# DELRAY BEACH CRA DEVELOPMENT



### ARCHITECT:

SONG + ASSOCIATES, INC. 1545 CENTREPARK DRIVE NORTH WEST PALM BEACH, FLORIDA 33401

### CONSULTANTS:

**CIVIL ENGINEER** MILLER LEGG 5747 N. ANDREWS WAY, FORT LAUDERDALE, FL 33309

M.E.P. ENGINEER OCI ASSOCIATES, INC 2 HAVARD CIRCLE WEST PALM BEACH, FL 33409

## 95 SW 5TH AVE., DELRAY BEACH, FL 33444

### S + A Project No. 18063



SITE PLAN APPROVAL **REVISION #2** 12/23/20



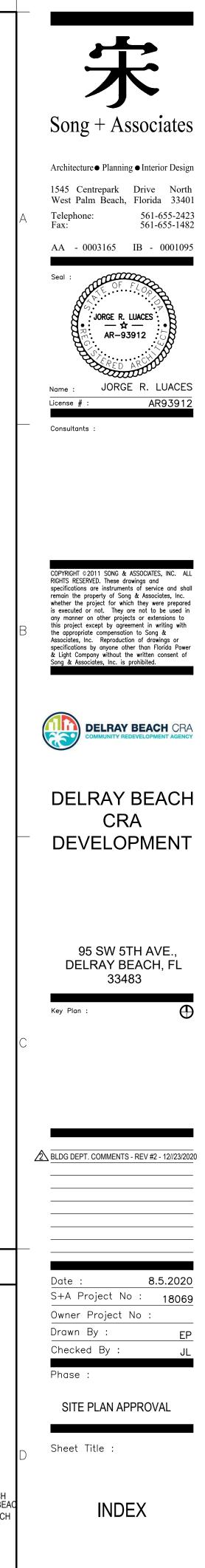
### NOT FOR CONSTRUCTION

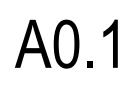


TO THE BEST OF MY KNOWLEDGE, THESE DRAWINGS AND THE PROJECT MANUAL ARE COMPLETE AND COMPLY WITH "THE FLORIDA BUILDING CODE", THE "FLORIDA FIRE PREVENTION CODE", AND OTHER APPLICABLE CODES AND REGULATIONS. AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH FBC CH. 105 AND 633 FLORIDA STATUTES.



1			1	2			3			-	4
				SYMBOLS	AND NOTES	SHEET NUMBER GENERAL A0.0	SHEET TITLE COVER	ISSUE DATE		REV. DATE	
	<u>ELEVATION</u>		PLAN EARTH FILL	1-100 ROOM DESIGNATION ROOM NUMBER			COVER INDEX GEOMETRY, MARKING & SIGNAGE PLAN	02/2020 02/2020	08/2020 08/2020		
			POROUS FILL	ROOM NOMBER ROOM NAME DOOR KEY	O'−O" → LOCATION HEIGHT	C3.0 C4.0 C4.1	PAVING & GRADING PLAN GENERAL CONSTRUCTION DETAILS GENERAL CONSTRUCTION DETAILS	02/2020 02/2020 02/2020 02/2020 02/2020	08/2020 08/2020 08/2020 08/2020		
			CAST IN PLACE	122- A BUILDING NUMBER ROOM NUMBER DOOR NUMBER	EXTERIOR ELEVATION KEY SHEET NUMBER	C5.0 C5.1	UTILITY PLAN	02/2020 02/2020 02/2020	08/2020 08/2020 08/2020 08/2020		
			CONCRETE	Image: Window key	ELEVATION NUMBER	SURVEY SH-1	SKETCH OF TOPOGRAPHIC SURVEY	02/2020 02/2020	08/2020 08/2020		
			STONE	WINDOW NOMBER WINDOW TYPE REFER TO SHEET XXXXX	<u>VIEWPOINT KEY</u> ELEVATION NUMBER 01/A1.1 - SHEET NUMBER	LANDSCAPE LNP.1 LNP.2	LANDSCAPE PLAN NOTES AND DETAILS	02/2020 02/2020 02/2020 02/2020	08/2020 08/2020 08/2020 08/2020		
			BRICK	FINISH KEY CL-1-	VIEWPOINT BUILDING KEY PLAN	ARCHITECTURAL AS1.0	SITE PLAN	02/2020	08/2020 08/2020		
			CONCRETE MASONRY UNIT (LARGE SCALE)	REFER TO FINISH SCHEDULE FOR MATERIAL	BUILDING SECTION / Z	A1.1 A2:0	FIRST AND SECOND FLOOR PLANS ROOF PLAN CREATERION ELEVATIONS	02/2020 02/2020 02/2020 02/2020	08/2020 08/2020		
			CONCRETE MASONRY UNIT (SMALL SCALE)	CASEWORK KEY CASEWORK NUMBER	- # SECTION NO. SHT SHEET NO.	A2.1 A2.2 AR1.0	DIMENSIONAL REQUIREMENTS AND DIAGRAMS 200' RADIUS ARCHITECTURAL RENDERINGS	02/2020 02/2020	08/2020 08/2020		
			STEEL (LARGE SCALE)	NUMBER OF UNITS PARTITION TYPE KEY	WALL SECTION/DETAIL KE	ELECTRICAL E101A	SITE PLAN - PHOTOMETRICS	02/2020	08/2020		
			ALUMINUM (LARGE SCALE)	WALL, PARTITION OR CHASE TYPE DETAIL NUMBER STUD OR MASONRY THICKNESS,	XX/XXX SHEET NO. SECTION NO.	<u>(</u> <u>E101B</u>	CUT SHEETS - PHOTOMETRICS	02́/2020	08/2020		
	VARIES		STONE VENEER	IF DIFFERENT THAN INDICATED IN WX-X-S	#						
		Т.Г	METAL (SMALL SCALE)	IF WALL TYPE FOLLOWED WITH AN 'S', WALL IS TO BE PROVIDED WITH INSULATION AS	DETAIL NUMBER SHEET NUMBER						
			ROUGH WOOD	INDICATED IN DETAIL WALL HOURLY FIRE RATING							
			(CONTINUOUS)	<u>POINT ELEVATION KEY</u> <u>──O"</u> <del>─</del> HEIGHT	H - <u>REVISION DELTA</u> DETAIL NO.						
	$\mathbb{P}^{n}$		(INTERMITTANT BLOCKING)		INTERIOR ELEVATIONS KE	<u>(</u>					
			(FINISHED)		C ++++ SHEET NUMBER						
			PLYWOOD (LARGE SCALE)	APPLICABLE	CODES	-					
			PLYWOOD (SMALL SCALE)		·····	-					
			PARTICLE BOARD	APPLICABLE CODES							
			INSULATION (BATT)	2. THE DESIGN AND CONSTRUCTION OF THIS PROJECT SHALL         AND STANDARDS.         SHOULD THERE BE A CONFLICT BETWEEN A         THE REQUIREMENT THAT PROVIDES THE GREATEST DEGREE OF	ANY CODE REQUIREMENTS, COMPLY WITH )						
			RIGID INSULATION (ROOF OR WALL)	A. FBC (FLORIDA BUILDING CODE), 6TH EDITION (2017) IN A.1. FBC-BUILDING							
			CERAMIC TILE	A.2. FBC-MECHANICAL A.3. FBC-PLUMBING A.4. FBC-FUEL GAS	$\left\{ \right.$						
			PLASTER, SAND, CEMENT, GROUT, GYPSUM BOARD	A.5. FBC-ACCESSIBILITY B. FLORIDA FIRE PREVENTION CODE 6th EDITION FAC 2017 B.1. NFPA 1-2015	7 INCLUDING:						
				B.2. NFPA 101-2015 B.3. NFPA CODES LISTED IN FAC 69A-60.005 C. ASCE 7-10: AMERICAN SOCIETY OF CIVIL ENGINEERS							
			GLASS	<ul> <li>D. UL FIRE RESISTANCE DIRECTORY AS VERIFIED AT WWW.U</li> <li>E. OSHA (OCCUPATIONAL SAFETY &amp; HEALTH ADMINISTRATIC AS CURRENTLY REVISED</li> </ul>							
			ABBREVIATIONS	F. FEMA (FEDERAL EMERGENCY MANAGEMENT AGENCY), R 59 & 60, REVISED OCTOBER 1995 FOR FLOOD PLAIN	ULES & REGULATIONS, 44 CFR, PARTS						
≮  ∠  ©	AND ANGLE CENTER LINE		± Plus or minus ¶ Plate or property line ☑ Square	<ul> <li>FACILITIES CONSTRUCTED IN FLOOD PLAIN AREAS.</li> <li>G. FLORIDA STATUTES AND STATE RULES. INCLUDING, BUT 255, 468, 471, 481, 489, 553, 633, AND SECTION</li> </ul>	ON 287.055, FLORIDA STATUTES, AND 📿						
Ø	DIAMETER OR I		C/C CENTER TO CENTER # POUND OR NUMBER	H. FEDERAL REQUIREMENTS INCLUDING:	~~~~~~						
AC ACC ACT	AIR CONDITIONIN ACCESSIBLE ACOUSTICAL CEI		INT INTERIOR JB JOIST BEARING JT JOINT	1.0SHA (OCCUPATIONAL SAFETY & HEALTH ADMINIS CFR 29 AS REVISED JULY 1995 2. FEMA (FEDERAL EMERGENCY MANAGEMENT AGE	ENCY), RULES & REGULATIONS, 44 CFR,						
AD ADJ	ACCOUSTICAL CLI AREA DRAIN ADJUSTABLE		MAX MAXIMUM MIN MINIMUM	PARTS 59 & 60, REVISED OCTOBER 1995 FOR FLOOD OF FACILITIES CONSTRUCTED IN FLOOD PLAIN AREAS. 3. ADAAG, ACCESSIBILITY REQUIREMENTS FOR							
AFF A.L.	ABOVE FINISH F ARC LENGTH	FLOOR	MISC MISCELLANEOUS MO MASONRY OPENING	REVISED 2004 ; US ACCESS BOARD GUIDELINES 4. AHERA (ASBESTOS HAZARD EMERGENCY RES REVISED JULY 1995	SPONSE ACT) 40 CFR, PART 763, AS						
ALUM BD BLDG	aluminum Board Building		MTL METAL NIC NOT IN CONTRACT NO/ # NUMBER	I. ASTM (AMERICAN SOCIETY FOR TESTING & MATERIALS) J. ACI 318–02: BUILDING CODE REQUIREMENTS FOR STRUCT	TURAL CONCRETE						
BLK BM	BLOCK BEAM		NTS NOT TO SCALE OH OVERHEAD	K. AISC SPECIFICATION FOR STRUCTURAL STEEL BUILDIN PLASTIC DESIGN L. AISI SPECIFICATION FOR THE DESIGN OF COLD – FORM	NGS —ALLOWABLE STRESS DESIGN AND						
BOB BUR CIP	BOTTOM OF BEA BUILT-UP ROOF CAST IN PLACE	F	OC ON CENTER OD OUTSIDE DIAMETER OPP OPPOSITE	EDITION M. F-DOT/AASHTO: AMERICAN ASSOCIATION OF STATE	HIGHWAY & TRANSPORTATION OFFICIALS						
CJ CL	CONTROL JOINT CHAIN LINK		PLAS PLASTER PLYWD PLYWOOD	"STANDARD SPECIFICATIONS FOR HIGHWAYS & BRIDGES" JANUARY 1999 N. ASHRAE (AMERICAN SOCIETY OF HEATING, REFRIGERATION							
CLR CLG CMU	CLEAR CEILING CONCRETE MAS(		POB POINT OF BEGINNING PREFAB PREFABRICATED PSF POUNDS PER SQUARE FOOT	O. HANDBOOK FOR PUBLIC PLAYGROUND SAFETY P. DISTRICT LIFE CYCLE COST CONTAINMENT GUIDELINES & I	MASTER SPECIFICATIONS						
COL CONC	COLUMN CONCRETE		PSI POUNDS PER SQUARE INCH PT PRESSURE TREATED								
CONT D DWG	Continuous/CC Depth Drawing	ONTINUE	R RISE RA RETURN AIR RAD/ R RADIUS							 \/I	CINITY MAP
EA EC	EACH EASED CORNER	2	RD ROOF DRAIN REINF REINFORCING							<b>V</b> I	
EJ ELEV	EXPANSION JOIN ELEVATION/ ELE		REQ'D REQUIRED RM ROOM								
EQ EQUIP EXP	EQUAL EQUIPMENT EXPANSION		SCHED SCHEDULE SHT SHEET SIM SIMILAR						95	1/7	
EWC EXT	ELECTRIC WATER EXTERIOR	R COOLER	SP SPACE SPEC(S) SPECIFICATION(S)								ROAD
FD FE FEC	Floor Drain Fire Extinguish Fire Extinguish		STD STANDARD STL STEEL SUSP SUSPENDED								
FDN FHC	FOUNDATION FIRE HOSE CAB		SW SIDEWALK T THICKNESS/TREAD							N	W 2 ST
FIN F.F.	FINISH FINISH FLOOR		TOBTOP OF BEAMTOCTOP OF CONCRETETODOF FOOTING							AVE MM	
FLR FT GA	FLOOR FEET / FOOT GAUGE		TOF TOP OF FOOTING TOI TOP OF INSULATION TOM TOP OF MASONRY							W 14	NN 2 NN
GALV GEN	GALVANIZED GENERAL		TOP TOP OF PARAPET TOS TOP OF SLAB								W. ATLANTIC AVENUE
GL GUM GWB	GLASS GLASS UNIT MAX GYPSUM WALLBO		TOW TOP OF WALL TYP TYPICAL UNO UNLESS NOTED OTHERWISE					Ň			SW 1 ST
GYP H/HT	gypsum Height		VERT VERTICAL VCT VINYL COMPOSITION TILE						$\setminus$		SW 2 ST
ID IN	INSIDE DIAMETER INCH / INCHES		W WIDTH W/ WITH WD WOOD					N.T.S.			
INSUL	INSULATION		<u>שוויט איטטש</u> 1	2		1	3				4



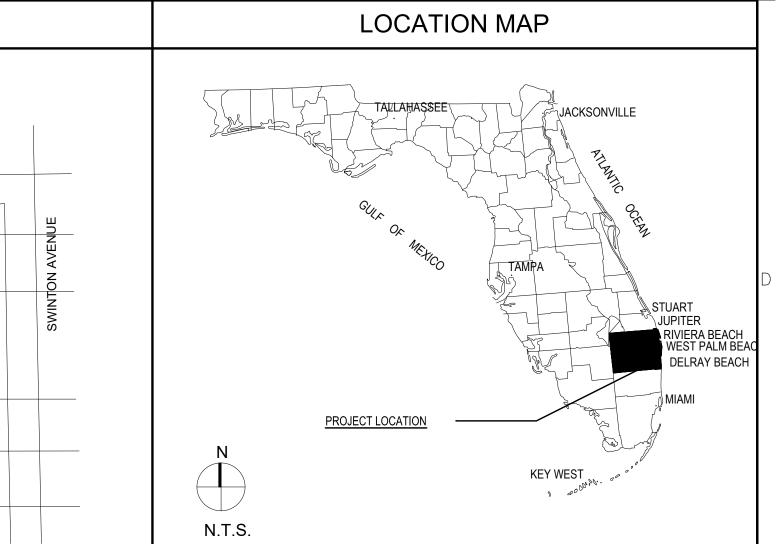


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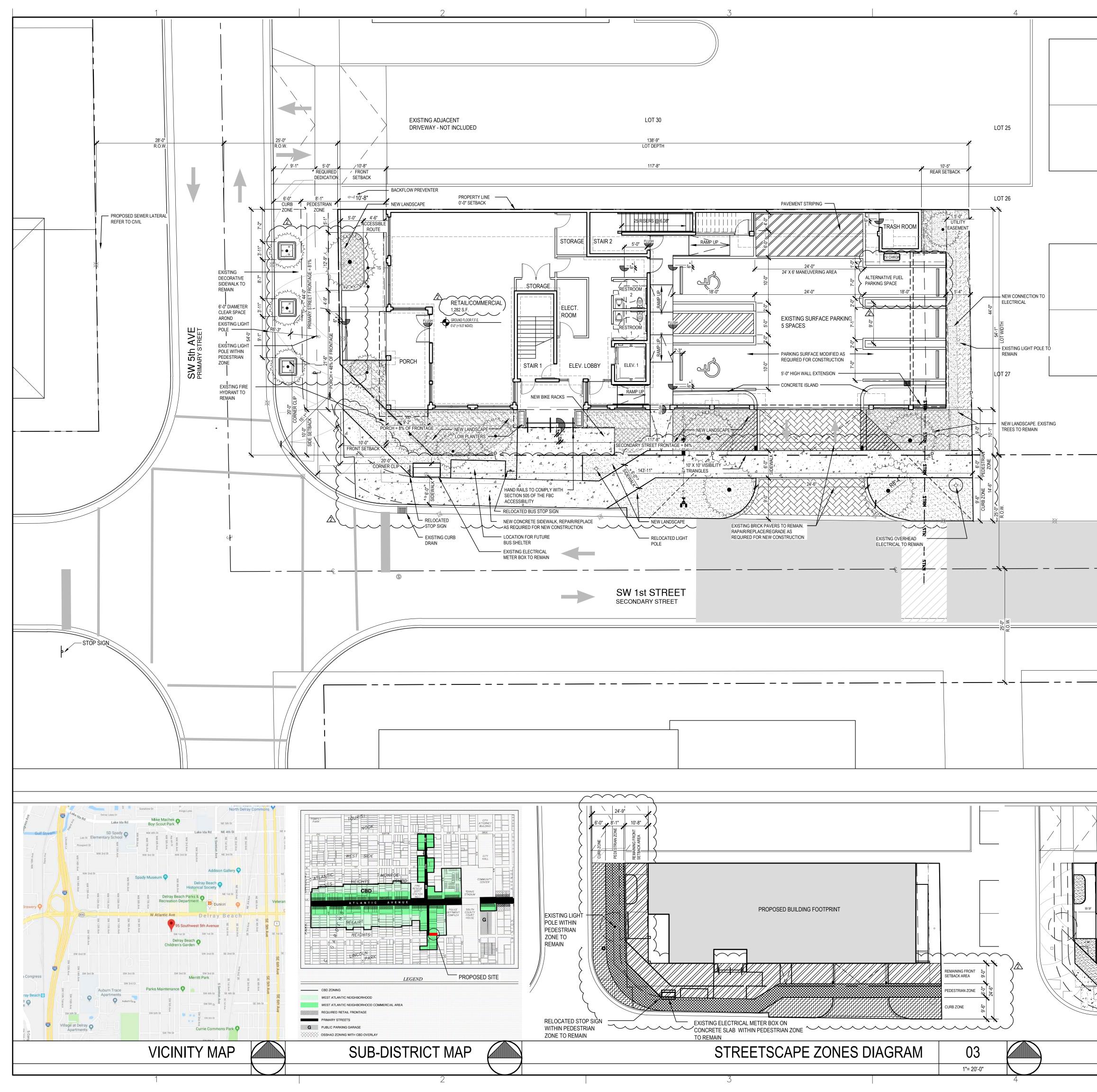
REMARKS:

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LISTED DWGS. PART OF SITE PLAN APPROVAL PACKAGE



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#### LEGEND:

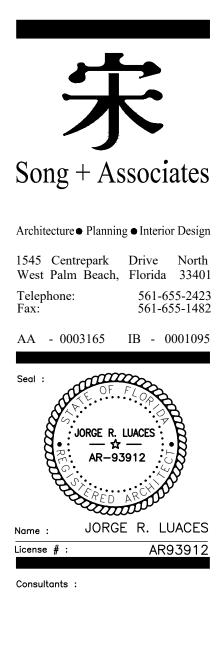
	 	<u></u>
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RIGHT OF WAY/PROPERTY LINE
SETBACK LINE
PROPOSED BUILDING
PROPOSED HAND RAIL
PROPOSED CONCRETE SIDEWALK/SURFACE. SEE CIVIL DRAWINGS FOR DETAILS.
PROPOSED ASPHALT RESTORATION. SEE CIVIL DRAWINGS FOR DETAILS
PROPOSED CONCRETE SIDEWALK/SURFACE RESTORATION. SEE CIVIL DRAWINGS FOR DETAILS.
PROPOSED RELOCATED PAVERS. SEE CIVIL DRAWINGS FOR DETAILS.
NEW LANDSCAPED AREAS. SEE LANDSCAPE DRAWINGS FOR DETAILS.
R.O.W. DEDICATION REQUIRED BY THE CITY OF DELRAY BEACH

PROJECT DATA MATRIX						
Site data provided pursuant to LDR Section	4.3.4(K) - D	evelopment	t Standards	Matrix		
SCOPE OF WORK						
A. NEW CONSTRUCTION OF A 2 STORY BL	IILDING					
1. PRIMARY OCCUPANCY: B-BUSINESS						
2. SECONDARY OCCUPANCY: C-COMME	RCIAL					
B. CONSTRUCTION TYPE: II						
C. UNSPRINKLERED						
LEGAL DESCRIPTION						
Lots 28 and 29, Block 29, RE-SUBDIVISION OF	BLOCKS 29	AND 37, DE	LRAY, accor	ding to the F	Plat thereof, re	corded
Plat Book 9, Page 66, of the Public Records of P	alm Beach (	County, Floric	da.			
PROPERTY INFORMATION						
Address: 95 SW 5th Avenue, Delray Beac						
Property Control Number (PCN): 12-43-46-						
Zoning District: Central Business District (C	BD) - West	Atlantic Neig	ghborhood S	Sub-district		
Future Land Use: Commercial Core (CC)						
F.E.M.A. FLOOD PLAIN DESIGNATION						
Flood Zone : X	Descriptior	n: Zone X re	presents are	eas outside	e the 500-yea	ar flood
Finished Floor Elevation: +16.5' N.A.V.D.	plain with le	ess than 0.2	% annual pr	obability o	fflooding.	
*LOT SIZE	Required /	Permitted	Exis	ting	Propo	sed
Total Lot Area	2,000 \$	SF Min.	7,71	3 SF	7,292	SF
Width of Site	20'-0"		54'-0"		54'-0"	
Depth of Site	N/A		143'-9"		138'-9"	
BUILDING CONFIGURATION	Required /	Permitted	Exis	ting	Propo	sed
Front Setback	10'-0"	15'-0"	N/	'A	10'-0"	
Side Interior Setback	0'-0"	5'-0"	N/	'A	0'-0	
Side Street Setback	10'-0"	15'-0"	N/	Ά	10'-	
Rear Setback	10'-0"	10'-0"	N/	'A	10'-0"	
BUILDING HEIGHT	Required /	Permitted	Exis	ting	Propo	sed
Minimum Height on Primary Street	1 Story a	and 18'-0"	N/	Ά	2 Story an	ıd 24'-(
Outside of Atlantic Ave Limited Height Area		and 54'-0"	N/		2 Story an	
Ground_Story/Height	P 12'-0	" Min.	N/		12'-0"	
FRONTAGE	Required /	Permitted	Exis	ting	Propo	sed
Primary Street	Min.	Max.	LF	%	LF	%
SW 5th Avenue	75%	100%	N/A	N/A	44'-0"	81%
Secondary Street						
SW 1st Street	75%	100%	N/A	N/A	121'-8"	84%
Frontage type						
Porch						
AREA CALCULATIONS		Permitted	Exis		Propo	
Area	Min.	Max.	SF	%	SF	%
Pervious Area			4,616 SF	63%	1,165 SF	16%
Impervious Area			3,097 SF	42%	6,127 SF	84%
**Open Space			N/A	N/A	N/A	N/A
Building Area	1	1				
Ground Floor Area			0	0	4,892 SF	67%
Second Floor Area			0	0	5,089 SF	70%
Total Floor Area	0	21,877 SF	0	0	9,981 SF	_
Floor Area Ratio (FAR)		3	0	)	1.3	(
Footnotes:						
* Lot size reduced to accommodate Required L						
** Sites smaller than 20,000 SF do not have O				a		
PARKING CALCULATIONS	Required	/ Permitted	Exis	-	Propo	sea

Regular Vehicular	N/A	6	2	
ADA Vehicular	N/A	$\frac{1}{1}$	2	
Alternative Fuel Parking	3% of Commercial 3%	0		
Total	Spaces Provided			
			$\frac{5}{5}$	
Bicycle Parking	1 / 2,000 SF	0	6	BLDG DEPT. COMMENTS - REV #2 - 12//23/2020
	SITE PLAN	01		
	011 2	• •		
		1"= 10'-0"		
				Date : 8.5.2020
				Owner Project No :
				Drawn By : EP
				Checked By : JL
				Phase :
	D BUILDING FOOTPRINT			
				SITE PLAN APPROVAL
				Sheet Title :
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		n mar 1995 a chuir 1996 - Sharing Marine 1996 - Sharing Marine 1996 - Sharing Marine		
		497 SF		
				SITE PLAN
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<b>PERVIOUS / IMPERVI</b>		02		AJLU

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DELRAY BEACH
CRA
DEVELOPMENT

95 SW 5TH AVE.,
DELRAY BEACH, FL
33483

Kev Plan



Date ·	8 5 2020

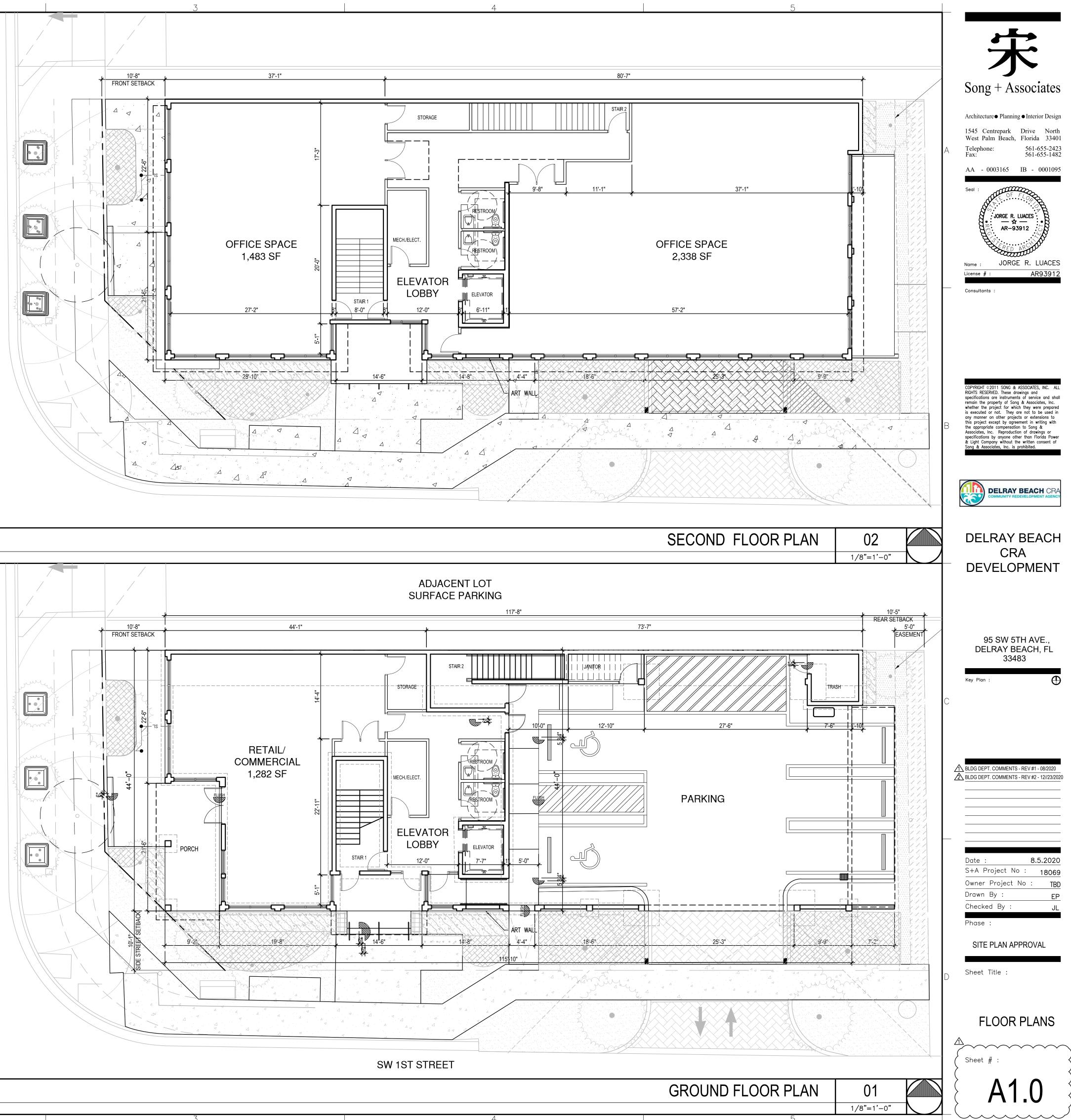
Date :	8.5.2020
S+A Project No :	18069
Owner Project No	:
Drawn By :	EP
Checked By :	JL
Phase :	

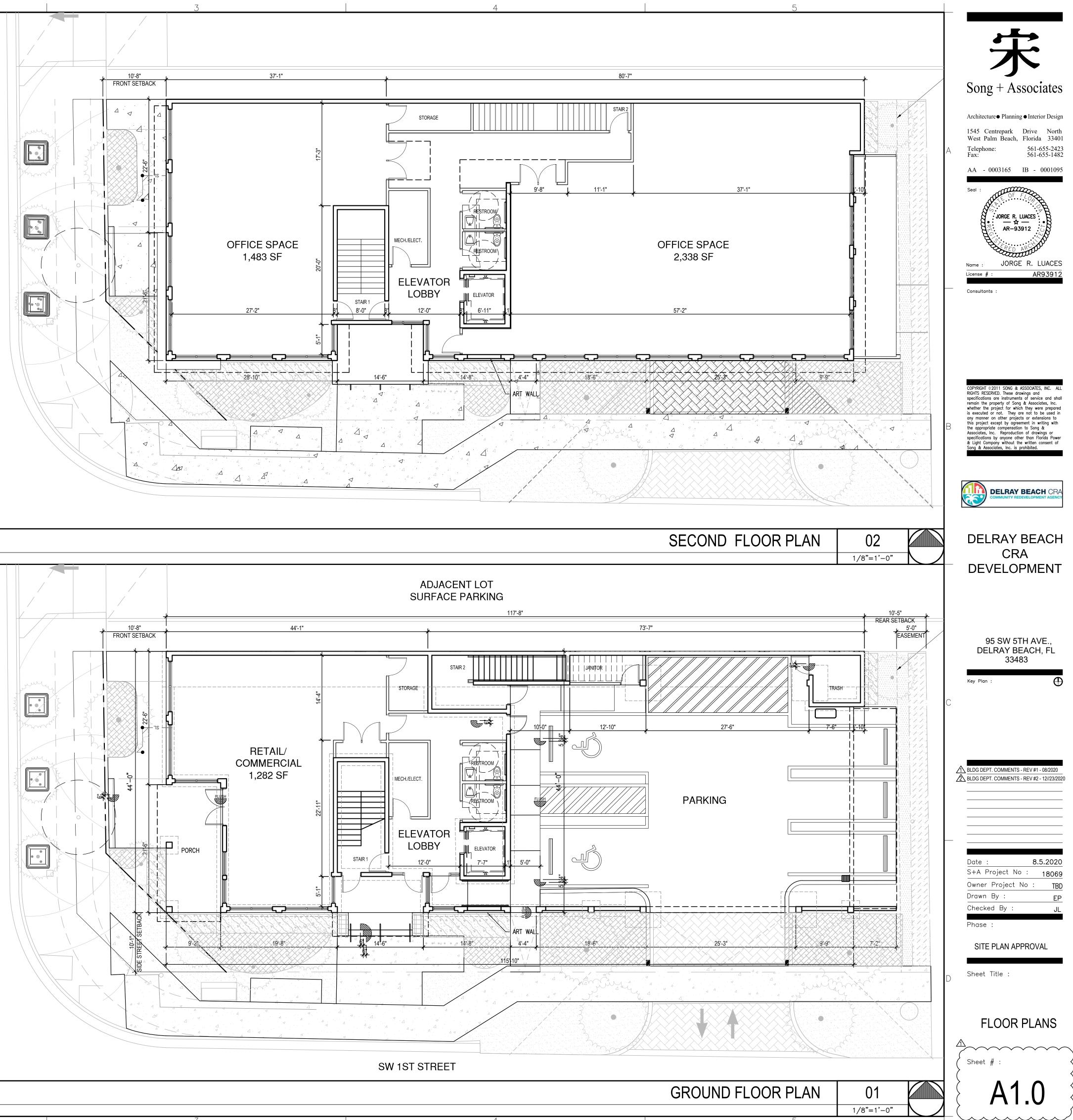
### SITE PLAN

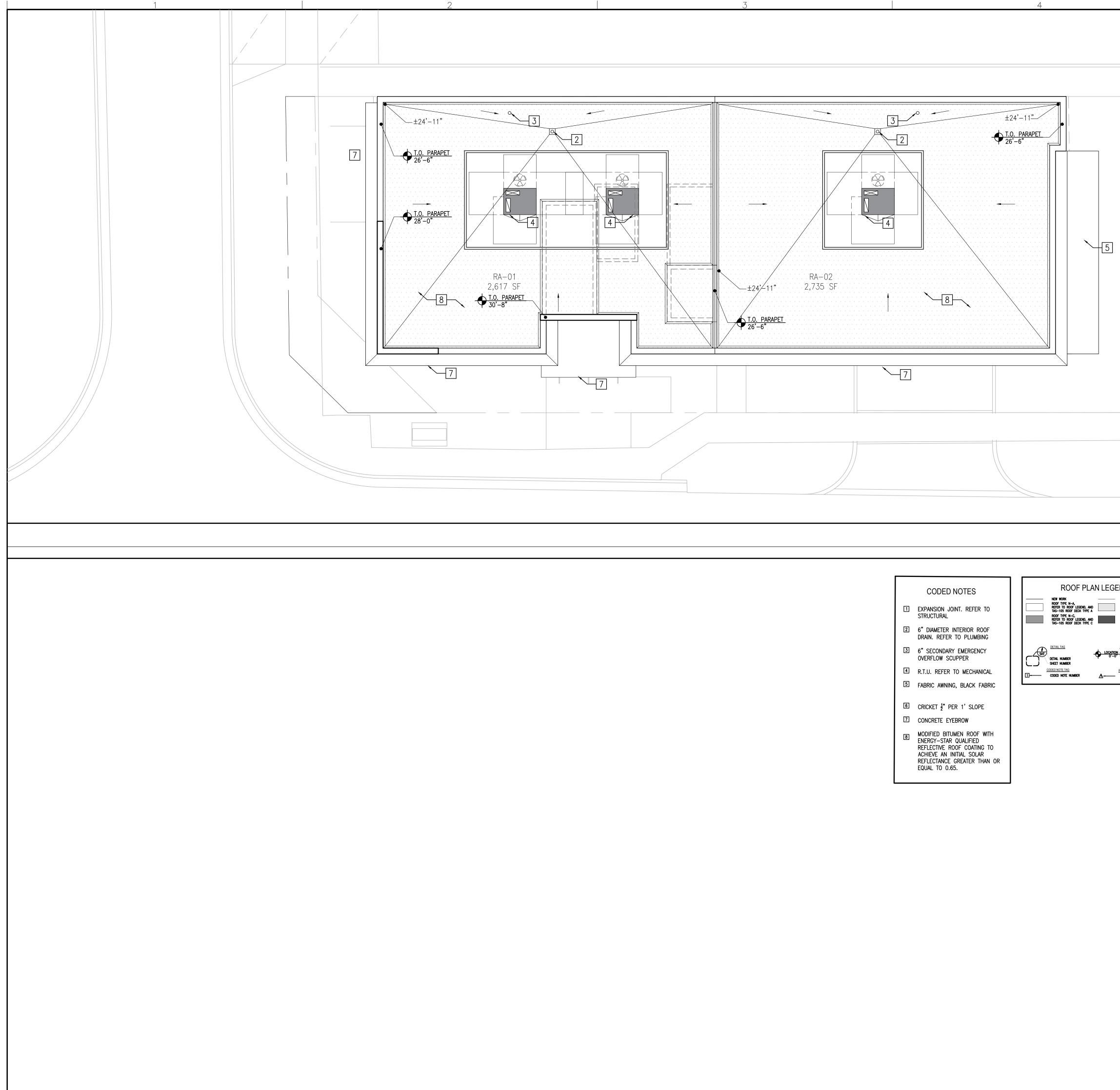
1"= 20'-0"



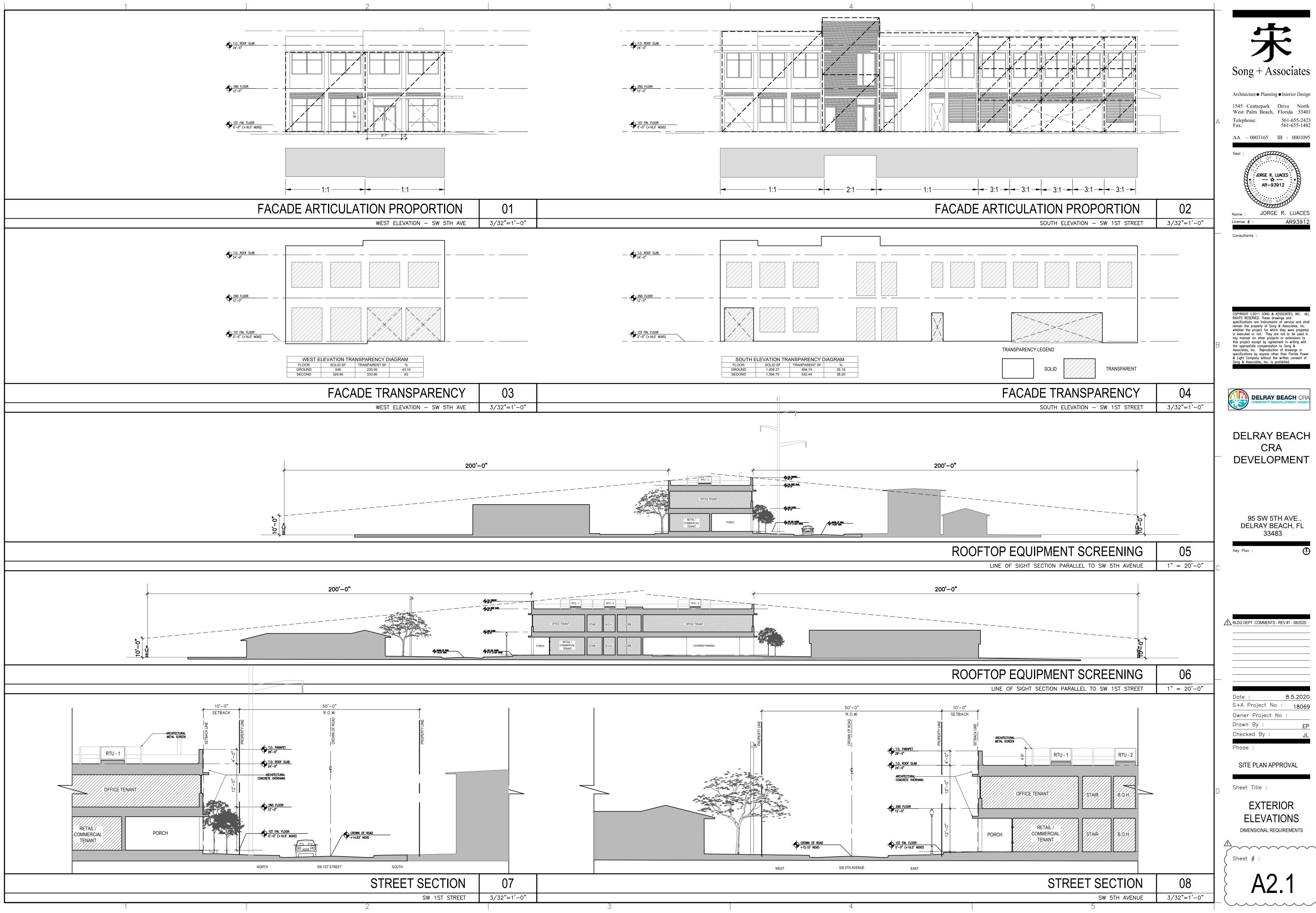
		Table 4.4.13(E)						
Dimensional Requirements for Porches								
Minimum Maximum Proposed								
А	Building Setback	~10.ft.~	15 ft.	10 ft.				
В	Depth 🛆	8 ft.	) 12 ft.	9.16 ft.				
С	Width	40% Facade	100% Facade	48% of Facade				
D	<b>Floor Elevation</b>	.5 ft.	4 ft.	.5 ft.				
Allowable End	croachment <sup>1</sup>	-	8 ft.					
May not en	croach into the curb zo	one or pedestrian	clear zone (See Se	ction				
		Table 4.4.13(K)						
	Dimensional	Requirements for	Lobby Entry					
		Minimum	Maximum	Proposed				
А	Building Setback	10 ft.	15 ft.	15 ft.				
В	Lobby Entry	N/A	N/A	14.50 ft.				
Maximun	n Allowable Encroachn	nent of Elements i	n All Districts	50% of Facade				
С	Overhang/Awni	N/A	10 ft.	4 ft.				
D	Columns,	N/A	5 ft.	N/A				
	DIMENSIONAL REQUIREMENTS 03							
				N.T.S.				

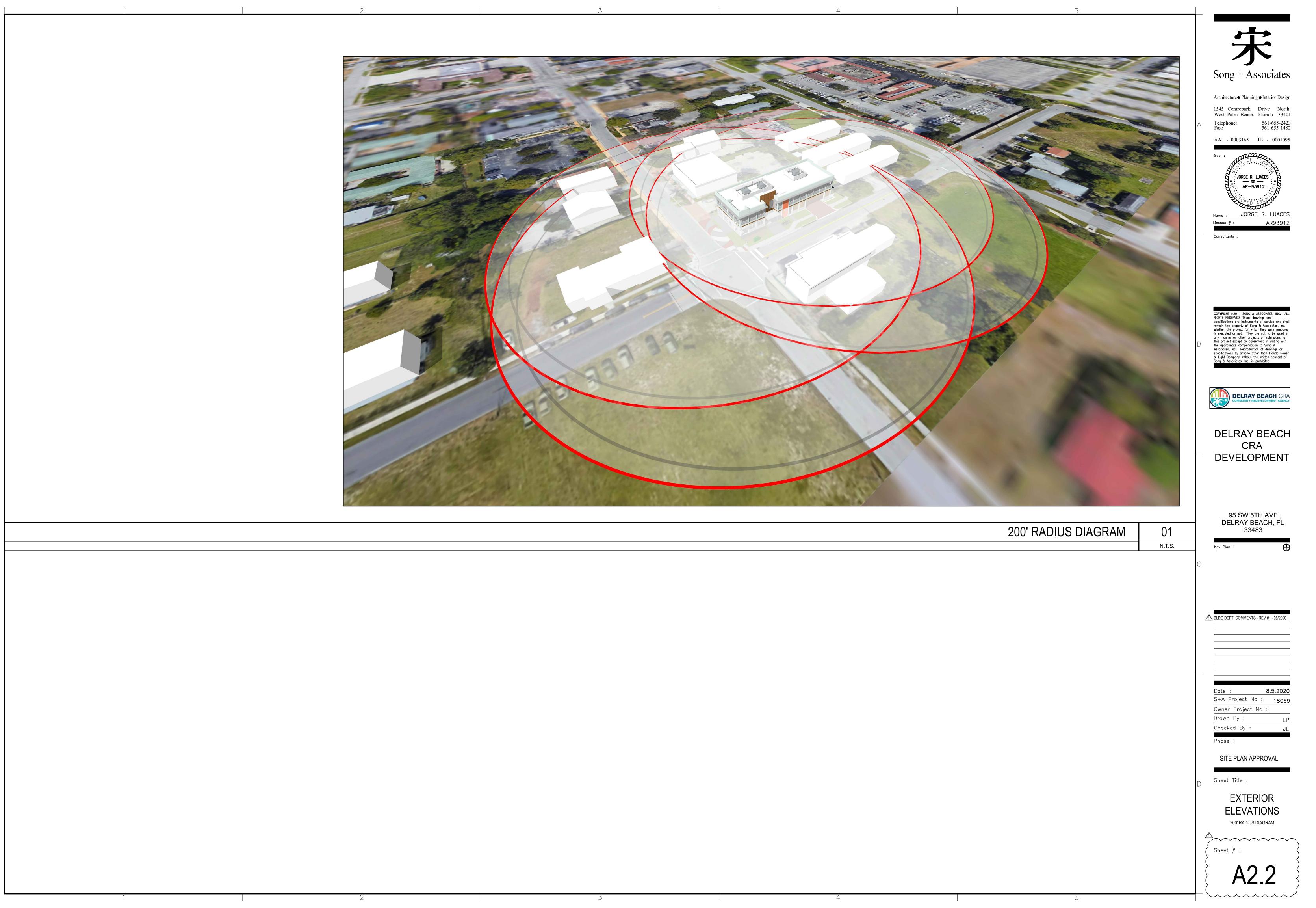






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		Song + Associates
		Architecture • Planning • Interior Design 1545 Centrepark Drive North West Palm Beach, Florida 33401 Telephone: 561-655-2423 Fax: 561-655-1482 AA - 0003165 IB - 0001095 Seal : JORGE R. LUACES AR-93912 JORGE R. LUACES License # : JORGE R. LUACES License # : AR93912
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	ROOF PLAN 01	DELRAY BEACH CRA DEVELOPMENT
END EXISTING TO REMAIN ROOF TYPE N-B, REFER TO ROOF LEGEND, AND TAS-105 ROOF DECK TYPE B ROOF TYPE N-D, REFER TO ROOF LEGEND ELEVATION DATUM HONLOCATION O'HEIGHT REVISION NOTE TAG - REVISION NUMBER	ROOF DRAINAGE CALCULATIONS         ROOD DRAIN PROJECTED AREA       PRIMARY DRAINS       SECONDARY DRAIN CALCULATIONS         ROOF AREA NO.       ROOF AREA SF       PARAPET (1/2 × AREA)       TOTAL PROJECTED AREA SF       DRAINS PROMDED       DRAINS DRAIN       DRAINS PROMDED       DRAINS PROMDED       DRAIN DA PROMDED         BUILDING 1	DEVELOPIVIENT 95 SW 5TH AVE., DELRAY BEACH, FL 33483
	<ul> <li>(3) FIELD VERIFY ALL SOUPPER DIMENSIONS.</li> <li>(4) SECONDARY DRAINS TO BE LOCATED 4" MIN. CLEAR HEIGHT ABOVE PRIMARY DRAIN AFTER INSTALLATION OF ROOFING MATERIAL OR FLASHING.</li> <li>(5) CONTRACTOR TO FIELD VERIFY ALL ROOF AREAS. DIMENSIONS TAKEN FROM AS BUILT DRAWINGS. CONFIRMATION REQUIRED</li> </ul>	BLDG DEPT. COMMENTS - REV #1 - 08/2020
		Date :8.5.2020S+A Project No :18069Owner Project No :Drawn By :Drawn By :EPChecked By :JLPhase :SITE PLAN APPROVAL
		Bheet Title : ROOF PLAN
	5	Sheet # : A1.1



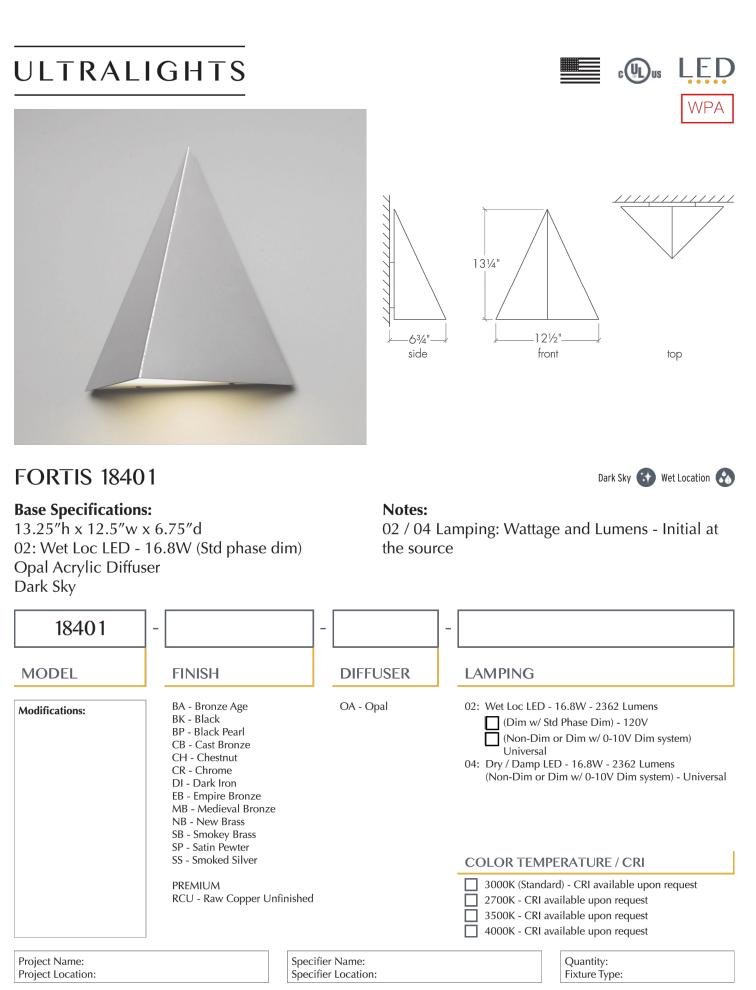




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Symbol	Qty	LLF	Description						Tag
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EAST PROPERTY LINE			Illuminance	Fc	0.07	1,1	0.0	N.A.	N.A.
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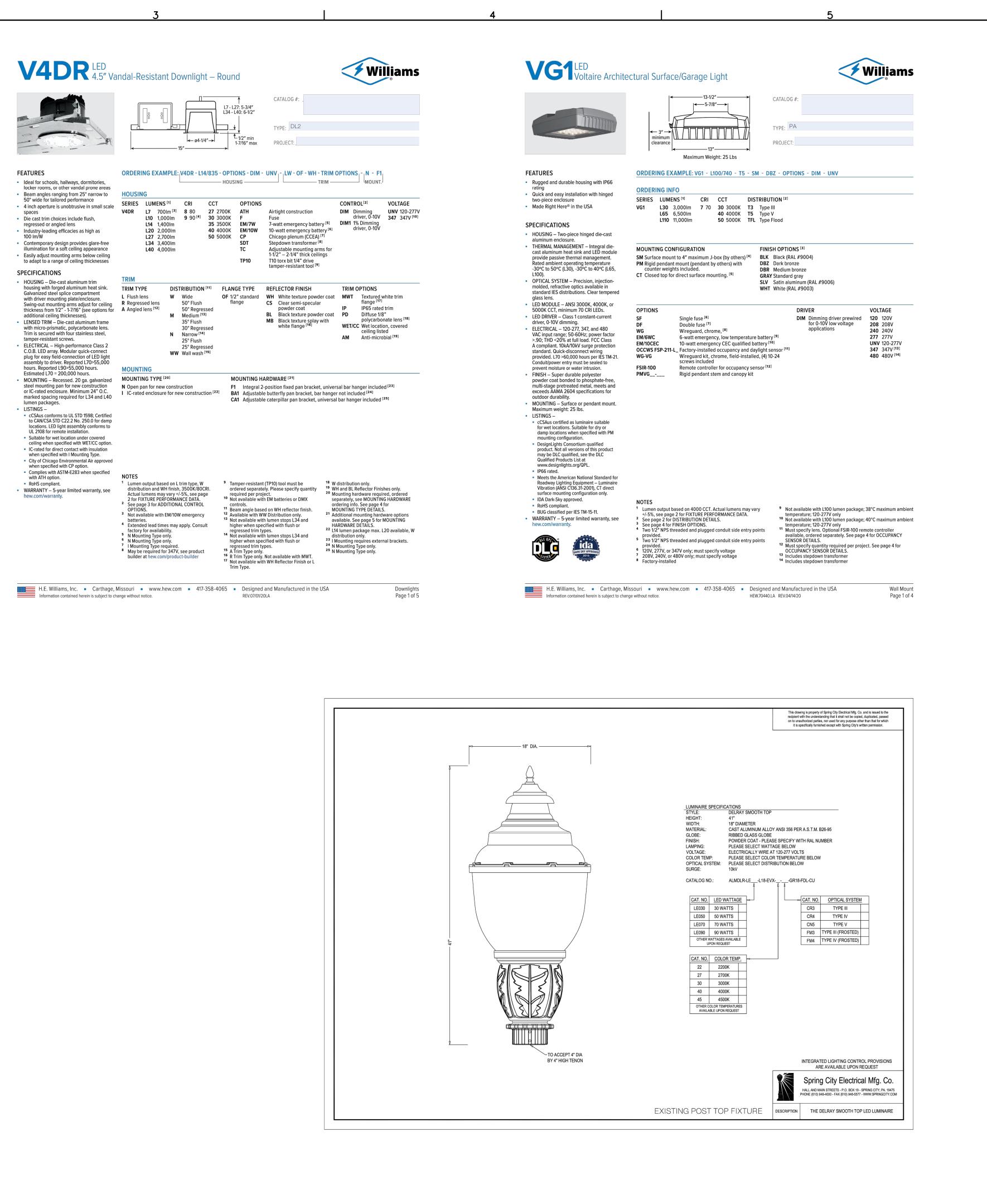
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b.o         b.o         b.o         b.1         b.1         b.2         b.3         b.4         b.4         b.3         b.0         b.0 <td>Architecture● Planning ● Interior Design 1545 Centrepark Drive North West Palm Beach, Florida 33401</td>	Architecture● Planning ● Interior Design 1545 Centrepark Drive North West Palm Beach, Florida 33401						
b.0         b.0         b.1         b.1         b.2         b.2         b.3         b.4         b.5         b.6         b.5         b.4         b.0         b.0 <td>A Telephone: 561-655-2423 Fax: 561-655-1482</td>	A Telephone: 561-655-2423 Fax: 561-655-1482						
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	WIJEGUNAN CENS						
b.o       b.o       b.o       b.i       b	NO. 63143						
b.0         b.1         b.1         b.2         b.3         b.4         b.7         b.9         b.2         b.1         b.7         b.9         b.1         b.1         b.1         b.2         b.3         b.4         b.1         b.1         b.2         b.3         b.4         b.1         b.1         b.1         b.2         b.3         b.4         b.1         b.1         b.1         b.2         b.3         b.4         b.1         b.1         b.1         b.2         b.3         b.0         b.0 <td>STATE OF</td>	STATE OF						
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	CONSULTING ENGINEERS						
b.o	Orlando - Ft. Pierce - West Palm Beach - Miami - Ft. Myers - Tampa Washington DC - Baltimore - Norfolk - Dallas - San Francisco 2 Harvard Circle, Suite 100 West Palm Beach, FL 33409 Phone: (561) 688-6575 Fax: (561) 688-6576 www.ociassociates.com						
	Certificate of Authorization #6261						
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LOBBY	specifications by anyone other than Florida Power & Light Compony without the written consent of Song & Associates, inc. is prohibited.						
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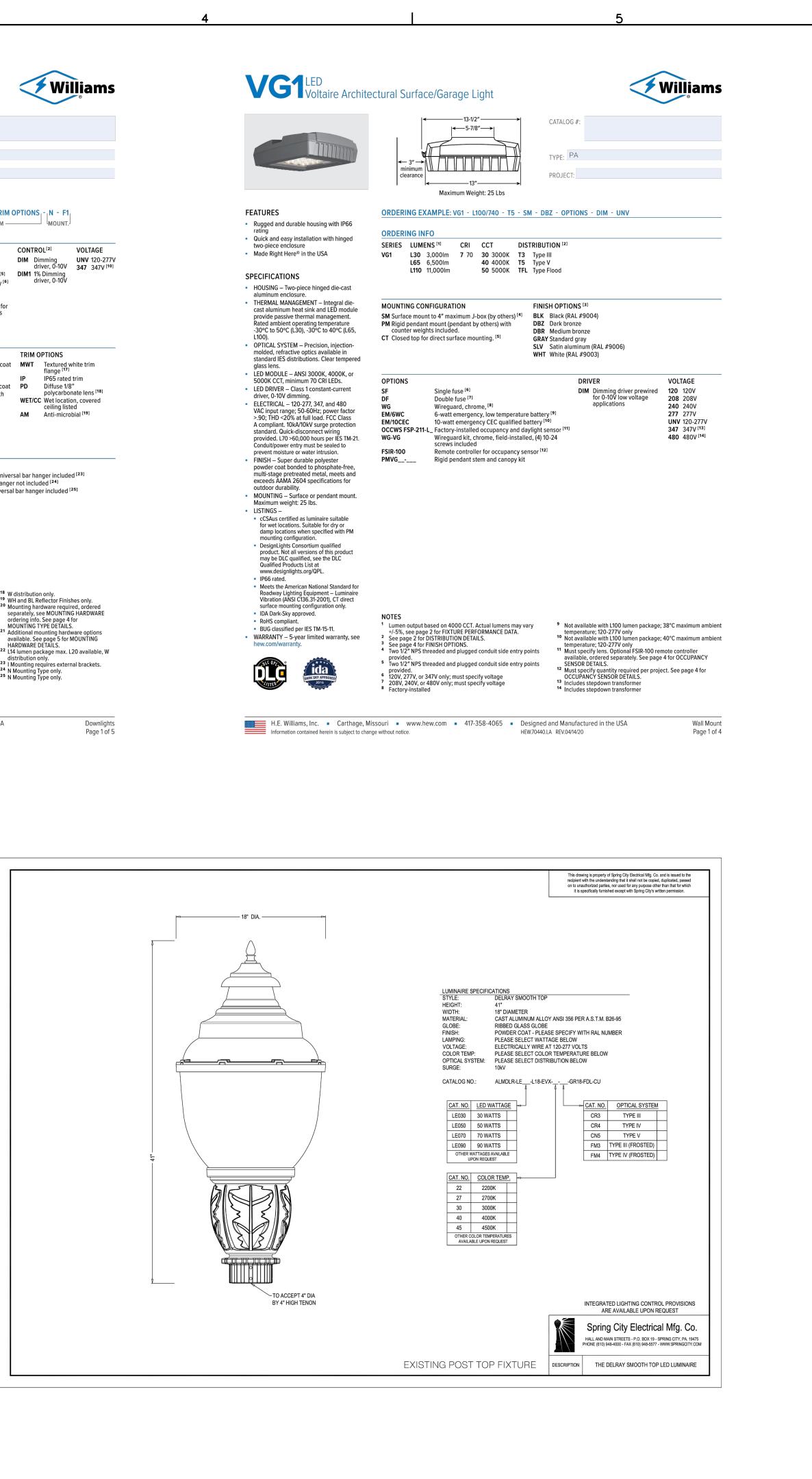


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CUT SHEETS - PHOTOMERTICS

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