELEVATIONS FOR HIGH GLASS SIZE AND LOCATIONS.
2. ALL GLAZING SHALL COMPLY WITH CHAPTER 24. OF F.B.C. 2010 RES.
3. SEE DETAIL SHEETS FOR ANCHORAGE OF ALL DOOR JAMBS, HEADS AND SILLS. ALSO REFER TO DETAIL SHEET FOR ANCHORAGE OF GARAGE DOOR BUCKS.
4. ALL WINDOWS AND GLASS IN EXT. DOOR TO BE IMPACT-RESISTANT GLASS.
5. EGRESS WINDOWS SHALL COMPLY WITH SEC. 1005.4.2/F.B.C. 2010 RES. EACH EGRESS WINDOW SHALL PROVIDE A CLEAR OPENING NOT LESS THAN 20" IN WITH, 24" IN HEIGHT AND MIN. OF 5.7 S.F. IN AREA. BOTTOM EDGE OF SUCH OPENING SHALL NOT BE MORE THAN 44" AFF. AND NO PART OF THE OPERATING MECHANISM SHALL BE MORE THAN 54" AFF. THE MODE OF OPERATION SHALL NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT.
6. ALL GLASS SHOWER & TUB ENCLOSURES SHALL BE TEMPERED GLASS.
7. EMERGENCY EGRESS DOOR - DO NOT SHUTTER.
8. DOORS BETWEEN GARAGE & HOUSE MUST BE SOLID CORE 1 3/4" THICK W/ 2x4 SOLID RABBETED JAMB, OR A C-LABEL METAL DOOR & JAMB. DOORS TO HAVE AUTOMATIC CLOSER AS INDICATED IN DOOR SCHEDULE.
9. GENERAL CONTRACTOR TO FIELD VERIFY ALL WINDOW & DOOR SIZES/OPENINGS PRIOR TO ORDERING FROM SUPPLIER.
10. FOR ALL EXTERIOR DOORS/WINDOWS, PRODUCT APPROVAL IS REQUIRED. SUBMIT TO ARCHITECT OR ENGINEER FOR REVIEW AND TO BUILDING DEPT. FOR APPROVAL.
11. GLASS OR MIRRORS IMMEDIATELY SURROUNDING A BATHTUB OR SHOWER ENCLOSURE SHALL BE SAFETY GLAZED WHERE LESS THAN 60" ABOVE FLOOR OF TUB OR SHOWER.
12. ALL GLASS IN DOORS & ALL SLIDING GLASS DOORS TO BE TEMPERED GLASS.
13. G.C. TO COORDINATE THRESHOLD FOR ALL DOORS ON MASONRY WALL.
14. OPERABLE WINDOWS WITH MORE THEN ONE LOCKING POINT SHALL HAVE ONLY ONE POINT OF OPERATION.

NOTE:
WINDOWS AND DOORS CO. TBD

1. ALL DR. TO BE 1.75" THICK. V.I.F. W/ OWNER & MANUFACTURER
2. VERIFY ALL ROUGH OPENINGS IN FIELD FOR PROPOSED WINDOW OR DOOR FIT.
3. PROVIDE ST. STL OR BRASS HARDWARE FOR ALL DOOR & WINDOWS. (V.I.F.)
4. BUILDER TO V.I.F. W/ OWNER ALL PRODUCT & MATERIAL SELECTIONS
5. GC TO FIELD VERIFY ALL SIZES PRIOR TO FABRICATION OF THE WINDOWS
6. ~~WINDOW STYLE, COLOR & FRAME CLIENT SELECT~~
7. CLEAR GLASS FOR ALL WINDOWS AND DOORS PROPOSED

HISTORIC PRESERVATION BOARD

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DEL-IDA, DELRAY BEACH, 33444

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DRAWN A.G.
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WINDOW / DOOR SCHEDULE

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