



*Development Services Department*

**BOARD ACTION REPORT – APPEALABLE ITEM**

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**Project Name:** Delray Park Plaza South (2021-158)

**Project Location:** 1311-1319 N. Federal Hwy

**Request:** Class I Site Plan Modification

**PCN:** 12-43-46-09-12-000-0050

**Board:** Site Plan Review and Appearance Board

**Meeting Date:** May 27, 2021

**Board Vote:** (4-0)

**Board Action:**

Approved the Class I Site Plan Modification (4-0 vote) for Delray Park Plaza South, by finding the request is consistent with the Comprehensive Plan and Land Development Regulations.

**Project Description:**

The modification includes the removal of the two roof-top decorative domes and windows on the eastern and northern facades. The structure will remain in the Art Deco architectural style despite the removal of the domes. The structure will consist of a green and white color theme throughout; the colors include: White Anodized, Ice Mist, Baby Green, Ocean Spray, and Shore House Green. The structure is consistent with the design requirements throughout the city. The quality of the architecture will not cause the local/evolving environment to depreciate in appearance or value. The proposed development is compatible with development in the area.

**Board Comments:**

N/A

**Public Comments:**

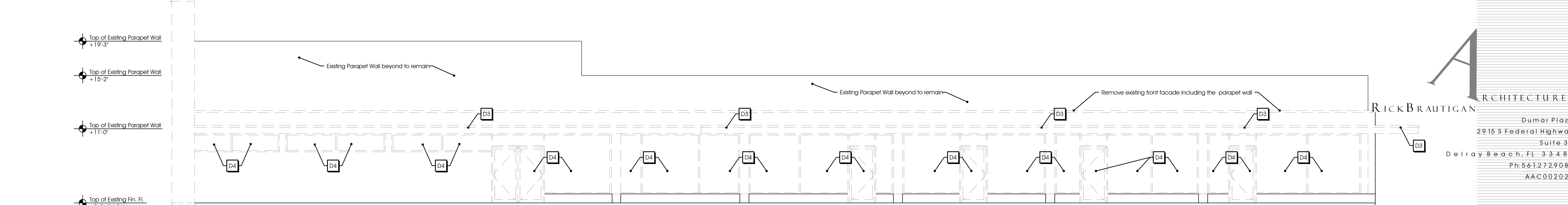
N/A

**Associated Actions:**

N/A

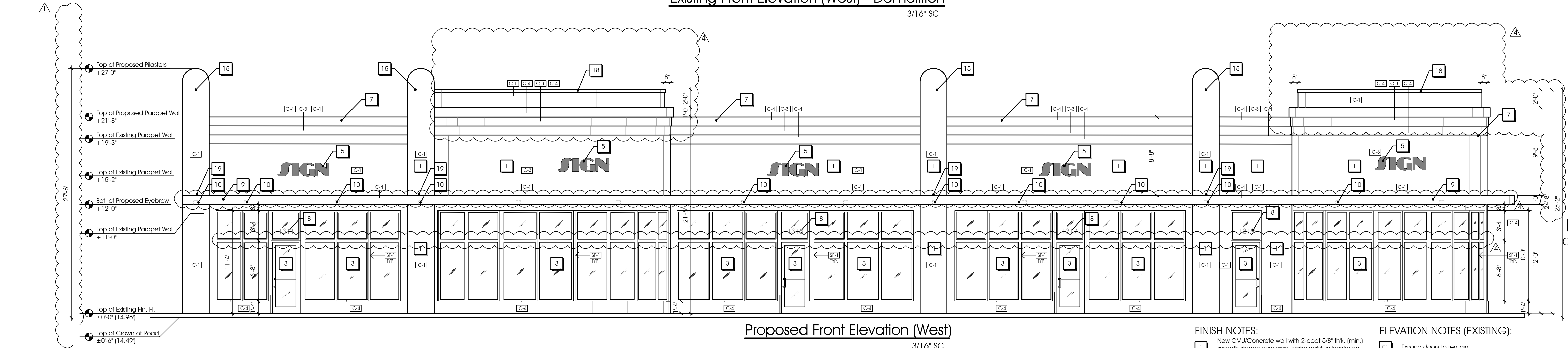
**Next Action:** The SPRAB action is final unless appealed by the City Commission.





Existing Front Elevation (West) - Demolition

3/16" SC



Proposed Front Elevation (West)

3/16" SC

FINISH NOTES:

- 1 New CMU/Concrete wall with 2-coat 5/8" thick, (min.) smooth stucco over app. water resistive barrier on the exterior. On the interior install 5/8" Gypsum board over 1-5/8" studs @ 16" O.C. with R-7.1 fi-foil insulation. Provide Moisture Resistant gypsum wall at restrooms. Existing stucco over CMU to remain
- 2 New Impact rated glass (clear & low-E) storefront with white aluminum frame, fastened per NOA and pre-engineered shop drawings.
- 3 Not used

- 5 Future sign (sep. permit by others): Reverse channel/ back lit/ building numbers 16" H
- 6 Roof access ladder with security lock. Install 2' above sidewalk. See detail on Sheet A4
- 7 New (3) 12" high hard foam bands at raised parapet wall with smooth stucco finish
- 8 Premises identification; proposed address number 6' min. on a contrasting background. GC to verify correct address with City prior to installing
- 9 Cantilevered metal framed 12' high canopy with stucco finish
- 10 Lights recessed on the underside of canopy. See Photometrics and electrical plan for location & specifications
- 11 New 2 1/2" concrete deck over 1 1/2" metal deck on steel bar joists. See structural drawings. See Roof Plan for roof finish & insulation specifications. See Structural drawings
- 12 Wall mounted Light fixture. See Photometrics and electrical plan for Specifications
- 13 Not used
- 14 New impact rated door. See Door schedule. Install per NOA
- 15 New rounded top pilasters with 2-coat 5/8" thick, (min.) smooth stucco finish
- 16 Aluminum gates for trash enclosure per approved shop drawings
- 17 New Impact rated windows to replace existing jalousie windows and metal frames. GC shall field verify existing opening dimensions and order proposed windows accordingly. Install per NOA
- 18 4" high raised stucco band with painted galvanized metal cap
- 19 Up lights recessed above canopy. See Photometrics and electrical plans for lights specifications
- 20 New 6" steel bollards, concrete filled
- 21 Proposed A/C units. See Mechanical plans
- 22 Location of existing electrical meters. See Electrical plans
- 23 Not used

ELEVATION NOTES (EXISTING):

- E1 Existing doors to remain
- E2 Existing Leader/ downslope to remain. GC to repair as required
- E3 Existing 8"x8" secondary drain scupper
- E4 Approximate location of roof deck elevation (GC to field verify)

ELEVATION NOTES (DEMOLITION):

- D1 Remove existing doors & frame as shown dashed and infill existing opening. Masonry infill details to be included in construction documents
- D2 Remove existing jalousie window & frame as shown dashed and infill existing opening. Masonry infill details to be included in construction documents
- D3 Remove existing steel/canvas canopy and building overhang - shown dashed
- D4 Remove existing storefronts and frames - shown dashed
- D5 Existing canopy to be removed

SIGN NOTE:

All signs are illustrative and will require a separate submittal and approval

Existing/Demolition/Proposed Front Elevations 3/16" SC

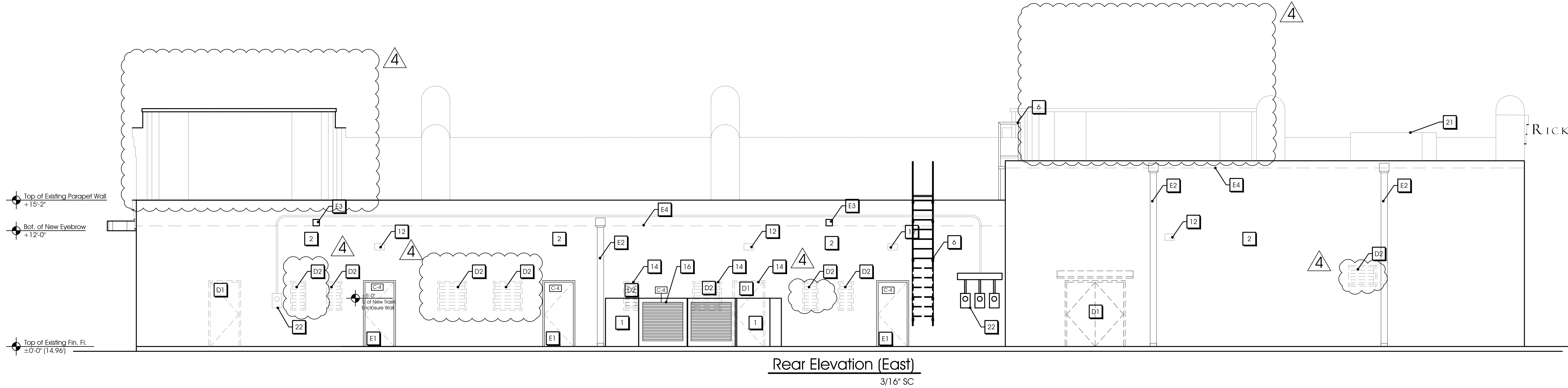
Delray Park Plaza  
Class I Site Plan Modification  
Level 2 Alterations  
for Delray Park Plaza LLC  
1311-1319 N. Federal Hwy  
Delray Beach  
Florida

RBA. PN. 15618.12

- 2-12-20:SPRAB Set
- 8-13-20:G.C. Bid Set
- 8-26-20:Permit Set
- Owner Review Plan Set

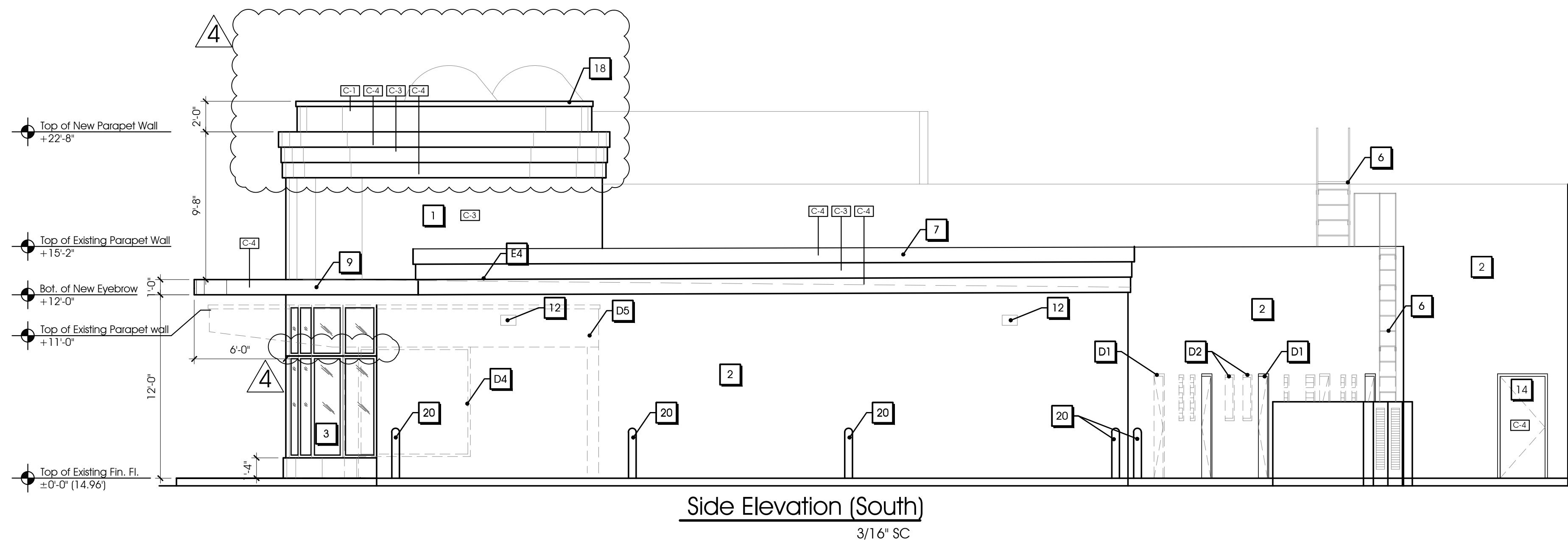
REVISIONS

- 7.24.20:SPRAB Comm.
- 10.2.20:SPRAB Comm.
- 8.26.20:Permit Set
- 12.9.20:Bldg.Dpt. Com
- 4.21.21:VE Revisions



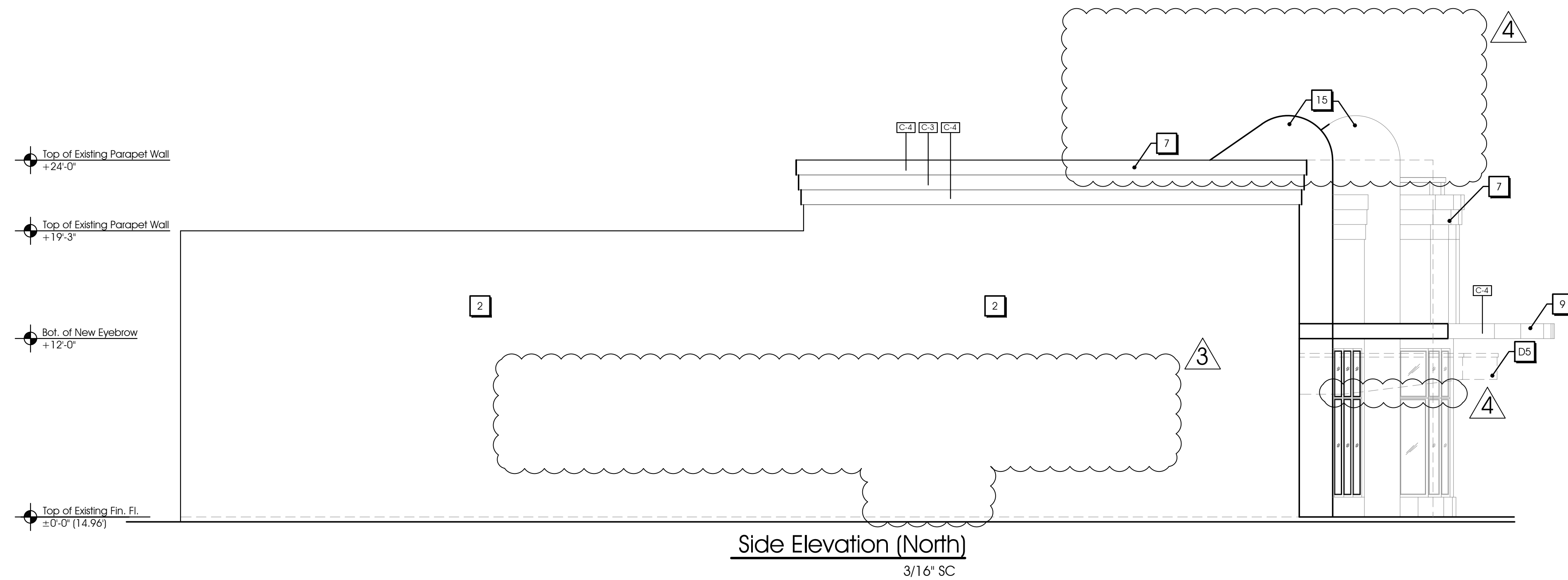
**Rear Elevation (East)**

3/16" SC



**Side Elevation (South)**

3/16" SC



**Side Elevation (North)**

3/16" SC

COLOR LEGEND	
[C-1]	Color 1/ Base (Stucco) Benjamin Moore 2123-70 Ice Mist Satin Finish
[C-2]	Color 2/ Accent (Trim) Benjamin Moore 2047-70 Baby Green Satin Finish
[C-3]	Color 3/ Accent (Trim) Benjamin Moore 2047-60 Ocean Spray Satin Finish
[C-4]	Color 4/ Accent (Trim) Benjamin Moore 2047-50 Shore House Green Satin Finish
[C-5]	Color 5/ Accent (Metal Doors/Signs and Numbers) Benjamin Moore 2047-50 Shore House Green Enamel Finish
[SF-1]	Storefront EPS White Finish & Clear Glass

**FINISH NOTES:**

- New CMU/Concrete wall with 2-coat 5/8" thk. (min.) smooth stucco over app. water resistive barrier on the exterior. On the interior install 5/8" Gypsum board over 1-5/8" studs @ 16" O.C. with R-7.1 fi-foil insulation. Provide Moisture Resistant gypsum wall at restrooms. Existing stucco over CMU to remain.
- New Impact rated glass (clear & low-E) storefront with white aluminum frame, fastened per NOA and pre-engineered shop drawings.
- Not used

**ELEVATION NOTES (EXISTING):**

- |    |  |
|----|--|
| E1 | Existing doors to remain   |
| E2 | Existing Leader/ downspout to remain. GC to repair as required   |
| E3 | Existing 8"x8" secondary drain scupper                           |
| E4 | Approximate location of roof deck elevation (GC to field verify) |

**ELEVATION NOTES (DEMOLITION):**

- |    |  |
|----|--|
| D1 | Remove existing doors & frame as shown dashed and infill existing opening. Masonry infill details to be included in construction documents           |
| D2 | Remove existing jalousie window & frame as shown dashed and infill existing opening. Masonry infill details to be included in construction documents |
| D3 | Remove existing steel/canvas canopy and building overhang - shown dashed   |
| D4 | Remove existing storefronts and frames - shown dashed  |
| D5 | Existing canopy to be removed  |

- Future sign (sep. permit by others): Reverse channel/ back lit/ building numbers 16' H. Install 2' above sidewalk. See detail on Sheet A4
- New (3) 12"-high hard foam bands at raised parapet wall with smooth stucco finish
- Premises identification: proposed address number 6' min. on a contrasting background. GC to verify correct address with City prior to installing
- Can'tilevered metal framed 12" high canopy with stucco finish
- Lights recessed on the underside of canopy. See Photometrics and electrical plan for location & specifications
- New 2 1/2" concrete deck over 1 1/2" metal deck on steel bar joists. See structural drawings. See Roof Plan for roof finish & insulation specifications. See Structural drawings
- Wall mounted Light fixture. See Photometrics and electrical plan for Specifications
- Not used
- New impact rated door. See Door schedule. Install per NOA
- New rounded top pilasters with 2- coat 5/8" thk. (min.) smooth stucco finish
- Aluminum gates for trash enclosure per approved shop drawings
- New Impact rated windows to replace existing jalousie windows and metal frames. GC shall field verify existing opening dimensions and order proposed windows accordingly. Install per NOA
- 4" high raised stucco band with painted galvanized metal cap
- Up lights recessed above canopy. See Photometrics and electrical plans for lights specifications
- New 6" steel bollards, concrete filled
- Proposed A/C units. See Mechanical plans
- Location of existing electrical meters. See Electrical plans
- Not used

**Delray Park Plaza**  
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Level 2 Alterations  
for Delray Park Plaza LLC  
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© Owner Review  
Plan Set

**REVISIONS**  
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△ 4.21.21: VE Revisions

**Proposed Improvements on  
Existing Elevations** 3/16" SC



- Ⓐ

Ⓞ

7.24.20:SPRAB Set
- Ⓐ

Ⓞ

8.13.20:G.C. Bid Set
- Ⓐ

Ⓞ

8.26.20:Permit Set
- Ⓐ

Ⓞ

Owner Review Plan Set

- REVISIONS
- Ⓐ

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7.24.20:SPRAB Comm.
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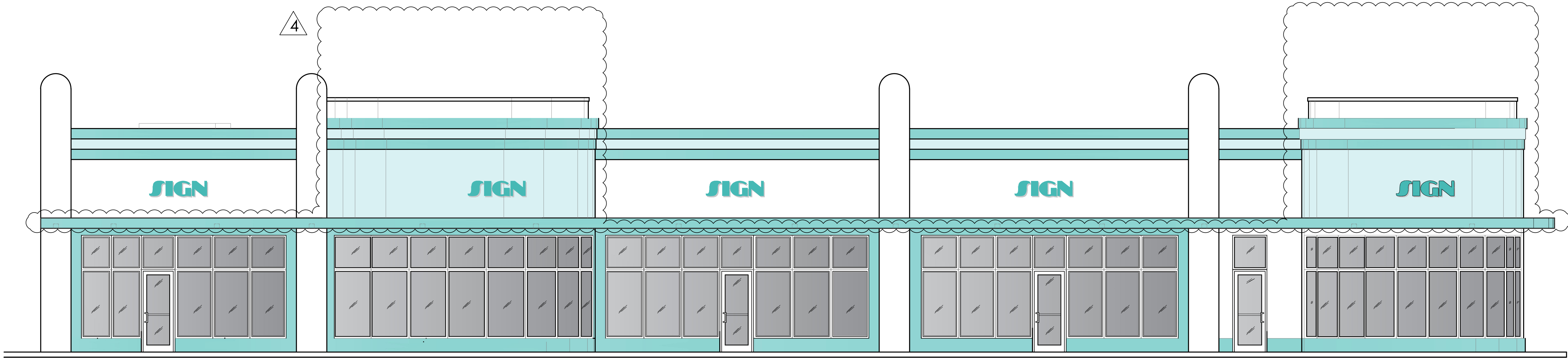
8.26.20:Permit Set
- Ⓐ

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12.9.20:Bldg.Dpt.Com
- Ⓐ

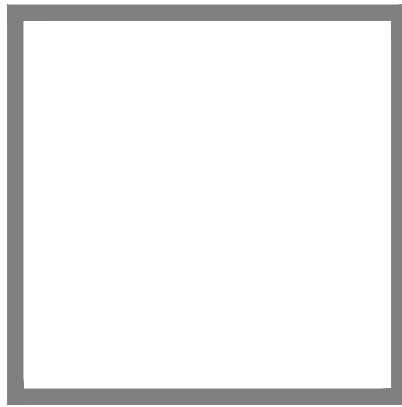
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4.21.21:VE Revisions



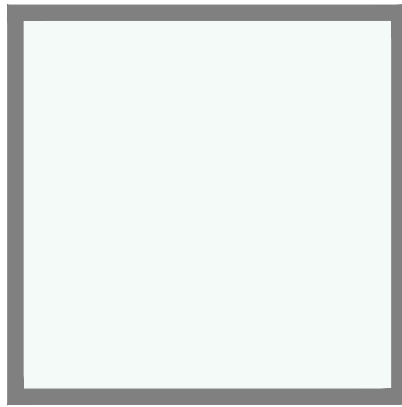
Front Elevation (West)

3/16" SC



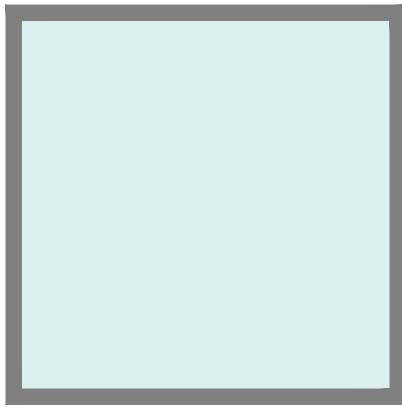
SF-1 Storefront

White Anodized and Clear Glass



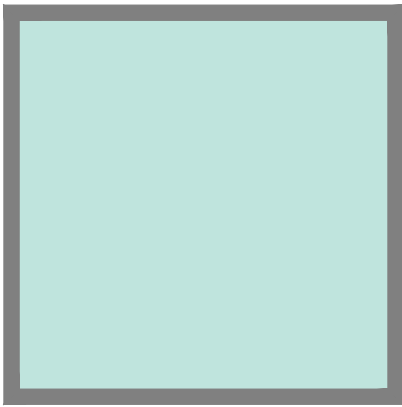
C-1 / Body (Stucco)

Benjamin Moore Color Preview  
OC-67 Ice Mist  
Satin Finish



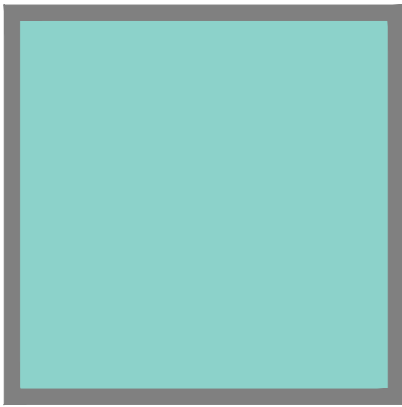
C-2 / Accent (Stucco)

Benjamin Moore Color Preview  
2047-70 Baby Green  
Satin Finish



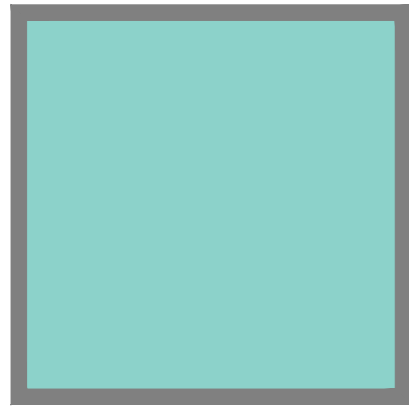
C-3 / Accent (Stucco)

Benjamin Moore Color Preview  
2047-60 Ocean Spray  
Satin Finish



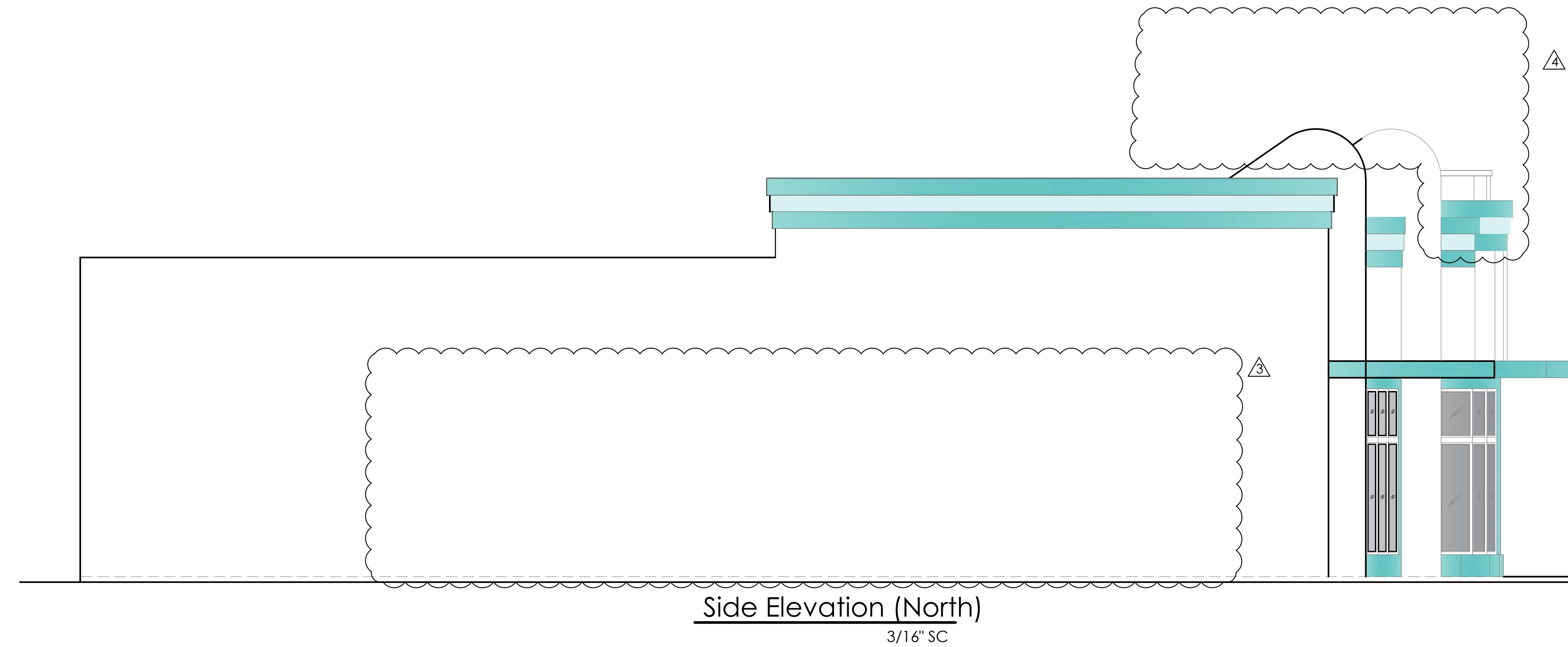
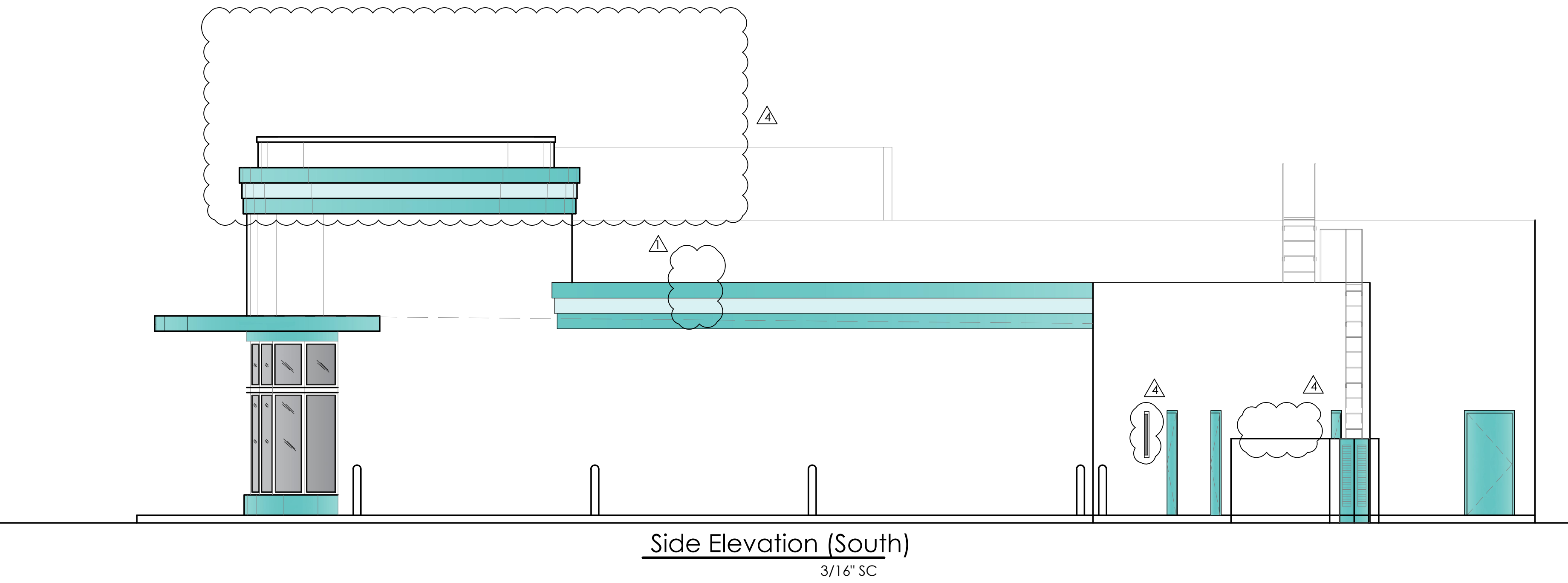
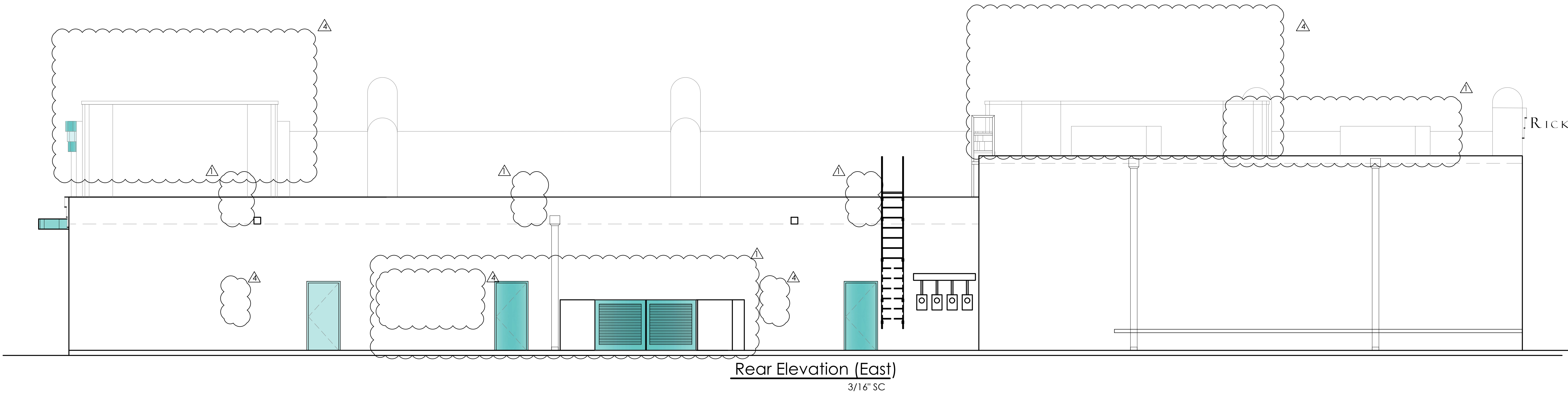
C-4 / Accent (Stucco)

Benjamin Moore Color Preview  
2047-50 Shore House Green  
Satin Finish



C-5 / Accent (Metal Numbers/Signs/Doors)

Benjamin Moore Color Preview  
2047-50 Shore House Green  
Enamel Finish



SF-1 Storefront  
White Anodized and Clear Glass

C-1 / Body (Stucco)  
Benjamin Moore Color Preview  
OC-67 Ice Mist  
Satin Finish

C-2 / Accent (Stucco)  
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C4 / Accent (Stucco)  
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Color Elevations  
Rear/Side Elevations  
3/16" SC

STUCCO ON METAL FRAME WALL NOTES:  
WATER RESISTIVE BARRIER/STUCCO  
REINFORCEMENT

Exterior sheathing and wood to be covered with Tyvek Home Wrap which shall be covered with 15-pound roofing felt, or other approved equally moisture-resisting layer, and metal reinforcement as set forth herein.

**Metal reinforcement**  
Stucco shall be reinforced with galvanized expanded metal weighing no less than 1.8 pounds per square yard (0.98 kg/m<sup>2</sup>), or galvanized welded or woven wire fabric weighing no less than 1 pound per square yard.

All metal lathing shall be lapped not less than 1 inch

Metal reinforcement shall be furred out from the backing by an approved method.

Fastenings into wood sheathing or wood framing shall be by galvanized nails, with heads not less than 3/8 inch in diameter, driven to full penetration, using a minimum of two nails per square foot, or by approved staples having equal resistance to withdrawal.

Stucco applied to mtl. lath shall be per 2516.2.4.1 FBC

FINISH NOTES:

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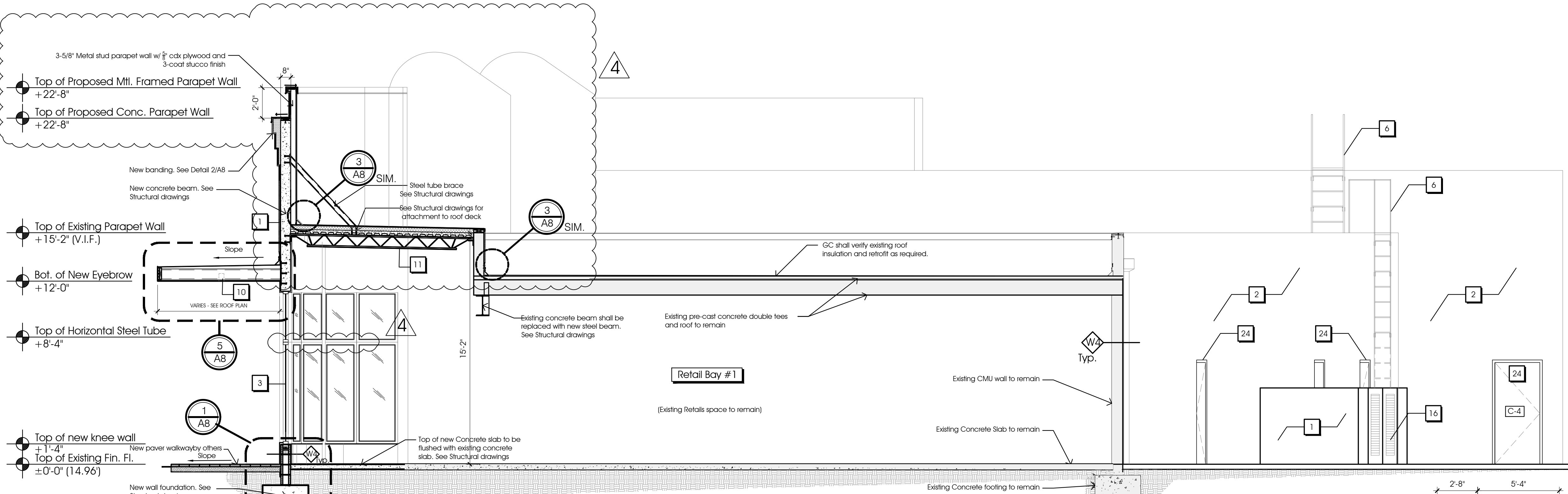
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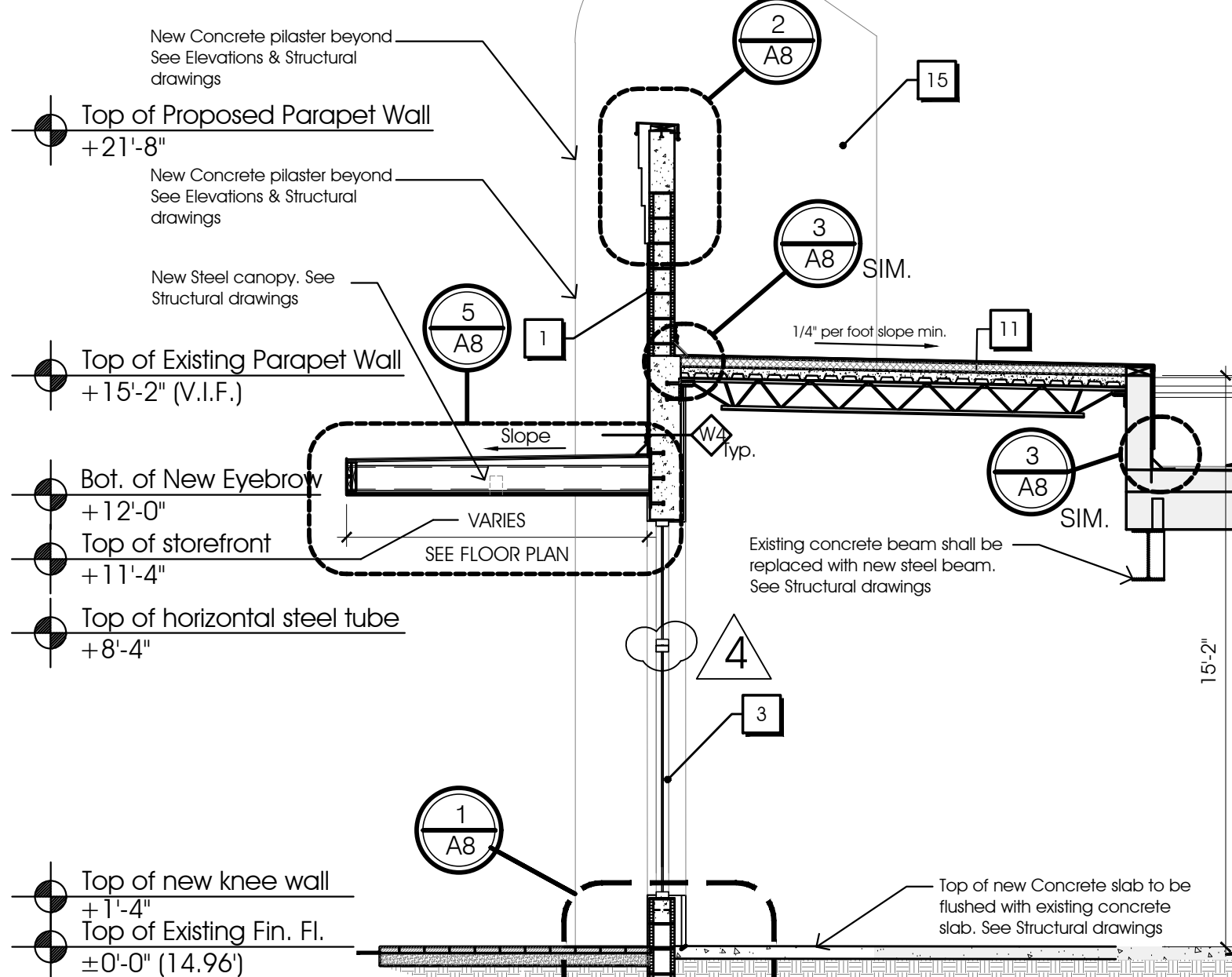
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REVISIONS

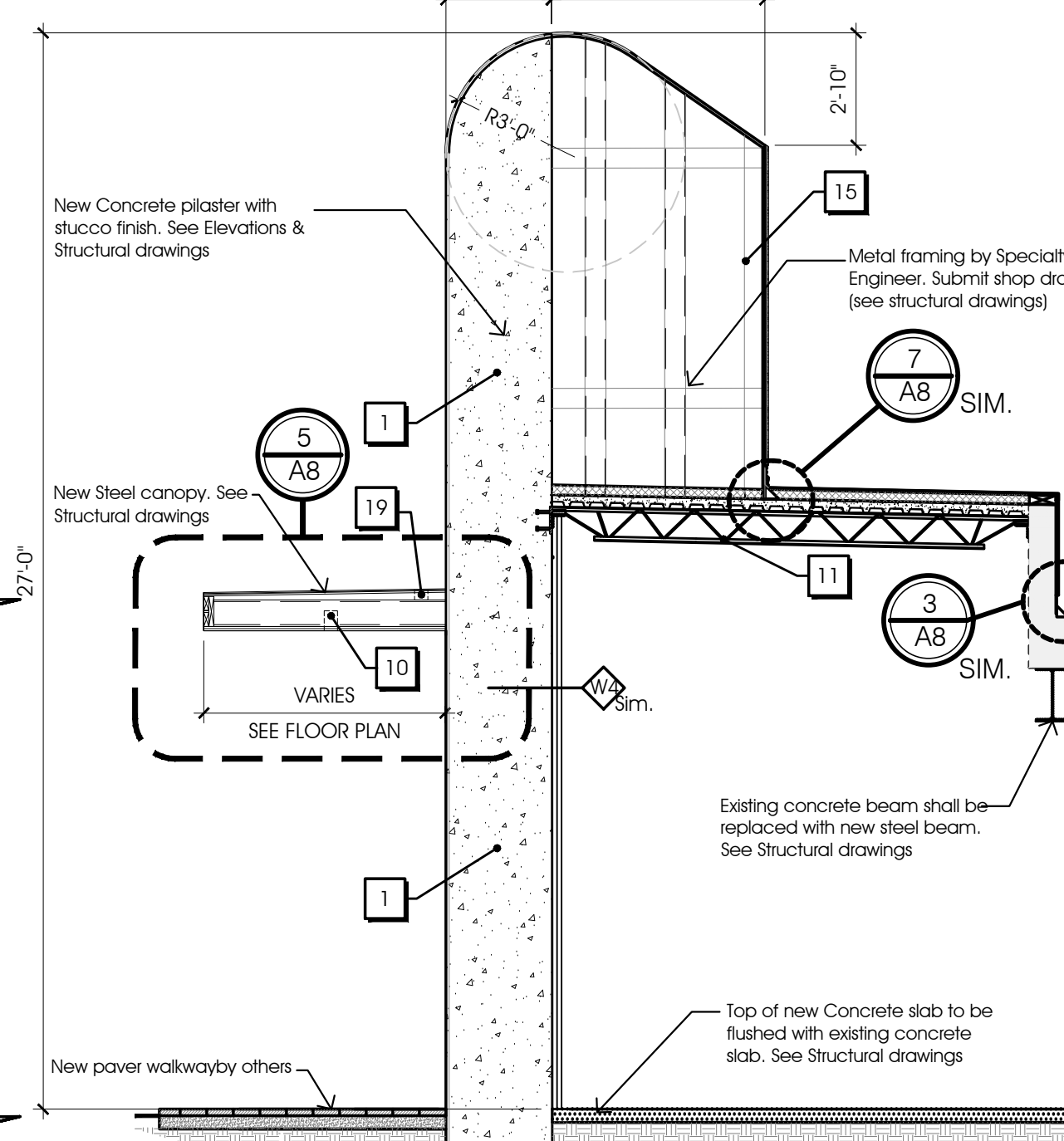
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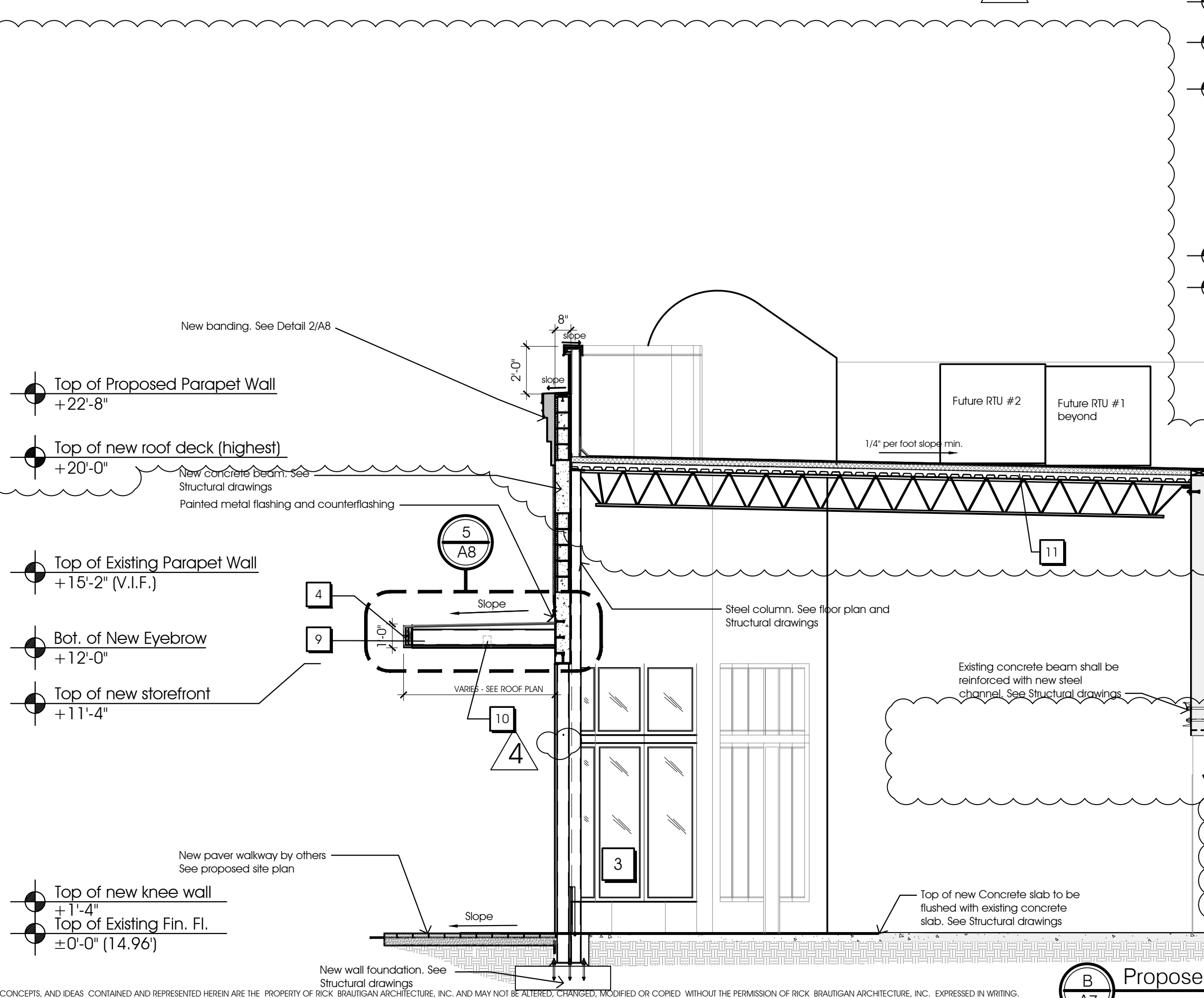
Proposed Building Section  
1/4" SC



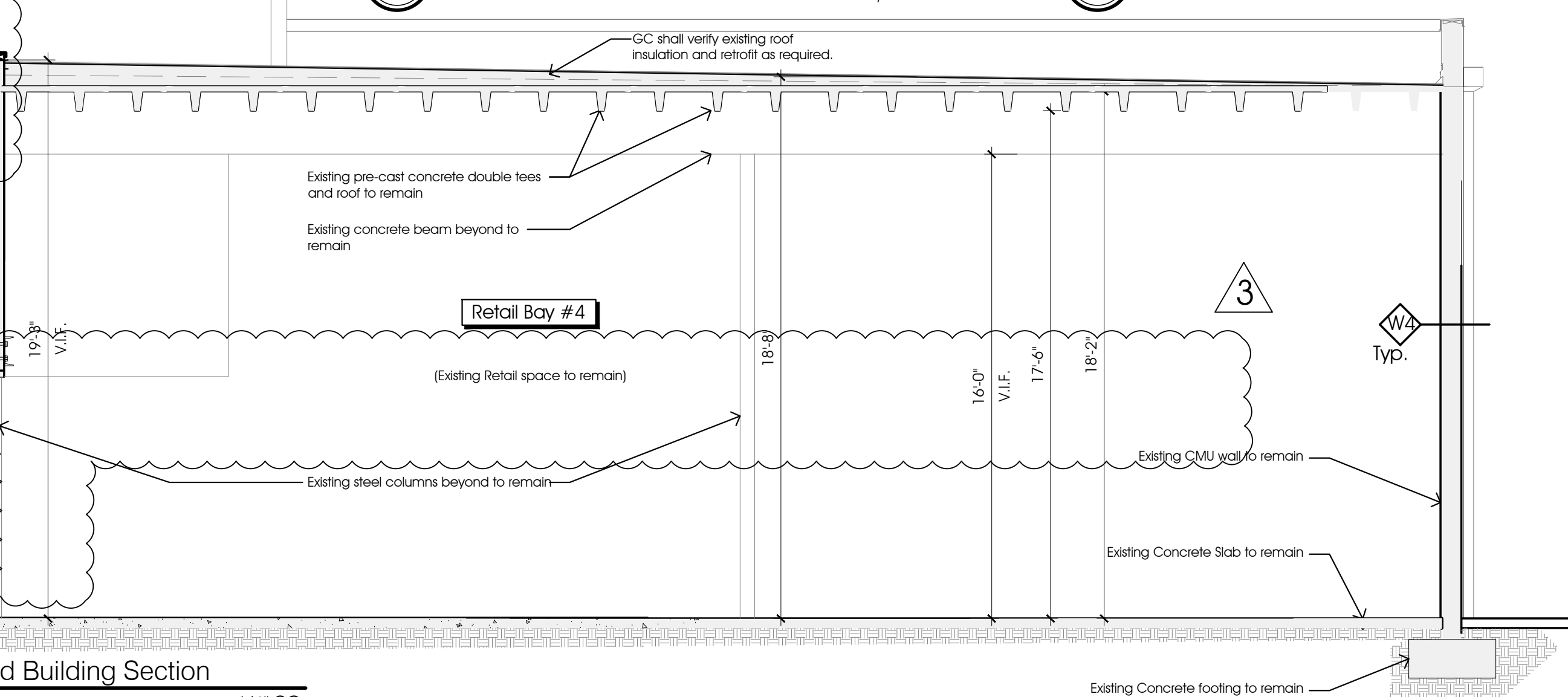
Proposed Wall Section @ new front facade  
1/4" SC



Proposed Wall Section at new front facade pilaster  
1/4" SC



Proposed Building Section  
1/4" SC



Proposed Building Section  
1/4" SC

Proposed Sections

1/4" SC