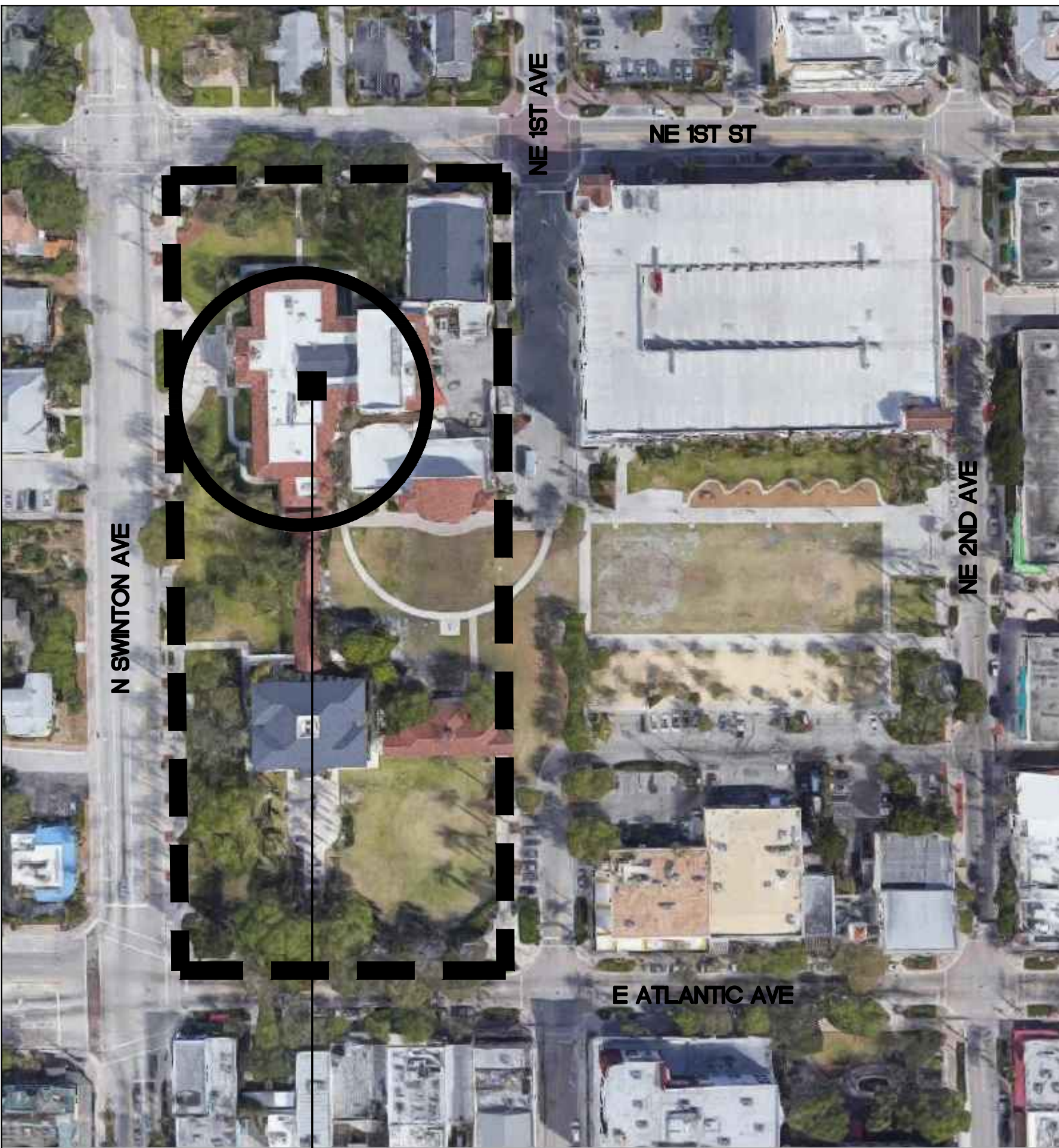


# OLD SCHOOL SQUARE

51 N SWINTON AVE  
DELRAY BEACH, FL 33444

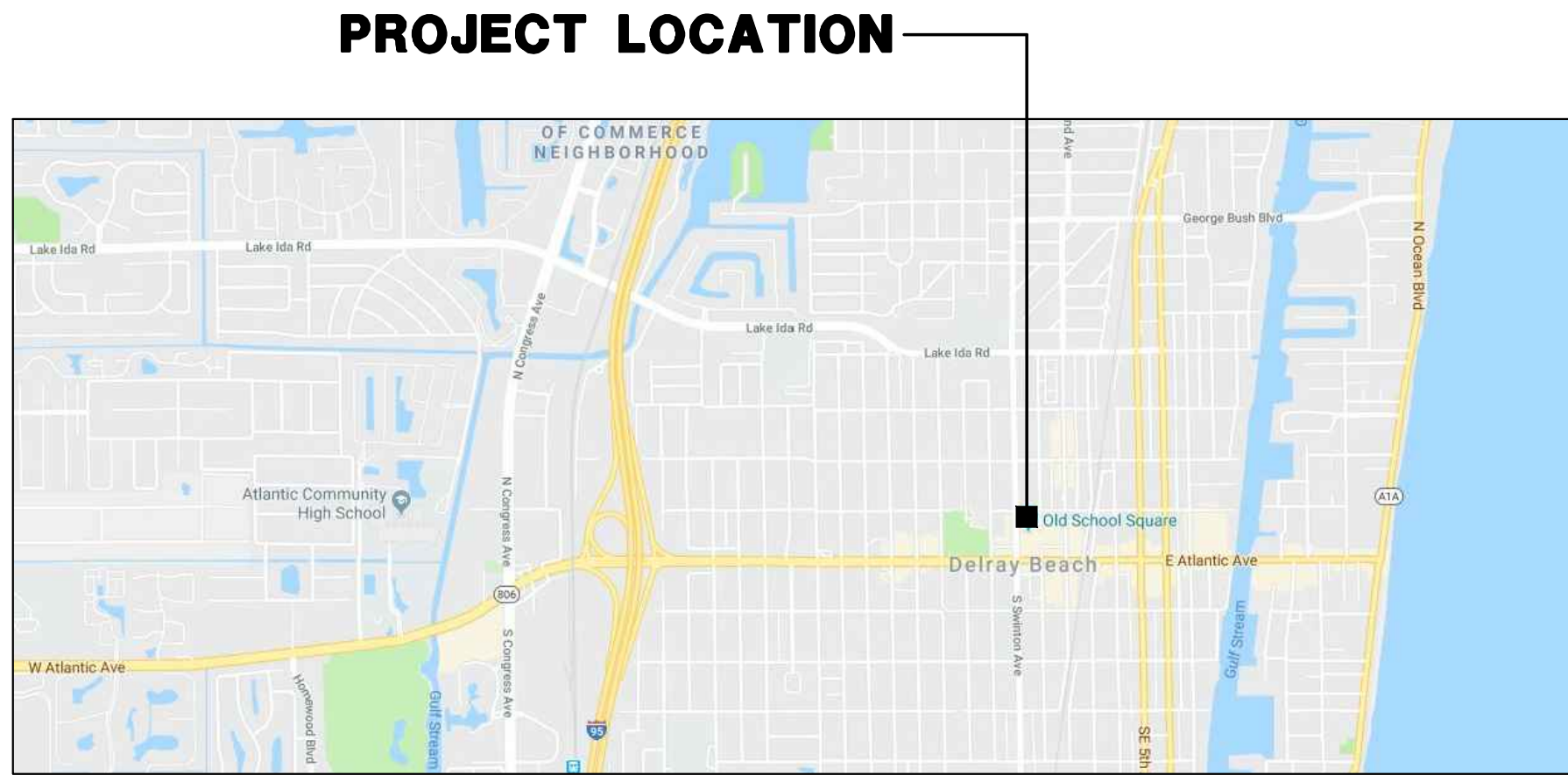
PHASE 1 SUBMITTAL  
ISSUED FOR PERMIT 26 JULY 2019

## SITE MAP



PROJECT LOCATION

## LOCATION MAP



## SCOPE OF WORK

THE SCOPE OF WORK INCLUDED IN THESE DRAWINGS DEALS PRIMARILY WITH INTERIOR IMPROVEMENTS TO THE FRONT OF HOUSE, PUBLIC SPACES TO IMPROVE THE FUNCTIONAL AND OPERATIONAL NEEDS, AS WELL AS TO IMPROVE THE OVERALL PATRON EXPERIENCE. ALL IMPROVEMENTS INTEND TO MAINTAIN THE EXISTING CHARM OF THIS HISTORIC BUILDING WHILE SATISFYING THE CURRENT PROJECT GOALS.

THE STRUCTURE WAS ORIGINALLY BUILT IN 1925 AS A HIGH SCHOOL, AND LATER SERVED AS AN ELEMENTARY SCHOOL THROUGH THE LATTER PART OF THE 20TH CENTURY. THE BUILDING WAS REOPENED AS A CULTURAL CENTER, PART OF AN ADAPTIVE REUSE IN THE EARLY 1990'S THAT INCLUDED MINOR MODIFICATIONS TO THE INTERIOR SPACES AND SOME ADDITIONS, INCLUDING NEW HVAC SYSTEM, LIGHTING AND OTHER ELECTRICAL DISTRIBUTION, A FIRE ALARM AND FIRE PROTECTION SYSTEM, AND THE INTRODUCTION OF AN ELEVATOR TO PROVIDE ACCESSIBILITY BETWEEN THE TWO LEVELS. THE BUILDING IS PART OF A CULTURAL ARTS COMPLEX AND CURRENTLY HOUSES A THEATER, ADMINISTRATIVE OFFICES, MEETING ROOMS, AND VISUAL ARTS CLASSROOMS ON THE SECOND FLOOR.

THE CENTER HOPES TO COMPLETE A SERIES OF IMPROVEMENTS TO THE EXISTING BUILDING TO IMPROVE SERVICE AND PROVIDE BETTER OPPORTUNITIES FOR GENERATING REVENUE TO SUPPORT THE NON-PROFIT. WORK INCLUDED IN THIS FIRST PHASE IS LIMITED TO THE MAIN LOBBY SPACES, INCLUDING THE EXISTING STAIRS AND A SMALL ADDITION TO THE SECOND FLOOR LOBBY OVERLOOK, AND ASSOCIATED SUPPORT SPACES WHICH INCLUDE THE TICKET OFFICE AND CONCESSIONS BAR. THE ONLY WORK AFFECTING THE EXTERIOR IS PROVIDING POWER AND HARDWARE AT THE EXISTING MAIN ENTRANCE DOORS THEM TO HAVE AUTOMATIC DOOR OPENERS. EACH LEAF OF THE PAIR OF DOORS IN THE ORIGINAL OPENING IS ONLY 27 INCHES WIDE, AUTOMATIC DOOR OPENERS WILL NOT ONLY MAKE THIS ENTRANCE MORE CONVENIENT FOR ART STUDENTS ENTERING THE BUILDING, IT WILL ALSO MAKE THE ENTRANCE ACCESSIBLE.

THE EXISTING PUBLIC RESTROOMS TO REMAIN INTACT WITH THE EXCEPTION OF REPLACING THE EXISTING FIXTURES WITH NEW FIXTURES AT THE SAME LOCATIONS AND FRESHENING UP THE EXISTING FINISHES.

THE WORK INCLUDES MODIFICATIONS TO THE EXISTING LIGHTING IN THE AREA OF WORK AND REPLACING FIXTURES WITH NEW, EFFICIENT LED FIXTURES. MINOR ADJUSTMENTS ARE EXPECTED TO THE EXISTING FIRE SPRINKLER SYSTEM AND NO WORK IS EXPECTED TO THE EXISTING HVAC SYSTEM OR FIRE ALARM SYSTEM.

## CODE INFORMATION

CLASSIFICATION OF WORK: ALTERATION – LEVEL 2 FLORIDA BUILDING CODE – EXISTING BUILDINGS 2017 (SIXTH EDITION)

BUILDING CODE: TO THE BEST OF OUR KNOWLEDGE, THE ORIGINAL BUILDING WAS CONSTRUCTED IN ACCORDANCE WITH THE SOUTHERN BUILDING CODE, 1988 EDITION, WITH PALM BEACH COUNTY AMENDMENTS AND NFPA. ALL NEW CONSTRUCTION AND RENOVATIONS TO COMPLY WITH FLORIDA BUILDING CODE 2017 (SIXTH EDITION) AND THE FLORIDA FIRE PREVENTION CODE 2015 (SIXTH EDITION), INCLUDING NFPA 101 LIFE SAFETY CODE.

TYPE OF CONSTRUCTION: TYPE V (1988 SOUTHERN BUILDING CODE)

OCCUPANCY CLASSIFICATION: ASSEMBLY GROUP A-2 + EDUCATIONAL GROUP E (STANDARD BUILDING CODE)

BUILDING IS EQUIPPED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM

THE BUILDING IS EQUIPPED WITH A FIRE ALARM SYSTEM.

EXTERIOR WALLS ARE MASONRY AND ROOF STRUCTURE IS METAL TRUSSES.

## GENERAL NOTES

1. GENERAL CONTRACTOR SHALL BE FAMILIAR WITH THE SITE & VERIFY ALL EXISTING UTILITY SERVICE LOCATIONS IN ALL AREAS INCLUDED IN THE SCOPE OF WORK PRIOR TO COMMENCING CONSTRUCTION.
2. ANY EXISTING ITEMS THAT ARE DISTURBED, DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED WITH NEW OR REPAIRED TO THE OWNERS SATISFACTION AND LIKE NEW CONDITION.
3. DO NOT DISTURB ANY STRUCTURAL COMPONENTS OF EXISTING BUILDINGS WITHOUT PRIOR WRITTEN APPROVAL BY ARCHITECT.
4. PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION. ANY UTILITIES ACCIDENTALLY DAMAGED DURING CONSTRUCTION SHALL BE REPLACED AT CONTRACTOR'S EXPENSE
5. EACH CONTRACTOR SHALL USE ALL POSSIBLE CARE TO PROTECT ALL EXISTING MATERIALS, SURFACES, AND FURNISHINGS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.
6. ALL UNANTICIPATED AND UNFORESEEN DEMOLITION AND OR NEW CONSTRUCTION CONDITIONS WHICH REQUIRE DEVIATION FROM THE PLANS AND NOTES HEREIN SHALL BE REPORTED TO THE ARCHITECT, IN WRITING, AND APPROVAL SOUGHT PRIOR TO COMMENCING SAID WORK PER CONTRACT.
7. ARCHITECT SHALL NOT BE LIABLE FOR PROBLEMS RELATING TO EXISTING CONDITIONS. NOTIFY ARCHITECT, IN WRITING, IMMEDIATELY IF PROBLEMS ARISE.
8. ALL NEW MATERIAL AND/OR PATCHWORK SHALL BE PROVIDED TO MATCH EXISTING MATERIALS AND/OR ADJOINING WORK WHERE PRACTICAL, EXCEPT AS SPECIFICALLY NOTED HEREIN.
9. UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL FURNISH WRITTEN GUARANTEES FOR ALL TRADES FOR A MINIMUM OF ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION. DEFECTIVE MATERIALS OR WORKMANSHIP SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
10. G.C. IS TO THOROUGHLY REVIEW ALL DRAWINGS AND PROVIDE OVERVIEW TO ALL TRADES. ALL SUBCONTRACTORS ARE TO REVIEW ALL DRAWING SHEETS – GENERAL CONTRACTOR TO PROVIDE COMPLETE SETS OF PLANS TO ALL SUBCONTRACTORS FOR REVIEW. ITEMS SHOWN ON ARCHITECTURAL DRAWINGS ARE REQUIRED TO BE COMPLETELY INSTALLED REGARDLESS IF THEY ARE NOT SPECIFICALLY DESIGNATED ON ELECTRICAL, MECHANICAL, PLUMBING, CIVIL OR STRUCTURAL ENGINEERING DRAWINGS. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED ITEMS WITH ALL SUBCONTRACTORS AND THROUGHOUT ALL PHASES OF CONSTRUCTION.
11. ALL WORK SHALL BE DONE IN ACCORDANCE W/ ALL APPLICABLE NATIONAL, STATE, COUNTY & LOCAL CODES AND ORDINANCES. WORK SHALL BE DONE IN A WORKMANLIKE MANNER AS PER STANDARD BUILDING TECHNIQUES AND PRACTICES.
12. G.C. IS RESPONSIBLE TO FILE AND OBTAIN THE BUILDING DEPARTMENT PERMIT. OWNER SHALL REIMBURSE THE PERMIT FEES.
13. G.C. IS RESPONSIBLE FOR ALL SAFETY CONDITIONS PER OSHA AND ALL STATE AND LOCAL REGULATIONS RELATING TO JOB CONSTRUCTION.
14. G.C. TO BE RESPONSIBLE FOR ALL HOISTING RELATED TO WORK IN THIS CONTRACT (IF REQUIRED).
15. G.C. IS TO VISIT THE SITE AND CAREFULLY INSPECT THE EXISTING CONDITIONS AFFECTING THE WORK. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS MUST BE REPORTED TO ARCHITECT IN WRITING.
16. G.C. IS TO MAINTAIN A CLEAN JOBSITE AND SHALL CONTAIN DIRT, DEBRIS AND DUST WITHIN THE IMMEDIATE AREA OF WORK.
17. THE GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE THE PROPER SUBMISSION OF SPECIALTY ENGINEERED SHOP DRAWINGS, WHICH SHALL BE SIGNED AND SEALED BY AN ENGINEER REGISTERED IN THE STATE OF FLORIDA. ALL SPECIALTY ENGINEERED PRODUCTS SHALL BE DESIGNED FOR THE APPROPRIATE GRAVITY LOADS, WIND LOADS, AND LATERAL LOADS, AND SHALL INCLUDE, BUT ARE NOT LIMITED TO LIGHT GAUGE METAL FRAMING, HANDRAILS AND SAFETY RAILS, MISCELLANEOUS METALS AND HANGERS. GENERAL CONTRACTOR SHALL INCLUDE THE COST FOR SPECIALTY ENGINEERING IN THEIR BID.

## PROJECT INFORMATION

PARCEL CONTROL NO. 12-43-46-16-B6-000-0010

PROPERTY ADDRESS: 51 N. SWINTON AVE, DELRAY BEACH, FL 33444

OWNER: CITY OF DELRAY BEACH (LESSOR)/OLD SCHOOL SQUARE (LESSEE)

LEGAL DESCRIPTION: OLD SCHOOL SQUARE PAR 1 (PER PBC PROPERTY APPRAISER)

YEAR BUILT: 1925

ZONING: OSSHAD OLD SCHOOL SQUARE HISTORIC ART (12-DELRAY BEACH)

BUILDING AREA: 25,756 SQ. FT. TOTAL AT BOTH LEVELS, INCLUDING BACK OF HOUSE

PHASE 1 AREA OF WORK: 2581 SQ. FT. AT FIRST FLOOR AND 918 SQ. FT. AT SECOND FLOOR

SITE AREA: 3.6715 ACRES (ENTIRE BLOCK)

HISTORIC: NATIONAL REGISTER OF HISTORIC PLACES REFERENCE NO. 88000210

## PROJECT TEAM

**ARCHITECT** **WALTERS-ZACKRIA ASSOCIATES**  
5813 N. ANDREWS WAY  
FORT LAUDERDALE, FLORIDA 33309  
Ph. (954) 522-4123 Fx. (954) 522-4128

**STRUCTURAL** **SAAD ELIA EL-HAGE CONSULTING ENGINEERS, INC.**  
5601 NW 9TH AVENUE, SUITE 206  
FORT LAUDERDALE, FLORIDA 33309  
Ph. (954) 771-8149 Fx. (954) 771-8169

**MECHANICAL/ELECTRICAL/PLUMBING** **BILDWORX DESIGN**  
1054 CEDAR FALLS DRIVE  
WESTON, FLORIDA 33327  
Ph. (954) 933-8246

## DRAWING INDEX

ARCHITECTURAL		ELECTRICAL	
A0.00	COVER SHEET & DRAWING INDEX	E0.00	ELECTRICAL SYMBOLS AND GENERAL NOTES
A0.10	LIFE SAFETY PLAN	DE1.13	FIRST FLOOR LIGHTING DEMOLITION PLAN
A1.01	FIRST FLOOR DEMOLITION PLAN	DE1.14	SECOND FLOOR LIGHTING DEMOLITION PLAN
A1.02	SECOND FLOOR DEMOLITION PLAN	E1.11	FIRST FLOOR PLAN POWER AND SYSTEMS
A1.11	PROPOSED FIRST FLOOR PLAN	E1.13	FIRST FLOOR LIGHTING PLAN
A1.12	PROPOSED SECOND FLOOR PLAN	E1.14	SECOND FLOOR LIGHTING PLAN
A1.13	FIRST FLOOR REFLECTED CEILING PLAN	E5.00	ELECTRICAL SPECIFICATIONS
A1.14	SECOND FLOOR REFLECTED CEILING PLAN	E6.00	ELECTRICAL SCHEDULES AND ONE LINE DIAGRAM
A1.30	LOBBY SECTIONS	<b>PLUMBING</b>	
A2.10	BOX OFFICE & LOBBY BAR PLANS AND ELEVATIONS	P.1	1ST FLOOR PLUMBING PLAN
A2.20	LOBBY PLANS AND ELEVATIONS	P.2	PLUMBING SPECS AND SCHEDULES
A2.30	INFORMATION DESK PLANS AND ELEVATIONS	P.3	2ND FLOOR PLUMBING PLAN
A3.10	MISCELLANEOUS DETAILS		
A3.20	RAILING DETAILS		
A8.10	ROOM FINISH SCHEDULE		
A9.10	DOOR SCHEDULE		
<b>STRUCTURAL</b>			
S-1	SECOND FLOOR LOBBY EXTENSION		
<b>MECHANICAL</b>			
M.1	1ST FLOOR MECHANICAL PLAN		
M.2	2ND FLOOR MECHANICAL PLAN		
M.3	MECHANICAL SCHEDULES		

**WALTERS ZACKRIA ARCHITECTS**

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Abbas H. Zackria, FL AR 91520  
Florida Registration: AA2600970

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**OLD SCHOOL SQUARE  
INTERIOR RENOVATIONS**

51 N SWINTON AVE  
DELRAY BEACH, FL 33444

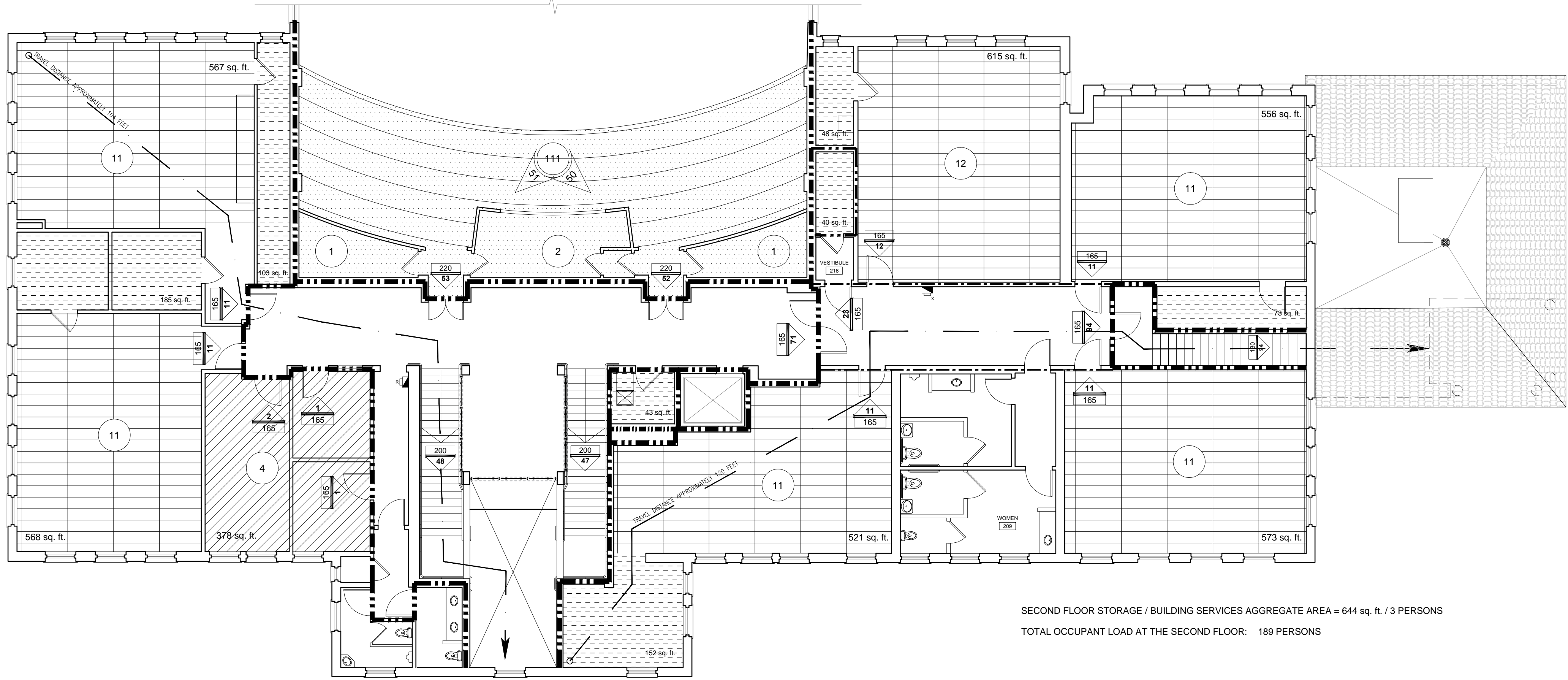
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CHECKED BY: GD  
DATE: 07/26/2019  
REVISIONS:  
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PROJECT #1909

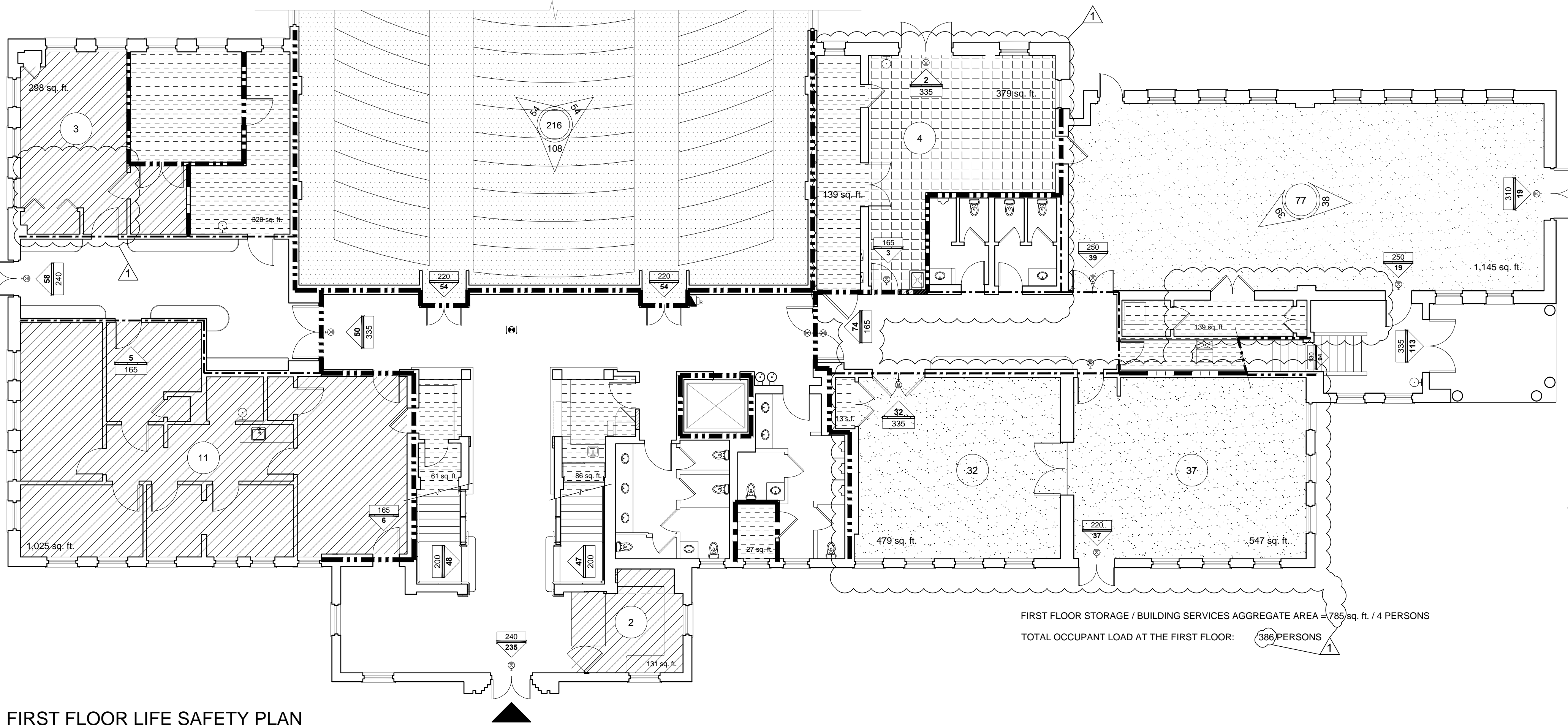
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COVER SHEET & DRAWING INDEX





SECOND FLOOR LIFE SAFETY PLAN



FIRST FLOOR LIFE SAFETY PLAN

# LIFE SAFETY PLAN SYMBOLS

## FIRE RATING :

- 1 HOUR FIRE RATED PARTITION
- 2 HOUR FIRE RATED PARTITION
- SMOKE BARRIER (NO FIRE RATING REQ'D)
- ILLUMINATED EXIT SIGNAGE
- FIRE EXTINGUISHER W/ BRACKET
- FIRE EXTINGUISHER CABINET (SEMI-RECESSED)
- MAIN ENTRANCE

## OCCUPANT FLOW :

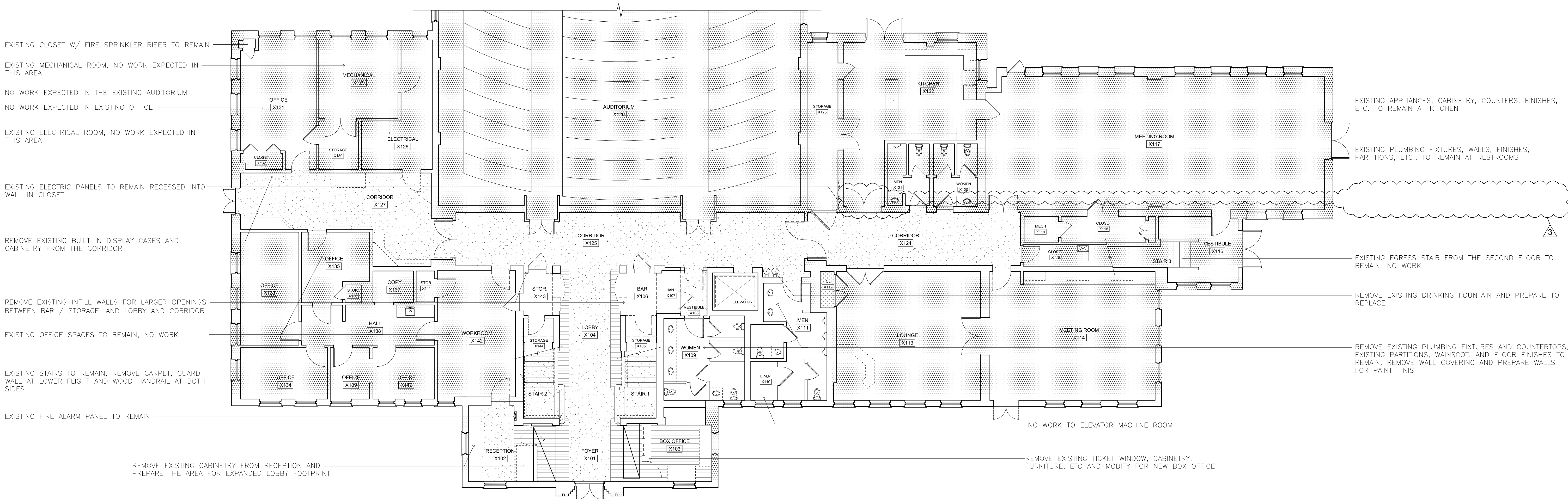
- OCCUPANTS PER EXIT
- AREA OCCUPANT LOAD
- OCCUPANT LOAD OF SPACE
- EXIT CAPACITY
- OCCUPANT EXITING USE
- MAXIMUM TRAVEL DISTANCE
- ASSEMBLY USE - FIXED SEATS
- ASSEMBLY USE - LESS CONCENTRATED
- BUSINESS USE
- EDUCATIONAL USE - SHOPS / LABS
- STORAGE / SERVICES USE

## LIFE SAFETY PLAN NOTES

- THE TOTAL MAXIMUM OCCUPANT LOAD OF FRONT OF HOUSE SPACES IS APPROXIMATELY 574 PERSON. SEVERAL MEANS OF EGRESS HAVE BEEN PROVIDED THROUGHOUT THE BUILDING AND ADEQUATE EGRESS WIDTHS HAVE BEEN PROVIDED. NONE OF THE WORK IN THIS SCOPE AFFECTS BACK OF HOUSE EGRESS, WHICH IS INDEPENDENT.
- THE EXISTING DOORS AT THE MAIN ENTRANCE WILL REMAIN. THIS IS A PAIR OF OUTSWINGING DOORS IN THE ORIGINAL BUILDING OPENING, AND THE SIZE OF EACH LEAF IS ONLY 27". DUE TO THE HISTORIC QUALITIES OF THE EXTERIOR OF THE BUILDING, THE OPENING HAS NOT, NOR WILL IT BE MODIFIED TO PROVIDE LARGER, ACCESSIBLE DOOR LEAFS. THE EXISTING DOOR HARDWARE WILL BE REPLACED AND ELECTRONIC AUTOMATIC DOOR OPENERS ARE PROPOSED AT THIS LOCATION.
- THE OCCUPANT LOAD ON THE ASSEMBLY OCCUPANCIES IN THE FRONT OF HOUSE IS APPROXIMATELY 470 PERSONS, THE EGRESS WIDTH AT THE MAIN ENTRANCE IS SUFFICIENT TO ACCOMMODATE HALF OF THE ASSEMBLY OCCUPANTS.
- EXISTING MEANS OF EGRESS FROM THE SECOND FLOOR SHALL BE MAINTAINED THROUGH THE TWO OPEN STAIRS, WHICH ARE OPEN TO THE LOBBY VOLUME AND THROUGH THE ENCLOSED EXIT STAIR AT THE SOUTH END WHICH LEADS TO THE EXTERIOR AT THE GROUND FLOOR.
- THE PRIMARY USE OF THE LOBBY IS A SUPPORT SPACE AND GENERAL CIRCULATION SERVING THE GALLERIES. UNDER NO CIRCUMSTANCES WILL THIS SPACE BE OCCUPIED OR USED AS A WAITING ROOM, THEREFORE, NO ADDITIONAL OCCUPANT LOAD WILL BE ADDED TO EGRESS ANALYSIS.
- THE 2 ROOMS AT THE SOUTHWEST CORNER OF THE BUILDING WILL BE JOINED IN A FUTURE PHASE TO PROVIDE A LARGER MULTI-PURPOSE SPACE WITH AN OPERABLE WALL TO DIVIDE THE SPACES. EACH SPACE IN THE CURRENT CONFIGURATION HAS AN OCCUPANT LOAD OF LESS THAN 50 PERSONS USING 15 SQ. FT. PER PERSON FOR UNCONCENTRATED ASSEMBLY USE AND AT LEAST ONE MEANS OF EGRESS HAS BEEN PROVIDED FOR EACH SPACE.
- THE EXISTING AUDITORIUM HAS A TOTAL OCCUPANT LOAD OF 327 PERSONS, ON THE TWO LEVELS, BASE ON THE NUMBER OF FIXED SEATS. NO WORK IS BEING PROPOSED TO THIS ASSEMBLY SPACE AND THE EXISTING EGRESS AND SYSTEMS ARE TO BE PROTECTED AND MAINTAINED.
- THERE ARE A TOTAL OF SIX STUDIO SPACES ON THE SECOND FLOOR. THESE ARE BEING CONSIDERED EDUCATIONAL USE (SHOPS, LABORATORIES, VOCATIONAL ROOMS) WITH AN OCCUPANT LOAD FACTOR OF 50 NSF / PERSONS IN ACCORDANCE W/ NFPA 101, TABLE 7.3.1.2.
- EMERGENCY LIGHTING IN THE RENOVATED SPACES WITHIN THE SCOPE OF WORK SHALL BE PROVIDED WITH A COMBINATION OF BATTERY PACKS SPECIFIED FOR SELECT FIXTURES AND AN INVERTER FOR FIXTURES THAT ARE NOT EASILY ACCESSIBLE. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- THE EXISTING FIRE EXTINGUISHER AND METAL SEMI-RECESSED CABINET TO REMAIN AT THE SAME LOCATION ON THE SECOND FLOOR AND SHALL BE LOCATED AS INDICATED ON THE GROUND FLOOR. PAINT CABINETS TO MATCH WALL COLOR AND RECHARGE FIRE EXTINGUISHERS.

NOTE:  
THE ANALYSIS IN THIS LIFE SAFETY STUDY REPRESENTS THE OCCUPANT LOAD, SEPARATIONS, EGRESS REQUIREMENTS AND OTHER OCCUPANT SAFETY CONCERNS OF THE **FIRST PHASE** OF THIS PROJECT. LIFE SAFETY ANALYSIS FOR THE ADDITIONAL PHASES WILL BE PROVIDED AT SUBMITTAL OF PERMIT DRAWINGS FOR FUTURE WORK.





GENERAL DEMOLITION NOTES:

- REFER TO NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, LATEST EDITION, WHICH SHALL APPLY TO THIS PROJECT. CONTRACTOR SHALL OBTAIN AND PAY ALL FEES FOR PERMITS AND INSPECTIONS AS REQUIRED BY CODE, APPLICABLE LAWS OR GOVERNING AGENCIES IN CONNECTION WITH DEMOLITION WORK, REMOVAL AND DISPOSAL OF DEBRIS, ETC.
- DEMOLISH AND REMOVE ALL WALLS DESIGNATED FOR REMOVAL ON DEMOLITION PLAN. ADJACENT SURFACES TO BE PROTECTED AND PATCHED AS REQUIRED AND MADE READY TO RECEIVE NEW FINISHES OR TO MATCH EXISTING FINISHES, INCLUDING BASES AND CEILINGS.
- ALL DEMOLITION TO BE PERFORMED BY MECHANICS SKILLED AND/OR LICENSED, IF REQUIRED, IN TRADES INVOLVED.
- CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL REMOVAL TASKS.
- ELECTRICAL LINES TO BE PROPERLY CAPPED AS REQUIRED BY WALL DEMOLITION.
- REMOVE ALL LIGHT FIXTURES AS DESCRIBED ON THE DEMOLITION DRAWINGS, REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL DEMOLITION AND REMOVALS AS REQUIRED BY SCOPE OF WORK OF CONTRACT DOCUMENTS.
- CONTRACTOR ASSUMES RISK(S) REGARDING DAMAGE OR LOSS, WHETHER BY FIRE, THEFT OR OTHER CASUALTY TO DEMISED PREMISES AFTER CONTRACT IS SIGNED. NO SUCH DAMAGE OR LOSS WILL RELIEVE CONTRACTOR OF OBLIGATION TO COMPLETE WORK.
- CONTRACTOR IS REQUIRED TO PATCH AND REPAIR ALL ADJACENT WALLS AND SURFACES AT SITE DAMAGED DURING DEMOLITION OR WITHIN THE BUILDING AS A RESULT OF DEBRIS REMOVAL.
- CONTRACTOR TO TAKE CARE DURING DEMOLITION TO MAINTAIN EXISTING SERVICES, ANY DAMAGE TO BUILDING, FURNITURE AND /OR DECOR WITHIN TO BE CONTRACTOR'S RESPONSIBILITY.
- DISPOSE OF DEMOLITION MATERIAL IN MANNER APPROVED BY GOVERNMENT REGULATIONS IMMEDIATELY FOLLOWING DEMOLITION UNLESS OTHERWISE INSTRUCTED.
- TO THE BEST OF OUR KNOWLEDGE THERE IS NO ASBESTOS ABATEMENT REQUIRED.
- CONTROL DUST CREATED AND PROVIDE ENVIRONMENTAL CONTROL FOR ALL DEMOLITION AND CONSTRUCTION WORK AS REQUIRED.
- ANY ITEMS NOTED "SAVE" TO BE REMOVED, NUMBERED, CATALOGUED FOR STORAGE AND PROTECTED FOR FUTURE USE / RELOCATION.
- PROVIDE TEMPORARY LIGHTING THROUGHOUT CONSTRUCTION AREA, AS REQUIRED.
- CONTRACTOR SHALL PROVIDE TEMPORARY BATHROOM FACILITIES DURING DEMOLITION AND NEW CONSTRUCTION.
- REMOVE ALL WIRING AND CONDUITS INTERFERING WITH DEMOLITION WORK. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL COORDINATE LOCATION FOR DUMPSTER WITH THE OWNER.
- CONTRACTOR SHALL PROTECT THE PROJECT SITE FROM ACCESS BY THE PUBLIC DURING WORK OPERATIONS AND AT THE END OF EACH WORK DAY. PROVIDE TEMPORARY BARRIERS AS REQUIRED UNTIL THE BUILDING ENVELOPE HAS BEEN RECONSTRUCTED.
- REMOVE / RELOCATE EXISTING MECHANICAL, ELECTRICAL AND PLUMBING SYSTEM DEVICES INTERFERING WITH THE DEMOLITION WORK. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.

FIRST FLOOR DEMOLITION SCOPE NOTES:

- ALL EXISTING EXTERIOR DOORS TO REMAIN. REPLACE EXISTING HARDWARE W/ NEW HARDWARE TO MATCH, UNLESS OTHERWISE INDICATED IN THE DOOR SCHEDULE.
- ALL EXISTING HURRICANE RATED IMPACT WINDOWS AND WINDOW TREATMENT TO REMAIN. PROTECT DURING CONSTRUCTION.
- REMOVE ALL HARDWARE AND APPLIED WOOD TRIM MOLDING FROM THE FACE OF EXISTING DOOR LEAFS IDENTIFIED ON THIS PLAN AND ON THE DOOR SCHEDULE AND PATCH AS REQUIRED FOR NEW PAINTED FINISH. REPLACEMENT OF HARDWARE AND REMOVAL OF TRIM FOR ALL OTHER DOORS ON THE FIRST FLOOR SHALL BE PART OF FUTURE IMPROVEMENTS.
- DISCARD EXISTING DOORS THAT ARE TO BE REMOVED.
- CONTRACTOR TO INSPECT ALL EXISTING WOOD FLOORS UPON REMOVAL OF EXISTING CARPET FOR DAMAGED AREAS. REMOVE DAMAGED BOARDS TO REPLACE WITH SALVAGED MATERIAL AND PROTECT ALL OTHER HARDWOOD FLOOR SURFACES.
- REMOVE ALL FLOOR COVERING DESCRIBED ON THE PLANS, INCLUDING ACCESSORIES, ADHESIVES, ETC. AND PROTECT ALL EXISTING FLOORS TO REMAIN.
- REMOVE EXISTING CARPET FROM ALL TREADS, RISERS AND LANDINGS AT BOTH LOBBY STAIRS.
- SALVAGE ANY MOLDING, DOOR CASINGS, BASEBOARD, ETC. WHICH IS TO BE REMOVED UNTIL RENOVATION IS COMPLETE. REUSE TRIM AS NECESSARY TO PATCH WORK AND DISPOSE OF UNUSED STOCK UPON COMPLETION.
- REMOVE WOOD TRIM AND DECORATIVE ACCENTS FROM OPENING TO EXISTING ELEVATOR AT BOTH THE FIRST FLOOR AND DISPOSE, PATCH WALL SURFACE.
- EXISTING ELEVATOR TO REMAIN. REMOVE EXISTING FLOOR COVERING AND LAMINATE PANELS AT WALLS AND PREPARE FOR NEW FINISHES.
- REMOVE EXISTING WALL COVERING AND ADHESIVE FROM ALL WALL SURFACES IN RESTROOMS X109 AND X111 AT THE FIRST FLOOR.
- REMOVE EXISTING WOOD BASEBOARD IN ALL AREAS WHERE NEW MILLWORK EXTENDS TO FLOOR AREA. THIS INCLUDES WALL SURFACES WHERE NEW BENCHES ARE TO BE LOCATED.
- EXISTING FLOORING, BASE AND WAINSCOT TO REMAIN AT WOMEN X109 AND MEN X111. EXISTING STALL WALLS AND DOORS TO REMAIN. REMOVE EXISTING HINGES AND HARDWARE, AND REMOVE ALL LIGHT FIXTURES IN THESE SPACES.
- REMOVE EXISTING MOP SINK, WATER HEATER AND ASSOCIATED PIPING FROM JANITOR'S CLOSET X107. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. REMOVE EXISTING 1X1 CERAMIC MOSAIC TILE FROM FLOOR AND BASE IN THIS AREA.
- REMOVE ALL HVAC REGISTERS, GRILLES AND DIFFUSERS IN THE AREA OF WORK, WHICH ARE TO REMAIN AND CLEAN BEFORE REINSTALLING AT SAME LOCATION.
- ALL CONCEALED FIRE SPRINKLER HEADS TO REMAIN, ADJUSTING LOCATIONS FOR SPRINKLER HEADS THAT ARE AFFECTED BY NEW WORK.
- REMOVE ALL ELECTRICAL RECEPTACLES AND SWITCHES INCLUDING COVER PLATES AND REPLACE WITH NEW THROUGHOUT AREAS OF PROPOSED ALTERATIONS...SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL EXISTING TRACK AND FIXTURES TO REMAIN IN CORRIDOR X124, CORRIDOR X125 AND CORRIDOR X127
- REMOVE EXISTING WALL SCONCES THROUGHOUT THE FIRST FLOOR AREAS, SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

DEMOLITION PLAN LEGEND

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING DOOR, FRAME AND HARDWARE TO REMAIN. REFER TO DOOR SCHEDULE TO CONFIRM HARDWARE REMOVAL AND REPLACEMENT DETAILS.
	EXISTING DOOR AND FRAME TO REMAIN, REPLACE HARDWARE AND REMOVE DECORATIVE MOLDING FROM DOOR FACE(S)
	EXISTING DOOR AND FRAME TO REMAIN, REPLACE HARDWARE
	EXISTING DOOR AND HARDWARE TO BE REMOVED.
	EXISTING PLUMBING FIXTURES TO REMAIN
	EXISTING PLUMBING FIXTURES TO BE REMOVED
	AREA OF EXISTING CARPET TO BE REMOVED
	AREA OF EXISTING WOOD BOARD FLOOR TO BE REMOVED
	AREA OF EXISTING SPACE OUTSIDE SCOPE OF WORK



FIRST FLOOR DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

**WALTERS  
ZACKRIA  
ARCHITECTS**

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OLD SCHOOL SQUARE  
INTERIOR RENOVATIONS

51 N SWINTON AVE  
DELRAY BEACH, FL 33444

DRAWN BY: JA  
CHECKED BY: GD  
DATE: 07/26/2019  
REVISIONS:  
04oct19 Coor.+Owner Changes  
11dec19 Coordination

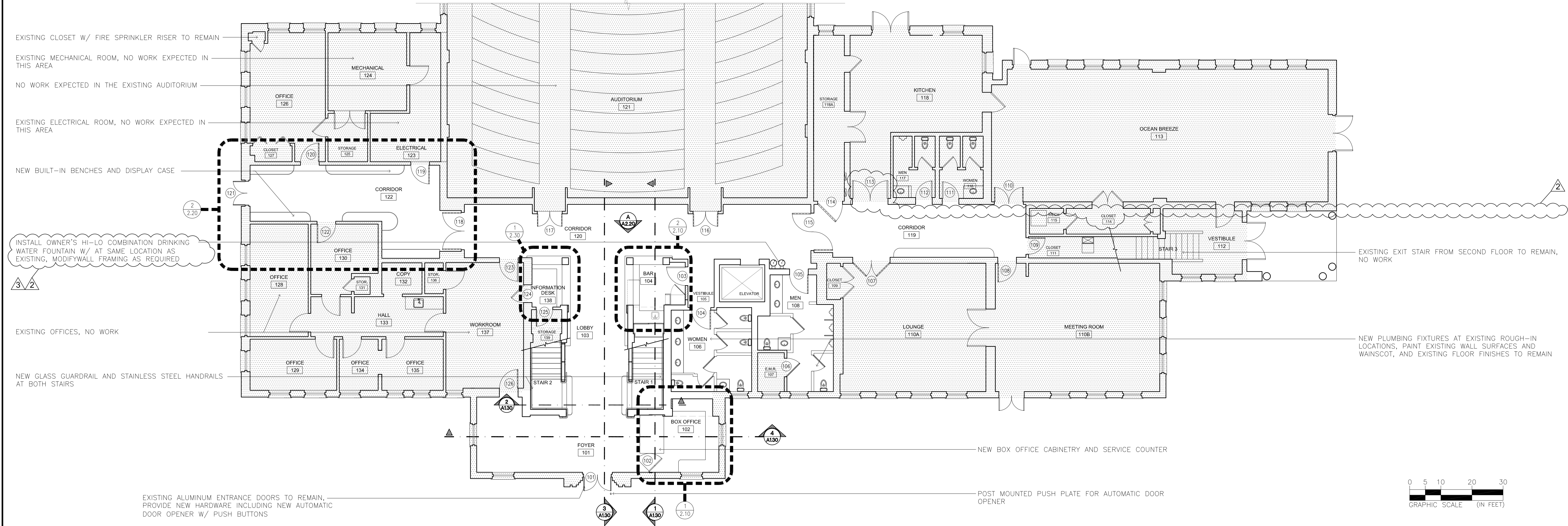
PROJECT #1909

A1.01

FIRST FLOOR DEMOLITION  
PLAN







FIRST FLOOR PROPOSED PLAN NOTES:

1. ALL EXISTING EXTERIOR DOORS TO REMAIN. REPLACE EXISTING HARDWARE W/ NEW HARDWARE TO MATCH, UNLESS OTHERWISE INDICATED IN THE DOOR SCHEDULE.
2. ALL EXISTING HURRICANE RATED IMPACT WINDOWS AND WINDOW TREATMENT TO REMAIN, PROTECT DURING CONSTRUCTION.
3. PROVIDE NEW HARDWARE AND PATCH AND REFINISH EXISTING DOOR LEAFS AS IDENTIFIED ON THIS DRAWING, REFER TO THE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
4. PATCH AREAS OF DAMAGED HARDWOOD FLOORS AND REFINISH ALL EXPOSED HARDWOOD FLOOR SURFACES WHICH ARE NOT COVERED BY NEW CARPET.
5. PATCH BASEBOARD AND ALL OTHER TRIM IN AREAS IMPACTED BY RENOVATION SCOPE TO MATCH EXISTING ADJACENT SURFACES.
6. PATCH WALL SURFACES IN AREAS AFFECTED BY ALTERATIONS, FINISH TO BLEND WITH EXISTING ADJACENT SURFACES AND PAINT.
7. EXISTING ELEVATOR TO REMAIN, PROVIDE NEW CARPET FLOOR COVERING AND LAMINATE PANELS AT WALLS.
8. PROVIDE NEW PLUMBING FIXTURES AT THE SAME ROUGH-IN LOCATIONS AT BOTH WOMEN'S RESTROOM 105 AND MEN'S RESTROOM 108. PROVIDE NEW QUARTZ COUNTERTOPS AND PAINT ALL EXISTING WALLS, PARTITIONS, DOORS WAINSCOT, ETC. PROVIDE NEW LIGHTING AND ACCESSORIES IN THESE SPACES. CLEAN EXISTING CERAMIC TILE FLOOR AND BASE.

PROPOSED FLOOR PLAN LEGEND

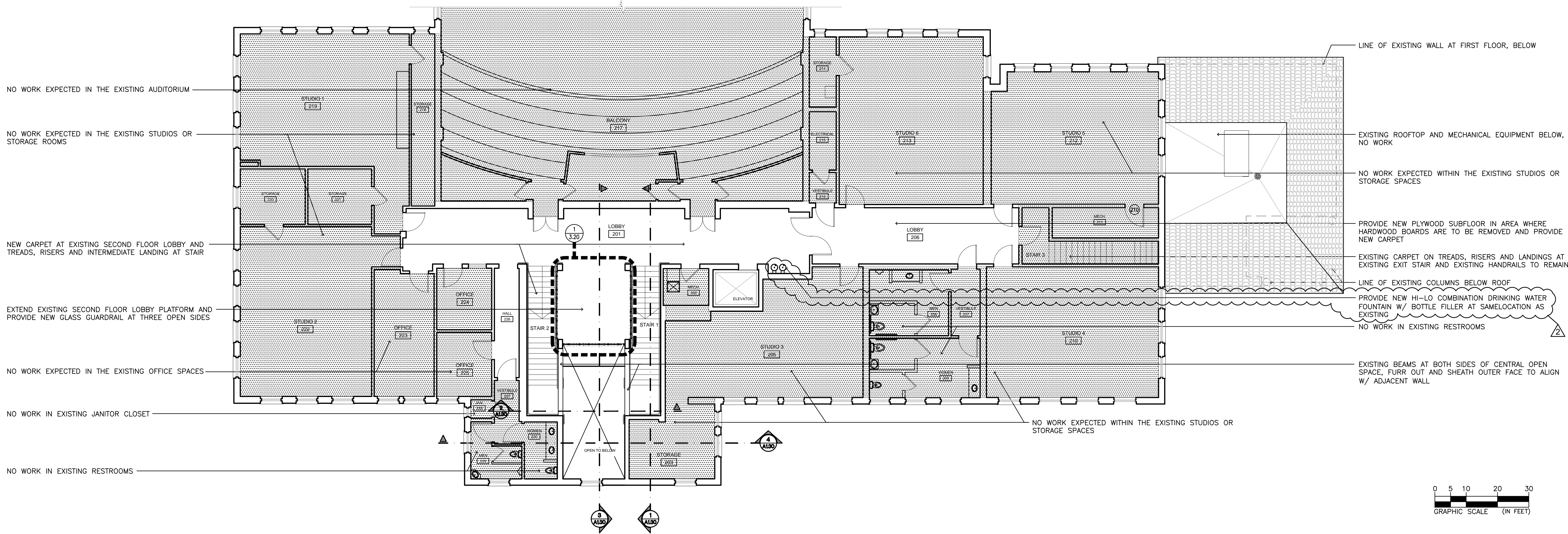
- EXISTING WALL TO REMAIN.
- NEW FRAMED WALL, METAL STUDS W/ GYP. BD. SHEATHING. PROVIDE / MAINTAIN FIRE RATING WHERE REQUIRED
- EXISTING DOOR, FRAME AND HARDWARE TO REMAIN.
- EXISTING DOOR AND FRAME TO REMAIN, REPLACE HARDWARE AND REMOVE DECORATIVE MOLDING FROM DOOR FACE(S)
- EXISTING DOOR AND FRAME TO REMAIN, REPLACE HARDWARE
- NEW DOOR AND FRAME.
- EXISTING WINDOW AND SILL TO REMAIN
- DOOR NUMBER
- AREA OF EXISTING SPACE OUTSIDE SCOPE OF WORK

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**OLD SCHOOL SQUARE  
INTERIOR RENOVATIONS**  
51 N SWINTON AVE  
DELRAY BEACH, FL 33444

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SECOND FLOOR DEMOLITION SCOPE NOTES:

1. PROPOSED MODIFICATIONS TO THE SECOND FLOOR INCLUDES AN EXPANDED SECOND FLOOR BALCONY AREA, REMOVAL OF SOME ORIGINAL HARDWOOD BOARDS WHICH ARE TO BE REPLACED WITH PLYWOOD SHEATHING, REPLACEMENT OF EXISTING CARPET IN THE LOBBY AREAS AND NEW PAINT ON WALLS, CEILINGS, DOORS AND TRIM IN THOSE SAME SPACES.
2. ALL EXISTING HURRICANE RATED IMPACT WINDOWS AND WINDOW TREATMENT TO REMAIN. PROTECT DURING CONSTRUCTION.
3. ALL EXISTING DOORS ON THE SECOND FLOOR, HARDWARE AND MOLDING TRIM APPLIED TO THE DOOR FACES SHALL REMAIN. REPLACEMENT OF HARDWARE AND REMOVAL OF TRIM ON THE SECOND FLOOR DOORS SHALL BE PART OF FUTURE IMPROVEMENTS.
4. PROVIDE NEW PLYWOOD SUFLOOR IN AREA OF SECOND FLOOR LOBBY WHERE BOARDS HAVE BEEN REMOVED AND SALVAGED FOR REUSE AT THE FIRST FLOOR. PROVIDE NEW CARPET THROUGHOUT SECOND FLOOR LOBBY.
5. ALL EXISTING LIGHTING SHALL REMAIN AT THE SECOND FLOOR CEILINGS, EXCEPT FOR THE AREAS OVER THE EXISTING STAIRS AND BALCONY OVER THE TWO STORY LOBBY SPACE. THIS INCLUDES GENERAL LIGHTING, EMERGENCY LIGHTING AND ILLUMINATED EXIT LIGHTS. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
6. CONTRACTOR SHALL PROTECT ALL REGISTERS AND GRILLES IN AREAS ADJACENT TO WORK AREAS TO AVOID DUST FROM ENTERING DUCTWORK. NO WORK TO THE MECHANICAL DISTRIBUTION SYSTEM IS EXPECTED TO THE SECOND FLOOR OTHER THAN CLEANING FILTERS AT THE COMPLETION OF WORK.
7. NO WORK IS EXPECTED TO THE EXISTING FIRE ALARM SYSTEM ON THE SECOND FLOOR, PROTECT EXISTING DEVICES.
8. EXISTING SPRINKLER SYSTEM TO REMAIN. PROTECT ALL HEADS AND MODIFY LOCATIONS AS REQUIRED FOR COVERAGE TO ACCOMMODATE PROPOSED ALTERATIONS OVER THE TWO STORY LOBBY SPACE AND ABOVE THE EXISTING STAIRS..

PROPOSED FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN.
- NEW FRAMED WALL, METAL STUDS W/ GYP. BD. SHEATHING. PROVIDE / MAINTAIN FIRE RATING WHERE REQUIRED
- EXISTING DOOR, FRAME AND HARDWARE TO REMAIN.
- EXISTING DOOR AND FRAME TO REMAIN, REPLACE HARDWARE AND REMOVE DECORATIVE MOLDING FROM DOOR FACE(S)
- EXISTING DOOR AND FRAME TO REMAIN, REPLACE HARDWARE
- NEW DOOR AND FRAME.
- EXISTING WINDOW AND SILL TO REMAIN
- DOOR NUMBER
- AREA OF EXISTING SPACE OUTSIDE SCOPE OF WORK

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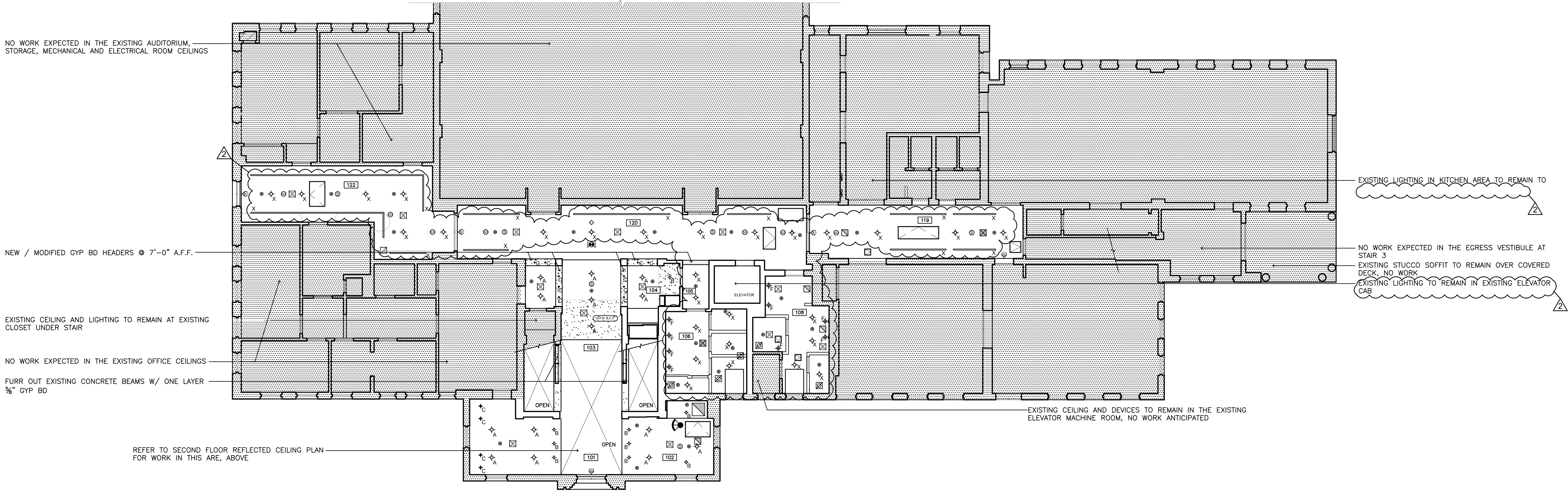
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PROJECT #1909  
**1.12**  
PROPOSED SECOND  
FLOOR PLAN





NEW LIGHTING FIXTURE TYPES:

THE FOLLOWING IS A LISTING OF ALL NEW LIGHT FIXTURES FOR REFERENCE ONLY. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE. FINAL SELECTION OF ALL LIGHTING FIXTURES AND EQUIPMENT SHALL BE PROVIDED BY OWNER.

MARK	DESCRIPTION
A	6" DIAMETER RECESSED LED DOWNLIGHT
B	4" DIAMETER RECESSED LED DOWNLIGHT
C	2" DIAMETER RECESSED LED DOWNLIGHT
D	NOT USED
E	NOT USED
F	SURFACE MOUNTED LED WALL SCONCE 1
G	NOT USED
H	NOT USED
J	SURFACE MOUNTED TRACK LIGHT SYSTEM
K	NOT USED
L	LED COLOR CHANGING STRIP LIGHTS AND TRIM

X EXISTING LIGHT FIXTURES TO REMAIN

REFLECTED CEILING PLAN NOTES

- PATCH ALL EXISTING GYP BD CEILINGS TO REMAIN. PROVIDE FINISH TO MATCH EXISTING ADJACENT SURFACE AND PAINT. PATCH CEILINGS AS NECESSARY WHERE WALLS HAVE BEEN REMOVED, AND WHERE LIGHT FIXTURES HAVE BEEN REMOVED OR RELOCATED.
- LOCATION OF ALL CEILING FIXTURES IS APPROXIMATE AND MAY BE SCALED. CONFIRM THERE IS NO INTERFERENCE WITH CONDITIONS ABOVE FINISH CEILING. FINAL APPROVAL OF LAYOUT IS SUBJECT TO ARCHITECT AND OWNER APPROVAL.
- IN AREAS WHERE A NEW FURRED OR SUSPENDED CEILING IS PROVIDED, EXTEND ALL DUCT TERMINALS, SPRINKLER HEADS, LIGHT FIXTURES AND ALL OTHER DEVICES TO THE NEW CEILING ELEVATION.
- IN AREAS NOTED THAT THERE IS NO WORK ANTICIPATED, EXISTING CEILINGS, ALL LIGHTING, FIRE PROTECTION, FIRE ALARM DEVICES, AND ALL OTHER ITEMS TO REMAIN.
- FINAL SELECTION OF ALL LIGHTING FIXTURES IS SUBJECT TO OWNER APPROVAL.
- CLEAN PAINT AND REINSTALL HVAC REGISTERS, GRILLES AND DIFFUSERS THROUGHOUT AREA OF WORK.
- ALL EXISTING SPRINKLER HEADS TO REMAIN. FIRE PROTECTION SUB CONTRACTOR SHALL CONFIRM THERE IS ADEQUATE COVERAGE AND SHALL MAKE ANY ADJUSTMENTS REQUIRED AND SHALL SUBMIT ENGINEERED SHOP DRAWINGS SHOWING REVISED SCOPE FOR PERMIT. REPLACE EXISTING COVERS TO CONCEAL HEADS WITH NEW CAPS.
- CEILING HEIGHTS ON REFLECTED CEILING PLAN IDENTIFY HEIGHTS FOR NEW OR SUSPENDED CEILINGS, ALL OTHER CEILING HEIGHTS ARE EXISTING TO REMAIN. SEE ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- PATCH ALL WALL SURFACES WHERE SCONCES HAVE BEEN REMOVED, INCLUDING ALL WIRING AND CONTROLS
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

REFLECTED CEILING PLAN LEGEND

	GYPSUM BOARD CEILING, SOFFIT OR HEADER		SUPPLY AIR REGISTER AT CEILING
	AREA OF EXISTING SPACE OUTSIDE SCOPE OF WORK		SUPPLY AIR DIFFUSER AT WALL
	ILLUMINATED EXIT SIGN		RETURN AIR GRILLE AT CEILING
	ILLUMINATED EXIT SIGN / EMERGENCY LIGHT COMBINATION		RETURN AIR GRILLE AT WALL
	RECESSED LIGHT FIXTURE		EXHAUST GRILLE
	J-BOX FOR SURFACE MOUNTED LIGHT FIXTURE		CEILING HEIGHT FOR NEW CEILINGS / SOFFITS
	CEILING MOUNTED DIRECTIONAL LIGHT FIXTURE		ACCESS PANELS AT CEILING
	J-BOX FOR WALL MOUNTED LIGHT FIXTURE		ROOM NUMBER
	24 x 24 TROFFER IN SUSPENDED ACT CEILING SYSTEM		VIDEO CAMERA
	SURFACE MOUNTED WORK LIGHTS		EMERGENCY LIGHTING W/ BATTERY PACK
	SURFACE MOUNTED TRACK LIGHTING SYSTEM		
	SPEAKER		
	SMOKE DETECTOR		
	SPRINKLER HEAD		
	MOTION DETECTOR / ALARM SYSTEM DEVICE		



FIRST FLOOR REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

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**OLD SCHOOL SQUARE  
INTERIOR RENOVATIONS**

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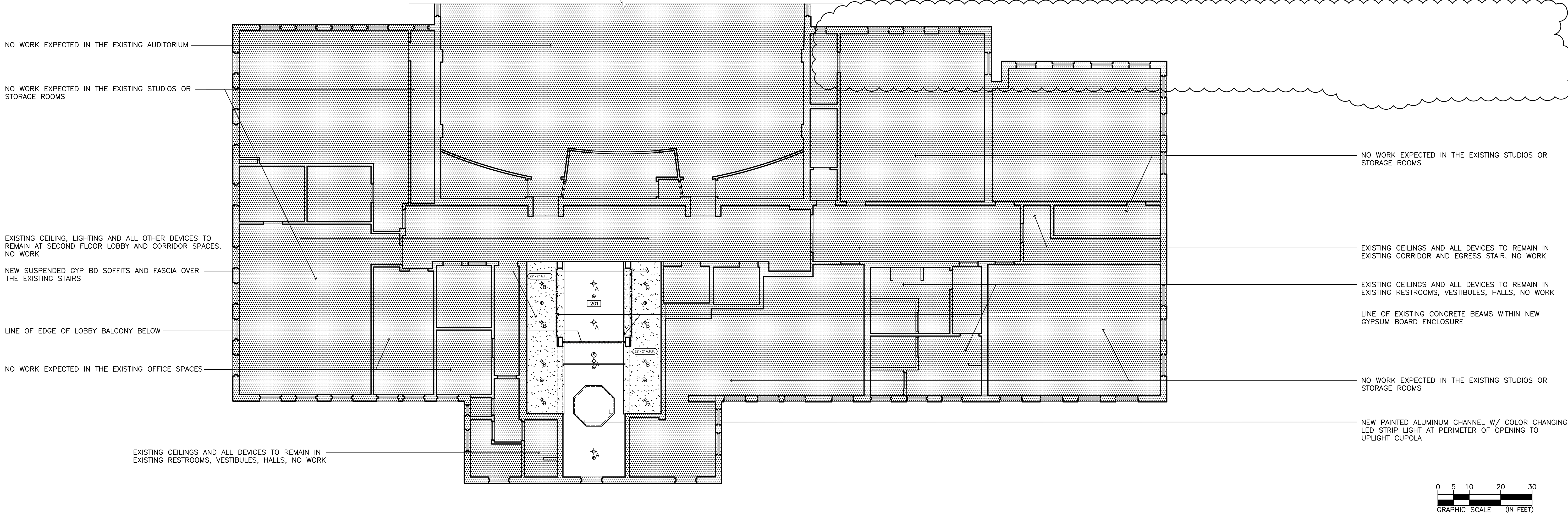
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**A1.13**

FIRST FLOOR  
REFLECTED CEILING PLAN





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	ILLUMINATED EXIT SIGN		RETURN AIR GRILLE AT CEILING
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	SURFACE MOUNTED TRACK LIGHTING SYSTEM		
	SPEAKER		
	SMOKE DETECTOR		
	SPRINKLER HEAD		
	MOTION DETECTOR / ALARM SYSTEM DEVICE		



SECOND FLOOR REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

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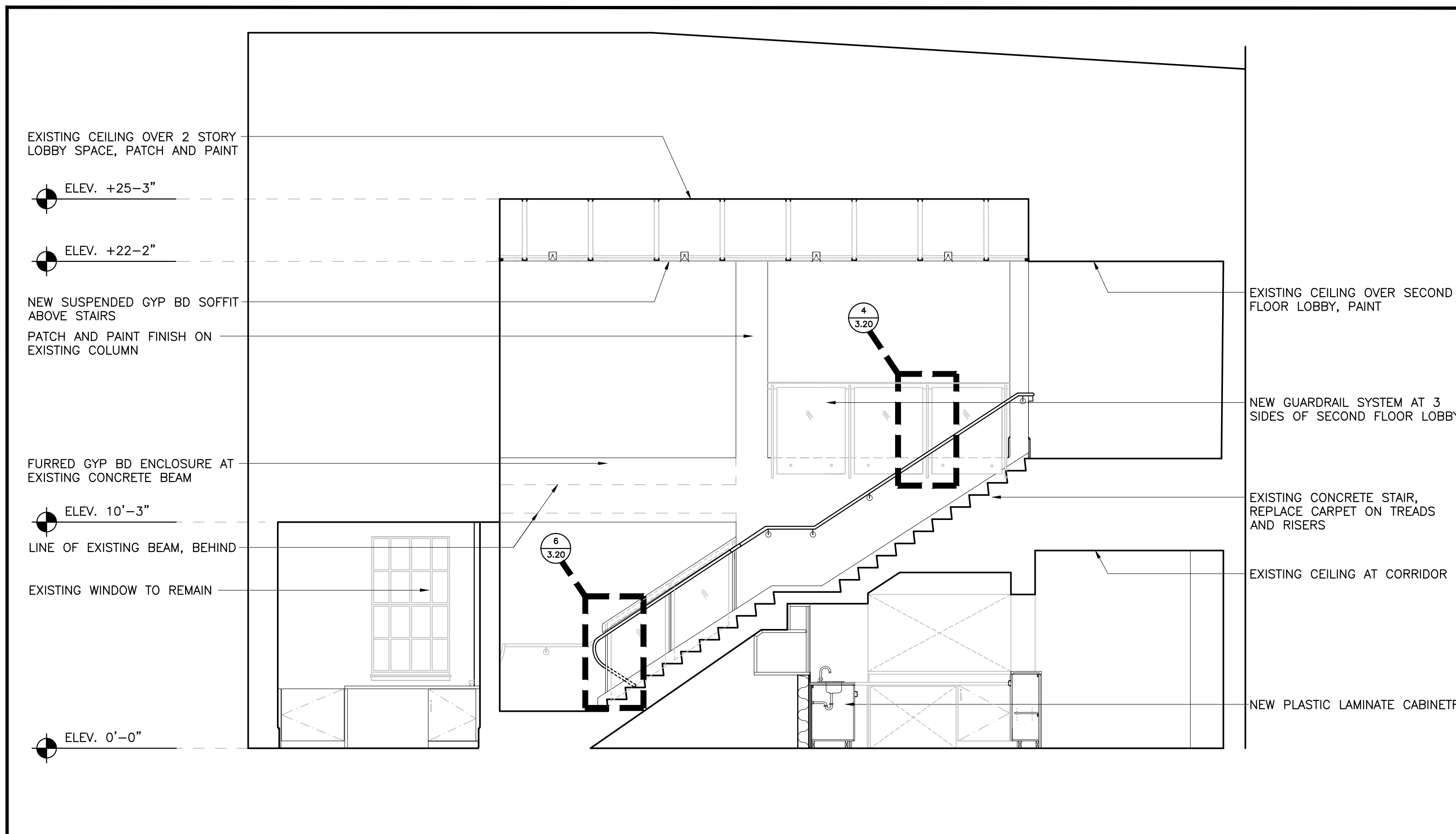
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**OLD SCHOOL SQUARE  
INTERIOR RENOVATIONS**

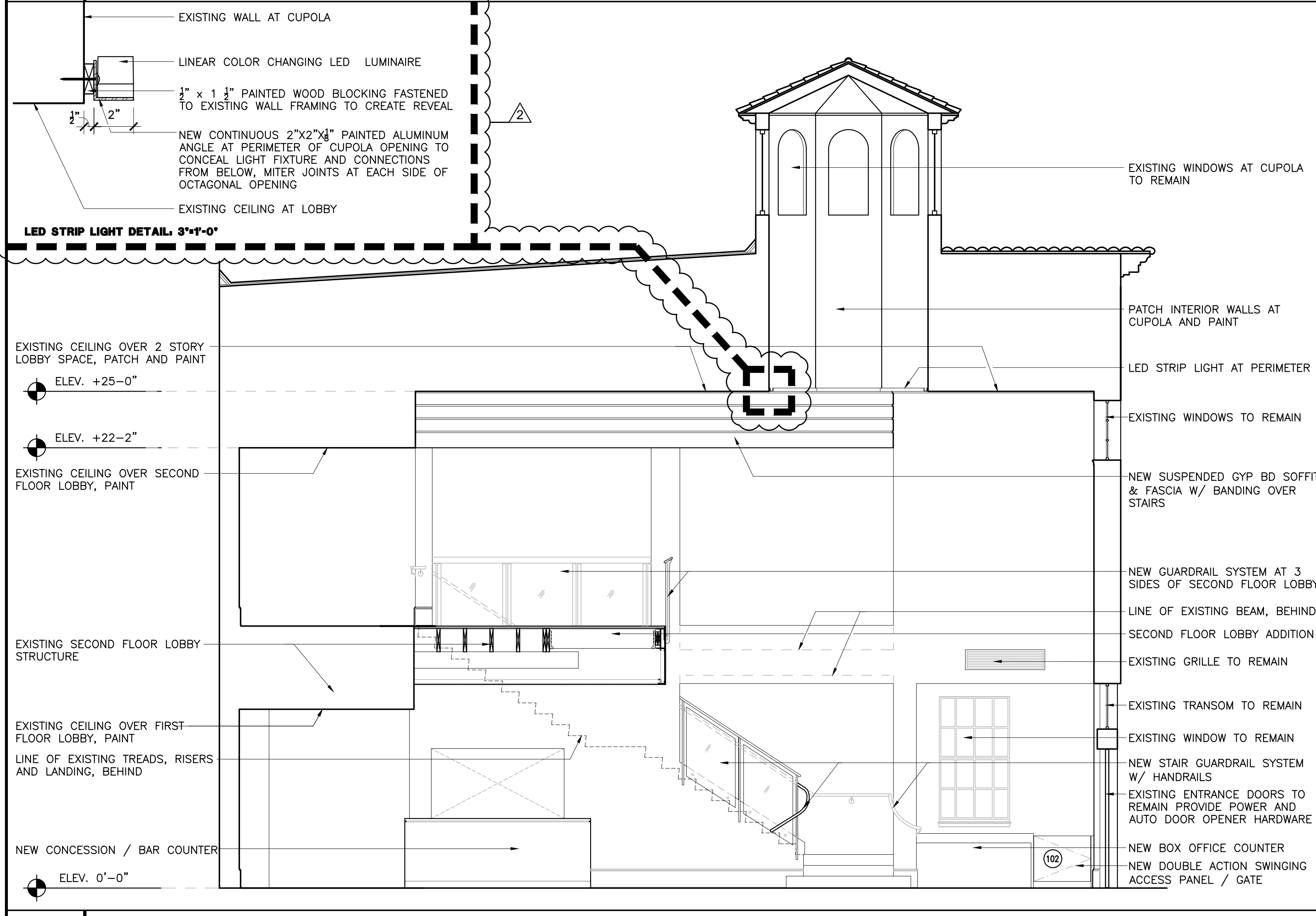
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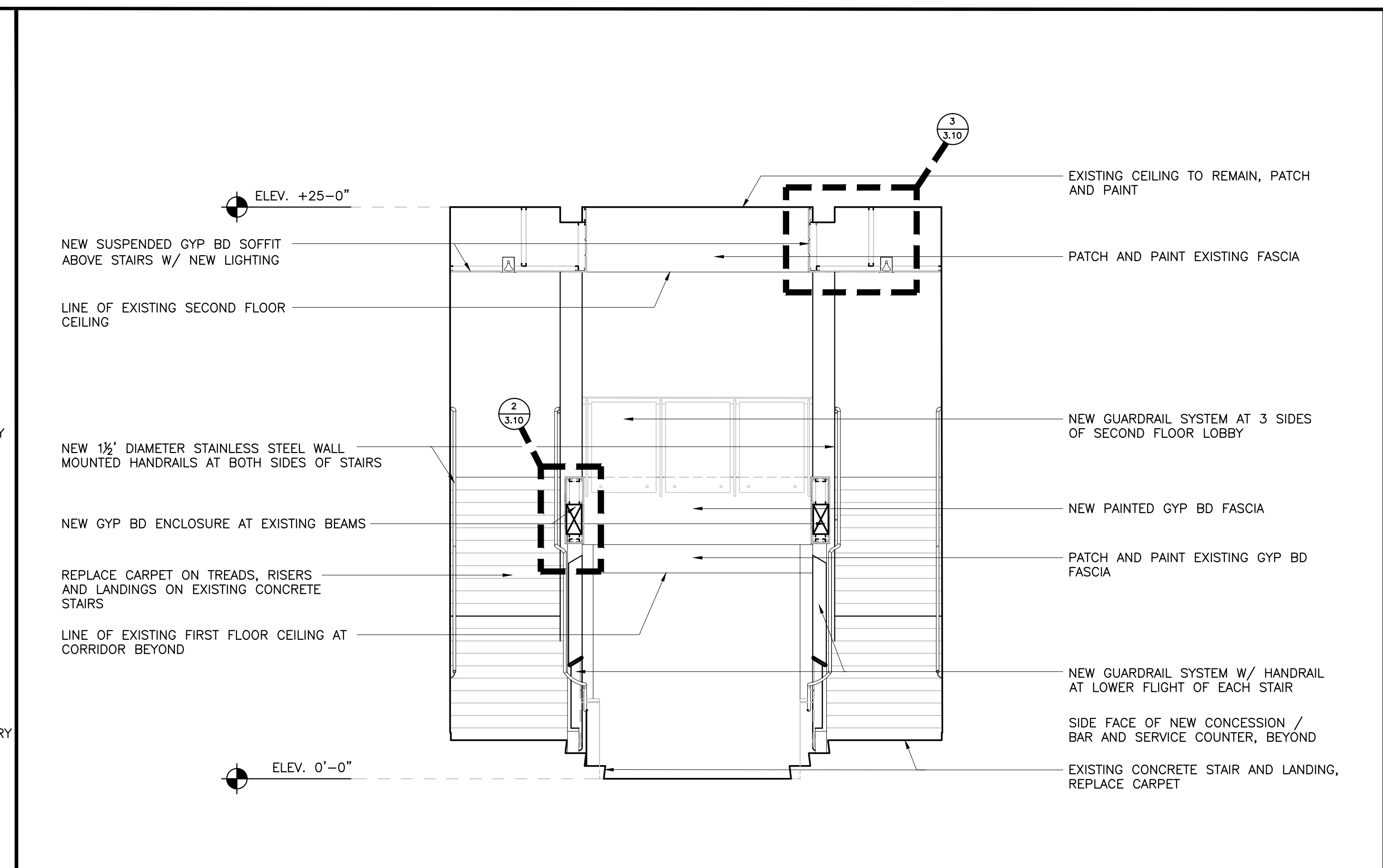




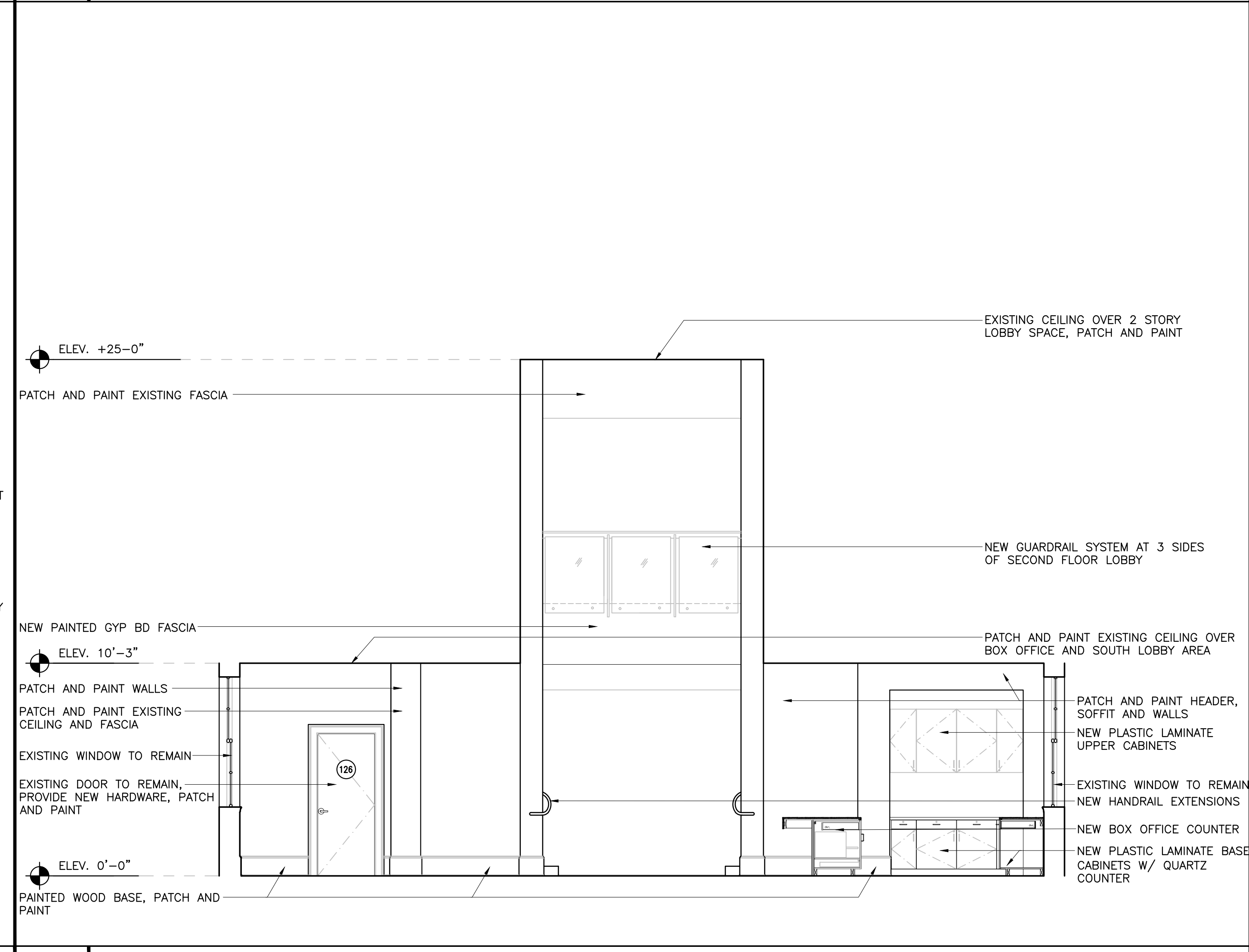
**1 SECTION THRU STAIR 1 LOOKING NORTH**  
SCALE: 1/4" = 1'-0"



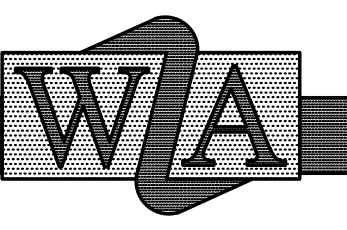
**3 SECTION THRU LOBBY CENTERLINE LOOKING SOUTH**  
SCALE: 1/4" = 1'-0"



**2 SECTION THRU LOBBY STAIRS LOOKING EAST**  
SCALE: 1/4" = 1'-0"



**4 SECTION THRU WEST END OF LOBBY LOOKING EAST**  
SCALE: 1/4" = 1'-0"



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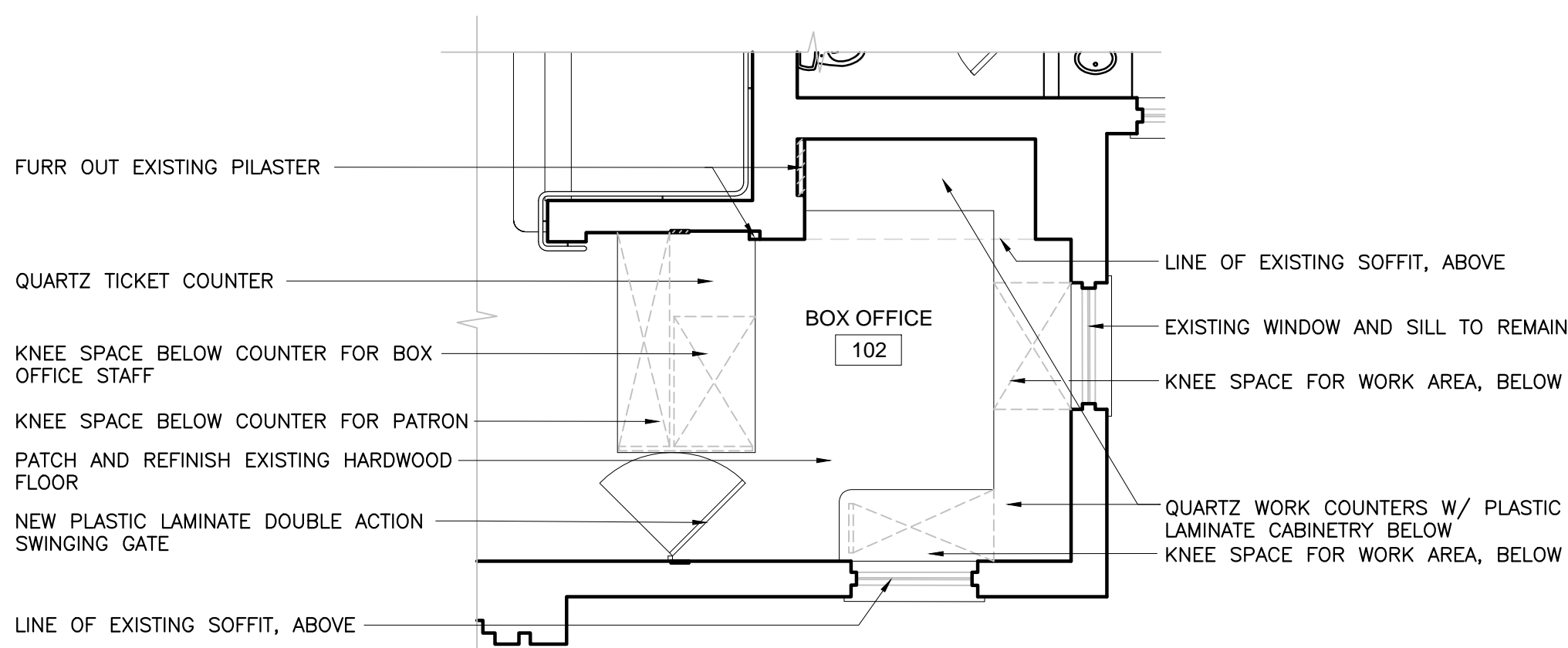
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PROJECT #1909

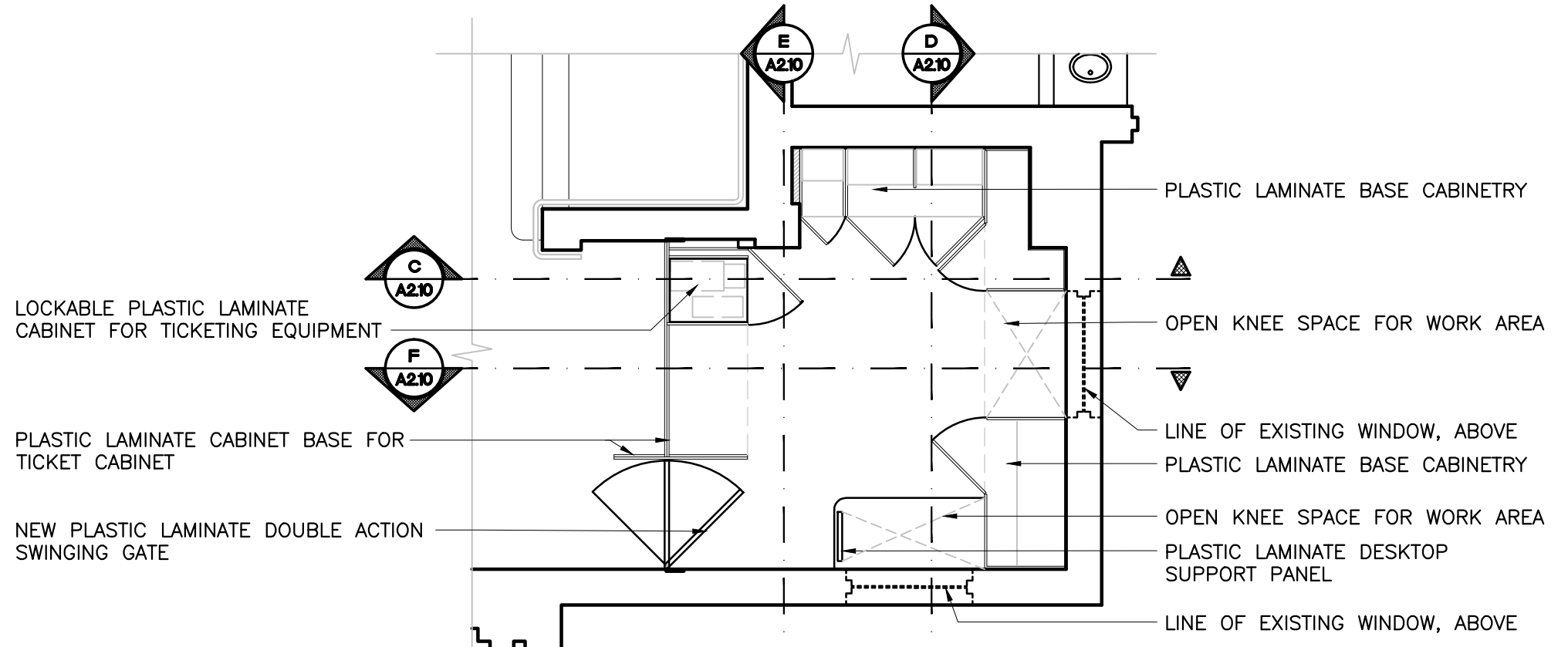
**A1.30**

LOBBY SECTIONS

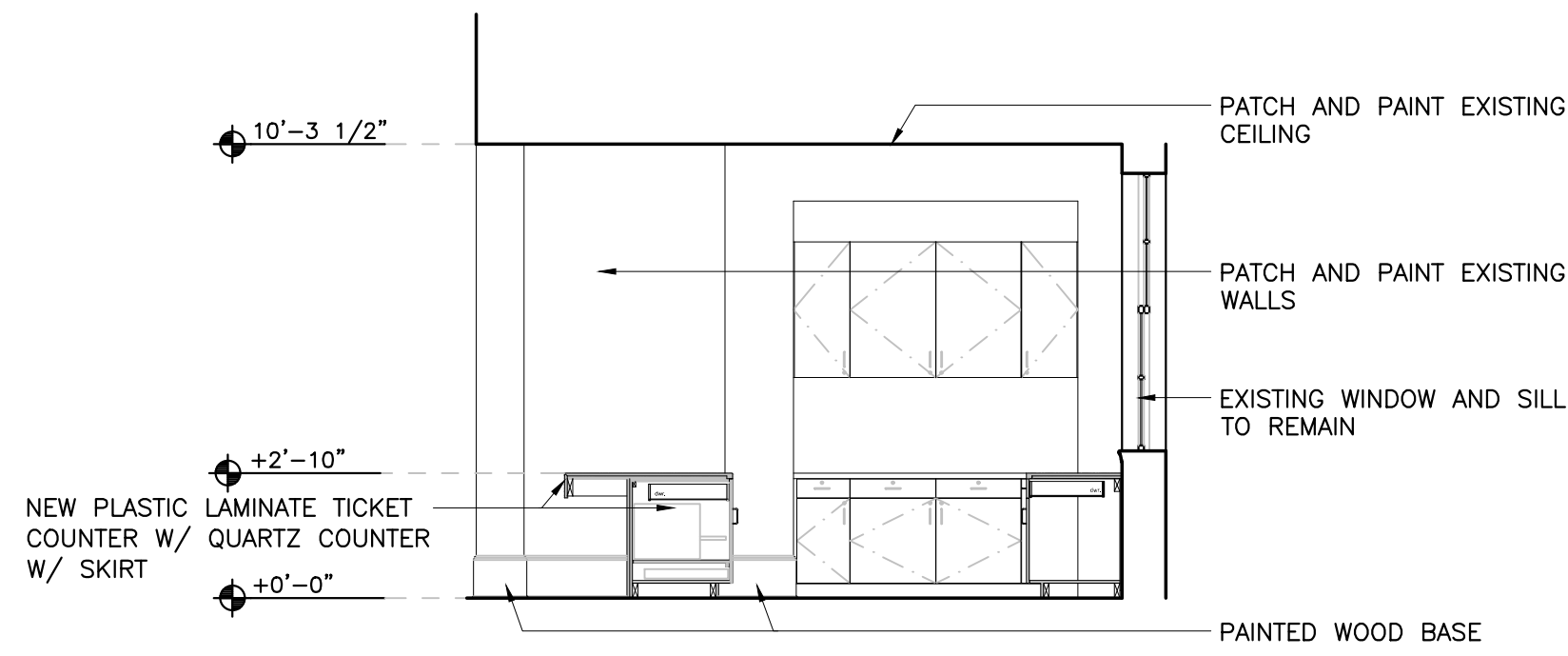




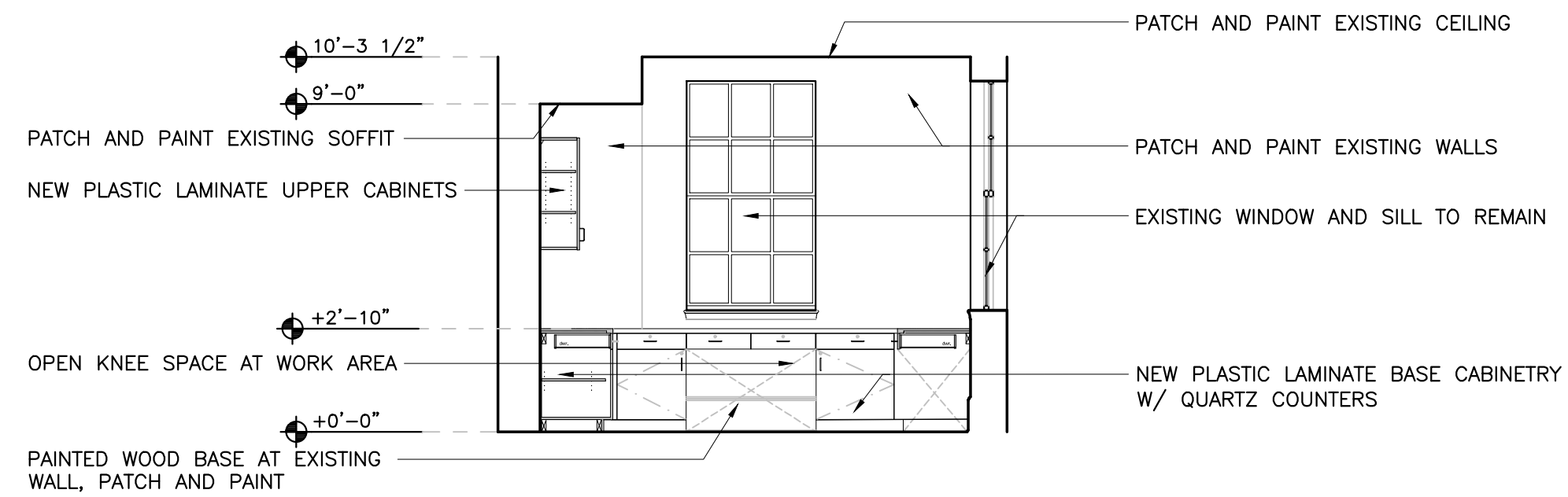
A. BOX OFFICE PLAN AT COUNTER



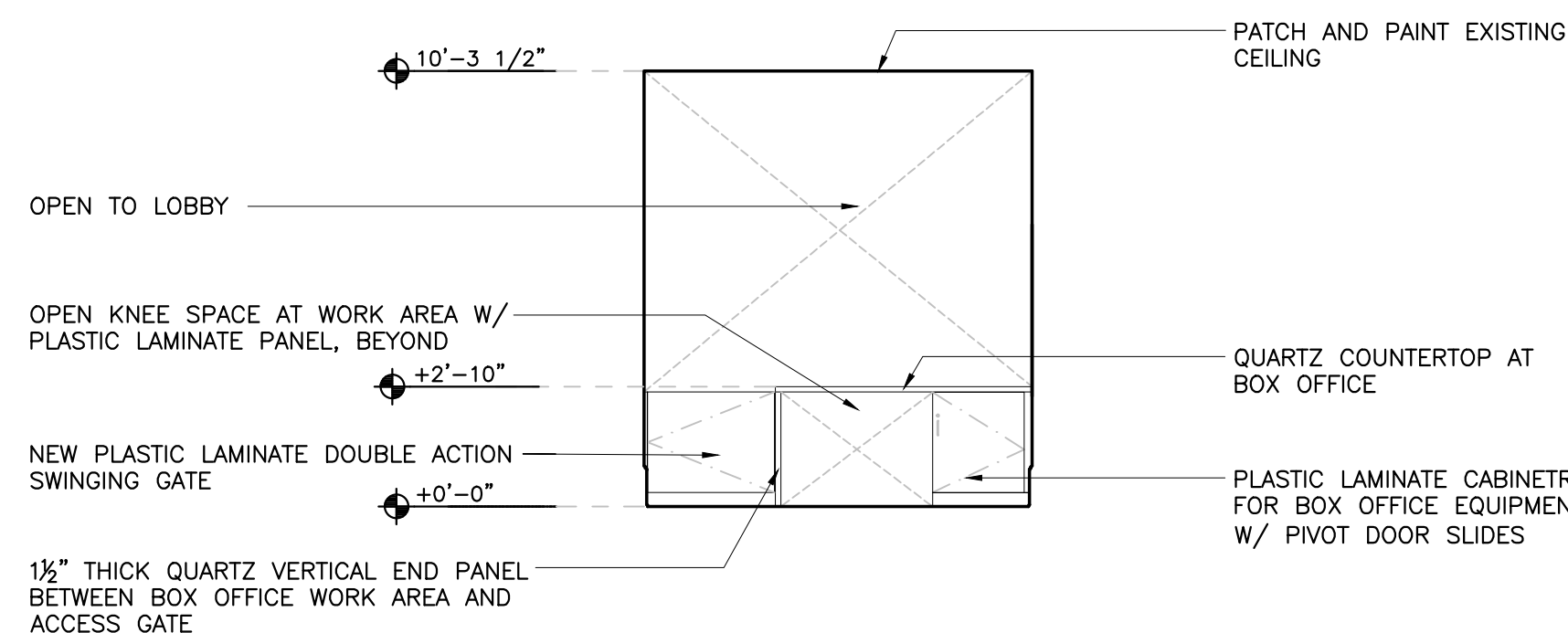
B. BOX OFFICE PLAN BELOW COUNTER



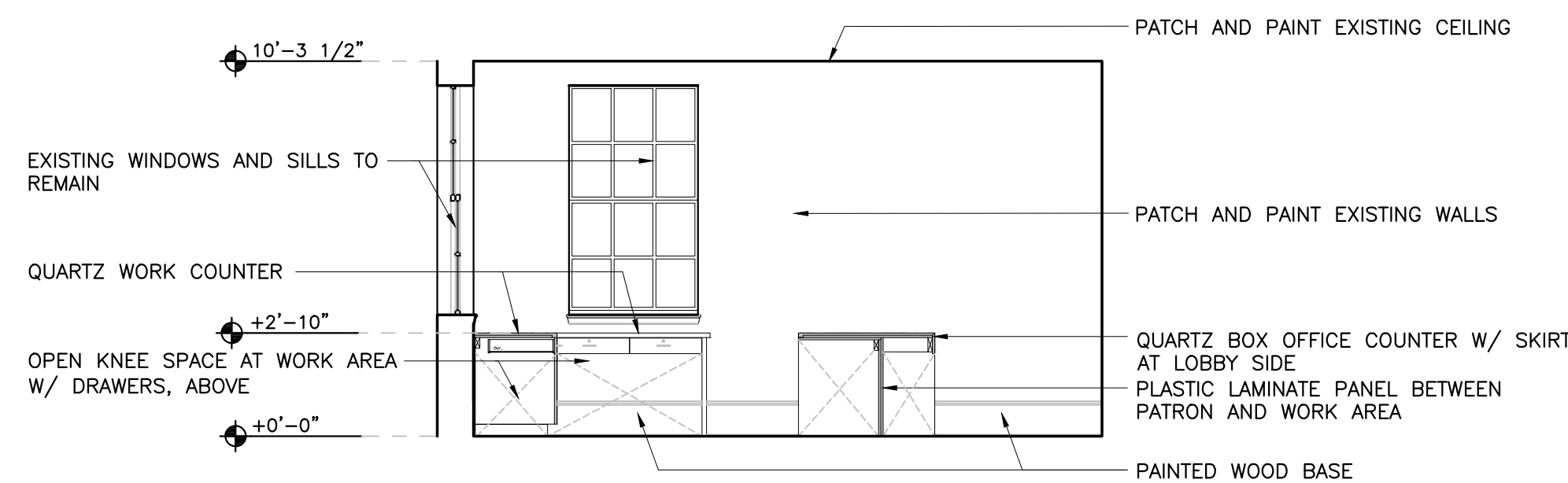
C. BOX OFFICE SECTION / ELEVATION LOOKING EAST



D. BOX OFFICE SECTION / ELEVATION LOOKING SOUTH



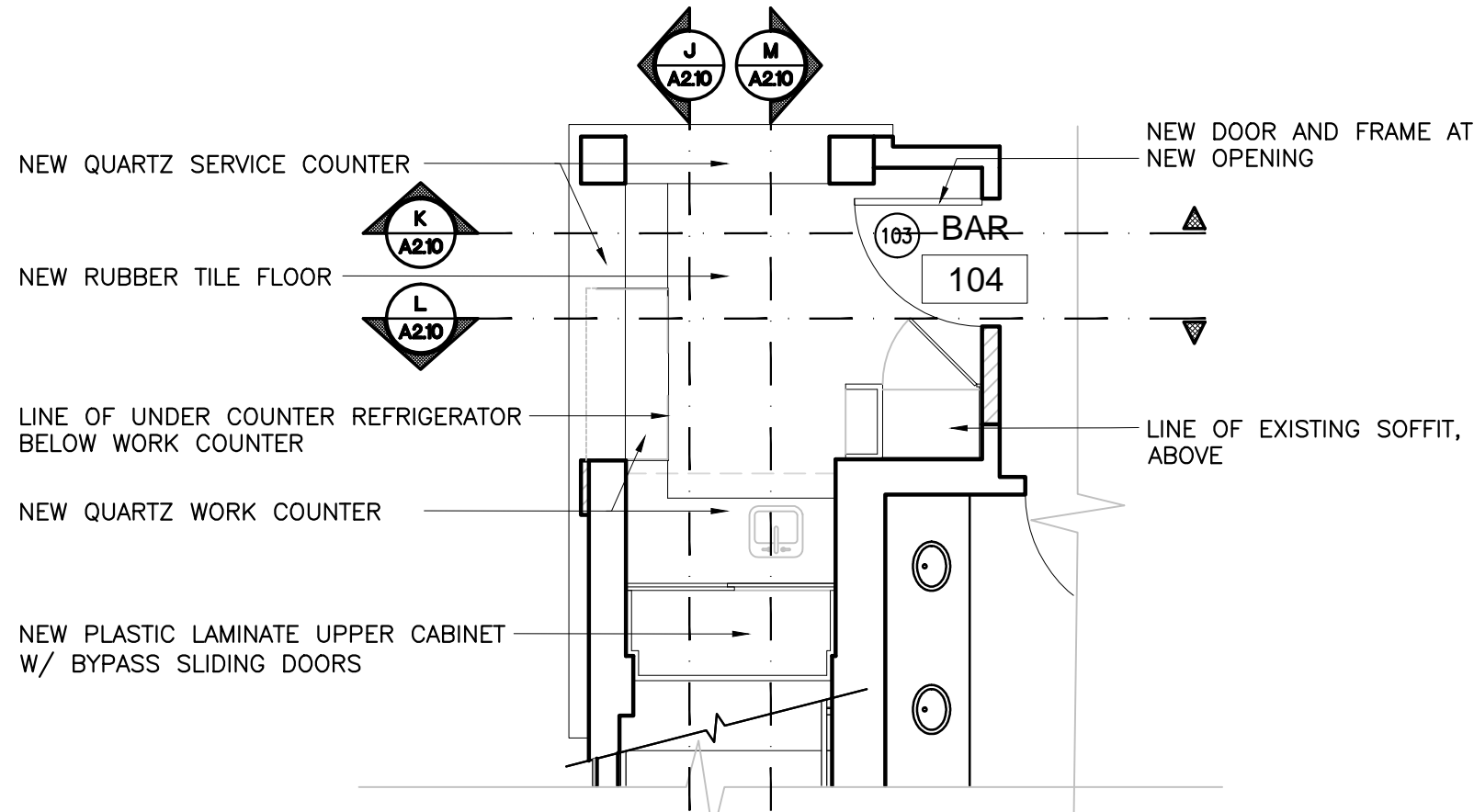
E. BOX OFFICE SECTION / ELEVATION LOOKING NORTH



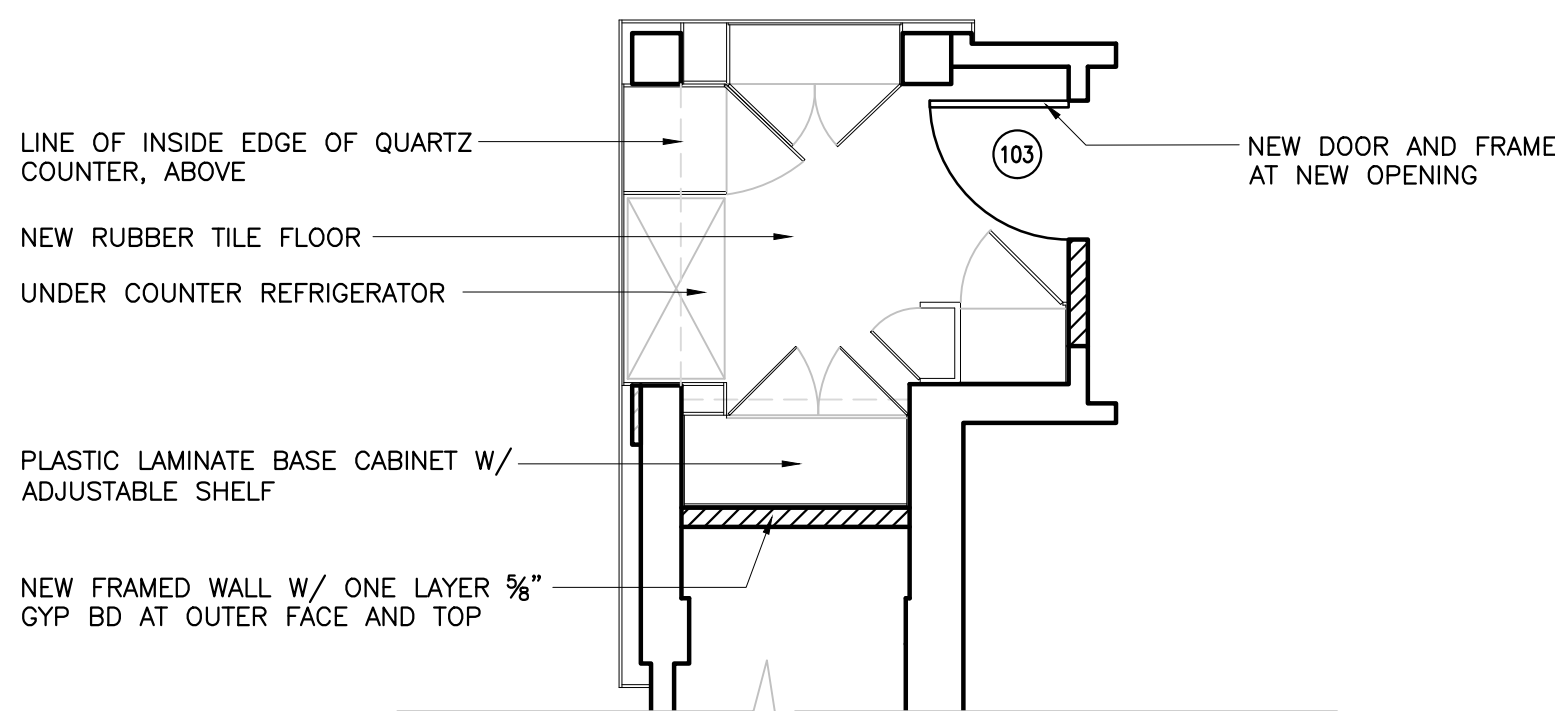
F. BOX OFFICE SECTION / ELEVATION LOOKING WEST

## 1 BOX OFFICE PLANS AND ELEVATIONS

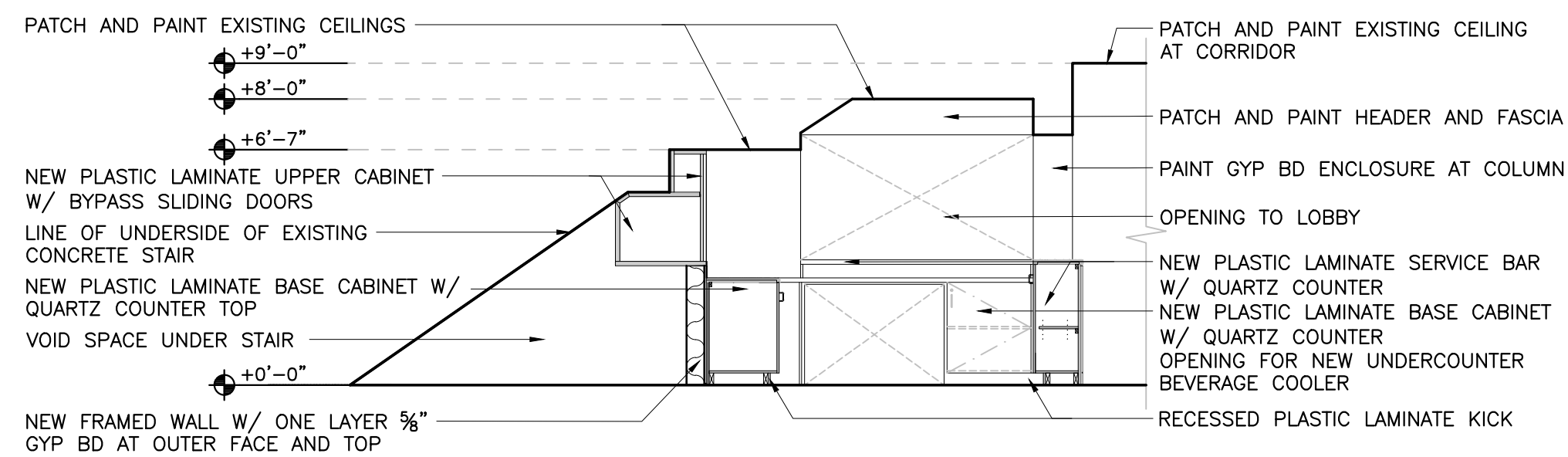
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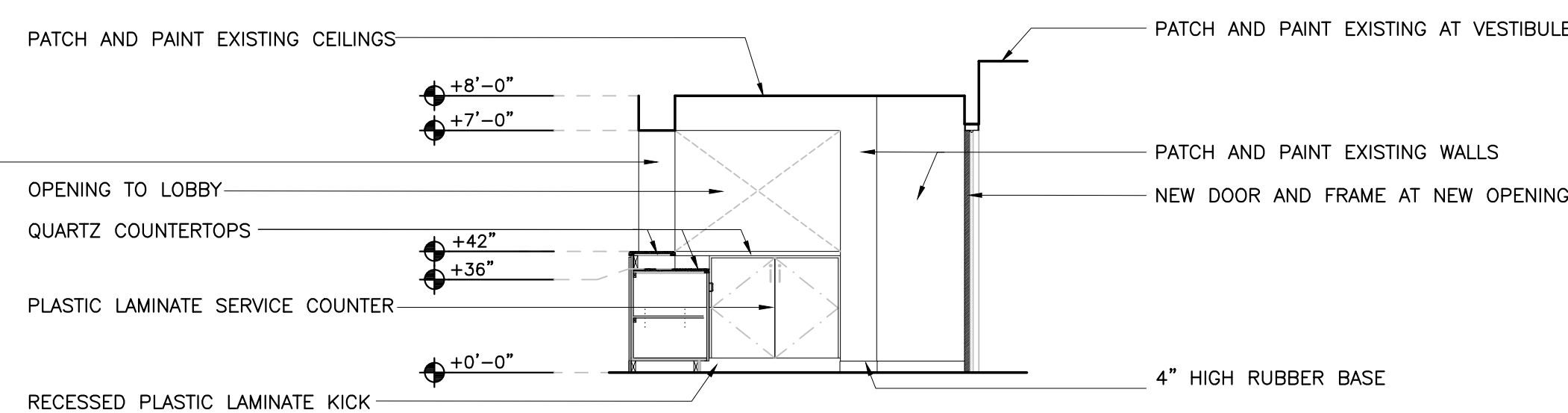
G. CONCESSIONS / BAR PLAN AT COUNTER



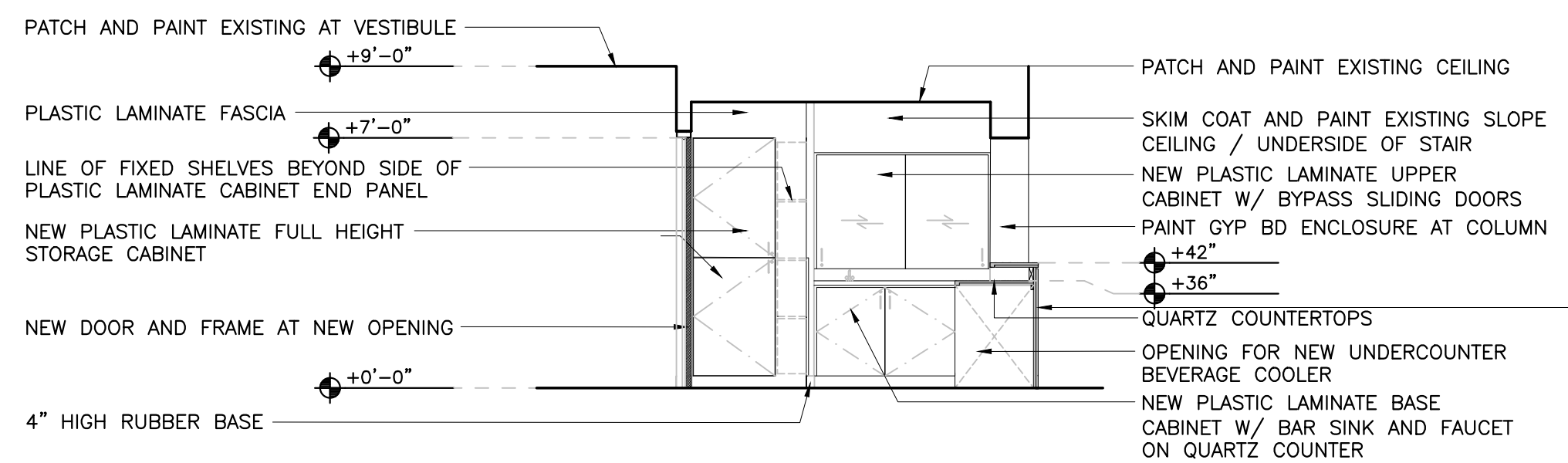
H. CONCESSIONS / BAR PLAN BELOW COUNTER



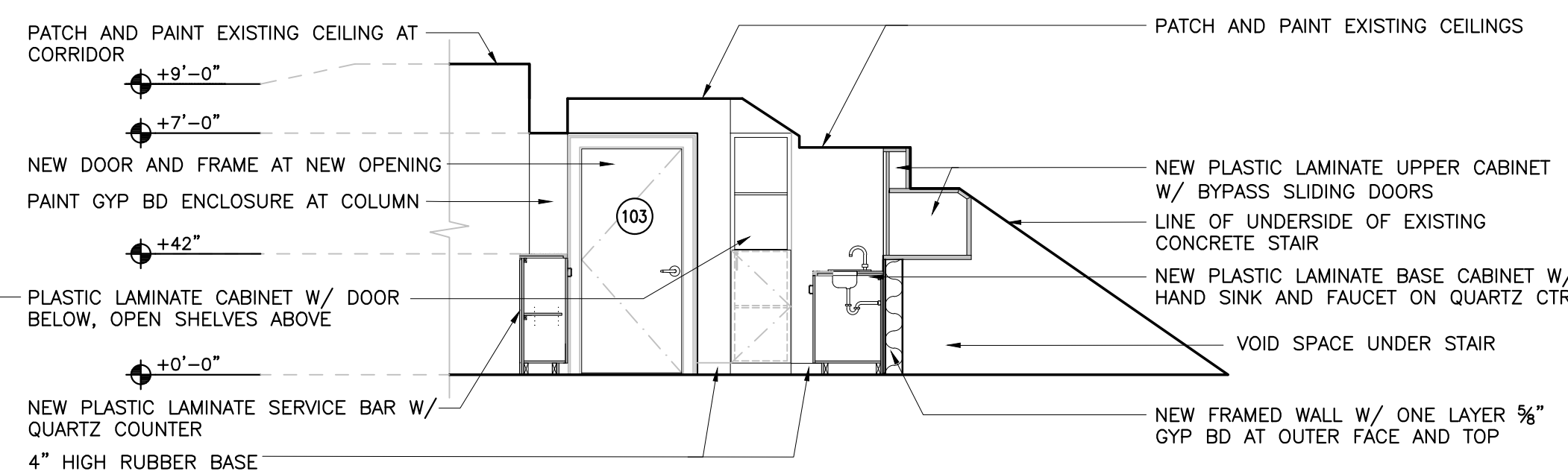
J. CONCESSIONS SECTION / ELEVATION LOOKING NORTH



K. CONCESSIONS SECTION / ELEVATION LOOKING EAST



L. CONCESSIONS SECTION / ELEVATION LOOKING WEST



M. CONCESSIONS SECTION / ELEVATION LOOKING SOUTH

## 2 LOBBY CONCESSIONS BAR PLANS AND ELEVATIONS

SCALE: 1/4" = 1'-0"



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**OLD SCHOOL SQUARE  
INTERIOR RENOVATIONS**  
51 N SWINTON AVE  
DELRAY BEACH, FL 33444

DRAWN BY: AJ  
CHECKED BY: GD  
DATE: 07/26/2019

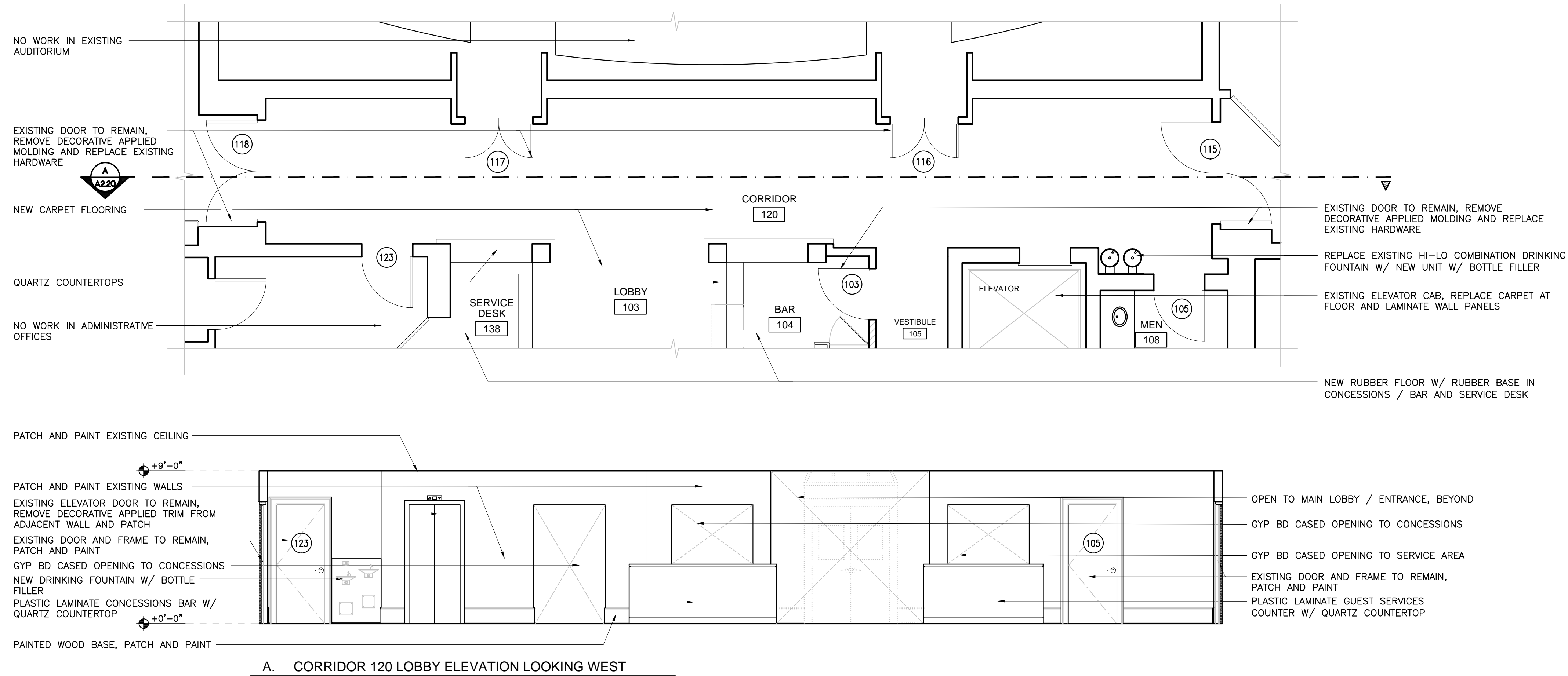
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PROJECT #1909

**A2.10**

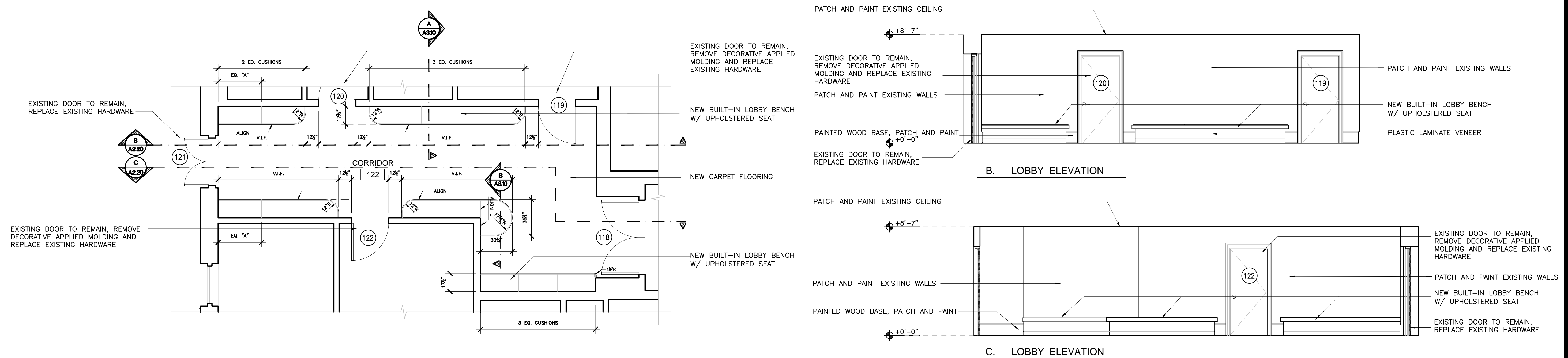
BOX OFFICE & LOBBY  
BAR PLANS & ELEVATIONS





# 1 FOYER LOBBY PLANS AND ELEVATIONS

SCALE: 1/4" = 1'-0"



# 2 LOBBY PLANS AND ELEVATIONS

SCALE: 1/4" = 1'-0"

**WALTERS ZACKRIA ARCHITECTS**

5813 N. ANDREWS WAY  
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PHONE: (954) 522-4123  
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Abbas H. Zackria, FL AR 91520  
Florida Registration: AA2600970

CORPORATE NAME: WALTERS ZACKRIA ASSOCIATES, PLLC REGISTERED IN THE STATE OF FLORIDA. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THESE DRAWINGS ARE THE PROPERTY OF WALTERS ZACKRIA ASSOCIATES, PLLC, AND SHALL NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION FROM A PRINCIPAL OF THE FIRM OR BE LIABLE FOR THE FULLEST LEGAL RECOURSE. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF WORK.

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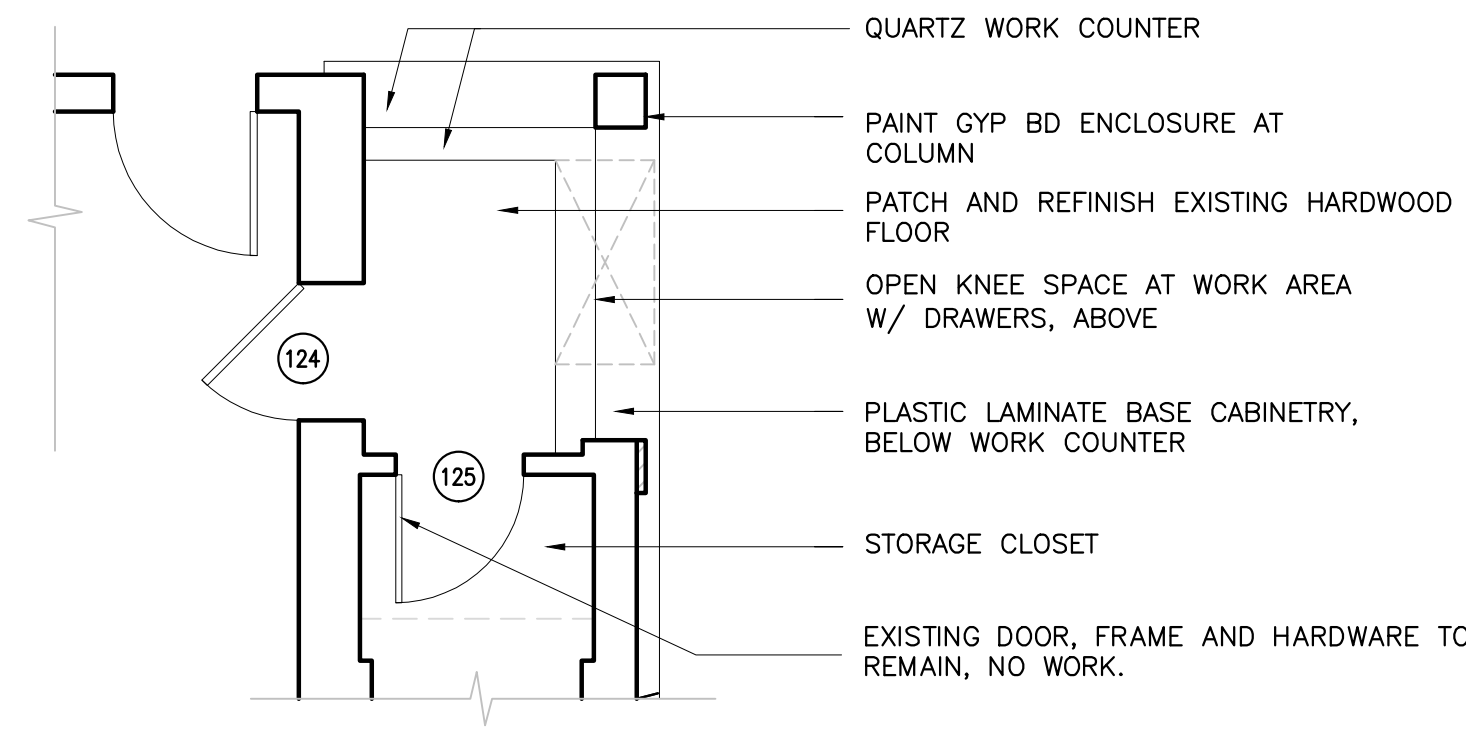
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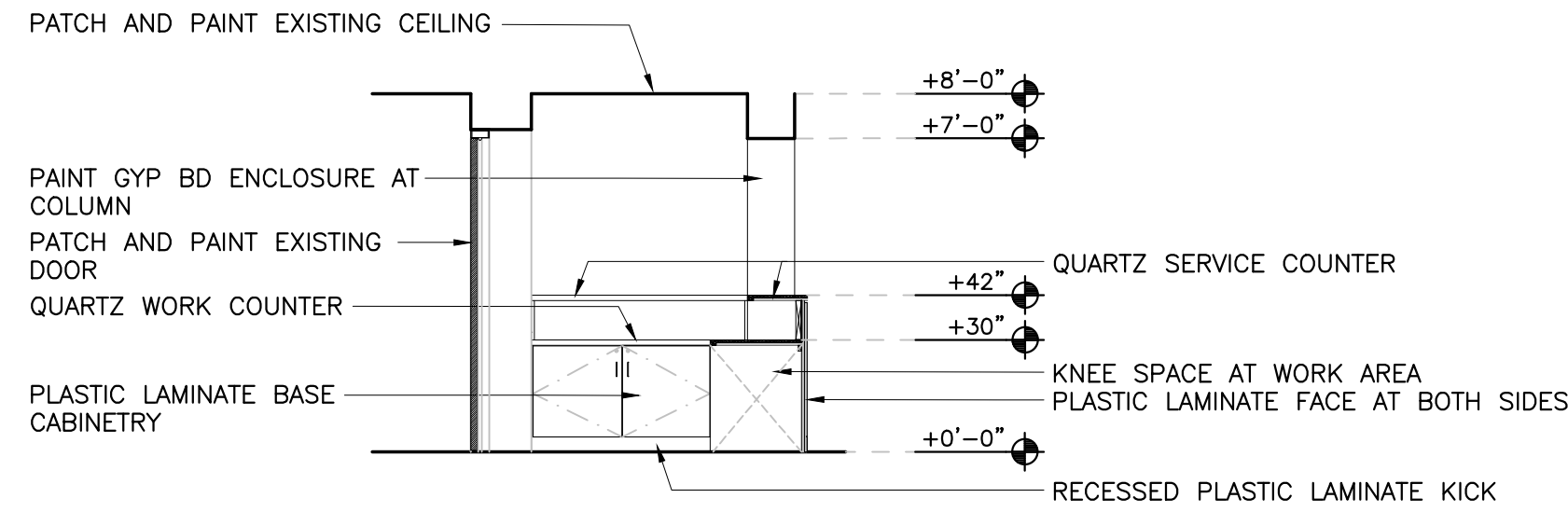
**A2.20**

LOBBY PLANS & ELEVATIONS

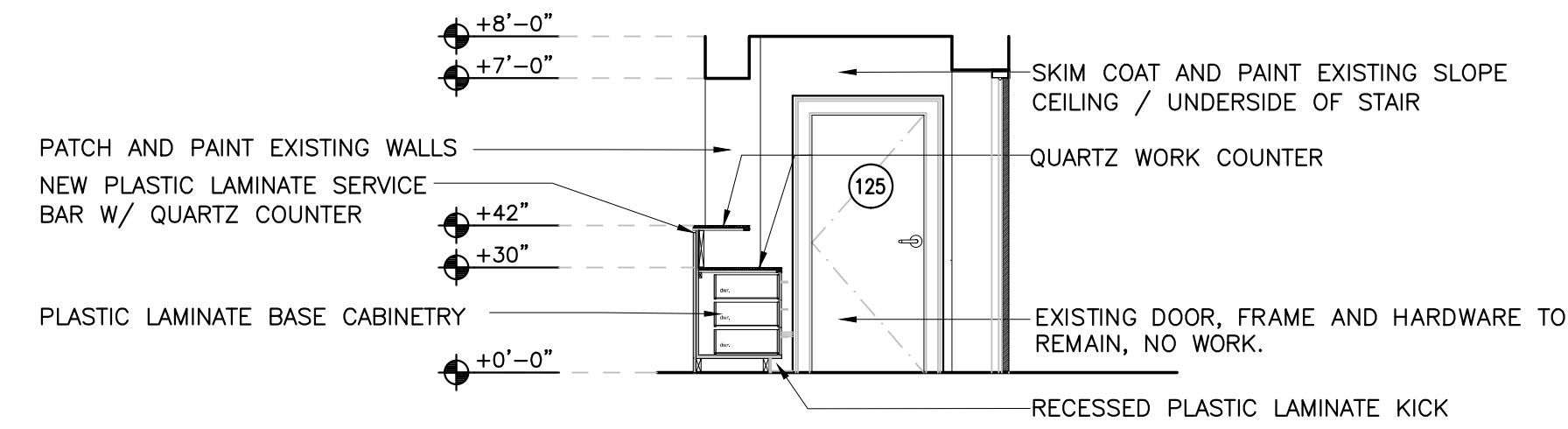




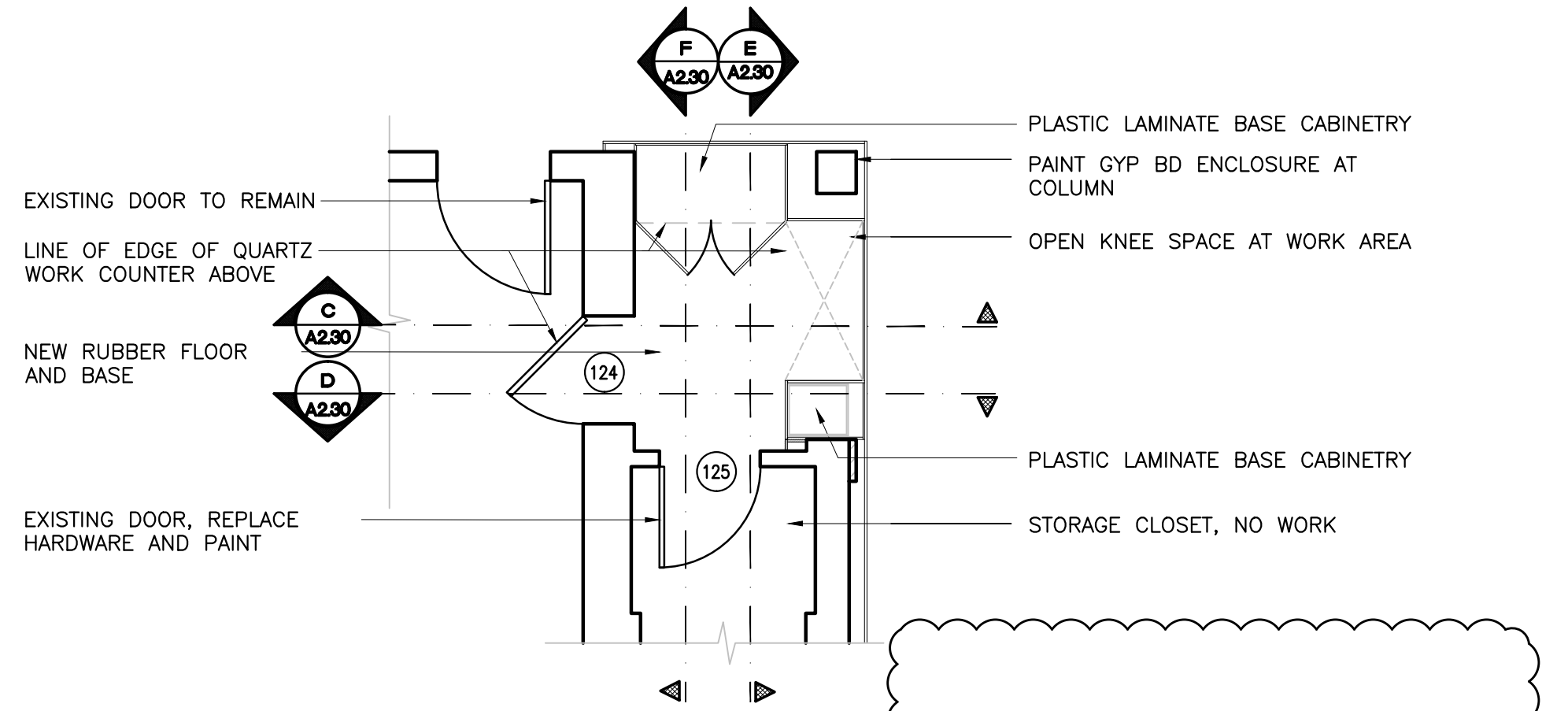
A. INFORMATION DESK PLAN AT COUNTER



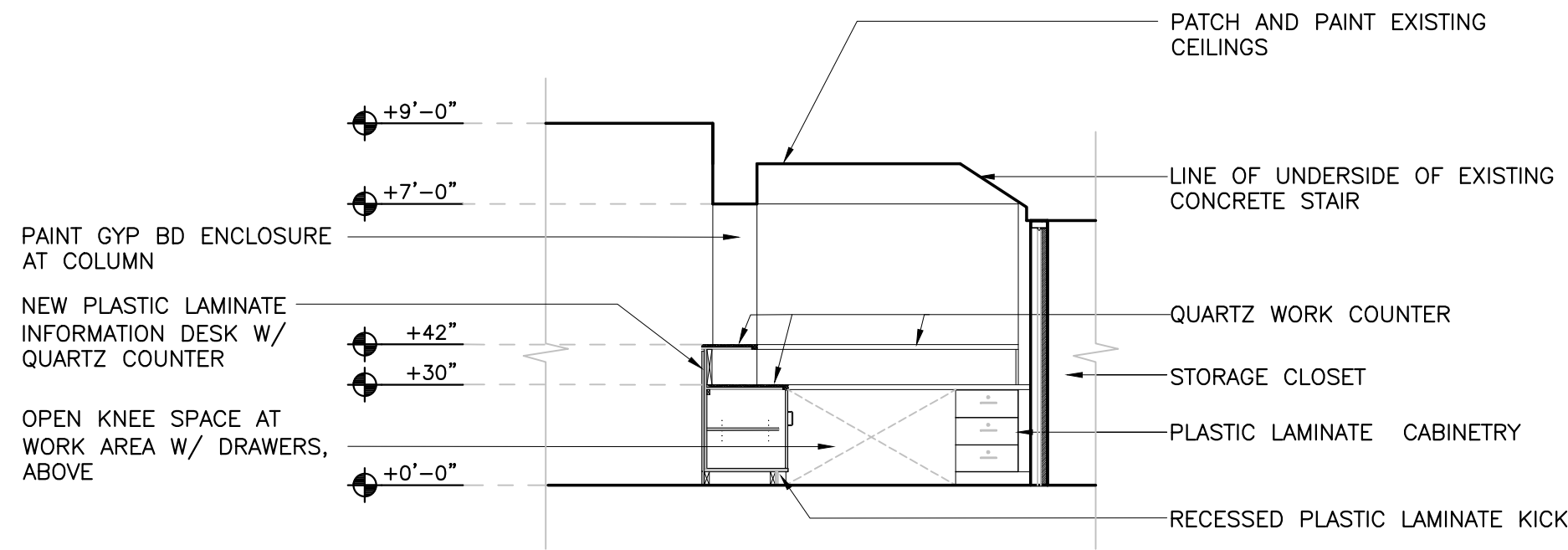
C. INFORMATION DESK SECTION / ELEVATION LOOKING EAST



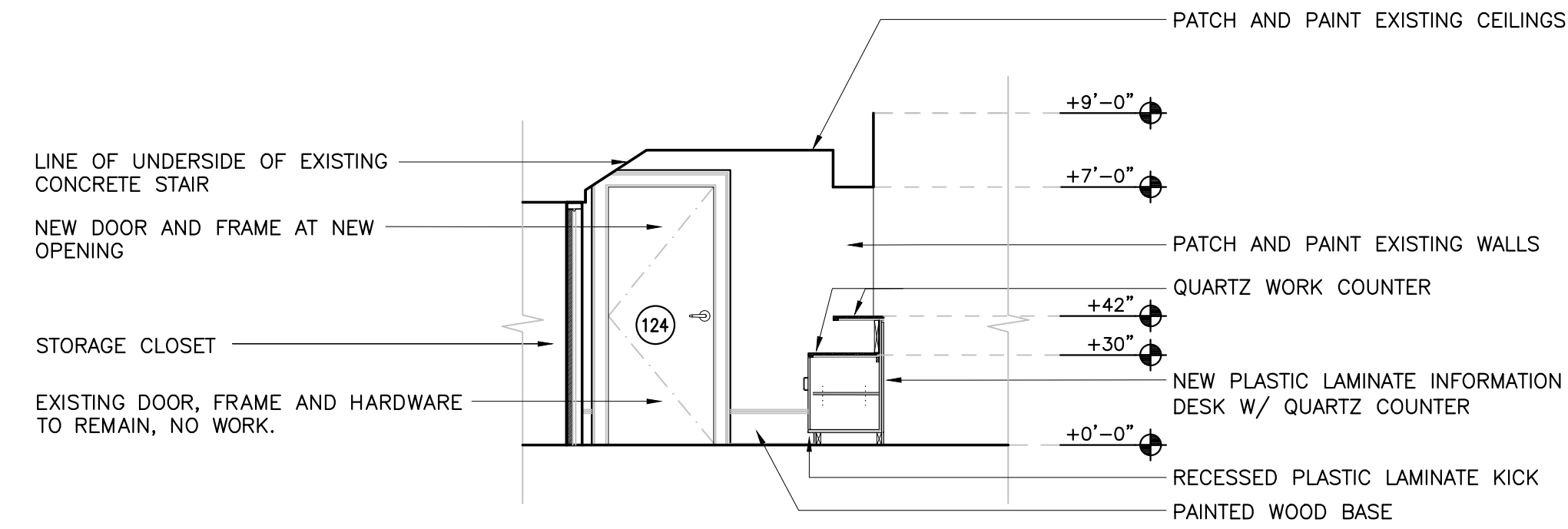
D. INFORMATION DESK SECTION / ELEVATION LOOKING WEST



B. INFORMATION DESK PLAN BELOW COUNTER



E. INFORMATION DESK SECTION / ELEVATION LOOKING SOUTH



F. INFORMATION DESK SECTION / ELEVATION LOOKING NORTH

# 1 INFORMATION DESK PLANS AND ELEVATIONS

SCALE: 1/4" = 1'-0"

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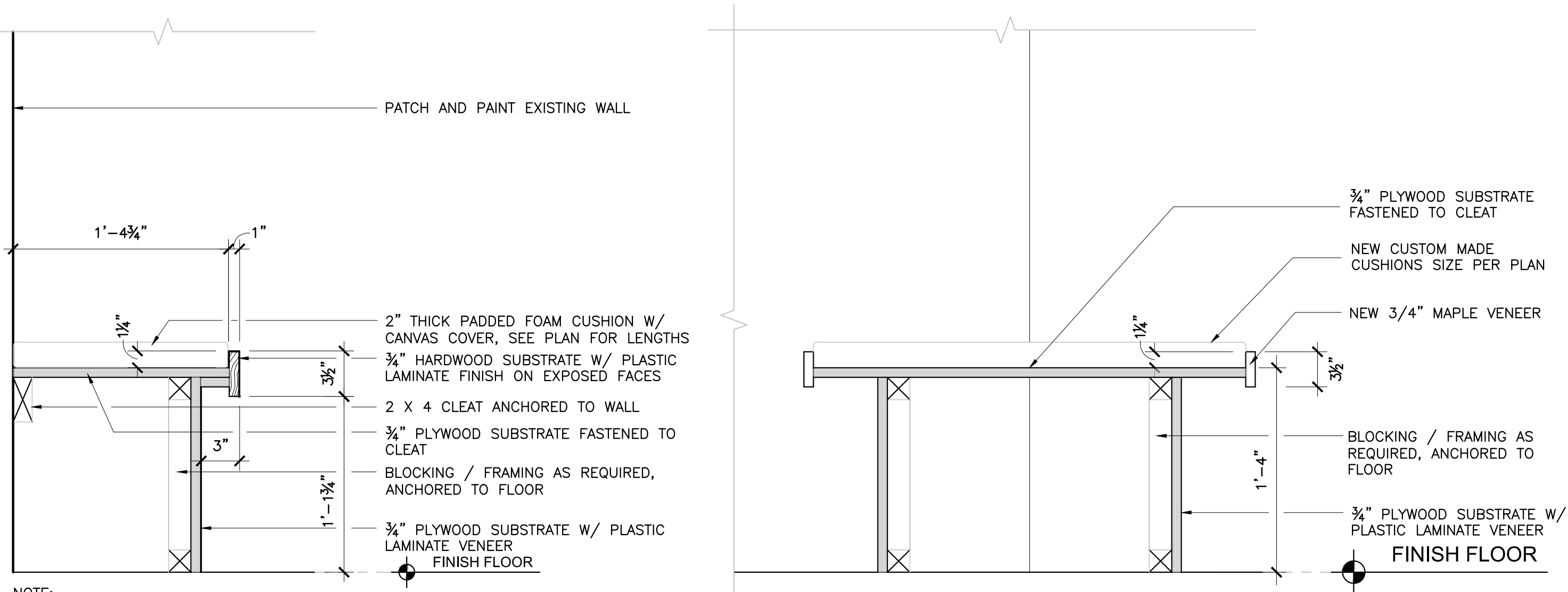
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 REVISIONS:  
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PROJECT #1909

**A2.30**

INFORMATION DESK  
PLANS & ELEVATIONS

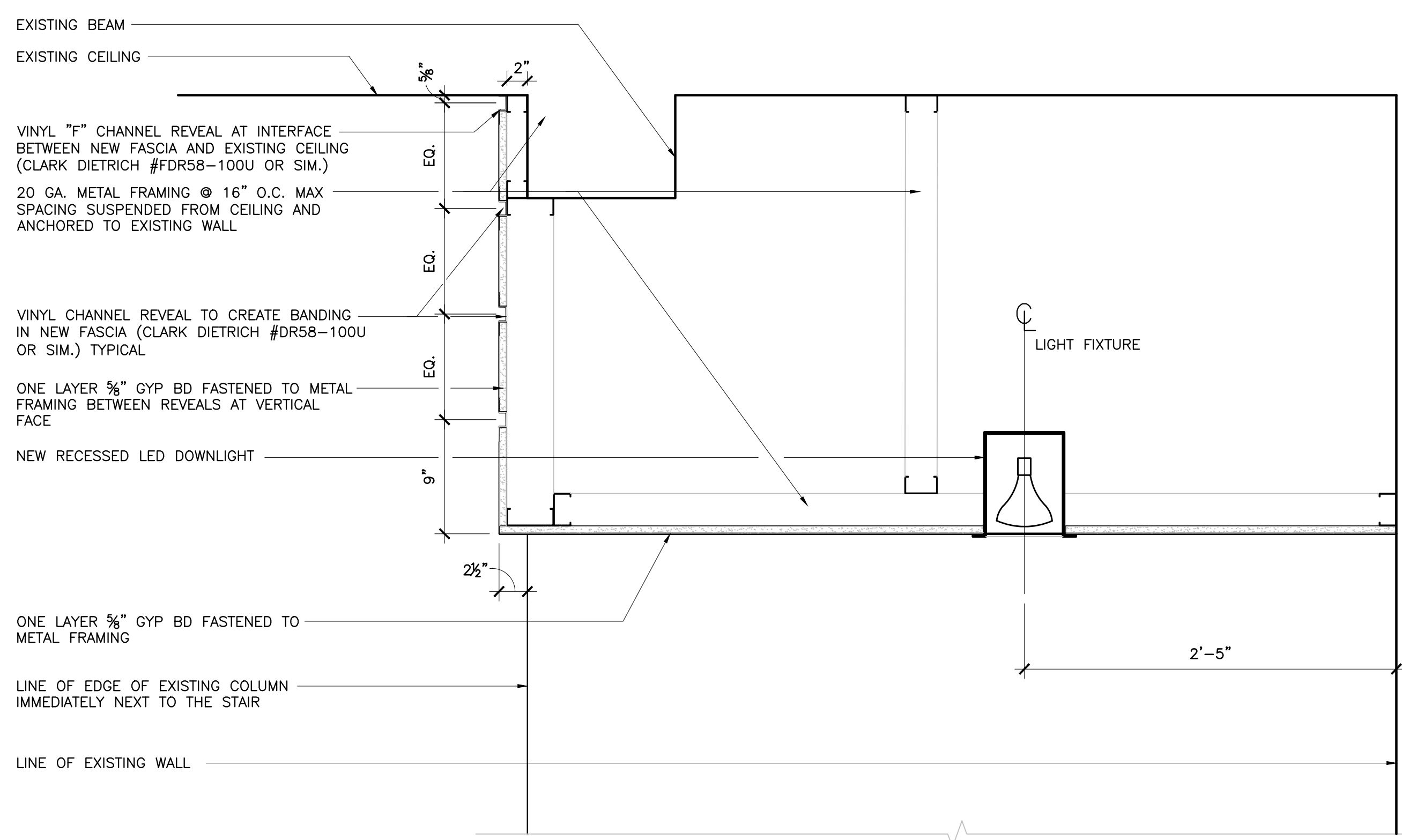




NOTE:  
PROVIDE REMOVABLE CUSHION COVERS W/ ZIPPERS AT BACK EDGE.

A. TYPICAL SECTION AT BUILT-IN LOBBY BENCH      B. SECTION AT LOBBY BENCH – OPEN END CONDITION

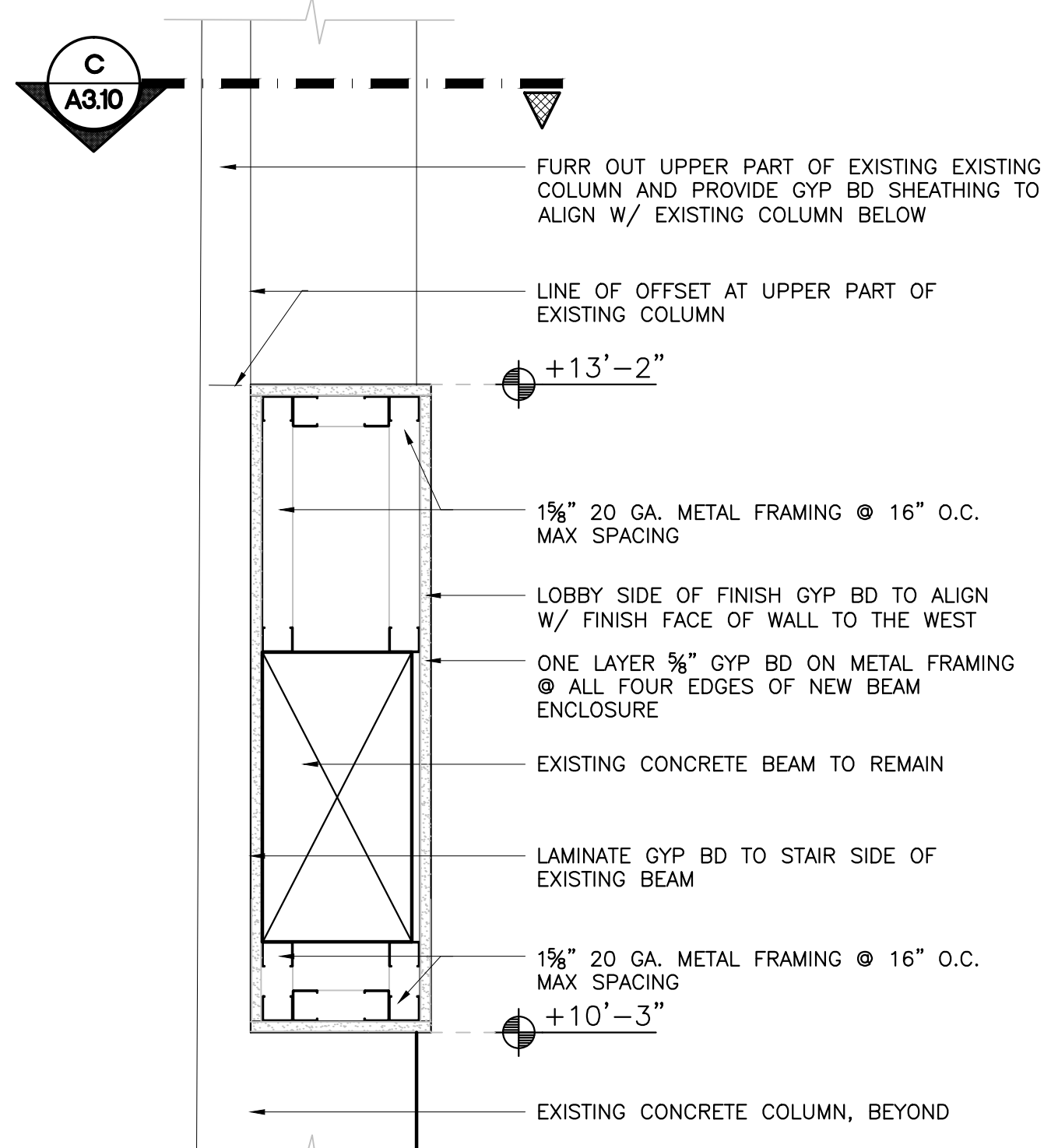
**1** TYPICAL SECTION AT BUILT-IN LOBBY BENCH  
SCALE: 1-1/2" = 1'-0"



NOTE:  
PROVIDE CORNER BEADS AT OUTSIDE CORNERS, TAPE SPACKLE SAND AND PAINT, FINISH TO MATCH EXISTING ADJACENT SURFACES.  
EXTEND ALL FIRE SPRINKLER HEADS TO UNDERSIDE OF NEW SOFFIT AND PROVIDE NEW COVERS FOR CONCEALED HEADS.  
DETAIL IS TYPICAL FOR BOTH SIDES OF LOBBY, ABOVE EACH STAIR.

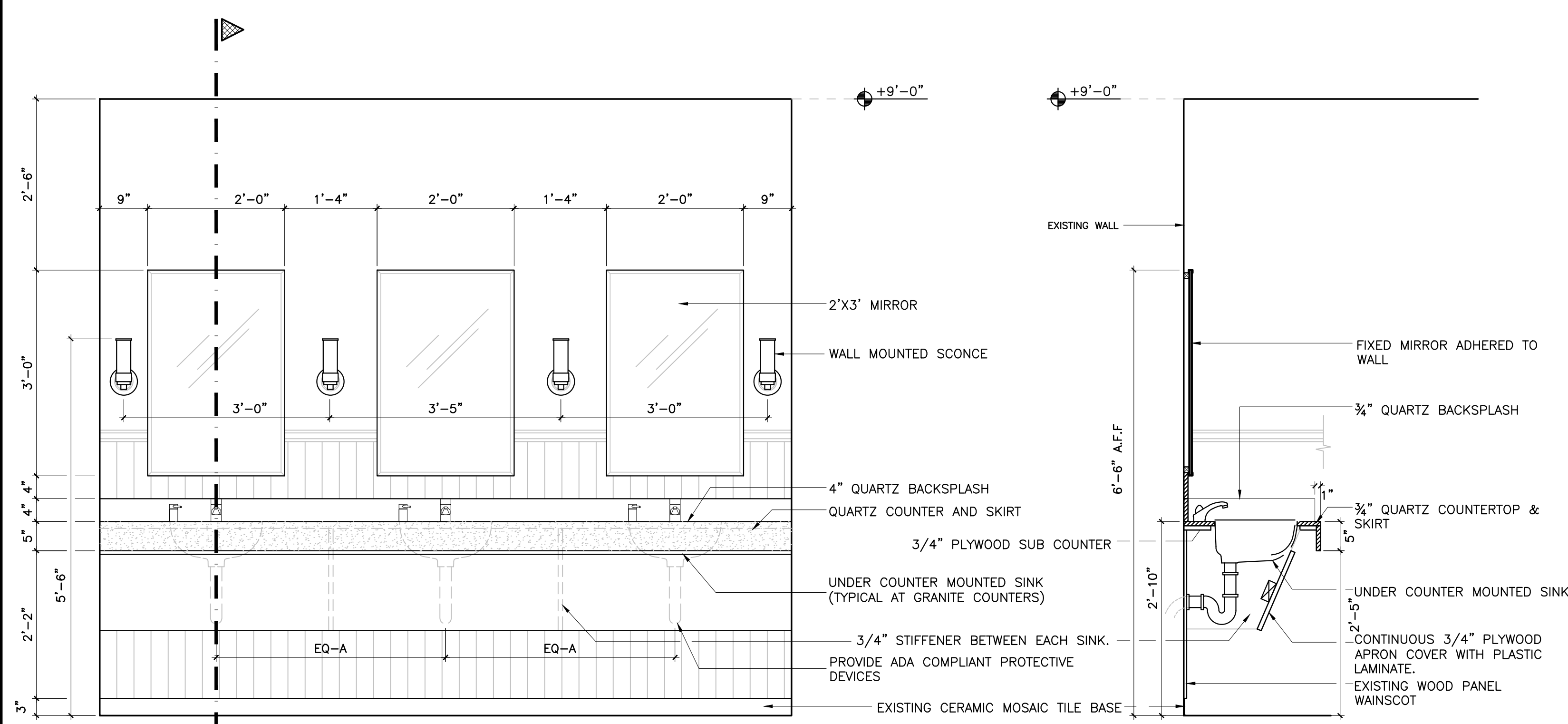
C. TYPICAL SECTION AT BUILT-IN LOBBY BENCH

**3** SECTION DETAIL AT NEW SUSPENDED SOFFITS ABOVE STAIRS  
SCALE: 1-1/2" = 1'-0"



FURRED LOBBY BEAM SECTION DETAIL

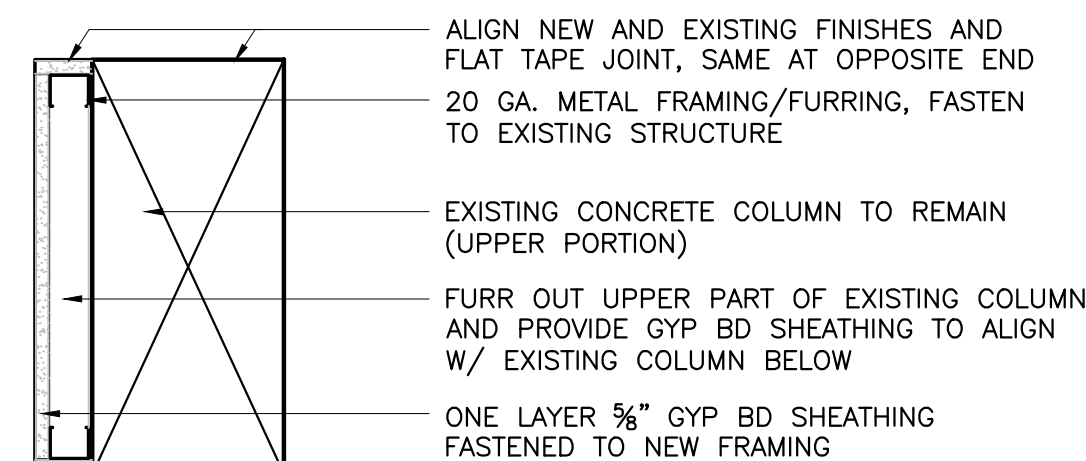
**2** DETAIL AT BEAM / CLOUMN IN LOBBY  
SCALE: 1-1/2" = 1'-0"



NOTE:  
PROVIDE PAINTED WOOD BLOCKING BEHIND MIRROR SO THAT THE BOTTOM OF MIRROR IS ATACHED DIRECTLY ONTO WOOD WAINSCOT. TRIM WOOD CAP MOLDING AT TOP OF WAINSCOT IN AREA BEHIND MIRROR.

D. VANITY SECTION DETAIL

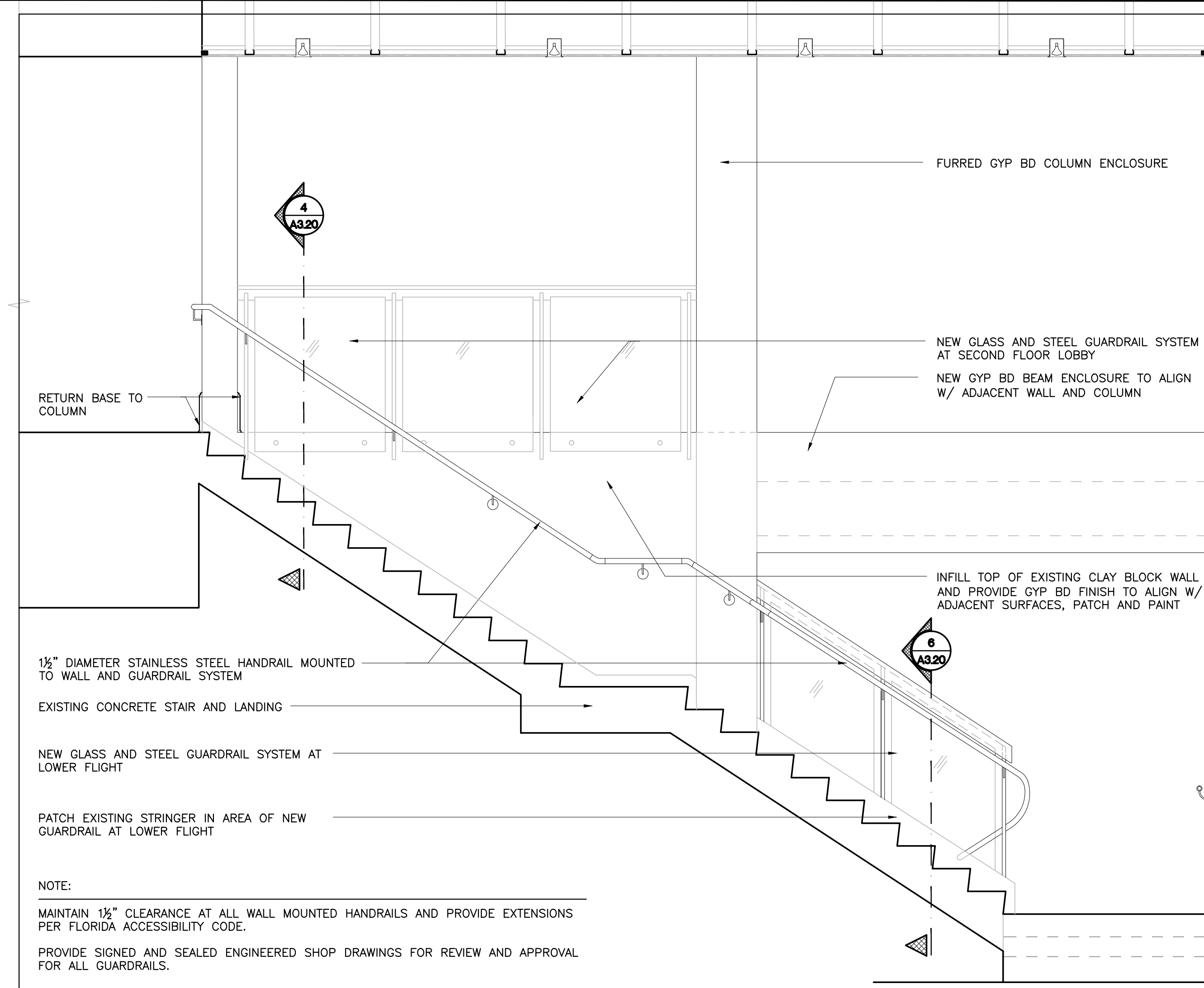
**4** RESTROOM VANITY ELEVATION AND SECTION DETAIL  
SCALE: 3/4" = 1'-0"



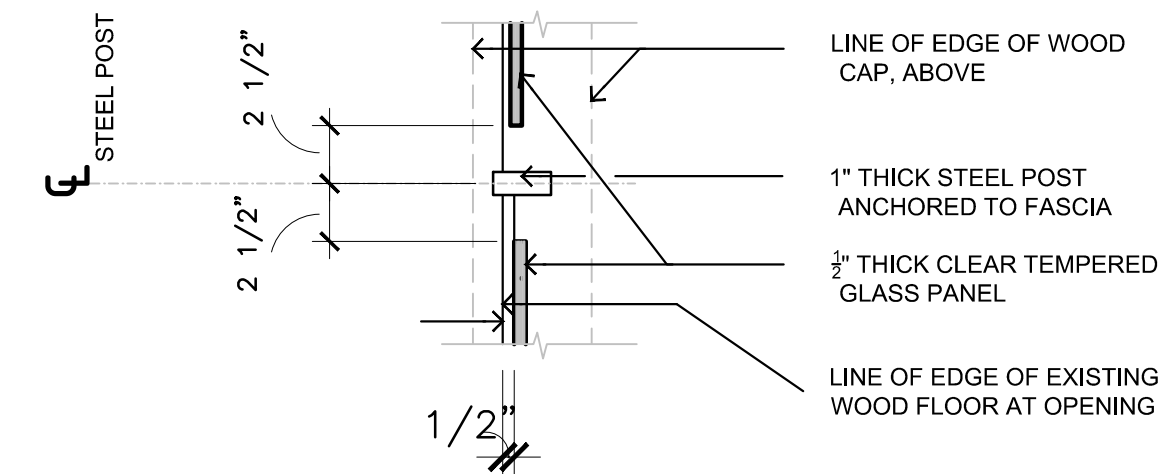
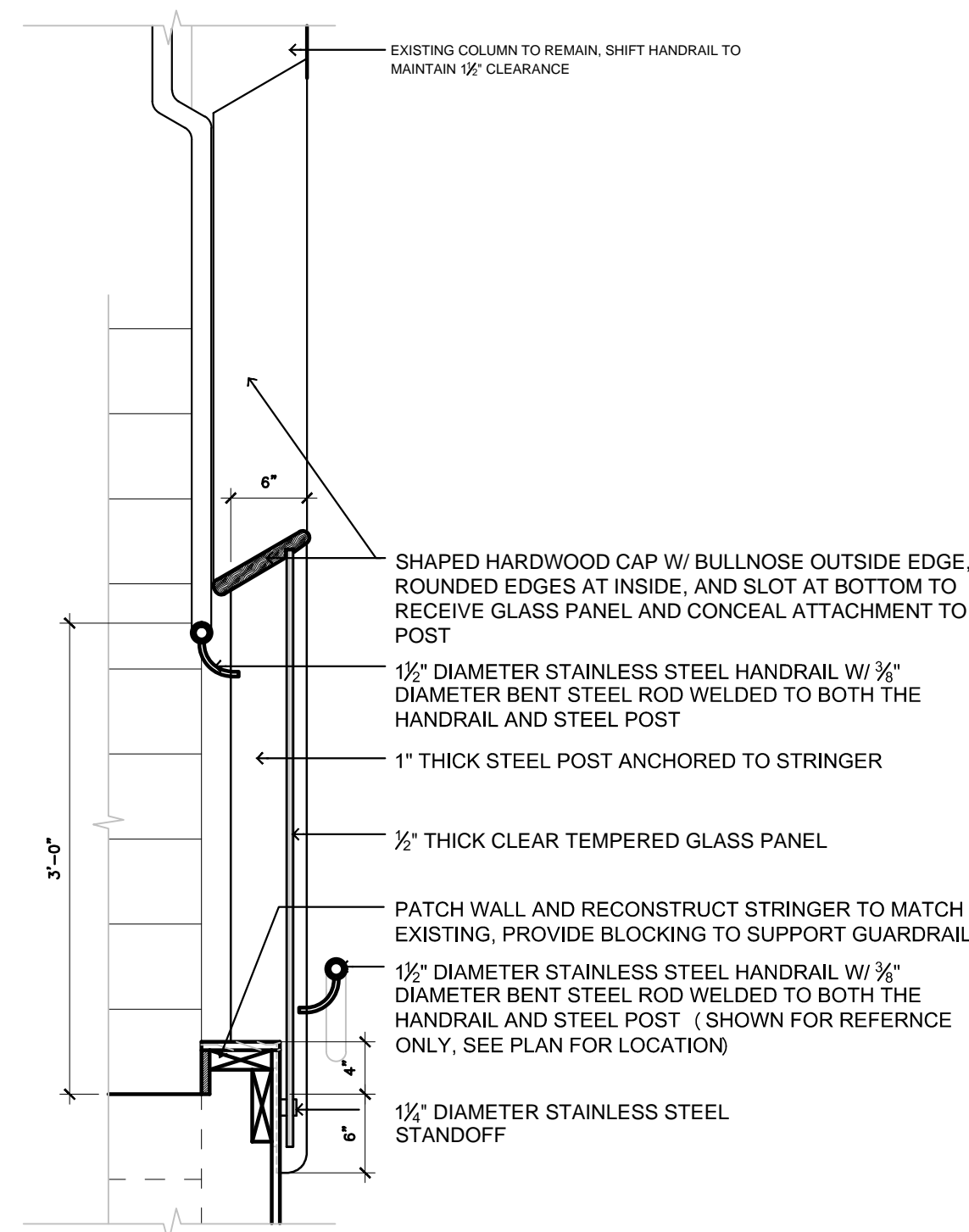
C. PLAN DETAIL @ FURRED LOBBY COLUMN

NOTE:  
PROVIDE CORNER BEADS AT OUTSIDE CORNERS, TAPE SPACKLE SAND AND PAINT, FINISH TO MATCH EXISTING ADJACENT SURFACES.  
DETAILS ARE TYPICAL AT EACH SIDE OF LOBBY.  
GYP BD SHEATHING SHALL BE BLUEBOARD W/ SKIM COAT PLASTER FINISH TO MATCH ADJACENT EXISTING WALL SURFACES

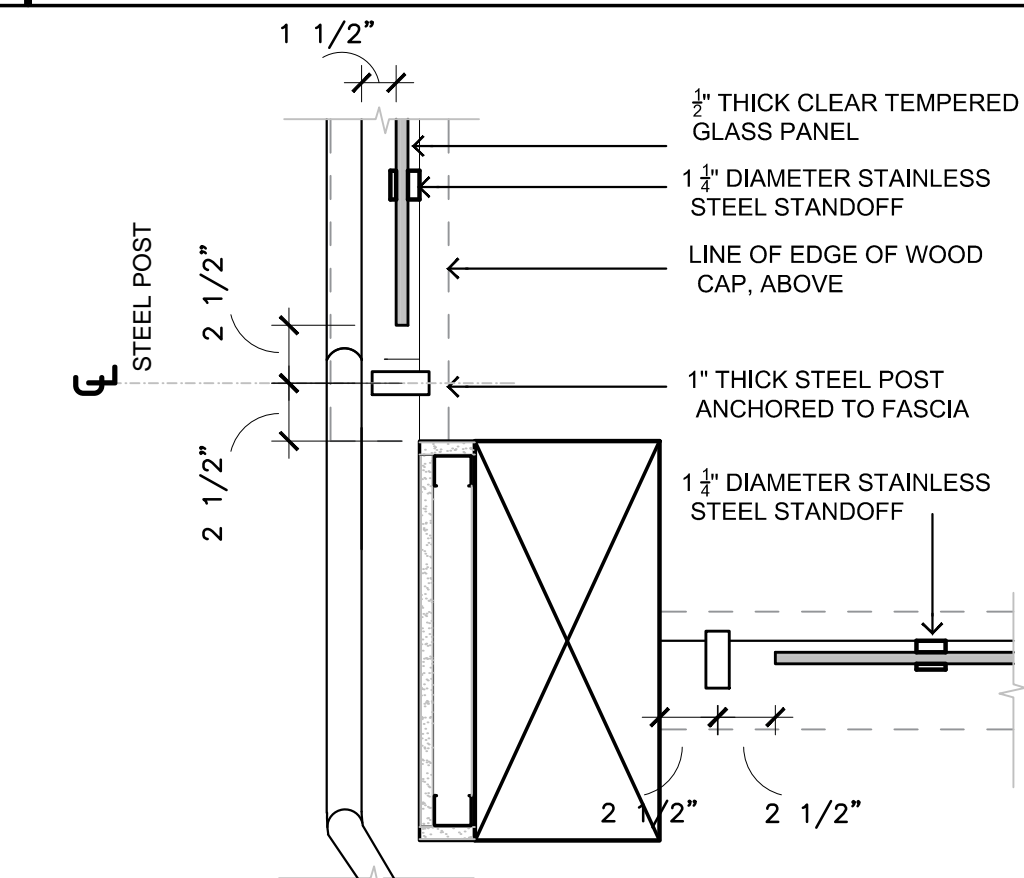




SCALE: 1/2" = 1'-0"

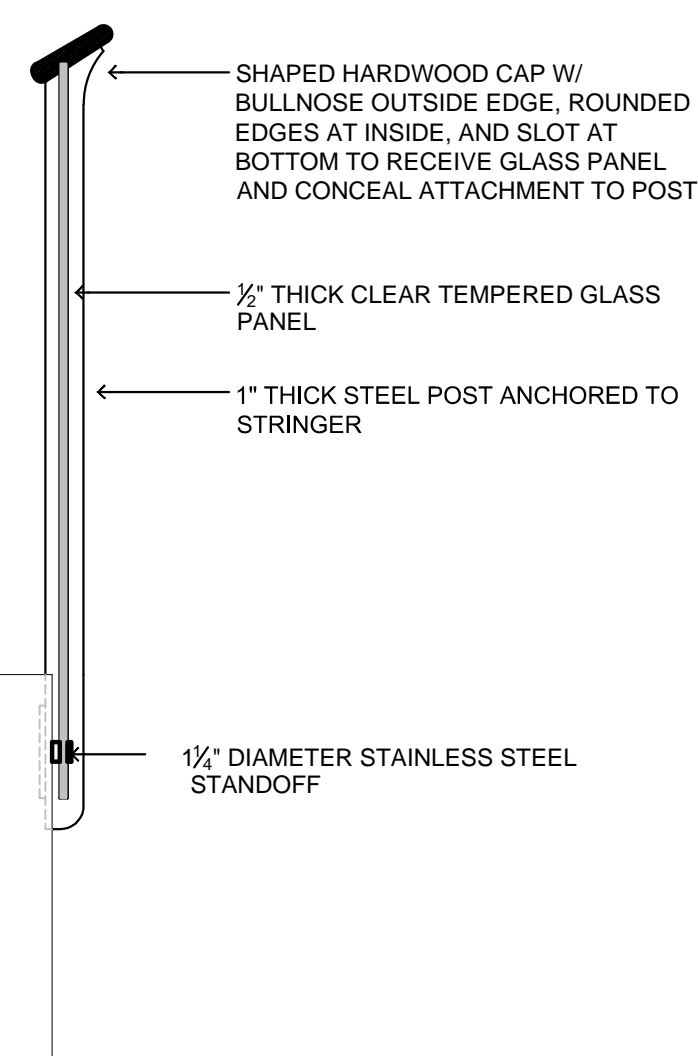


SCALE: 1-1/2" = 1'-0"

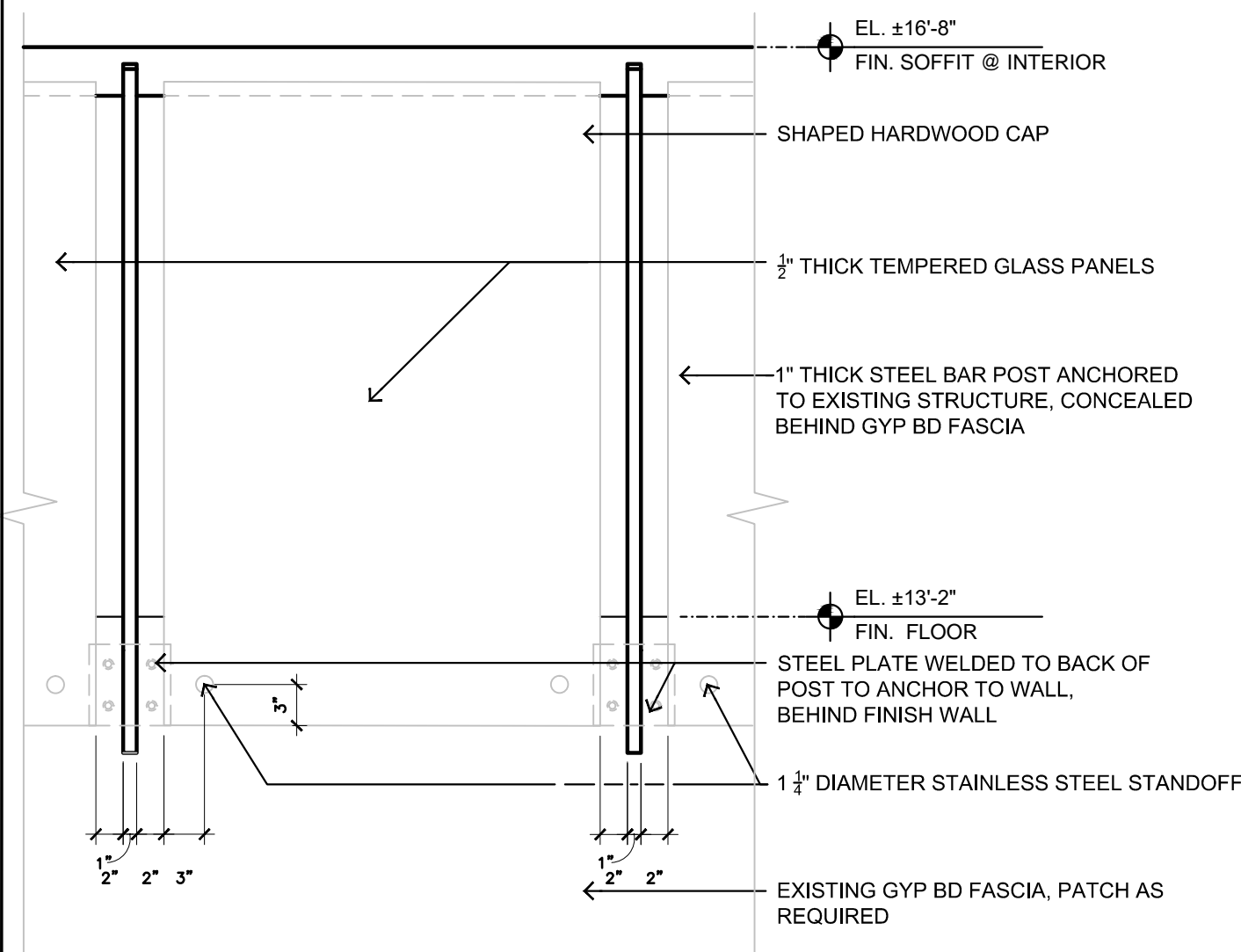


SCALE: 1-1/2" = 1'-0"

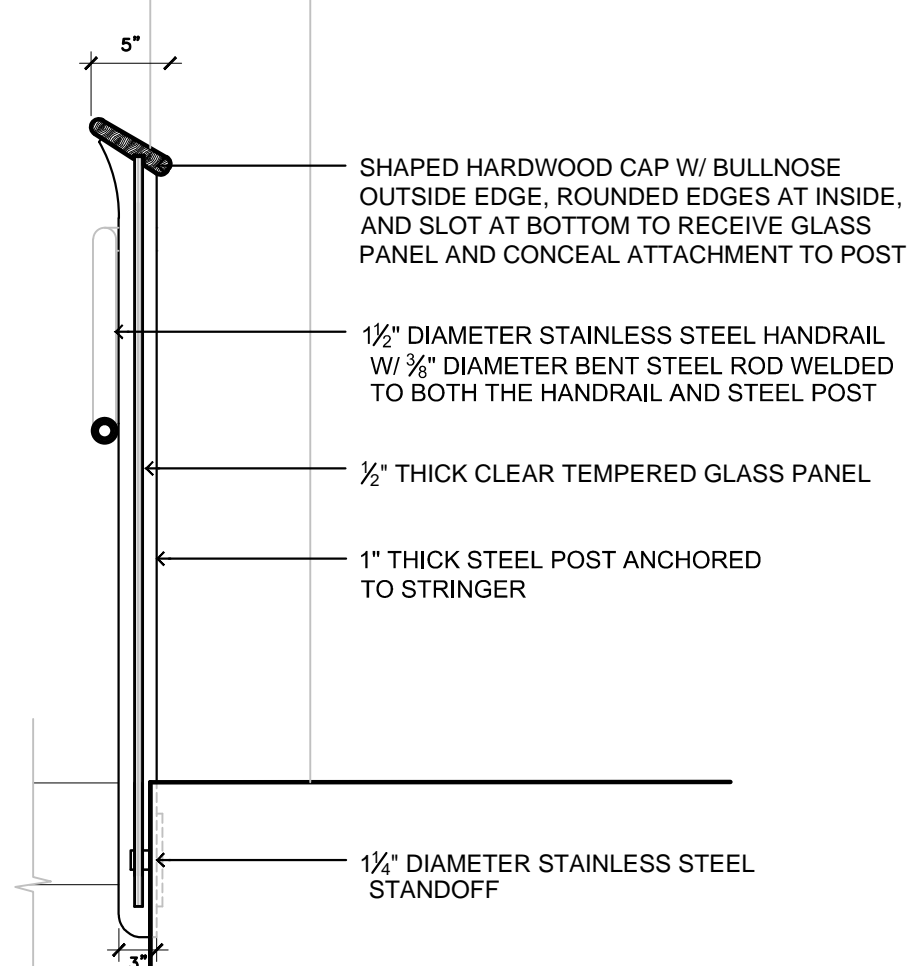
SCALE: 1/2" = 1'-0"



SCALE: 1" = 1'-0"



SCALE: 1" = 1'-0"



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SCALE: 1-1/2" = 1'-0"

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RAILING DETAILS



ROOM FINISH SCHEDULE											
NO.	ROOM NAME	FLOORS		WALLS				CEILING			REMARKS
		FLOOR	BASE	NORTH	SOUTH	EAST	WEST	MATERIAL	FINISH	HEIGHT	
101	FOYER	CPT-1/WOOD	WD-1	PAINT	PAINT	PAINT	PAINT	EX-GWB/P	PAINT	25'-0" / 10'-3"	-
102	BOX OFFICE	WOOD	WD-1	PAINT	PAINT	PAINT	PAINT	EX-GWB/P	PAINT	10'-3"	PL-Q
103	LOBBY	CPT-1/WOOD	WD-1	PAINT	PAINT	PAINT	PAINT	NW+EX-GWB/P	PAINT	25'-0" / 10'-3"	-
104	BAR	RT-1	RB=1	PAINT	PAINT	PAINT	PAINT	NW+EX-GWB/P	PAINT	8'-0"	PL-Q
105	VESTIBULE	CPT-1	WD-1	PAINT	PAINT	PAINT	PAINT	EX-GWB/P	PAINT	9'-0"	-
106	WOMEN	EX-TL1	EX-TL1	PAINT	PAINT	PAINT	PAINT	EX-GWB/P	PAINT	9'-0"	QCTS-PLA
107	E.M.R										
108	MEN	EX-TL1	EX-TL1	PAINT	PAINT	PAINT	PAINT	EX-GWB/P	PAINT	9'-0"	QCTS-PLA
109	CLOSET										
110A	LOUNGE										
110B	MEETING ROOM										
111	CLOSET										
112	VESTIBULE										
113	OCEAN BREEZE										
114	SERVICE BAR										
115	MECHANICAL										
116	WOMEN										
117	MEN										
118	KITCHEN										
119	CORRIDOR	CPT-1	WD-1	PAINT	PAINT	PAINT	PAINT	EX-GWB/P	PAINT	9'-0"	-
120	CORRIDOR	CPT-1	WD-1	PAINT	PAINT	PAINT	PAINT	EX-GWB/P	PAINT	9'-0"	-
121	AUDITORIUM										
122	CORRIDOR	CPT-1	WD-1	PAINT	PAINT	PAINT	PAINT	EX-GWB/P	PAINT	8'-9"	PL-UC
123	ELECTRICAL										
124	MECHANICAL										
125	STORAGE										
126	OFFICE										
127	CLOSET										
128	OFFICE										
129	OFFICE										
130	OFFICE										
131	STORAGE										
132	COPY										
133	HALL										
134	OFFICE										
135	OFFICE										
136	STORAGE										
137	WORKROOM										
138	SERVICE DESK	RT-1	RB=1	PAINT	PAINT	PAINT	PAINT	EX-GWB/P	PAINT	8'-0"	PL-Q
139	STORAGE										
201	LOBBY	CPT-1	WD-1	PAINT	PAINT	PAINT	PAINT	EX-GWB/P	PAINT	11'-10" / 9'-0"	SGW-R
202	MECHANICAL										
203	???										
204	STORAGE										
205	STUDIO 3										
206	LOBBY	CPT-1	WD-1	PAINT	PAINT	PAINT	PAINT	EX-GWB/P	PAINT	9'-0"	-
207	VESTIBULE										
208	MEN										
209	WOMEN										
210	STUDIO 4										
211	MECHANICAL										
212	STUDIO 5										
213	STUDIO 6										
214	STORAGE										
215	ELECTRICAL										
216	VESTIBULE										
217	BALCONY										
218	STORAGE										
219	STUDIO 1										
220	STORAGE										
221	STORAGE										
222	STUDIO 2										
223	OFFICE										
224	OFFICE										
225	OFFICE										
226	HALL	CPT-1	WD-1	PAINT	PAINT	PAINT	PAINT	EX-GWB/P	PAINT	9'-0"	-
227	VESTIBULE										
228	JANITOR CLOSET										
229	MEN										
230	WOMEN										

FLOORING TYPES

CPT-1 : CARPET TYPE 1

MODULAR CARPET TO BE SELECTED, PROVIDE BROADLOOM CARPET TO MATCH ON TREADS AND RISERS. PROVIDE A \$30.00/ SQ. YD. ALLOWANCE

WOOD : EXISTING HARDWOOD

EXISTING HARDWOOD FLOORS TO REMAIN.CONTRACTOR TO INSPECT EXISTING FLOOR BOARDS FOR DAMAGE AND SHALL REPLACE DAMAGED BOARDS WITH SALVAGE MATERIAL. REFINISH EXPOSED HARDWOOD FLOOR AREAS.

RT-1 : RUBBER TILE

ROPPE 3/8" THICK 12 X 12 TILES WITH TEXTURED FINISH ADHERED TO FLOOR. COLOR TO BE SELECTED. PREPARE SUBSTRATE PER MANUFACTURER'S RECOMMENDATION.

BASE TYPES

WD-1 : WOOD BASE MOLDING

EXISTING BUILT UP WOOD BASE MOLDING WITH CAP AND COVE BASE. REMOVE AND SALVAGE BASE IN AREAS TO RECEVE NEW CABINETRY AND PATCH BASE TO MATCH EXISTING BASE AT AREAS WHERE WALL TO FLOOR TRANSITION EXISTS.PATCH AS REQUIRED AND PAINT FOR CONCEALED TRANSITION BETWEEN NEW AND EXISTING. PROFILES FOR ANY NEW MATERIAL WHICH MAY BE REQUIRED SHALL MATCH EXISTING.

RB-1 : 4" HIGH ROPPE BLACK RUBBER BASE

ROPPE 4" HIGH PINNACLE RUBBER BASE WITH STANDARD TOE. PROVIDE INSIDE AND OUTSIDE CORNER TRIM PIECES AS REQUIRED. COLOR TO BE SELECTED.

EX-TL1 : EXISTING CERAMIC TILE BASE TYPE 1

EXISTING 1 X 1 CERAMIC MOSAIC TILE COVE BASE IN THE EXISTING GROUND FLOOR PUBLIC RESTROOMS TO REMAIN. INSPECT EXISTING FLOOR FOR DAMAGE AND REPAIR OR REGROUT AS NECESSARY, PROTECT DURING REPLACEMENT OF PLUMBING FIXTURES, PAINTING, ETC. AND CLEAN UPON COMPLETION OF WORK.

CEILING TYPES

EX-GWB/P: EXISTING GYPSUM WALL BOARD OR PLASTER

PATCH EXISTING CEILING SURFACES UPON COMPLETION OF WORK, TEXTURE TO MATCH EXISTING ADJACENT FINISHES AND PAINT.

NW+EX-GWB/P: NEW AND EXISTING GYPSUM WALL BOARD OR PLASTER

COMINATION OF EXISTING CEILING AND NEW PATCH SURFACE, SOFFIT, OR HEADERS. PATCH EXISTING CEILING SURFACES UPON COMPLETION OF WORK, TEXTURE TO MATCH EXISTING ADJACENT FINISHES AND PAINT.

MISCELLANEOUS CLARIFICATION

PL-Q PLASTIC LAMINATE CABINETRY W/ QUARTZ COUNTERTOP

3/4" BIRCH VENEER PLYWOOD CARCASS W/ MATTE WHITE COLOR SOLID CORE LAMINATE ON ALL EXPOSED FACES AND EDGES, INTERIOR SHALL BE CLEAR LAQUERED FINISH. PROVIDE CONCEALED HINGES AND HEAVY DUTY DRAWER GLIDES AND COUNTERS SHALL BE 3/4" WHITE QUARTZ.

QCTS-PLA QUARTZ COUNTERTOP AND SKIRT W/ PLASTIC LAMINATE APRON TO CONCEAL PLUMBING

REPLACE EXISTING VANITY IN THE TWO PUBLIC RESTROOMS AT THE GROUND FLOOR WITH NEW COUNTERTOP, UNDERCOUNTER MOUNTED LAVATORIES AND FAUCET. SEE DETAILS ON 4/A3.10 FOR ADDITIONAL INFORMATION.

PL-UC PLASTIC CABINET BENCH CARCASS W/ UPHOLSTERED CUSHION AT SEAT

3/4" BIRCH VENEER PLYWOOD CARCASS W/ MATTE WHITE COLOR SOLID CORE LAMINATE ON ALL EXPOSED FACES AND EDGES. SEE DETAILS ON 1/A3.10 FOR ADDITIONAL INFORMATION.

SGW-R STEEL GLASS AND WOOD CUSTOM GUARDRAIL SYSTEM

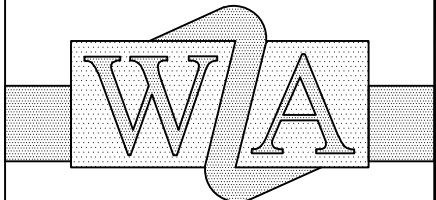
NEW GUARDRAIL SYSTEM AT LOBBY STAIRS AND SECOND FLOOR LOBBY OVERLOOK. SEE DETAILS ON SHEET NO. A3.20 FOR ADDITIONAL INFORMATION.

ELEVATOR FINISHES NOTES

REPLACE CARPET ON ELEVATOR FLOOR WITH NEW CARPET TO MATCH FLOORING IN THE LOBBY. ALL OTHER COSMETIC IMPROVEMENTS TO THE INTERIOR OF THE ELEVATOR CAB SHALL BE PART OF THE PHASE 2 IMPROVEMENTS.

NOTE:

SHADED CELLS IN THE ROOM FINISH SCHEDULE INDICATE ROOMS AND SPACES THAT ARE OUTSIDE THE SCOPE OF WORK FOR THIS PROJECT.



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B 04oct19 Coord.+Owner Changes  
C 11dec19 Coordination  
D

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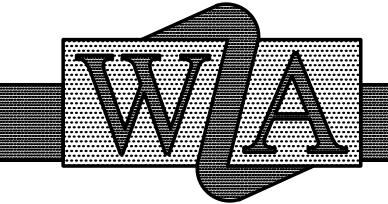
ROOM FINISHES  
SCHEDULE



DOOR SCHEDULE																																	
	DOOR NUMBER	DOORS										FRAME		MINIMUM FIRE LABEL	HARDWARE										MOLDING				REMARKS				
		SLABS	ROOM NO.		SIZE			MAT'L	TYPE SEE ELEV	FINISH	MAT'L	FINISH	HINGES		LOCKSET	DEAD BOLT	PUSH / PULL	PUSH PLATES	CLOSER	PANIC HARDWARE	FLUSH BOLT	E.M. HOLD OPEN	WALL STOP	FLOOR STOP	KICK PLATES	WEATHERSTRIPPING	REMOVE 1 SIDE	REMOVE 2 SIDES		TO REMAIN	NONE EXISTS		
			FROM	TO	W	H	TH																										
FIRST FLOOR	101	EXISTING	FOYER 101	EXTERIOR	4'-5"	7'-0"	1 3/4"	AL	-	-	-	-	-	6	E																SEE NOTES NO. 1, NO. 2 AND NO. 3.		
	102	NEW	FOYER 101	BOX OFFICE 102	-	-	-	-	-	-	-	-	-	3																	DOUBLE ACTION ACCESS GATE TO BE PART OF ADJACENT MILLWORK, INCLUDING HARDWARE		
	103	NEW	VESTIBULE 105	BAR 104	3'-0"	7'-0"	1 3/4"	WD	-	PAINT	HM	-	-	3	E																NEW DOOR SLAB AND FRAME W/ NEW HARDWARE. PROVIDE NEW HARDWARE, REMOVE DECORATIVE APPLIED MOLDING FROM BOTH FACES AND PAINT.		
	104	EXISTING	VESTIBULE 105	WOMEN 106	3'-3/4"	7'-0"	1 3/4"	WD	-	PAINT	-	-	-	3																			
	105	EXISTING	CORRIDOR 120	MEN 108	3'-0"	7'-0"	1 3/4"	WD	-	PAINT	-	-	-	3																	PROVIDE NEW HARDWARE, REPLACE LOCKSET W/ PUSH/PULL AND PATCH DOOR, REMOVE DECORATIVE APPLIED MOLDING FROM BOTH FACES AND PAINT.		
	106	EXISTING	E.M.R 107	MEN 108	2'-11"	7'-0"	1 3/4"	-	-	-	-	-	45 min	3	P																PROVIDE NEW HARDWARE.		
	107	EXISTING	CORRIDOR 119	LOUNGE 110	6'-0"	7'-0"	1 3/4"	WD	-	PAINT	-	-	45 min	6	P																SEE NOTE NO. 9.		
	108	EXISTING	CORRIDOR 119	LOUNGE 110	3'-0"	7'-0"	1 3/4"	WD	-	PAINT	-	-	45 min	3	P																SEE NOTE NO. 9.		
	109	EXISTING	CORRIDOR 119	CLOSET 111	2'-8"	7'-0"	1 3/4"	WD	-	PAINT	-	-	45 min	3	P																SEE NOTE NO. 9.		
	110	EXISTING	CORRIDOR 119	OCEAN BREEZE 113	4'-8"	7'-0"	1 3/4"	WD	-	PAINT	-	-	45 min	6	P																	SEE NOTE NO. 9.	
	111	EXISTING	CORRIDOR 119	WOMEN 116	2'-8"	7'-0"	1 3/4"	WD	-	-	-	-	-	-																		EXISTING DOOR, FRAME AND HARDWARE TO REMAIN IN THIS PHASE. SEE NOTE NO. 4.	
	112	EXISTING	CORRIDOR 119	MEN 117	2'-8"	7'-0"	1 3/4"	WD	-	-	-	-	-	-																		EXISTING DOOR, FRAME AND HARDWARE TO REMAIN IN THIS PHASE. SEE NOTE NO. 4.	
	113	EXISTING	CORRIDOR 119	KITCHEN 118	2'-8"	7'-0"	1 3/4"	WD	-	-	-	-	90 min																			EXISTING DOOR, FRAME AND HARDWARE TO REMAIN IN THIS PHASE. SEE NOTE NO. 17.	
	114	EXISTING	STORAGE 123	CORRIDOR 119	4'-0"	7'-0"	1 3/4"	WD	-	PAINT	-	-	90 min	3	P																	SEE NOTE NO. 9.	
	115	EXISTING	CORRIDOR 120	CORRIDOR 120	6'-0"	7'-0"	1 3/4"	WD	-	PAINT	-	-	60 min	6																		PROVIDE NEW HARDWARE, REMOVE DECORATIVE APPLIED MOLDING FROM BOTH FACES AND PAINT.	
	116	EXISTING	AUDITORIUM 121	CORRIDOR 120	4'-0"	7'-0"	1 3/4"	WD	-	PAINT	-	-	60 min	6	E																	SEE NOTE NO. 6 AND NOTE NO. 7.	
	117	EXISTING	AUDITORIUM 121	CORRIDOR 120	4'-0"	7'-0"	1 3/4"	WD	-	PAINT	-	-	60 min	6	E																	SEE NOTE NO. 6 AND NOTE NO. 7.	
	118	EXISTING	CORRIDOR 120	CORRIDOR 122	6'-0"	7'-0"	1 3/4"	WD	-	PAINT	-	-	60 min	6	P																	PROVIDE NEW HARDWARE, REMOVE DECORATIVE APPLIED MOLDING FROM BOTH FACES AND PAINT.	
	119	EXISTING	ELECTRICAL 123	CORRIDOR 122	3'-0"	7'-0"	1 3/4"	WD	-	PAINT	-	-	45 min	3	P																	PROVIDE NEW HARDWARE, REMOVE DECORATIVE APPLIED MOLDING FROM LOBBY/CORRIDOR FACE AND PAINT.	
	120	EXISTING	CORRIDOR 122	OFFICE 126	3'-0"	7'-0"	1 3/4"	WD	-	PAINT	-	-	45 min	3	P																	SEE NOTE NO. 9.	
	121	EXISTING	CORRIDOR 122	EXTERIOR	4'-2"	7'-0"	1 3/4"	WD	-	-	-	-	-	6	E																	SEE NOTE NO. 5.	
	122	EXISTING	CORRIDOR 122	OFFICE 130	3'-0"	7'-0"	1 3/4"	WD	-	PAINT	-	-	45 min	3	P																		SEE NOTE NO. 9.
	123	EXISTING	CORRIDOR 120	WORKROOM 137	3'-0"	7'-0"	1 3/4"	WD	-	PAINT	-	-	45 min	3	P																		SEE NOTE NO. 9.
	124	EXISTING	SERVICE DESK 138	WORKROOM 137	2'-10"	7'-0"	1 3/4"	WD	-	PAINT	-	-	60 min	3	P																		SEE NOTE NO. 9.
	125	EXISTING	SERVICE DESK 138	STORAGE 139	2'-8"	6'-5"	1 3/4"	WD	-	PAINT	-	-	45 min	3	P																		EXISTING DOOR, FRAME AND HARDWARE TO REMAIN, NO WORK.
	126	EXISTING	FOYER 101	WORKROOM 137	2'-11"	7'-0"	1 3/4"	WD	-	PAINT	-	-	60 min	3	P																		SEE NOTE NO. 9.
SECOND FLOOR	ALL EXISTING DOORS, FRAMES, HARDWARE, DECORATIVE APPLIED MOLDING, ETC., TO REMAIN AT ALL SECOND FLOOR DOORS. NO WORK IN THIS PHASE OF WORK.																																

DOOR SCHEDULE NOTES:

- EACH LEAF AT THE PAIR OF ENTRANCE DOORS AT THE MAIN ENTRANCE IS ONLY APPROXIMATELY 27" WIDE AND IT IS DIFFICULTY FOR MANY VISITORS AND OCCUPANTS TO EASILY MOVE THROUGH THIS OPENING. ELECTRONIC AUTOMATIC DOOR OPENERS SHALL BE PROVIDED AT THIS PAIR OF DOORS WITH PUSH PLATE ACTIVATION MOUNTED TO THE WALL AT THE INSIDE AND A PUSH PLATE MOUNTED TO THE EXTERIOR WALL, IMMEDIATELY ADJACENT AND SOUTH OF THE DOOR OPENING. THE INSTALLATION OF CONDUIT FOR WIRING TO THIS LOCATION WILL REQUIRED DRILLING THROUGH THE EXTERIOR WALL AND RELIEF, EXACT LOCATION TO BE DETERMINED AT FIELD. PATCH EXISTING SURFACES AS REQUIRED TO COMPLETE INSTALLATION.
- THE FRONT ENTRANCE DOORS ARE ALUMINUM WITH A GLAZED VISION PANEL AT EACH LEAF. THE PAINT FINISH ON THE DOORS HAS BEEN SCRATCHED AND SHOULD BE REPAINTED W/ (FIELD APPLIED) PAINT FINISH. SECURE OPENING INTO THE BUILDING WHEN DOORS ARE REFINISHED AND NEW HARDWARE IS BEING INSTALLED.
- REPLACE EXISTING WEATHERSTRIPPING AT THE EDGES OF THE DOOR LEAFS. IT APPEARS THERE IS A GAP BETWEEN THE DOORS AT THE BOTTOM HALF OF THE OPENING, CONTRACTOR TO INSPECT OPERATION AND MOUNTING AND MAKE ADJUSTMENTS AS NECESSARY.
- DOOR NO. 111 AND DOOR NO. 112 WHICH LEAD INTO THE TWO SMALLER PUBLIC RESTROOMS ON THE GROUND FLOOR ARE ONLY 28" WIDE AND WILL REMAIN IN THE FIRST PHASE OF WORK. DURING THE NEXT PHASE THE OPENINGS WILL BE WIDER TO ACCOMMODATE 36" WIDE DOORS TO THE FUTURE PROPOSED ACCESSIBLE TOILET ROOMS, AT WHICH TIME THE NEW DOORS AND FRAMES SHALL BE PROVIDED WITH NEW HARDWARE.
- THERE IS CURRENTLY A LARGE GAP BETWEEN THE 2 DOOR LEAFS AT DOOR LOCATION 21, WHEN THE DOORS ARE CLOSED. PROVIDE WEATHERSTRIPPING IN THE EDGE OF ONE (OR BOTH) DOOR LEAFS TO CONTROL THE GAP. INSTALLATION OF THE WEATHERSTRIPPING SHALL NOT INTERFERE WITH THE PROPER OPERATION AND CLOSING OF THE DOORS.
- THE TWO PAIRS OF DOORS THAT LEAD FROM THE LOBBY INTO THE AUDITORIUM ARE EXISTING TO REMAIN. REPLACE THE HARDWARE AT THE LOBBY SIDE ONLY, THE EXISTING CLOSERS AND PANIC HARDWARE TO REMAIN AT AUDITORIUM SIDE. PROVIDE BRUSHED NICKEL HINGLES AND HANDLES AT THE LOBBY SIDE OF THOSE SAME DOORS.
- THE EXISTING SURFACE APPLIED MOLDING SHALL REMAIN ON THE AUDITORIUM SIDE OF THE DOORS AND THE INSIDE FACE OF THE DOOR SHALL BE PAINTED TO MATCH AUDITORIUM COLOR; OTHER FACES / EDGES TO MATCH LOBBY.
- MOST OF THE EXISTING INTERIOR DOORS ARE EQUIPPED WITH PASSAGE FUNCTION LOCKSETS WITH DEADBOLT LOCKS TO CONTROL ACCESS, REPLACE WITH SIMILAR HARDWARE UNLESS NOTED OTHERWISE. LOCKSET FUNCTION TYPES FOR THIS PROJECT SHALL BE AS FOLLOWS:  
P. PASSAGE FUNCTION  
E. ENTRANCE FUNCTION  
S. STOREROOM FUNCTION  
CONTRACTOR SHALL CONFIRM FUNCTION OF HARDWARE ON EXISTING DOORS TO REMAIN AND REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR COORDINATION.
- THE SCOPE DESCRIBED IN THIS WORK GENERALLY DEALS WITH DOORS THAT ARE WITHIN THE SCOPE OF WORK FOR THE FIRST PHASE OF THE IMPROVEMENTS TO THE BUILDING. THERE ARE SEVERAL DOORS THAT OPEN TO FUTURE IMPROVEMENTS, BOTH SIDES OF THESE DOORS SHALL BE BE CONSIDERED PART OF THIS FIRST PHASE. PROVIDE NEW HARDWARE AND REMOVE APPLIED MOLDING, PATCH AND PAINT ALL SURFACES.
- THE INTENT IS TO MAINTAIN EXISTING FIRE RATINGS AT ALL DOORS AND WALLS AND WE HAVE INDICATED OUR UNDERSTANDING OF THE OPENING PROTECTION IN THE MINIMUM FIRE RATING COLUMN. CONTRACTOR TO CONFIRM AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- MOST OF THE INTERIOR DOORS ARE SOLID CORE FLUSH WOOD DOORS WITH A SURFACE APPLIED DECORATIVE MOLDING, WHICH IS TO BE REMOVED, AND THE NAILHOLES AND FLUSH WOOD SURFACE OF THE DOOR SLAB SHALL BE PATCH AND PAINTED.
- THE NEW DOORS SHALL BE SOLID CORE FLUSH WOOD DOORS WITH HOLLOW METAL DOOR FRAMES ON THE NEW INTERIOR DOORS SHALL BE BUILT-UP W/ WOOD TRIM TO MATCH FRAMES ON THE EXISTING DOORS REMAINING.
- ALL NEW HARDWARE TO BE GRADE 1 W/ BRUSHED NICKEL FINISH AND THE AESTHETICS OF THE HARDWARE PACKAGE SHALL BE SIMILAR TO THAT WHICH WAS RECENTLY INSTALLED AT THE CORNELL MUSEUM.
- REPLACE HARDWARE AT TOILET STALL DOORS IN WOMEN'S ROOM 106 AND MEN'S RESTROOM 108 AND PAINT DOORS.
- NEW HARDWARE AND WORK ON OTHER DOORS TO BE PART OF FUTURE PHASE(S) OF THE PROJECT.
- CONTRACTOR SHALL COORDINATE KEYING OF ALL NEW HARDWARE TO WORK WITH EXISTING SYSTEM, VERIFY AND COORDINATE WITH THE OWNER.
- DOOR NO. 113 WHICH LEADS INTO THE KITCHEN FROM CORRIDOR 119 WILL REMAIN IN THE FIRST PHASE OF WORK. DURING THE NEXT PHASE THE DOOR AND FRAME WILL BE REMOVED AND THE OPENING WILL BE MODIFIED TO ACCOMMODATE A NEW 36" WIDE RATED DOOR AND FRAME SHALL BE PROVIDED WITH NEW HARDWARE.



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**OLD SCHOOL SQUARE  
INTERIOR RENOVATIONS**  
51 N SWINTON AVE  
DELRAY BEACH, FL 33444

DRAWN BY: LV  
CHECKED BY: GD  
DATE: 07/26/2019  
REVISIONS:  
A 04oct19 Coord.+Owner Changes  
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PROJECT #1909

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DOOR SCHEDULE