

DELRAY BEACH CRA DEVELOPMENT

95 SW 5TH AVE., DELRAY BEACH, FL 33444



S + A Project No. 18063

NOT FOR CONSTRUCTION

ARCHITECT:

SONG + ASSOCIATES, INC.
1545 CENTRE PARK DRIVE NORTH
WEST PALM BEACH, FLORIDA 33401

CONSULTANTS:

CIVIL ENGINEER
MILLER LEGG
5747 N. ANDREWS WAY,
FORT LAUDERDALE, FL 33309

M.E.P. ENGINEER
OCI ASSOCIATES, INC
2 HAVARD CIRCLE
WEST PALM BEACH, FL 33409

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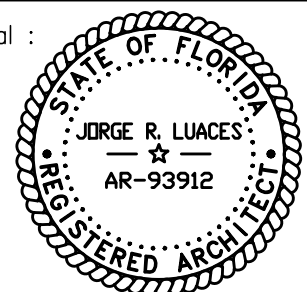
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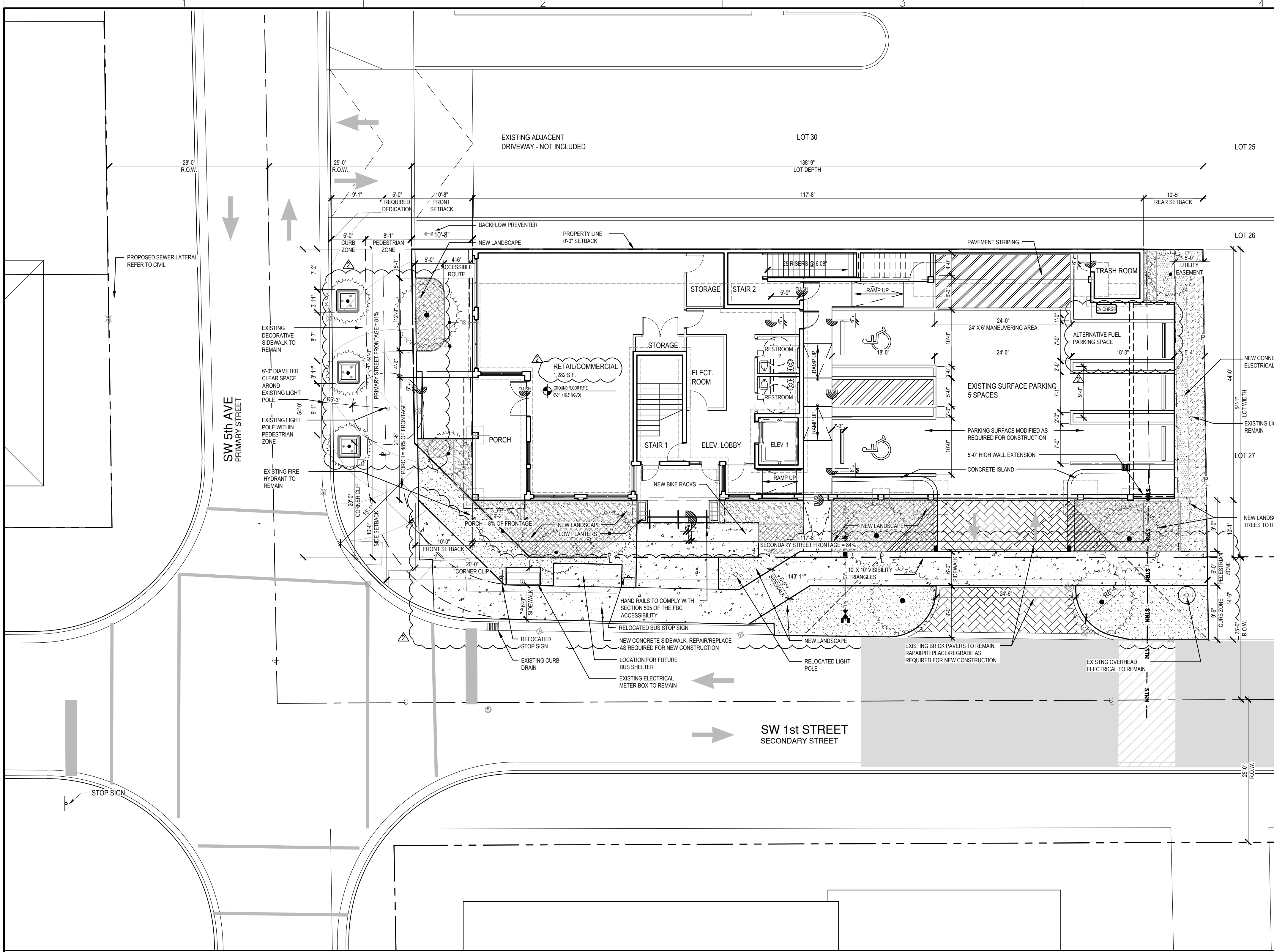
SITE PLAN APPROVAL
REVISION #2
12/23/20

 DELRAY BEACH CRA
COMMUNITY REDEVELOPMENT AGENCY

TO THE BEST OF MY KNOWLEDGE, THESE DRAWINGS AND THE PROJECT MANUAL ARE COMPLETE AND COMPLY WITH "THE FLORIDA BUILDING CODE", THE "FLORIDA FIRE PREVENTION CODE", AND OTHER APPLICABLE CODES AND REGULATIONS. AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH FBC CH. 105 AND 633 FLORIDA STATUTES.

Seal : 

Name : JORGE R. LUACES
License # : AR93912



LEGEND:

- RIGHT OF WAY/PROPERTY LINE
- SETBACK LINE
- PROPOSED BUILDING
- PROPOSED HAND RAIL
- PROPOSED CONCRETE SIDEWALK/SURFACE. SEE CIVIL DRAWINGS FOR DETAILS.
- PROPOSED ASPHALT RESTORATION. SEE CIVIL DRAWINGS FOR DETAILS.
- PROPOSED CONCRETE SIDEWALK/SURFACE RESTORATION. SEE CIVIL DRAWINGS FOR DETAILS.
- PROPOSED RELOCATED PAVERS. SEE CIVIL DRAWINGS FOR DETAILS.
- NEW LANDSCAPED AREAS. SEE LANDSCAPE DRAWINGS FOR DETAILS.
- R.O.W. DEDICATION REQUIRED BY THE CITY OF DELRAY BEACH

PROJECT DATA MATRIX

Site data provided pursuant to LDR Section 4.3.4(K) - Development Standards Matrix

SCOPE OF WORK

A. NEW CONSTRUCTION OF A2 STORY BUILDING

1. PRIMARY OCCUPANCY: B-BUSINESS

2. SECONDARY OCCUPANCY: C-COMMERCIAL

B. CONSTRUCTION TYPE: II

C. UNSPRINKLERED

LEGAL DESCRIPTION

Lots 28 and 29, Block 29, RE-SUBDIVISION OF BLOCKS 29 AND 37, DELRAY, according to the Plat thereof, recorded in Plat Book 9, Page 66, of the Public Records of Palm Beach County, Florida.

PROPERTY INFORMATION

Address: 95 SW 5th Avenue, Delray Beach, FL 33444

Property Control Number (PCN): 12-43-46-17-06-029-0280

Zoning District: Central Business District (CBD) - West Atlantic Neighborhood Sub-district

Future Land Use: Commercial Core (CC)

F.E.M.A. FLOOD PLAIN DESIGNATION

Flood Zone: X

Description: Zone X represents areas outside the 500-year flood plain with less than 0.2% annual probability of flooding.

Finished Floor Elevation: +16.5' N.A.V.D.	Required / Permitted	Existing	Proposed
LOT SIZE			
Total Lot Area	2,000 SF Min.	7,713 SF	7,292 SF
Width of Site	20'-0"	54'-0"	54'-0"
Depth of Site	N/A	143'-9"	138'-9"

BUILDING CONFIGURATION	Required / Permitted		Existing	Proposed
Front Setback	10'-0"	15'-0"	N/A	10'-0"
Side Interior Setback	0'-0"	5'-0"	N/A	0'-0"
Side Street Setback	10'-0"	15'-0"	N/A	10'-0"
Rear Setback	10'-0"	10'-0"	N/A	10'-0"

BUILDING HEIGHT	Required / Permitted	Existing	Proposed
Minimum Height on Primary Street	1 Story and 18'-0"	N/A	2 Story and 24'-0"
Outside of Atlantic Ave Limited Height Area	4 stories and 54'-0"	N/A	2 Story and 24'-0"
Ground Floor Height	12'-0" Min.	N/A	12'-0"

FRONTAGE	Required / Permitted		Existing		Proposed	
Primary Street	Min.	Max.	LF	%	LF	%
SW 5th Avenue	75%	100%	N/A	N/A	44'-0"	81%
Secondary Street						
SW 1st Street	75%	100%	N/A	N/A	121'-8"	84%

Frontage type

Porch

AREA CALCULATIONS	Required / Permitted	Existing	Proposed
	Min. Max.	SF %	SF %
Pervious Area		4,616 SF 63%	1,165 SF 16%
Impervious Area		3,097 SF 42%	6,127 SF 84%
**Open Space		N/A	N/A
Building Area			
Ground Floor Area		0 0	4,892 SF 67%
Second Floor Area		0 0	5,089 SF 70%
Total Floor Area			
Floor Area Ratio (FAR)	0 3	0 0	9,981 SF 1.37

Footnotes:

* Lot size reduced to accommodate Required Dedication for R.O.W.

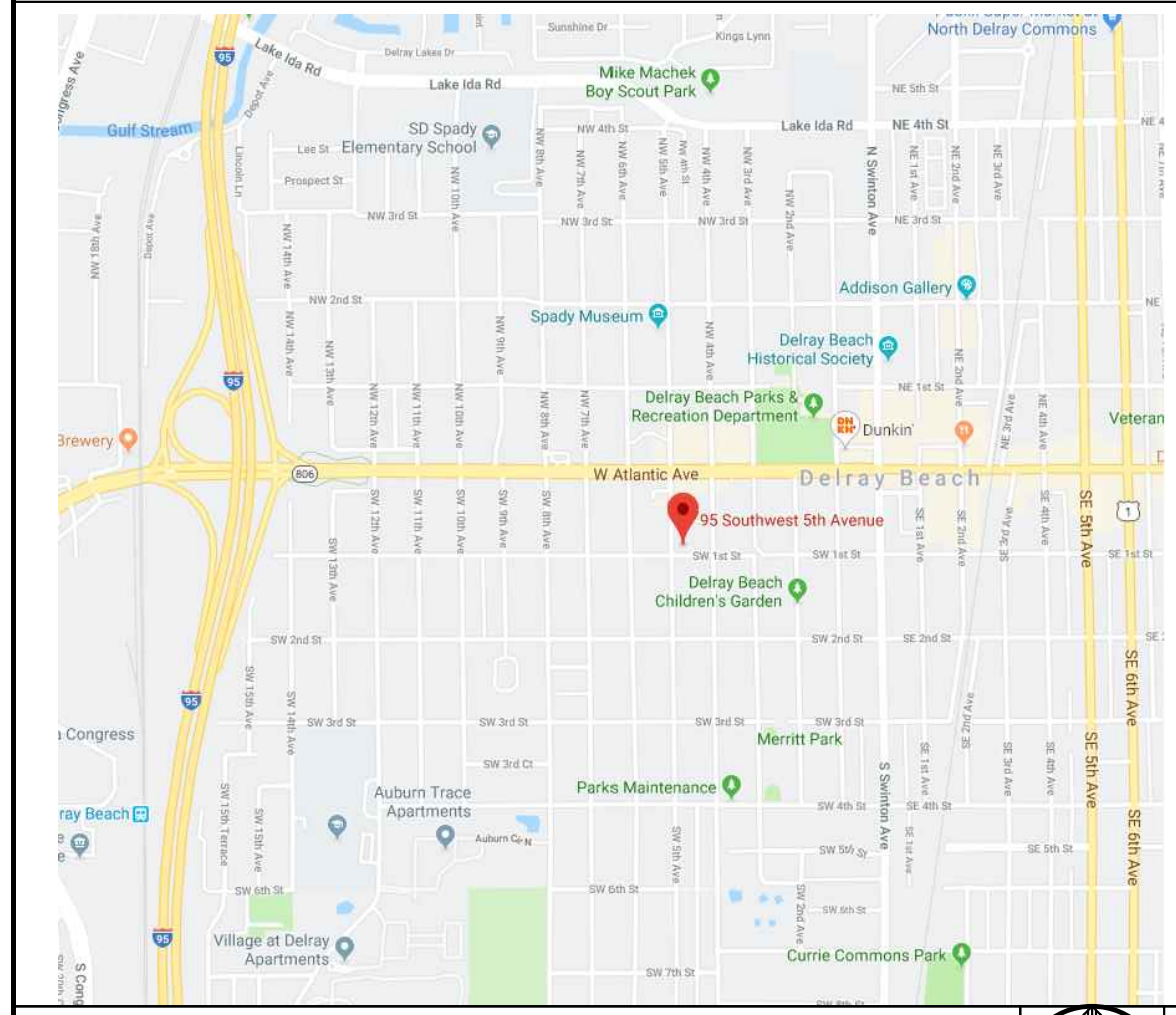
** Sites smaller than 20,000 SF do not have Open Space Requirements

PARKING CALCULATIONS	Required / Permitted	Existing	Proposed
Regular Vehicular	N/A	6	2
ADA Vehicular	N/A	1	2
Alternative Fuel Parking	3% of Commercial Spaces Provided	0	1
Total			
Bicycle Parking	172,000 SF	0	6

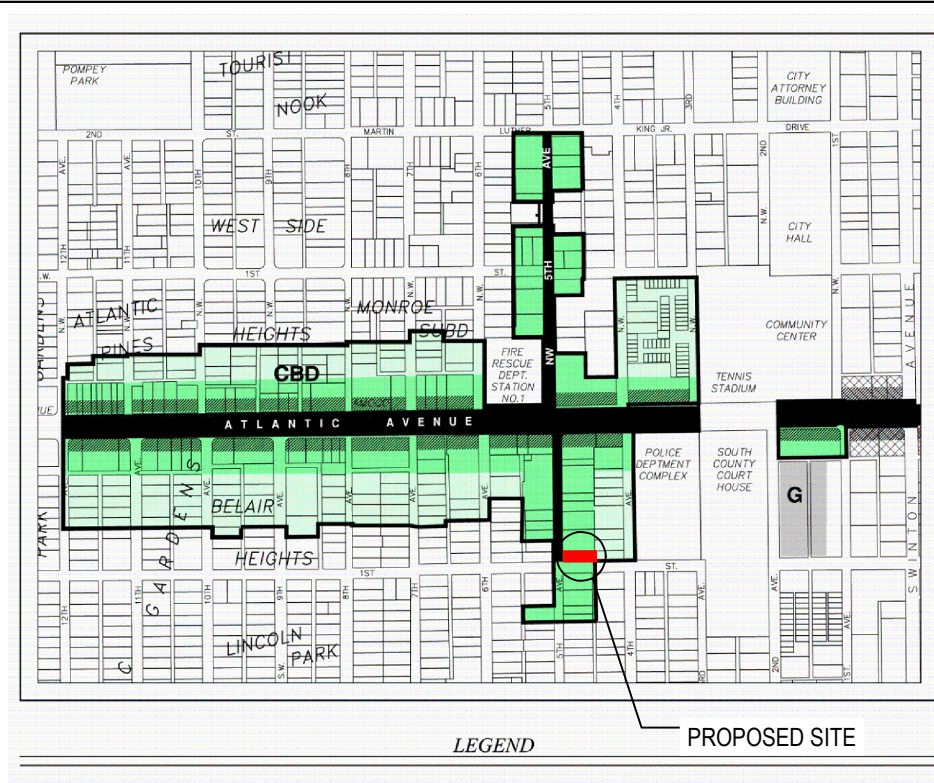
SITE PLAN

01

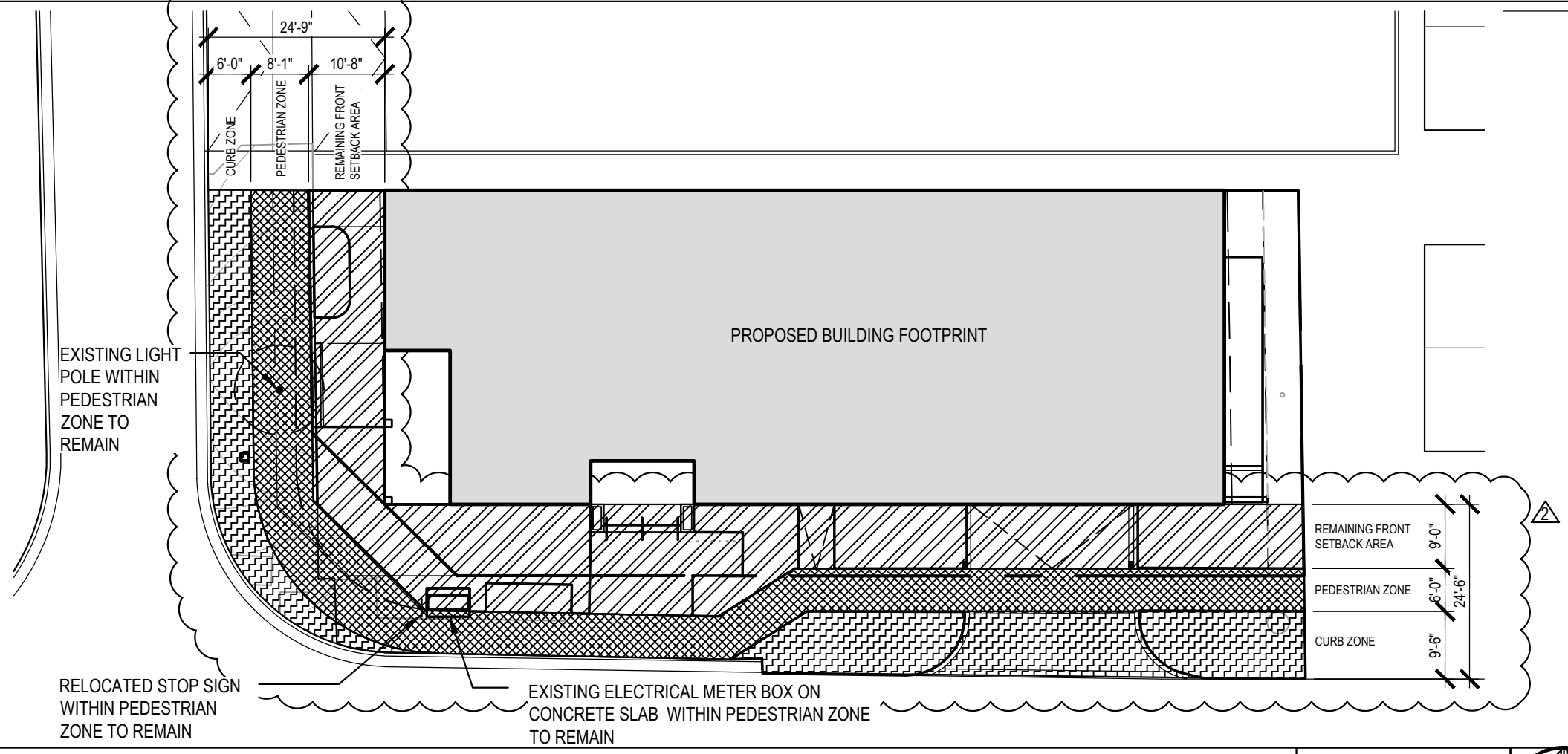
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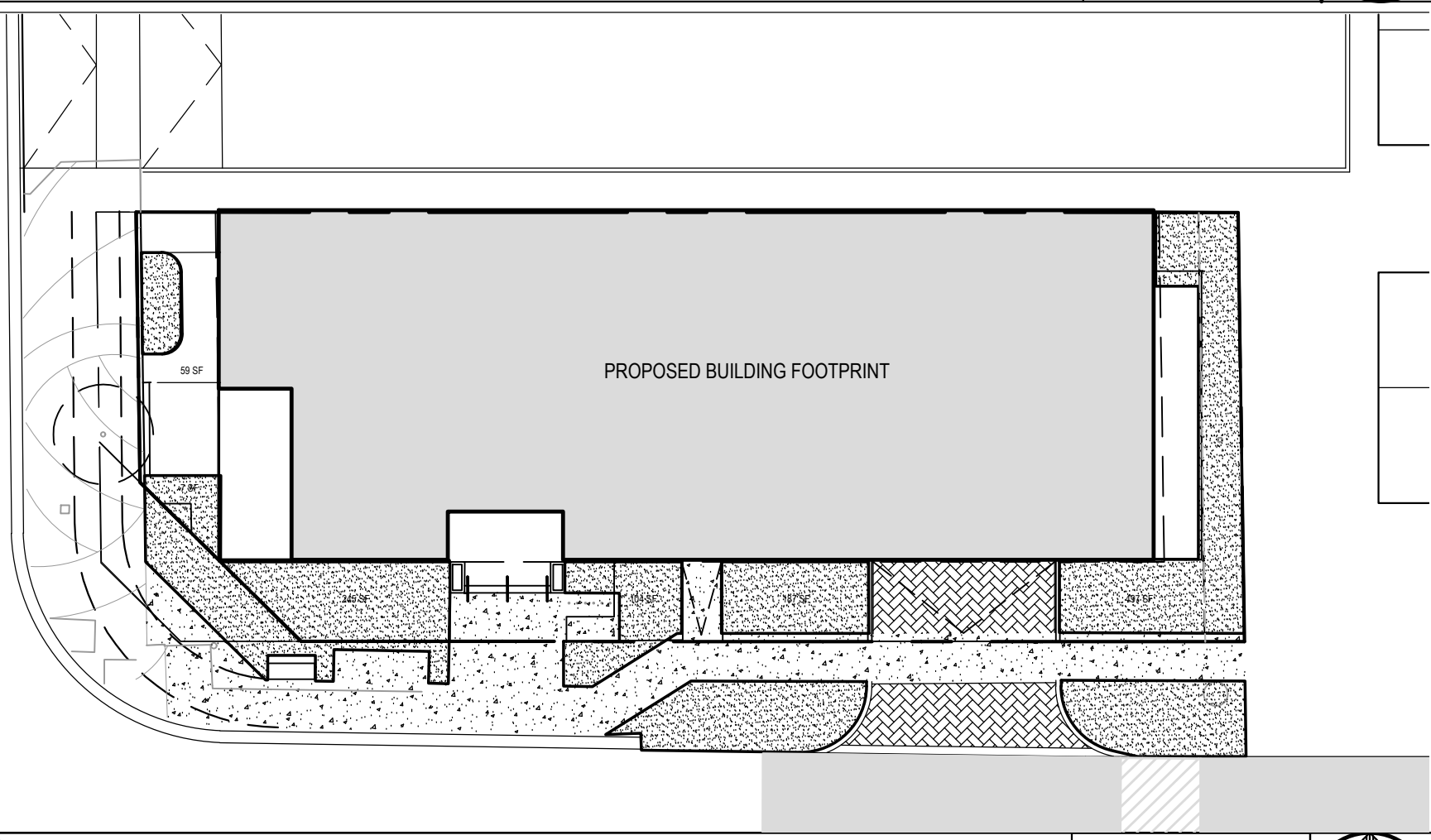
VICINITY MAP



SUB-DISTRICT MAP



STREETSCAPE ZONES DIAGRAM



PERVIOUS / IMPERVIOUS DIAGRAM

02

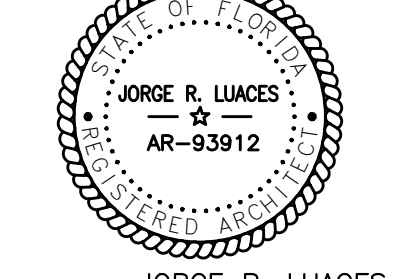
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1545 Centrepark Drive North
West Palm Beach, Florida 33401
Telephone: 561-655-2423
Fax: 561-655-1482

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Name: JORGE R. LUACES

License #: AR93912

Consultants:

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DELRAY BEACH CRA DEVELOPMENT

95 SW 5TH AVE.,
DELRAY BEACH, FL
33483

Key Plan:

BLDG DEPT. COMMENTS - REV #2 - 12/23/2020

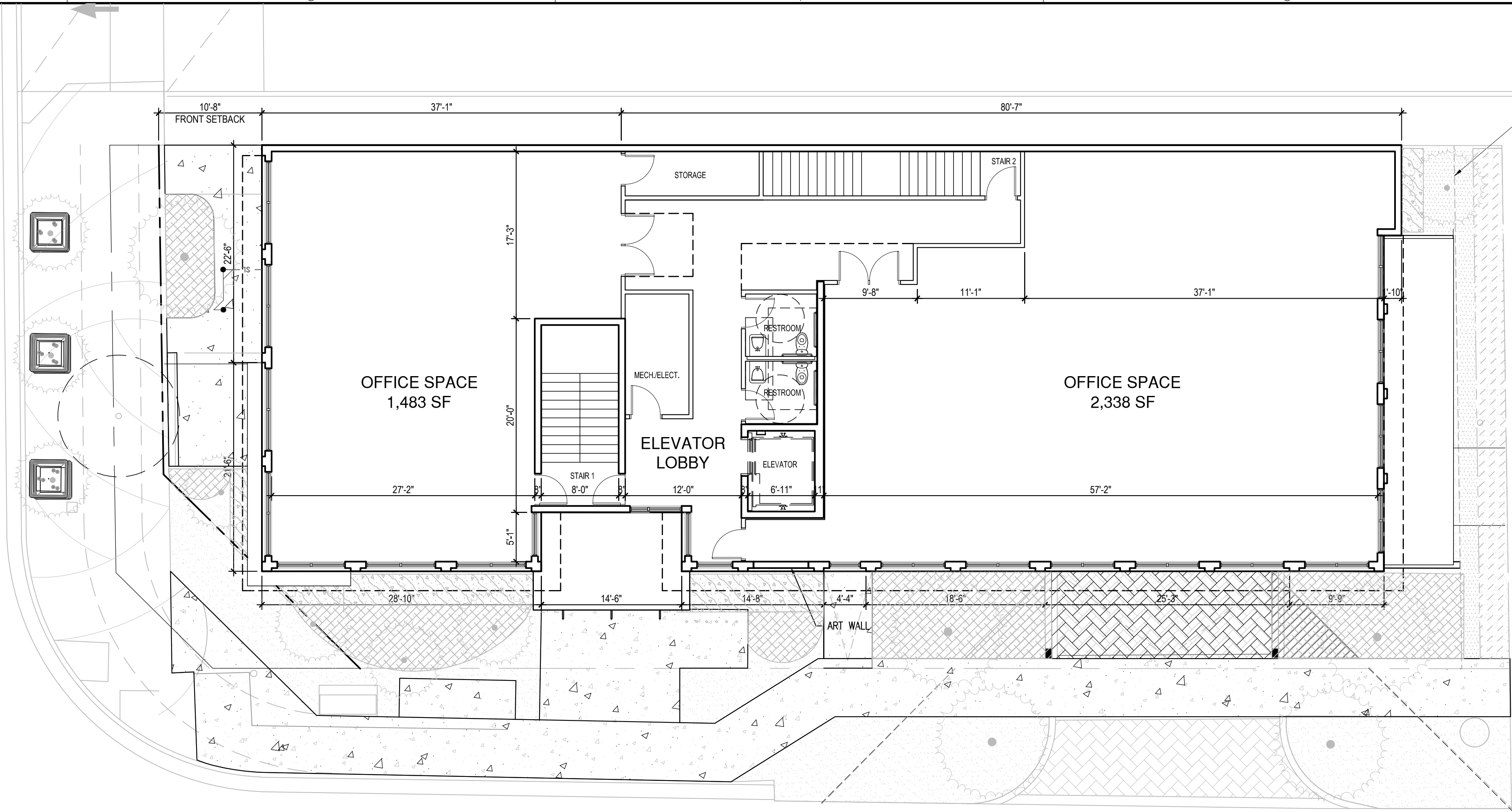
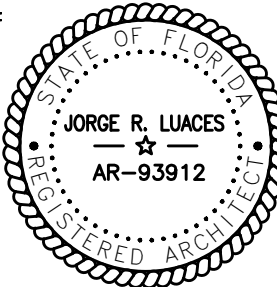
Date: 8.5.2020
S+A Project No: 18069
Owner Project No:
Drawn By: EP
Checked By: JL
Phase:

SITE PLAN APPROVAL

Sheet Title:

SITE PLAN

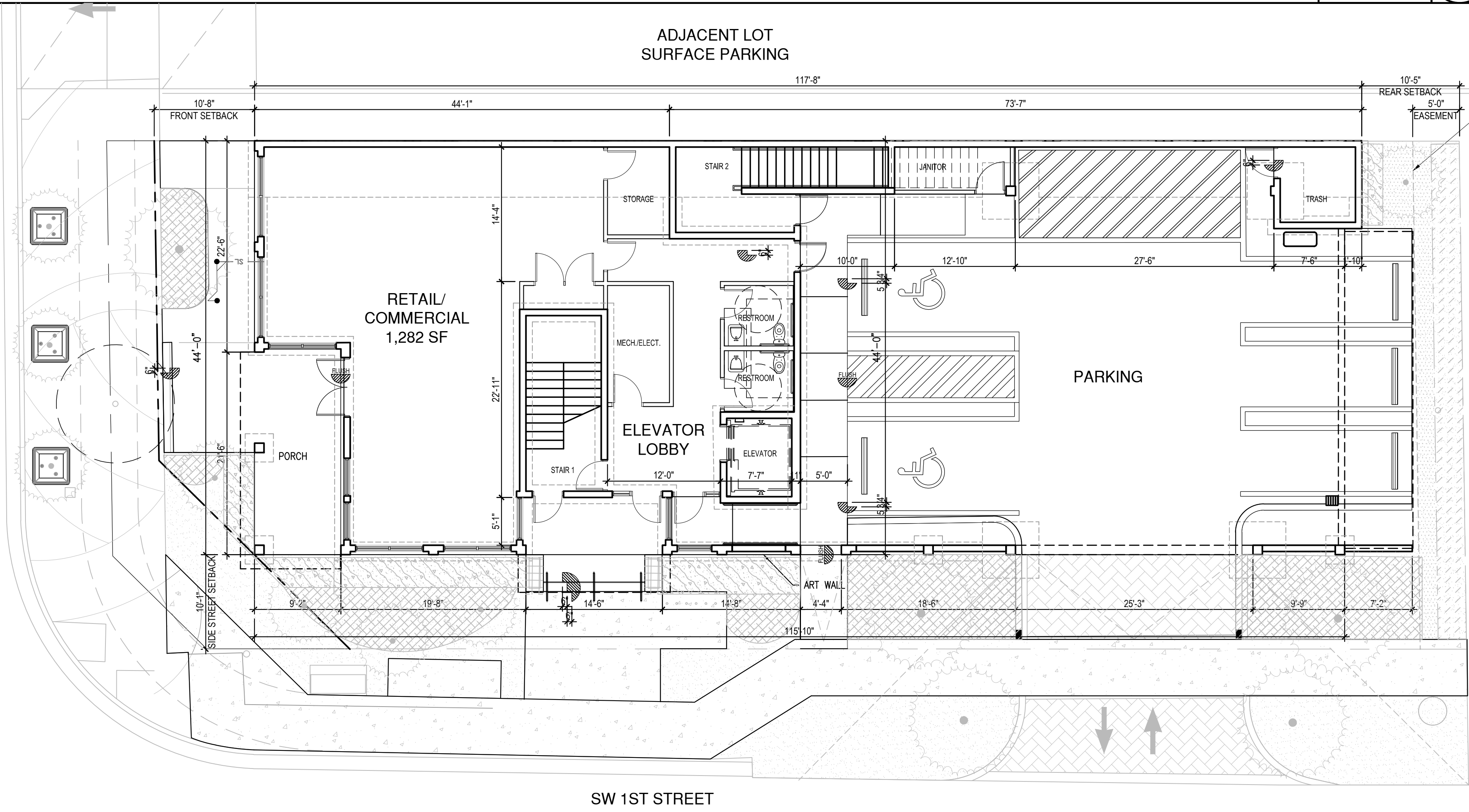
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SECOND FLOOR PLAN

02

1/8"=1'-0"



GROUND FLOOR PLAN

01

1/8"=1'-0"

Table 4.4.13(E)

Dimensional Requirements for Porches

		Minimum	Maximum	Proposed
A	Building Setback	10 ft.	15 ft.	10 ft.
B	Depth	8 ft.	12 ft.	9.16 ft.
C	Width	40% Facade	100% Facade	48% of Facade
D	Floor Elevation	.5 ft.	4 ft.	.5 ft.

Allowable Encroachment¹

¹ May not encroach into the curb zone or pedestrian clear zone (See Section

Table 4.4.13(K)

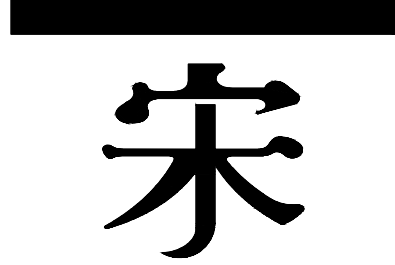
Dimensional Requirements for Lobby Entry

		Minimum	Maximum	Proposed
A	Building Setback	10 ft.	15 ft.	15 ft.
B	Lobby Entry	N/A	N/A	14.50 ft.
Maximum Allowable Encroachment of Elements in All Districts				50% of Facade
C	Overhang/Awni	N/A	10 ft.	4 ft.
D	Columns,	N/A	5 ft.	N/A

DIMENSIONAL REQUIREMENTS

03

N.T.S.



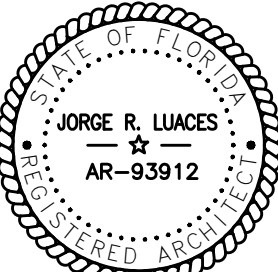
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Key Plan :

BLDG DEPT. COMMENTS - REV #1 - 08/2020

Date : 8.5.2020

S+A Project No : 18069

Owner Project No :

Drawn By : EP

Checked By : JL

Phase :

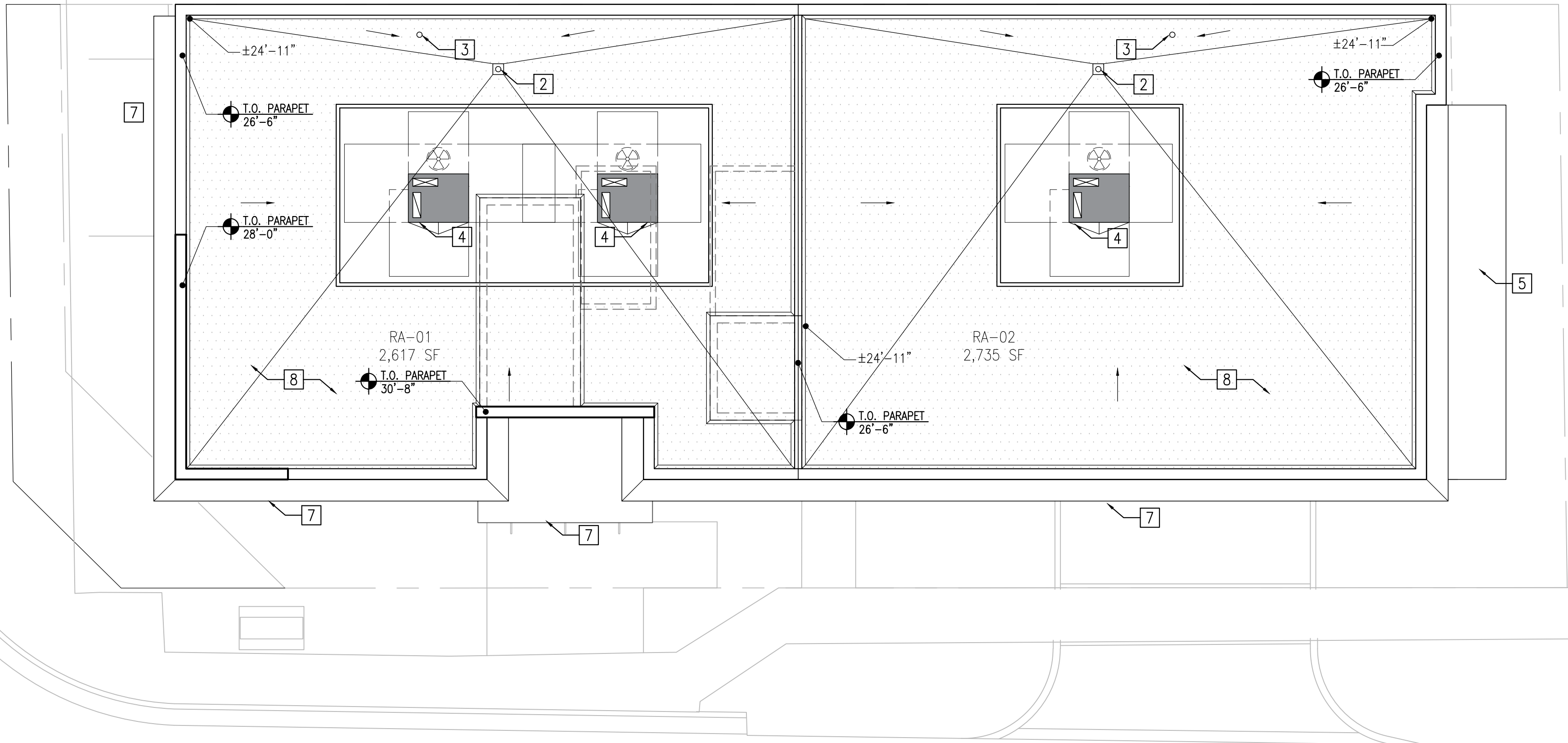
SITE PLAN APPROVAL

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ROOF PLAN

Sheet # :

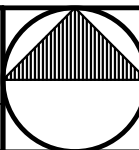
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ROOF PLAN

01

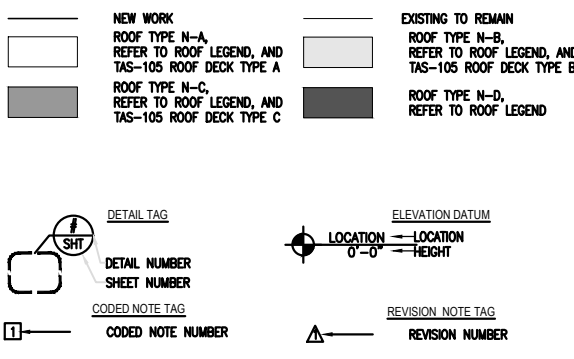
1/8"=1'-0"



CODED NOTES

- 1 EXPANSION JOINT. REFER TO STRUCTURAL
- 2 6" DIAMETER INTERIOR ROOF DRAIN. REFER TO PLUMBING
- 3 6" SECONDARY EMERGENCY OVERFLOW SCUPPER
- 4 R.T.U. REFER TO MECHANICAL
- 5 FABRIC AWNING, BLACK FABRIC
- 6 CRICKET 1/2" PER 1' SLOPE
- 7 CONCRETE EYEBROW
- 8 MODIFIED BITUMEN ROOF WITH ENERGY-STAR QUALIFIED REFLECTIVE ROOF COATING TO ACHIEVE AN INITIAL SOLAR REFLECTANCE GREATER THAN OR EQUAL TO 0.65.

ROOF PLAN LEGEND



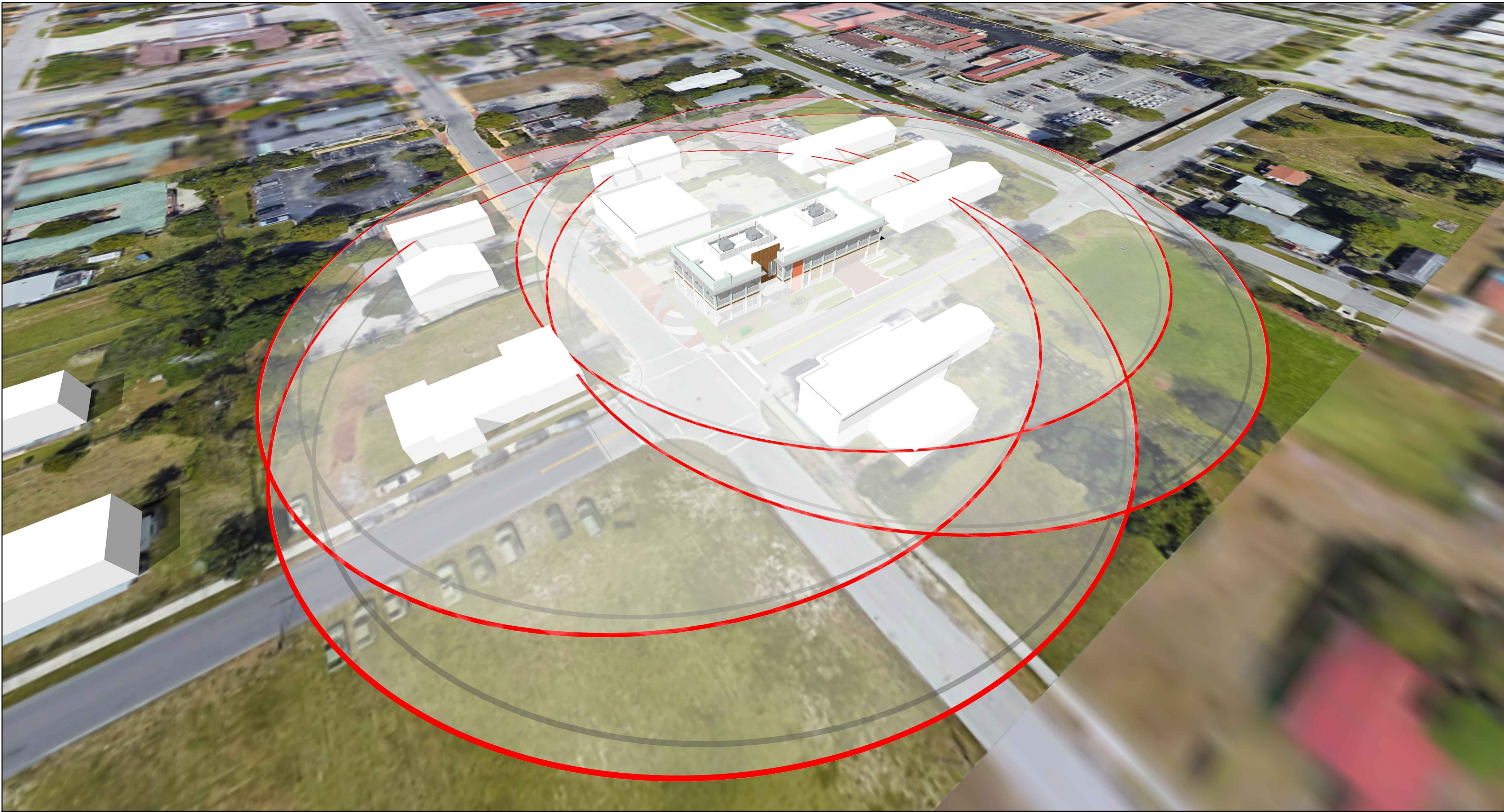
ROOF DRAINAGE CALCULATIONS

ROOF DRAIN PROJECTED AREA				PRIMARY DRAIN		SECONDARY DRAIN	
ROOF AREA NO.	ROOF AREA SF	PARAPET (1/2 x AREA)	TOTAL PROJECTED AREA SF	DRAINS PROVIDED	DRAIN DIA.	DRAINS PROVIDED	DRAIN DIA.
BUILDING 1							
RA-1	2,281	336	2,617	1	6"	1	6"
RA-2	2,400	326	2,735	1	6"	1	6"

NOTES:

- (1) BASED ON 5" RAINFALL PER HR
- (2) BASED ON 4" HEAD HEIGHT CLEAR OPENING W/O ROOFING MATERIAL
- (3) FIELD VERIFY ALL SCUPPER DIMENSIONS
- (4) SECONDARY DRAINS TO BE LOCATED 4" MIN. CLEAR HEIGHT ABOVE PRIMARY DRAIN AFTER INSTALLATION OF ROOFING MATERIAL OR FLASHING
- (5) CONTRACTOR TO FIELD VERIFY ALL ROOF AREAS. DIMENSIONS TAKEN FROM AS BUILT DRAWINGS. CONFIRMATION REQUIRED

A2.1



200' RADIUS DIAGRAM

01

N.T.S.

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Checked By : JL
Phase :

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Sheet Title :

EXTERIOR
ELEVATIONS
200' RADIUS DIAGRAM

Sheet # :

A2.2



AERIAL VIEW

VIEW FROM THE SOUTHWEST

01

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SOUTH ENTRY VIEW

STREET LEVEL VIEW FROM SW 1ST STREET

02

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SOUTH-WEST VIEW

03

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SOUTH-EAST VIEW

04

STREE LEVEL VIEW FROM SOUTHEAST ON SW 1ST STREET

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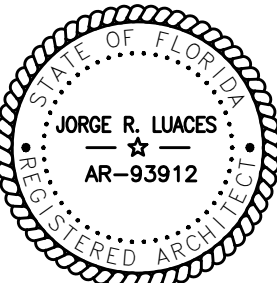
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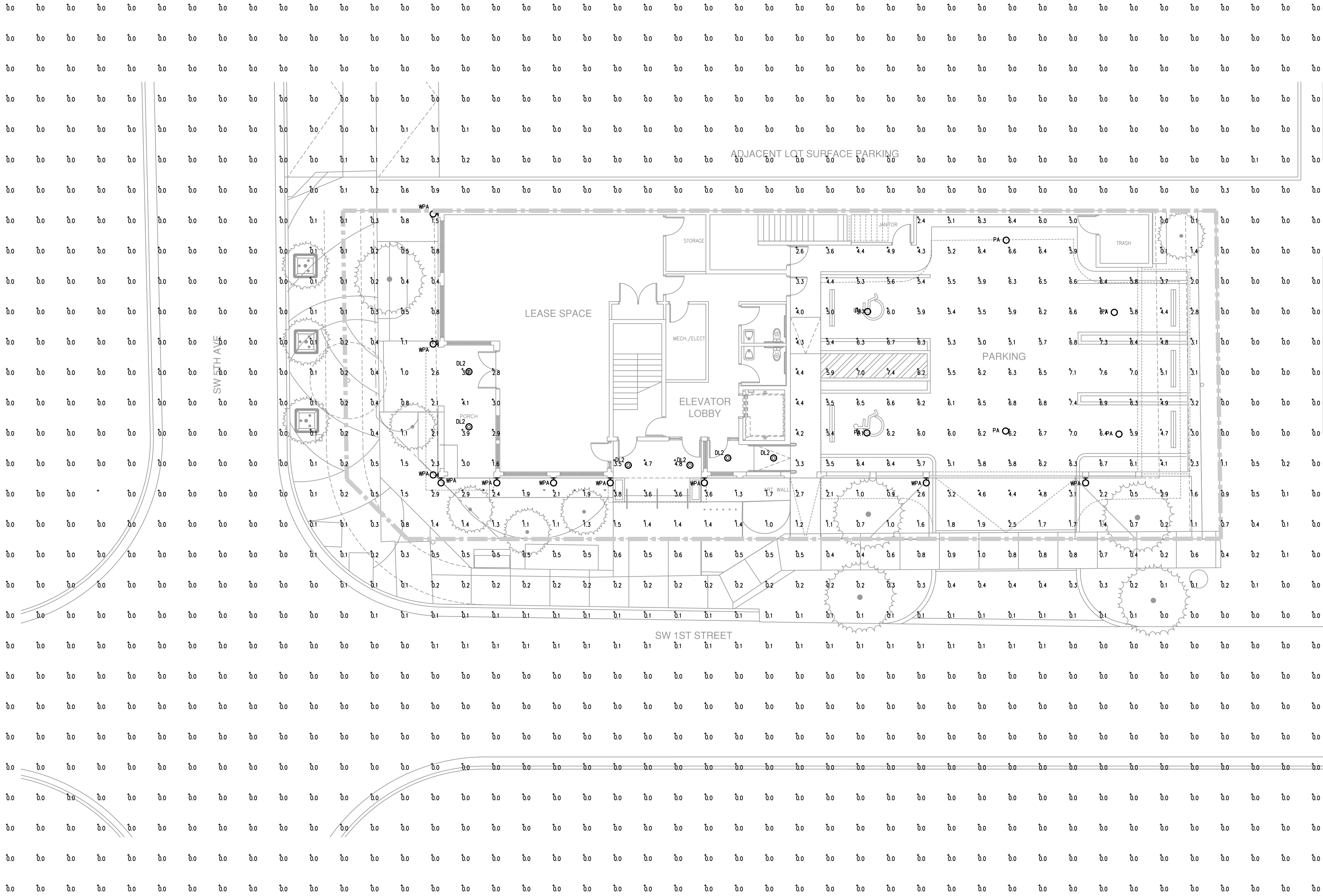
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ARCHITECTURAL
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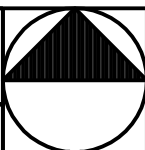
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PARKING	Illuminance	Fc	5.74	7.6	2.4

SITE PLAN - PHOTOMETRICS

01

1/8"=1'-0"



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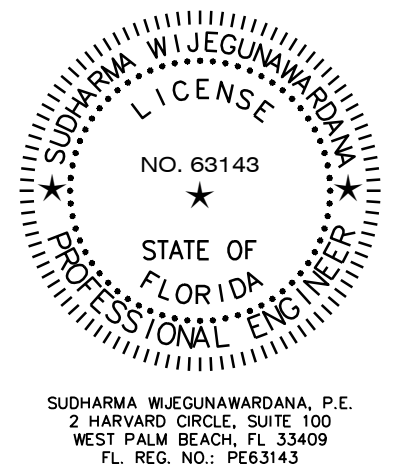
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Date : 08/07/2020

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Drawn By : CJC

Checked By : SW

Phase :

SITE PLAN APPROVAL

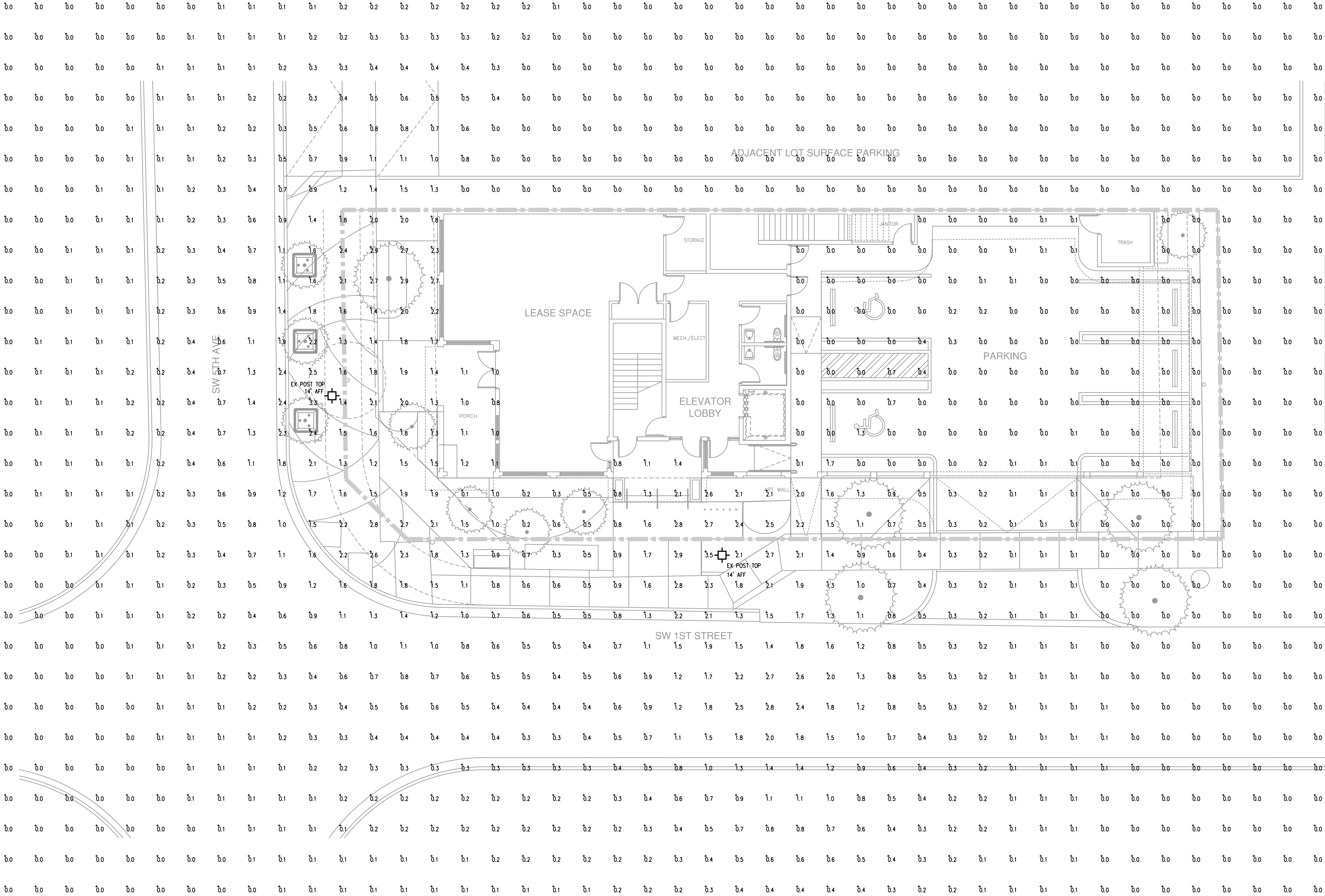
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SITE PLAN -
PHOTOMETRICS

Sheet # :

E101A

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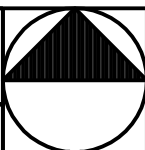
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PARKING	Illuminance	Fc	0.07	1.7	0.0	N.A.

EXISTING POST TOP - PHOTOMETRICS

01

1/8"=1'-0"



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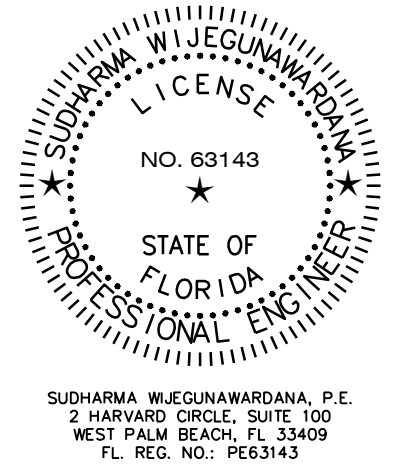
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- PHOTOMETRICS

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