

GENERAL NOTES

1. TYPE OF CONSTRUCTION: CLASS V, UNPROTECTED, GROUP R3 OCCUPANCY PREPARED USING THE FLORIDA BUILDING CODE 2020 EDITION.
2. CONSTRUCTION SHALL FOLLOW THE FLORIDA BUILDING CODE AS ADAPTED BY THE COUNTY AND ALL APPLICABLE AMENDMENTS.
3. BUILDER SHALL COORDINATE ALL THE WORK OF ALL TRADES.
4. BUILDER SHALL REVIEW DRAWINGS IN THEIR ENTIRETY BEFORE STARTING WORK. THE BUILDER SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS NOT REPORTED IMMEDIATELY IN WRITING TO THE ARCHITECT. BACKCHARGES WILL NOT BE ACCEPTED. DO NOT SCALE DRAWINGS.
5. SUBMIT MINIMUM THREE (3) COPIES OF SHOP DRAWINGS AS REQUIRED BELOW.
6. THESE PLANS, AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE F.B.C. CHAPTER 13 ENERGY EFFICIENCY. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY NOT BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES. BUILDER IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.
7. BUILDER IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.
8. CABINET SUPPLIER TO PROVIDE SHOP DRAWINGS TO THE BUILDER.
9. WINDOW AND DOOR SUPPLIER TO PROVIDE SHOP DRAWING TO BUILDER.
10. ALL WINDOWS AND DOORS SHALL BE CALKED AND WEATHER STRIPPED. WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH THE F.B.C. ENERGY CONSERVATION CODE.
11. ALL CONSTRUCTION IN BROWARD AND DADE COUNTIES SHALL COMPLY WITH THE HIGH VELOCITY HURRICANE ZONE (HVHZ) SECTIONS OF THE F.B.C.

SITE PLAN NOTES

1. THE ARCHITECTURAL SITE PLAN, IF PROVIDED IN THESE DOCUMENTS IS FOR GENERAL LOCATION OF THE HOUSE, POOL, DRIVEWAYS AND SITE FEATURES ONLY. THE G.C. OR OWNER SHALL PROVIDE A PRELIMINARY LOT FIT PERFORMED BY A LICENSED SURVEYOR AT 50 PERCENT COMPLETION OF PROJECT. THE SURVEYOR IS RESPONSIBLE FOR VERIFYING BUILDING LOT FIT, LOT COVERAGE, EASEMENT LOCATIONS, SET BACKS, AND ALL SITE DIMENSIONS PRIOR TO PERMIT AND CONSTRUCTION. IF ANY CONFLICTS OCCUR BETWEEN THE ARCHITECTURAL SITE PLAN AND SURVEYORS LAYOUT THE GENERAL CONTRACTOR AND ARCHITECT SHALL BE NOTIFIED IN WRITING PRIOR TO PERMITTING AND CONSTRUCTION. NO WORK SHALL BE PERFORMED UNTIL THE GENERAL CONTRACTOR RESOLVES THESE CONFLICTS.

CONCRETE NOTES

1. CONCRETE SHALL CONFORM TO ASTM C94/C 94M-15A, SHALL HAVE A MAXIMUM WATER/CEMENT RATIO OF 0.45 AND SHALL HAVE 3000 PSI COMPRESSIVE STRENGTH IN 28 DAYS (UNLESS NOTED OTHERWISE) ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH AC 308-14 AND THIS 402-2016. ALL CONCRETE MASONRY WORK SHALL BE IN ACCORDANCE WITH THIS 402-2017.
2. MINIMUM CONCRETE COVER OVER REINFORCING SHALL BE: SLABS ON VAPOR BARRIER - 3/4" BEAMS AND COLUMNS - 1 1/2" FORMED CONCRETE BELOW GRADE-2" UNFORMED CONCRETE BELOW GRADE-3"
3. REINFORCING STEEL: GRADE 60 (FY=60,000) ASTM A615/A 615M-15en1.
4. DETAIL OF CONCRETE REINFORCEMENT SHALL BE IN ACCORDANCE WITH "THE MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION" AS PUBLISHED BY THE CONCRETE REINFORCING STEEL INSTITUTE UNLESS NOTED OTHERWISE.
5. ADEQUATE VERTICAL AND HORIZONTAL SHORING SHALL BE PROVIDED TO SAFELY SUPPORT ALL LOADS DURING CONSTRUCTION.
6. DOWNELS COLUMN AND WALL REINFORCING TO FOOTING WITH SAME SIZE AND NUMBER OF DOWNELS AS VERTICAL BARS ABOVE.
7. REINFORCING STEEL SHALL BE LAPPED 48 BAR DIA. MIN. WHERE SPLICED AND SHALL BE WELDED TOGETHER. PROVIDE CORNER BARS SAME SIZE AND NUMBER AS HORIZ. BEAM REINFORCING AT EACH FACE. LAP 48 BAR DIA. MIN.
8. PLACING DRAWINGS ON BAR LISTS SHALL CONFORM TO AGC'S "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE CONSTRUCTION" AS PUBLISHED BY THE CONCRETE REINFORCING STEEL INSTITUTE UNLESS NOTED OTHERWISE.

FOUNDATION NOTES

1. FLOOR SLAB TO BE 4" THICK POURED CONCRETE SLAB WITH 6" X 6" X 16'X40'X4' W/40M ON 6" M. VASQUEM (OR EQUAL) ON CLEAN WELL COMPACTED FILL PRE TREATED FOR TERMITES. W/40M SHALL BE LOCATED IN THE MIDDLE TO UPPER HALF OF THE SLAB DEPTH AND MUST BE SUPPORTED AT 3'-0" O/C EACH WAY WITH APPROVED MATERIALS.
2. ALL REINFORCING STEEL TO BE GRADE 60.
3. COLUMN AND WALL CENTERLINES SHALL COINCIDE WITH FOOTING CENTERLINES UNLESS OTHERWISE NOTED.
4. FOOTING DESIGN BASED ON ASSUMED SOIL BEARING CAPACITY OF 2500 P.S.F., CONTRACTOR TO SUBMIT SOIL BEARING TEST RESULTS OR SOIL BEARING CAPACITY REPORT BY A FLORIDA REGISTERED ENGINEER.
5. ALL SITE PREPARATIONS & DRAINAGE RECOMMENDATIONS MADE IN THE SITE SPECIFIC GEOTECHNICAL REPORT MUST BE STRICTLY ADHERED TO.
6. FILL PLACED WITHIN 5'-0" OF THE CONSTRUCTION PERIMETER SHALL CONSIST OF CLEAN WELL GRADED SAND IN 12" LIFTS(MAX) AND VIBRATORY COMPACTED TO ACHIEVE A MINIMUM OF 95% MODIFIED PROCTOR ASTM D 1557-12E1.
7. AFTER STANDARD CLEANING AND GRUBBING HAS BEEN COMPLETED AND APPROVED, APPLY VIBRATORY COMPACTOR WITH A MINIMUM OF FOUR PASSES TO THE EXISTING GROUND.
8. SLABS SHALL NOT BE LOADED UNTIL 12 HOURS HAS ELAPSED.
9. SPLICES SHALL BE 48 BAR DIAMETERS AND CONTINUOUS AROUND ALL CORNERS AND CHANGES IN DIRECTION. CORNER BARS SHALL BE 48 BAR DIAMETERS EACH WAY.
10. ALL MONOLITHIC FOOTINGS HAVE BEEN CHECKED FOR THE USE OF TRANSFER REINFORCEMENT AT THE PERIMETER. NATIONAL ANALYSIS SHALL BE SUBMITTED, BUT ONLY IF REQUESTED BY THE BUILDING OFFICIAL.
11. CONCRETE FOR FOUNDATIONS AND FOOTINGS SHALL BE 2500 PSI MIN. MAXIMUM WATER/CEMENT RATIO MUST NOT EXCEED 0.45.

BEAM SCHEDULE NOTES

1. SCHEDULED HOOPS AND STIRRUPS SHALL BE PLACED AT EACH END (E.E.) OF BEAM OR THROUGHOUT (T.O.) BEAM AS INDICATED ON BEAM SCHEDULE. STIRRUPS SHALL BE TYPE S-8 AND HOOPS SHALL BE TYPE T-2 TYPICAL CRSI BAR BENDS UNLESS OTHERWISE NOTED.
2. ALL BEAM (MARK "B") TOP BARS SHALL BE CONTINUOUS UNLESS OTHERWISE NOTED
3. ALL THE BEAMS (MARK "TB") REINFORCING SHALL BE CONTINUOUS THROUGH THE BEAMS ONLY. ALL SPLICES TO BE A MINIMUM OF 48 BAR DIAMETERS.
4. BUNDLE ALL STRUCTURAL BEAM TOP BARS IN PAIRS OVER SUPPORTS WITH TOP BARS FROM ADJACENT BEAMS. (UNO).
5. DROP BOTTOM OF THE BEAMS AS REQUIRED AT WINDOW & DOOR HEADS (28" MAX.) AND 2-10 BOTTOM IF DROP EXCEEDS 8".
6. THE BEAM SCHEDULE DEPTHS ARE MINIMUM AND MAY BE INCREASED 8" TO FIT BLOCK WORK.
7. ALL ADDED LOGITIONAL BEAM REINFORCING SHALL EXTEND 6" MINIMUM INTO SUPPORT UNLESS OTHERWISE NOTED.
8. REFER TO CONCRETE NOTES FOR INFORMATION ON CONCRETE AND STEEL SPECIFICATIONS.
9. ONE-QUARTER OF MAXIMUM BOTTOM REINFORCING STEEL AREA OF EITHER ADJACENT BEAM SHALL EXTEND THRU SUPPORT LAP AND WITH A CLASS "A" TENSION LAP SPLICE ON EITHER SIDE OF SUPPORT.
10. MARK "C" IN REINFORCING COLUMN BETWEEN TWO BEAMS INDICATES THAT REINFORCING SHALL BE CONTINUOUS THRU THESE TWO BEAMS.

STEEL NOTES

1. STRUCTURAL STEEL SHALL CONFORM TO THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS". MATERIALS SHALL CONFORM TO THE APPLICABLE ASTM SPECIFICATION AS FOLLOWS: W SHAPES - A992/A 992M-06a, OTHER SHAPES - A36/A 36M-14, PLATES A36/A 36M-14, BOLTS - A 307-14 TUBULAR - ASTM A500/A500M-15 GRADE B (48 KSI)
2. WELDED CONSTRUCTION SHALL CONFORM TO THE AMERICAN WELDING SOCIETY "STRUCTURAL WELDING CODE". ELECTRODES FOR FELD AND SHOP WELDS SHALL BE A1.5 E70XX.

MASONRY NOTES

1. CONCRETE UNITS TO BE ASTM C 90-14. ASTM GRADES N OR NL. PROVIDE PRECAST UNITS AS NECESSARY. (Fm = 1500 PSI)
2. MORTAR TYPE M PER ASTM C 270-14a.
3. CONCRETE FILL
- A. CELLS UNTELS AND BOND BEAMS WHERE SPECIFIED SHALL BE FILLED W/ 3000 PSI FEA GRAVEL CONCRETE.
- B. THE MIX DESIGN SHALL BE APPROVED BY THE ENGINEER.
- C. ALL CONCRETE SHALL BE OF A FLUID CONSISTENCY WITH A SLUMP OF 9"-11" MAX., WHICH MEANS THAT THE CONSISTENCY SHALL BE AS FLUID AS POSSIBLE FOR POURING WITHOUT SEGREGATION OF THE CONSTITUENT PARTS.
- D. THE USE OF ADMIXTURES SHALL NOT BE PERMITTED WITHOUT WRITTEN CONSENT OF THE ENGINEER.
4. REINFORCING: VERTICAL: A. ASTM A615/A 615M-15en1. PER REINFORCING SECTION (GRADE 60).
- B. WHEN A FOUNDATION DOWNEL DOES NOT LINE UP WITH A VERTICAL CORE, IT SHALL NOT BE SLOPED MORE THAN ONE HORIZONTAL IN SIX VERTICAL ALIGNMENT, EVEN THOUGH IT IS IN AN ADJACENT CELL TO THE VERTICAL WALL REINFORCING.
- C. VERTICAL REINFORCING STEEL SHALL HAVE A MINIMUM CLEARANCE OF ONE-HALF INCH FROM THE MASONRY.
- D. VERTICAL REINFORCING SHALL BE AS LOCATED ON THE PLAN AND AS INDICATED IN THE COLUMN SCHEDULE.
- E. VERTICAL REINFORCING EACH SIDE OF ANY OPENING, IF REQUIRED, SHALL BE CONTINUOUS TO THE TOP BEAM. PRECAST UNTELS SHALL HAVE OPENINGS TO ALLOW REINFORCING BARS TO CONTINUE UNINTERRUPTED.
- HORIZONTAL: A. HORIZONTAL REINFORCEMENT SHALL BE PROVIDED AS SCHEDULED IN THE BEAM SCHEDULE.
- B. HORIZONTAL JOINT REINFORCEMENT SHALL CONSIST OF AT LEAST 9 GAGE LADDER TYPE REINFORCEMENT SPACED NOT MORE THEN 16" O/C VERT. REINFORCEMENT SHALL ALSO BE PROVIDED AT THE BOTTOM AND TOP OF ALL OPENINGS AND EXTEND NOT LESS THEN 24" BEYOND THE OPENING. PROVIDE 8" MIN EMBEDMENT INTO CONCRETE COLUMNS AND BEAMS AND FULL DEPTH LAPS AT ALL MASONRY "L" AND "T" INTERSECTIONS.
5. GENERAL: A. STRUCTURAL DESIGN IS IN ACCORDANCE WITH T.M.S. 602-16, BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND THE COMMENTARY ON BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES.
- B. CONSTRUCTION SHALL BE IN ACCORDANCE WITH T.M.S. 602-16, SPECIFICATIONS FOR MASONRY STRUCTURES AND THE COMMENTARY ON SPECIFICATIONS FOR MASONRY STRUCTURES.
- C. IN HVHZ AREAS THE BUILDER SHALL EMPLOY A SPECIAL INSPECTOR APPROVED BY THE BUILDING OFFICIAL TO ENSURE COMPLIANCE WITH THE APPROVED STRUCTURAL PLANS IN ACCORDANCE WITH SECTION 2122.2.4 F.B.C.
- D. VERTICAL CELLS FOR MASONRY TO BE GROUTED SHALL HAVE VERTICAL ALIGNMENT SUFFICIENT TO MAINTAIN A CLEAR, UNOBSTRUCTED CONT. CELL.
7. CLEANOUT OPENINGS SHALL BE PROVIDED AT THE BOTTOM OF GROUTED CELLS AT EACH LIFT OVER 4'-0" HIGH. CLEANOUTS SHALL BE SEALED AFTER CLEANING AND INSPECTION, AND BEFORE GROUTING.

1. THE TRUSS AND FLOOR SYSTEM LAYOUT SHOWN ON THIS SHEET IS SCHEMATIC IN NATURE. HOWEVER, THE SUPPORTING SUPERSTRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THAT THE FRAMING SCHEME SHOWN WILL CLOSELY PARALLEL FINAL TRUSS AND FLOOR SYSTEM DESIGNERS LAYOUT.
2. THIS FRAMING SCHEME (DIRECTION OF TRUSSES AND SLABS, MAJOR G.T. BEARING POINTS, ETC.) CAN BE MODIFIED ONLY AFTER OBTAINING PERMISSION FROM THE PRIME PROFESSIONAL OF RECORD WHO MAY REVIEW PROPOSED CHANGES AND AUTHORIZE STRUCTURAL REVISIONS ACCORDINGLY.
3. FINAL SIGNED AND SEALED ENGINEERED TRUSS AND FLOOR SYSTEM DESIGN MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW. TRUSS AND FLOOR SYSTEM DESIGNERS MUST PROVIDE ALL TRUSS CONNECTIONS AS PART OF THE DESIGN.
4. TRUSS AND FLOOR SYSTEM MANUFACTURER SHALL SUBMIT THREE (3) COPIES OF SHOP DRAWINGS AND ENGINEERING CALCULATIONS SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER, OF THEIR DESIGN FOR REVIEW INCLUDING TWO (2) COPIES FOR ARCHITECT/ ENGINEERS REVIEW PRIOR TO FABRICATION. REVIEW OF SHOP DRAWINGS IS A COURTESY BY THE ARCHITECT/ ENGINEER AND IN NO WAY RELIEVES THE MANUFACTURER OF HIS RESPONSIBILITY TO PROVIDE A LAYOUT THAT FULLY INTEGRATES WITH THE ARCHITECT/ ENGINEERS SUPERSTRUCTURE. IF THERE IS ANY CONFLICT OR ADDITIONAL STRUCTURE NEEDED, THE TRUSS AND FLOOR SYSTEM COMPANY SHALL NOTIFY THE ARCHITECT/ ENGINEER IN WRITING OF THE SPECIFIC AREAS OF CONCERN.
5. TRUSSES TO BE DESIGNED TO CARRY LOADS OF ATTIC AHU AND MISC. EQUIPMENT. COORDINATE LOCATIONS WITH BUILDER PRIOR TO FABRICATION AND INDICATE ON TRUSS DRAWINGS THE BUILDER SHALL BE RESPONSIBLE FOR THE COMPLETE COORDINATION BETWEEN THE TRUSS DESIGN AND AIR CONDITIONING DESIGN REQUIREMENTS.
6. ARCHITECT NOT ENGINEER ACCEPTS ANY RESPONSIBILITY FOR STRUCTURAL BEAMS, COLUMNS, AND FOOTINGS UNTIL REVIEW OF APPROVED TRUSS AND FLOOR SYSTEM DRAWINGS, SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER.
7. ALL INTERIOR LOAD BEARING PARTITIONS TO BE CONSTRUCTED WITH CLIPS, TOP AND BOTTOM EACH STUD.

CODES USED:

- FLORIDA BUILDING CODE 7TH EDITION (2020)
- NEC 2017
- A.S.C.E. - 7-16

PLAN NOTES

1. A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR REINSECTION AND TREATMENT CONTRACT RENEWAL, SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRICAL PANEL.
2. PROVIDE 3" STEEL POST OR BOLLARD OR TIRE BUMPER IN FRONT OF ALL EQUIPMENT (HVAC, BHW, WASHER/DRYER) LOCATED IN THE GARAGE AT FLOOR LEVEL PER F.B.C. MECHANICAL CODE.
3. PROVIDE 1/2 P.T. FIRESTOP VERTICALLY AT THE CEILING AND FLOOR LEVELS. HORIZONTALLY AT INTERVALLS NOT EXCEEDING 10'-0", AND ALL OTHER LOCATIONS PER F.B.C. SECTION R302.11.
4. ALL GLAZING WITHIN 24"(48" IN HVHZ) AND PARALLEL TO A DOOR SHALL BE TEMPERED. ALL WINDOWS OR GLASS ENCLOSURES AT OR WITHIN 36" OF TUBS AND SHOWERS WITH SILLS LESS THAN 60" ABOVE FLOOR SHALL BE TEMPERED. ALL GLASS IN SIDELIGHTS, SLIDING GLASS DOORS AND FRENCH DOORS SHALL BE TEMPERED.
5. EGRESS WINDOWS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS. EGRESS WINDOWS SHALL HAVE A MINIMAL NET OPENING OF 24" HIGH, 20" WIDE, AND MIN. NET AREA OF 5.7 S.F. FOR 2nd FLOOR WINDOWS AND 5.0 S.F. FOR 1st FLOOR WINDOWS. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR, LATCH AT 54" A.F.F. MAX. IN HVHZ AREAS WHERE THERE IS MORE THAN A 4'-0" DROP, THE SILL SHALL BE NO LESS THAN 36" A.F.F. OR PROVIDE AN APPROVED SQUEAD.
6. ALL BATHROOM FLOORS SHALL BE OF APPROVED IMPERVIOUS MATERIALS.
7. IN AREAS OTHER THAN HVHZ FIVED FIVE GLASS THICKNESS SHALL BE DETERMINED USING TABLE 2405.3 & .3A OF F.B.C. AS THE MINIMUM THICKNESS ALLOWED.
8. IN HVHZ AREAS PROVIDE HURRICANE SHUTTERS AS PER F.B.C. SECTION 24-13 UNLESS THE EXTERIOR WALL COMPONENTS OF THE ENCLOSED BUILDING HAS SPECIFIC PRODUCT APPROVAL TO RESISTIVE THE ENCLOSED BUILDING ENVELOPE AGAINST IMPACT LOADS AS SET FORTH IN CHAPTER 16.
9. POCKETS AT STAIRS, LANDINGS & BALCONIES SHALL BE SPACED TO PREVENT PASSAGE OF A 4" DIAMETER SPHERE.
10. PROVIDE A MINIMUM OF 4" CLEAR ALL AROUND AIR HANDLER UNITS.
11. IN ZERO LOT LINE HOMES: DRYER VENTS, EXHAUST FANS & KITCHEN HOODS SHALL NOT VENT THROUGH THE SIDE WALL AND MUST MAINTAIN A 10'-0" SETBACK.

FRAMING NOTES

1. THE TRUSS AND FLOOR SYSTEM LAYOUT SHOWN ON THIS SHEET IS SCHEMATIC IN NATURE. HOWEVER, THE SUPPORTING SUPERSTRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THAT THE FRAMING SCHEME SHOWN WILL CLOSELY PARALLEL FINAL TRUSS AND FLOOR SYSTEM DESIGNERS LAYOUT.
2. THIS FRAMING SCHEME (DIRECTION OF TRUSSES AND SLABS, MAJOR G.T. BEARING POINTS, ETC.) CAN BE MODIFIED ONLY AFTER OBTAINING PERMISSION FROM THE PRIME PROFESSIONAL OF RECORD WHO MAY REVIEW PROPOSED CHANGES AND AUTHORIZE STRUCTURAL REVISIONS ACCORDINGLY.
3. FINAL SIGNED AND SEALED ENGINEERED TRUSS AND FLOOR SYSTEM DESIGN MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW. TRUSS AND FLOOR SYSTEM DESIGNERS MUST PROVIDE ALL TRUSS CONNECTIONS AS PART OF THE DESIGN.
4. TRUSS AND FLOOR SYSTEM MANUFACTURER SHALL SUBMIT THREE (3) COPIES OF SHOP DRAWINGS AND ENGINEERING CALCULATIONS SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER, OF THEIR DESIGN FOR REVIEW INCLUDING TWO (2) COPIES FOR ARCHITECT/ ENGINEERS REVIEW PRIOR TO FABRICATION. REVIEW OF SHOP DRAWINGS IS A COURTESY BY THE ARCHITECT/ ENGINEER AND IN NO WAY RELIEVES THE MANUFACTURER OF HIS RESPONSIBILITY TO PROVIDE A LAYOUT THAT FULLY INTEGRATES WITH THE ARCHITECT/ ENGINEERS SUPERSTRUCTURE. IF THERE IS ANY CONFLICT OR ADDITIONAL STRUCTURE NEEDED, THE TRUSS AND FLOOR SYSTEM COMPANY SHALL NOTIFY THE ARCHITECT/ ENGINEER IN WRITING OF THE SPECIFIC AREAS OF CONCERN.
5. TRUSSES TO BE DESIGNED TO CARRY LOADS OF ATTIC AHU AND MISC. EQUIPMENT. COORDINATE LOCATIONS WITH BUILDER PRIOR TO FABRICATION AND INDICATE ON TRUSS DRAWINGS THE BUILDER SHALL BE RESPONSIBLE FOR THE COMPLETE COORDINATION BETWEEN THE TRUSS DESIGN AND AIR CONDITIONING DESIGN REQUIREMENTS.
6. ARCHITECT NOT ENGINEER ACCEPTS ANY RESPONSIBILITY FOR STRUCTURAL BEAMS, COLUMNS, AND FOOTINGS UNTIL REVIEW OF APPROVED TRUSS AND FLOOR SYSTEM DRAWINGS, SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER.
7. ALL INTERIOR LOAD BEARING PARTITIONS TO BE CONSTRUCTED WITH CLIPS, TOP AND BOTTOM EACH STUD.

(CONT'D)

8. STRUCTURAL WOOD AND TIMBER FRAMING SHALL CONFORM TO THE "TIMBER CONSTRUCTION MANUAL" AS PUBLISHED BY THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.
9. ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED. PROVIDE AN APPROVED MOISTURE VAPOR BARRIER BETWEEN THE CONCRETE OR OTHER CEMENTITIOUS MATERIALS AND THE WOOD AS PER CODE.
10. BUILDER SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE BRACING AND BRIDGING USED DURING ERECTION OF TRUSSES AND STRUCTURAL SLABS TO PREVENT COLLAPSE OR DAMAGE.
11. HEADERS FOR FRAMED OPENINGS GREATER THAN 6'-0" MUST BE ENGINEERED AND STAMPED BY THE TRUSS MANUFACTURER. (UNLESS NOTED OTHERWISE)
12. ALL HEADERS OVER DOORS AND WINDOWS TO BE (2) OR (3) 2X12'S UNLESS OTHERWISE NOTED. FOR WOOD FRAME CONSTRUCTION DEPENDING ON ALL WALL THICKNESS.
13. DIMENSIONAL LUMBER SHALL BE SOUTHERN PINE NO. 2 OR BETTER AND SHALL PROVIDE ALLOWABLE STRESS VALUES OF 1200 PSI IN BENDING FOR A SINGLE MEMBER USES. 90 PSI IN HORIZONTAL SHEAR AND SHALL HAVE A MODULES ELASTICITY OF 1600 KSI OR BETTER, AS DETERMINED BY AN APPROVED LUMBER GRADING AGENCY.
14. NON-BEARING INTERIOR PARTITIONS MAY BE CONSTRUCTED OF 25 GAUGE CEE CHANNEL TYPE STUDS AT 24" O/C WITH MATCHING TRACKS TOP AND BOTTOM, WITH 1/2" GYPSUM DRYWALL EACH SIDE. ATTACH DRYWALL WITH 1" LONG BUGLE HEAD DRYWALL SCREWS AT 12" O/C MAX.
15. METAL LATH OVER SHEATHING SHALL BE 3/8" V-GROVE OR DAMPLED. CEILINGS AND SOFFITS SHALL BE HIGH RIB TYPE, FASTEN TO SUBSTRATE AT 4" O/C AS FOLLOWS: CONCRETE: 3/4" LONG STUD NAILS W/ 3/8" HEAD. HORIZONTAL AND VERTICAL WOOD FRAMING MEMBERS W/ NAILS OR STAPLES TO PROVIDE AT LEAST 1-3/4" PENETRATION INTO HORIZONTAL WOOD FRAMING MEMBERS, AND 3/4" PENETRATION INTO VERTICAL WOOD FRAMING MEMBERS. ON VERTICAL WOOD FRAMING MEMBERS, COMMON NAILS SHALL BE BENT OVER TO ENGAGE AT LEAST THREE STRANDS OF LATH, OR BE BENT OVER A RIB WHEN RIB LATH IS INSTALLED. SHEATHING: 14 GAUGE STAPLES 1" LED, 7/16" CROWN METAL NTL FRAMING SELF TAPPING SCREWS #12 x 1 1/2" WASHER HEAD STAPLES SHALL NOT BE USED FOR SOFFITS OR CEILINGS.
16. WHERE CEMENT PLASTER IS APPLIED TO LATH OVER FRAME CONSTRUCTION, BONDING OF THE PLASTER TO THE WATER BARRIER SHALL BE PREVENTED BY PROVIDING A SOL. LAYER OF WATER BARRIER OR BY INSTALLING A HOUSE WRAP BENEATH THE WATER BARRIER.
17. PNEUMATIC FASTENERS SYSTEM TO BE ULTI-COIL NAIL PROGRAM. TYPE TO BE CRF 112G 1-1/2" LONG AND .120" DIAMETER U.L.M.O.
18. WHEN WOOD POSTS ARE NOT IN A PREPARED WALL, FIRE RATE AS FOLLOWS: WRAP POST ON ALL SIDES FROM BASE OF POST TO UNDERSIDE OF BEARING WITH (1) LAYER OF 5/8" TYPE "X" GYPSUM WALL BOARD. THIS WILL PROVIDE A ONE HOUR RATING FOR THE POST.
19. TRUSS MANUFACTURER SHALL DESIGN TRUSSES TO COMPLY WITH ALL SUPERIMPOSED WIND LOADS PER F.B.C. 2020.

MECHANICAL NOTES

1. ALL HEATING, AIR CONDITIONING, REFRIGERATION AND VENTILATION EQUIPMENT SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE "FLORIDA BUILDING CODE MECHANICAL" AND FLORIDA BUILDING CODE ENERGY CONSERVATION .
2. A 4" CLEARANCE IS TO BE MAINTAINED AROUND ALL AIR HANDLING UNITS.
3. PROVIDE FIRE DAMPERS AT SUPPLY AND RETURNS WHICH PASS THROUGH RATED ASSEMBLIES IF ANY.
4. ALL DWELLING ROOMS MUST HAVE HVAC RETURNS. RETURNS MAY BE DUCTED, JUMPERS OR TRANSFER GRILLES.
5. A/C UNITS MAY HAVE CONC. PAD OR OTHER APPROVED MATERIAL EXTENDING AWH. ADJOINING GRADE OR SHALL BE SUSPENDED A MIN. OF 6" AWH. ADJOINING GRADE. PADS SHALL BE A MINIMUM 4'-0"x8'-0" PAD FOR DOUBLE UNIT.

ELECTRICAL NOTES

1. CONTRACTOR SHALL VERIFY WITH F.P.B.L. THE LOCATION OF SERVICE AND SHALL LOCATE METER & PANELS AS REQUIRED.
2. ALL WIRE SHALL BE THIN COPPER, UNLESS NOTED OTHERWISE.
3. WHERE REQUIRED BY OTHER CODES, SERVICE AND FEEDER CONDUCTORS SHALL BE COPPER OF EQUAL AMPACITY.
4. ALL BRANCH CIRCUITS IN RACEWAY OR NON METALLIC SHEATHED CABLE.
5. COORDINATE RACEWAY INSTALLATIONS WITH OTHER TRADES PRIOR TO CONSTRUCTION.
6. VERIFY ALL CONDUCTORS AND BREAKERS WITH EQUIPMENT MANUFACTURER SPECIFICATIONS.
7. PROVIDE DISCONNECT SWITCH OF SIZE AS REQUIRED BY LOAD AND UNITS.
8. PROVIDE NON-FUSIBLE GENERAL DUTY SAFETY SWITCHES AT A/C EQUIP. AND AT PUMPS NOT VISIBLE FROM CIRCUIT BREAKER PANEL AND AS PER MANUFACTURER RECOMMENDATIONS.
9. PROVIDE GFCI PROTECTION FOR ALL BATHROOM, GARAGE, EXTERIOR, KITCHEN, LAUNDRY AND NET BAR OUTLETS PER NEC 210.8(A).
10. ELECTRICAL FIXTURES, TRIM AND APPLIANCES SHALL BE UL APPROVED AND AS SELECTED BY OWNER.
11. PROVIDE PRE-WIRED TELEPHONE OUTLETS AS SHOWN ON PLAN.
12. PROVIDE PRE- WIRED T.V. OUTLETS FOR CABLE AS SHOWN ON PLANS.
13. DEDICATED CIRCUITS SHALL HAVE NO MORE THEN 6 DUPLEX RECEPTACLES.
14. ALL CLOSET LIGHTING SHALL COMPLY WITH NEC SEC. 410.8.
15. THE BRANCH CIRCUITS CONTAINING SMOKE DETECTORS SHALL HAVE ARC-FAULT PROTECTION PER NEC SEC. 210.12 SMOKE DETECTORS SHALL BE CONNECTED TO ARC-FAULT CIRCUITS AHEAD OF SWITCH AND HAVE SELF CONTAINED BATTER BACK-UP. DETECTORS SHALL BE TANDEM WIRED SO ALL DETECTORS SOUND SIMULTANEOUSLY.
16. PREWIRE FOR GARAGE DOOR OPENER SENSOR.
17. PROVIDE ARC-FAULT CIRCUIT INTERRUPTOR PROTECTION IN DWELLING UNIT LIVING, DINING, FAMILY ROOMS, DEN/S LIBRARIES, BEDROOMS, CLOSETS, HALLWAYS OR SM. ROOMS PER NEC 210-12 (B).
18. SMOKE DETECTORS REQUIRED ON ALL HVAC UNITS WITH 2001 CFM OR MORE.
19. CEILING AREA 110 V. SMOKE DETECTORS SHALL NOT BE CLOSER THAN 3 FT. FROM THE DOOR TO BATHROOMS, WASHER/DRYERS, A/C SUPPLY AND RETURNS & KITCHENS. SMOKE DETECTORS MAY BE WITHIN 20 FT. OF A COOKING APPLIANCE IF THEY ARE OF THE PHOTOELECTRIC TYPE.
20. CARBON MONOXIDE ALARM TO BE INSTALLED WITHIN 10' OF A ROOM USED FOR SLEEPING PURPOSES WHEN THE BUILDING HAS A FOSSIL BURNING HEATER OR APPLIANCE, A FIREPLACE, OR AN ATTACHED GARAGE. PRIMARY POWER SHALL COME FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED BY THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP.
21. IF USED, A COMBINATION SMOKE/ CARBON MONOXIDE ALARM SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.
22. TAMPER RESISTANT RECEPTACLES ARE REQUIRED IN DWELLING UNITS IN ALL AREAS SPECIFIED IN NEC 210.52 FOR 125 VOLT, 15 & 20A RECEPTACLES PER NEC 408.11
23. INTERSYSTEM BONDING TERMINATION FOR CONNECTING INTERSYSTEM BONDING AND GROUNDING CONDUCTORS SHALL BE PROVIDED FOR TV, COMMUNICATIONS, RADIO, CATV, ETC. PER NEC 250.94.

1. ALL HEATING, AIR CONDITIONING, REFRIGERATION AND VENTILATION EQUIPMENT SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE "FLORIDA BUILDING CODE MECHANICAL" AND FLORIDA BUILDING CODE ENERGY CONSERVATION .
2. A 4" CLEARANCE IS TO BE MAINTAINED AROUND ALL AIR HANDLING UNITS.
3. PROVIDE FIRE DAMPERS AT SUPPLY AND RETURNS WHICH PASS THROUGH RATED ASSEMBLIES IF ANY.
4. ALL DWELLING ROOMS MUST HAVE HVAC RETURNS. RETURNS MAY BE DUCTED, JUMPERS OR TRANSFER GRILLES.
5. A/C UNITS MAY HAVE CONC. PAD OR OTHER APPROVED MATERIAL EXTENDING AWH. ADJOINING GRADE OR SHALL BE SUSPENDED A MIN. OF 6" AWH. ADJOINING GRADE. PADS SHALL BE A MINIMUM 4'-0"x8'-0" PAD FOR DOUBLE UNIT.

PLUMBING NOTES

1. ALL PLUMBING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 405, F.B.C.
2. ALL PLUMBING FIXTURES SHALL MEET THE REQUIREMENTS OF TABLE 604.3, F.B.C.
3. DISPOSITION OF RAIN WATER SHALL COMPLY WITH F.B.C. PLUMBING CODE CHAPTER 11.
4. ALL PLUMBING PENETRATIONS MUST BE A MINIMUM 10'-0" FROM ROOF JACKS.
5. CONDENSATE DRAINS MUST BE A MINIMUM OF 12" OFF THE BUILDING.
6. SHOWER COMPARTMENTS AND WALLS ABOVE BATH TUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THEN 70 INCHES ABOVE THE DRAIN INLET.

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610
SMS
08/02/2021
1/4" = 1'-0"
21-XXXXLARC

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FL LIC. #1850 - CA. 26210

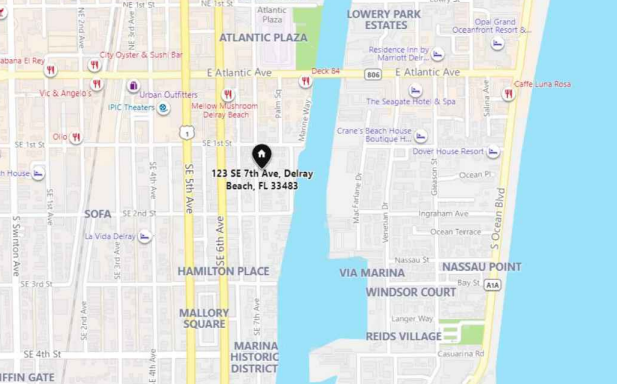
PROPOSED MULTI-FAMILY RESIDENCE ADDITION

OERTH RESIDENCE 123 SE 7TH AVENUE CITY OF DELRAY BEACH FLORIDA

THESE PLANS WERE PREPARED USING THE 2020 FLORIDA
BUILDING CODE, 7TH ED. - BUILDING AND ASCE 7-16.

VICINITY MAP

SCALE: NTS



DRAWING INDEX

- C-1 COVER SHEET
- AS-1 SITE PLAN (SCALE 1"=20')
- AS-2 SITE PLAN (SCALE 1"=10')
- EX-1 EXISTING PLAN
- A-1 NEW FLOOR PLAN
- A-1 NEW RENOVATED ELEVATION
- A-2 ELEVATIONS (NEW & OLD)
- A-3 ELEVATIONS (NEW & OLD)
- A-4 ELEVATIONS (NEW & OLD)
- S-2 NEW ROOF PLAN
- EXIST. RESIDENCE & ST. PHOTOGRAPHS
- NEW PHOTO-REALISTIC RENDERINGS

OERTH RESIDENCE
ADDITION
123 S.E. 7th AVENUE
CITY OF DELRAY BEACH
FLORIDA
project

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drawing
COVER SHEET

sheet
C-1

of

ELECTRICAL SYMBOLS LEGEND

- | | | | |
|---|---|---------------------------------|--|
| DUPLEX RECEPTACLE / ARC FAULT INTERRUPT AT 12" A.F.F. | SINGLE RECEPTACLE DEDICATED | TELEVISION JACK PREWIRED | FAN BOX |
| DUPLEX RECEPTACLE AT BASE | SINGLE RECEPTACLE DEDICATED SWITCHED | HVAC THERMOSTAT | JUNCTION BOX |
| DUPLEX RECEPTACLE AT 8" ABV. COUNTER | SINGLE RECEPTACLE DEDICATED UNDERCOUNTER | INTERCOM AT 60" A.F.F. | PADDLE FAN W/ OR W/O LIGHT |
| DUPLEX RECEPTACLE GROUND FAULT INTERRUPT | DUPLEX RECEPTACLE AT 8" ABV. COUNTER GROUND FAULT INTERRUPT | SECURITY KEYPAD | FLUORESCENT LIGHT FIXTURE |
| DUPLEX RECEPTACLE TOP REC. SWITCHED | DUPLEX RECEPTACLE WATERPROOF GROUND FAULT INTERRUPT | DOOR CHIME | FLUORESCENT LIGHT FIXTURE |
| DUPLEX RECEPTACLE UNDER COUNTER | SWITCH SINGLE POLE | PUSH BUTTON | INCANDESCENT LIGHT FIXTURE C.L.G. MNTED. |
| QUADRUPLEX RECEPTACLE | SWITCH FOUR WAY | TELEPHONE OUTLET AT 12" A.F.F. | INCANDESCENT LIGHT FIXTURE WALL MNTED. |
| DUPLEX RECEPTACLE FLUSH IN FLOOR | SWITCH DIMMER | TELEPHONE OUTLET FLUSH IN FLOOR | H HAT C.L.G. MOUNTED |
| | SWITCH KEYED | DEDICATED DATA LINE | H HAT VAPOR PROOF |
| | | CENTRAL VACUUM RECEPTACLE | RECESSED EYEBALL |
| | | SECURITY LIGHTS | CARBON MONOXIDE DETECTOR |

PLAN / ELEVATION SYMBOLS LEGEND

- | | | | |
|----------------------|--------------------|-----------------------|---------------------------------------|
| DETAIL SCALE | INTERIOR ELEVATION | SHEARWALL LABEL | GROUT FILLED CELL SEE FOUNDATION PLAN |
| DETAIL SCALE | DOOR LABEL | BEAM LABEL | POURED CONCRETE COLUMN |
| SECTION SCALE | WINDOW LABEL | TRUSS CONNECTOR LABEL | NON-BEARING FRAME CONSTRUCTION |
| SECTION SCALE | COLUMN LABEL | REVISION | BEARING FRAME CONSTRUCTION |
| INTERIOR ELEV. SCALE | FOOTING LABEL | NORTH ARROW | FRAME CONSTRUCTION ABOVE OR BELOW |
| | | BREAK LINE | BEAM HEIGHT CHANGE |
| | | GRAPHIC SCALE | FLOOR ELEVATION |

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checked	SMS
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scale	1/4" = 1'-0"
job no.	21-XXXX-ARC

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123 S.E. 7th AVENUE
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drawing
**RENDERED
ELEVATION**

sheet
-
of

PROJECT DATA				
The following information must be provided in the spaces below and must be shown on the Site Plan.				
	REQUIRED/PERMITTED	EXISTING	PROPOSED	
FRONT SETBACK	25'-0"	25'-0"	25'-0"	
N. SIDE INTERIOR SETBACK	7'-6"	5'-7" to 10'-7 1/2"	3'-1" to 10'-7 1/2"	
S. SIDE STREET SETBACK	7'-6"	5'-9" to 10'-1 1/2"	3'-0" to 10'-4 1/2"	
REAR SETBACK	10'-0"	8'-0" - 0"	10'-0" - 9"	
HEIGHT/FLOORS	MAX. 35 FT. 60 FT./80 FT.	12'-0" / 1 FLR.	15'-0" / 1 FLR.	
WIDTH OF SITE	100 FT.	68'-0" - 0"	68'-0" - 0"	
DEPTH OF SITE	100 FT.	143'-0" - 0"	143'-0" - 0"	
FRONTAGE	60 FT./80 FT.	68'-0" - 0"	68'-0" - 0"	
TOTAL SITE AREA	7,500 SF	7,717 SF	7,717 SF	
PERVIOUS/IMPERVIOUS AREA	N/A	15,000 SF / 8,217 SF	4,037 SF / 15,000 SF	
OPEN SPACE (LANDSCAPED)	MIN. 25%	7,293 SF (76%)	7,293 SF (38%)	
MIN. 10% S/W WATER BODIES	13'0" x 20'0" POOL	N/A	10'-9" MIN 10'-0"	
GROUND FLOOR AREA	1,000 SF	1,500 SF	4,037 SF	
TOTAL FLOOR AREA	N/A	1,500 SF	4,037 SF	
LOT COVERAGE	N/A	15.4%	41.6%	
FLOOR AREA RATIO	N/A (SGL STORY)	N/A (SGL STORY)	N/A (SGL STORY)	
NUMBER OF DWELLING UNITS	1	1	1	
DENSITY (UNITS PER ACRE)	N/A	N/A	N/A	
DWELLING UNITS				
	NUMBER OF UNITS	A/C SQ. FT.	TOTAL SQ. FT.	
EFFICIENCY	-	-	-	
1 BEDROOM	-	-	-	
2 BEDROOM	-	-	-	
3 BEDROOM	-	-	-	
4 BEDROOM	-	2,293 SF	4,037 SF	
PARKING SPACES REQUIRED				
USE	CALCULATED AT #SPACES PER	REQUIRED	EXISTING	PROPOSED
RESIDENTIAL	BEDRM	1 PER RM	(2)	(4)
				# (incl. garage)
REGULAR SPACES		1 PER RM	(2)	(4) *
COMPACT SPACES (30% max. of required may be compact)		N/A	N/A	N/A
HANDICAPPED SPACES		N/A	N/A	N/A
TOTALS		-	(2)	(4) #
Number of bike racks required:		Number of bike racks proposed:		
Projects Within the Central Business District (CBD) - LDR Section 4.4.13 ☒ Site not located in the CBD				
Subdistrict: ☐ Central Core ☐ West Atlantic Neighborhood ☐ Railroad Corridor ☐ Beach				
Street Designation: ☐ Primary Street ☐ Secondary Street ☐ Both				
Limited Height Area: ☐ Atlantic Avenue ☐ West Atlantic Neighborhood ☐ N/A				
Required Retail Frontage: ☐ Yes ☐ No				
Proposed Architectural Style:				
Building Frontage %:				
Proposed Frontage Type:				
Proposed Building Composition:				
Green Building Practices Required: ☐ Yes ☐ No				
Civic Open Space Type:				
Civic Open Space Size:				
Provide a separate narrative addressing the appropriateness of the proposed design.				

SITE DATA: CITY OF DELRAY BEACH BLDG.
DEPT.
ZONING: RM (USING R-1-A)
MARINA HISTORIC DISTRICT

FRONT SETBACK: 25'-0"
REAR SETBACK: 10'-0"
SIDE SETBACKS: 7'-6"

- ALLOWED LOT COVERAGE: N/A
ACTUAL: LOT COVERAGE / LOT
AREA
4,037 SF / 9,717 SF = 41.55%

MAXIMUM HGHT.: 35 FEET

MAXIMUM PARKING: 4 VEHICLES, INCL. 1
VEHICLE INSIDE THE GARAGE

RENOV./ADDITION DATA:

EXISTING TOTAL RESID.: 1,500 SF.
NEW TOTAL RESID.: 4,037 SF.
LOT SIZE: 9,717 SF.

FLOOD_ZONE_DATA:

CURRENT FLOOD ZONE AE (EL. 6'-0")
FUTURE FLOOD ZONE AE (EL. 7'-0")

EXISTING AREA	
A/C FIRST FLOOR	1,202 S.F.
1 CAR GARAGE	278 S.F.
ENTRY	20 S.F.
TOTAL SQUARE FEET	1,500 S.F.

NEW PROPOSED AREA	
EX. A/C AREA	1,203 S.F.
NEW ADDITION A/C	2,080 S.F.
TOTAL SQUARE FEET	3,283 S.F.
EX. COVD. ENTRY	20 S.F.
EX. 1-CAR GARAGE	278 S.F.
NEW COVD. PATIO	456 S.F.
TOTAL SQUARE FEET	4,037 S.F.

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job no.	21-XXXXARC

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FL LIC. 61850 - C.A. 26210

project
OERTH RESIDENCE
ADDITION
123 S.E. 7th AVENUE
CITY OF DELRAY BEACH
FLORIDA

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drawing
OVERALL
SITE PLAN
1" = 20'-0"

sheet
AS-1

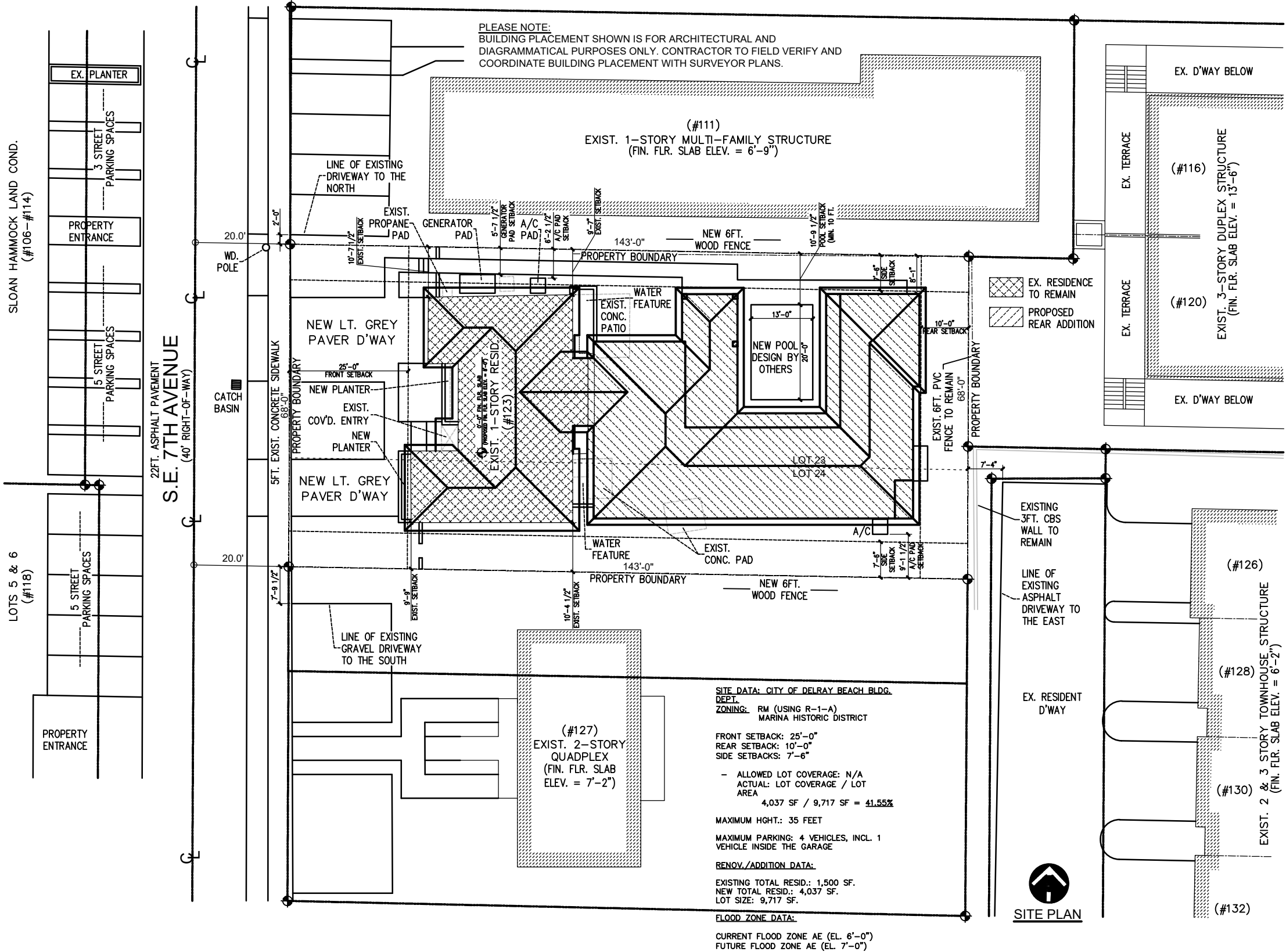
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ENTRY	20 S.F.
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TOTAL SQUARE FEET	4,037 S.F.

- SEE SHEET AS-1 FOR SITE DATA INFORMATION

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OVERALL
SITE PLAN
1" = 10'-0"

sheet
AS-2

of

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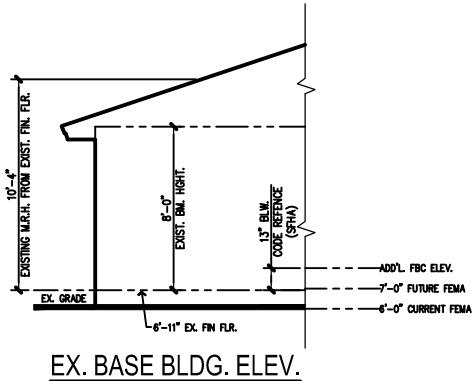
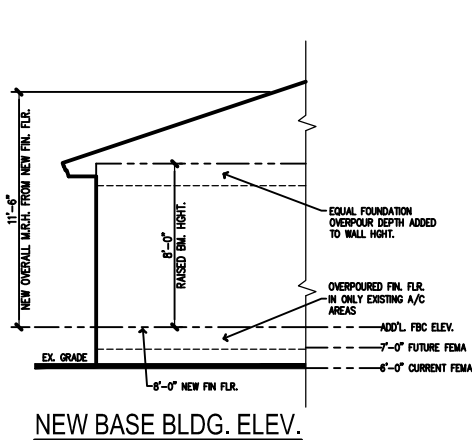
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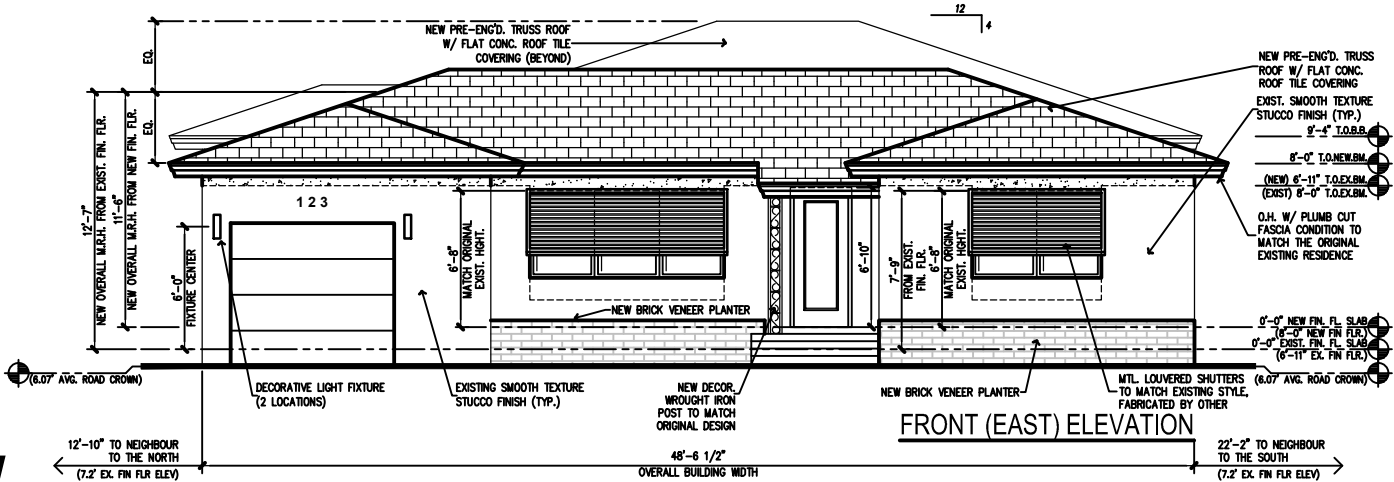
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**FRONT
ELEVATIONS**

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A-2

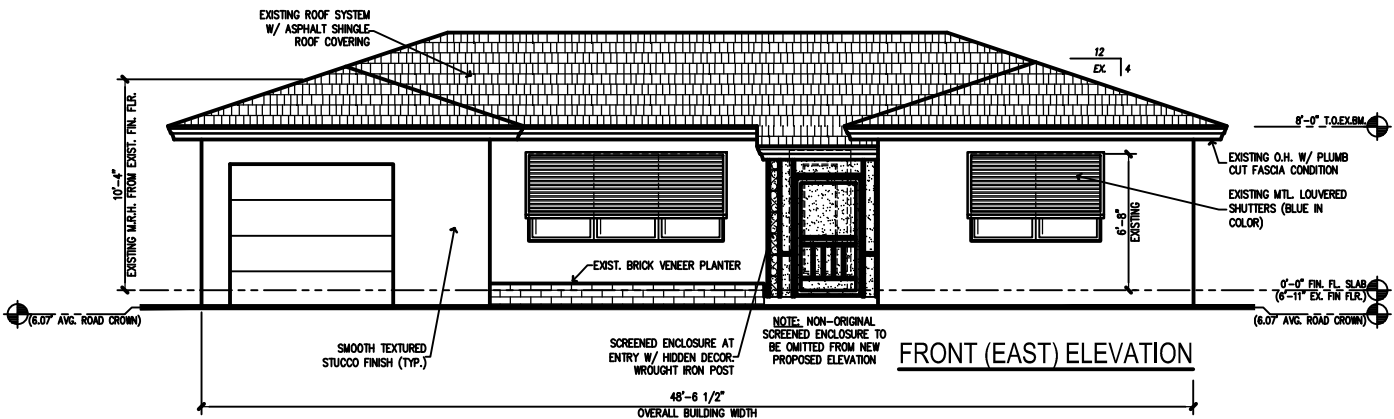
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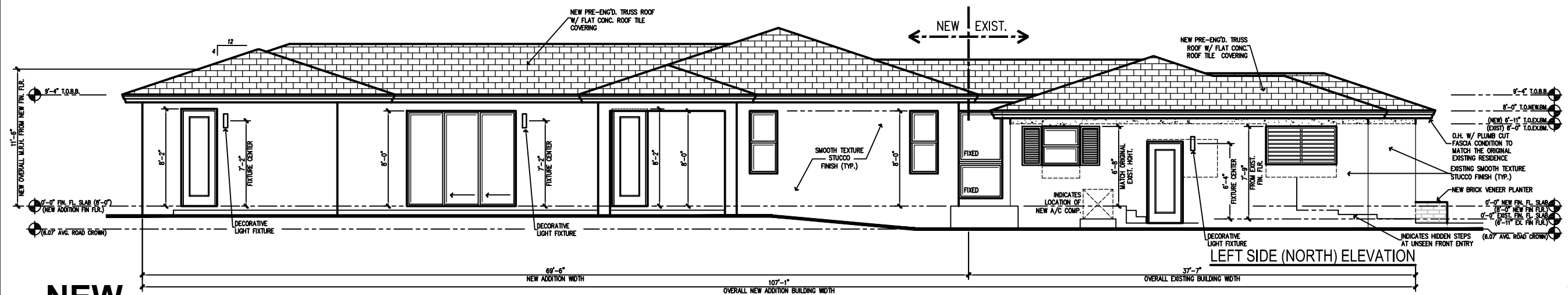
NEW



OLD



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date	08/02/2021
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OERTH RESIDENCE
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123 S.E. 7th AVENUE
CITY OF DELRAY BEACH
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drawing
LEFT SIDE
ELEVATIONS

sheet
A-5

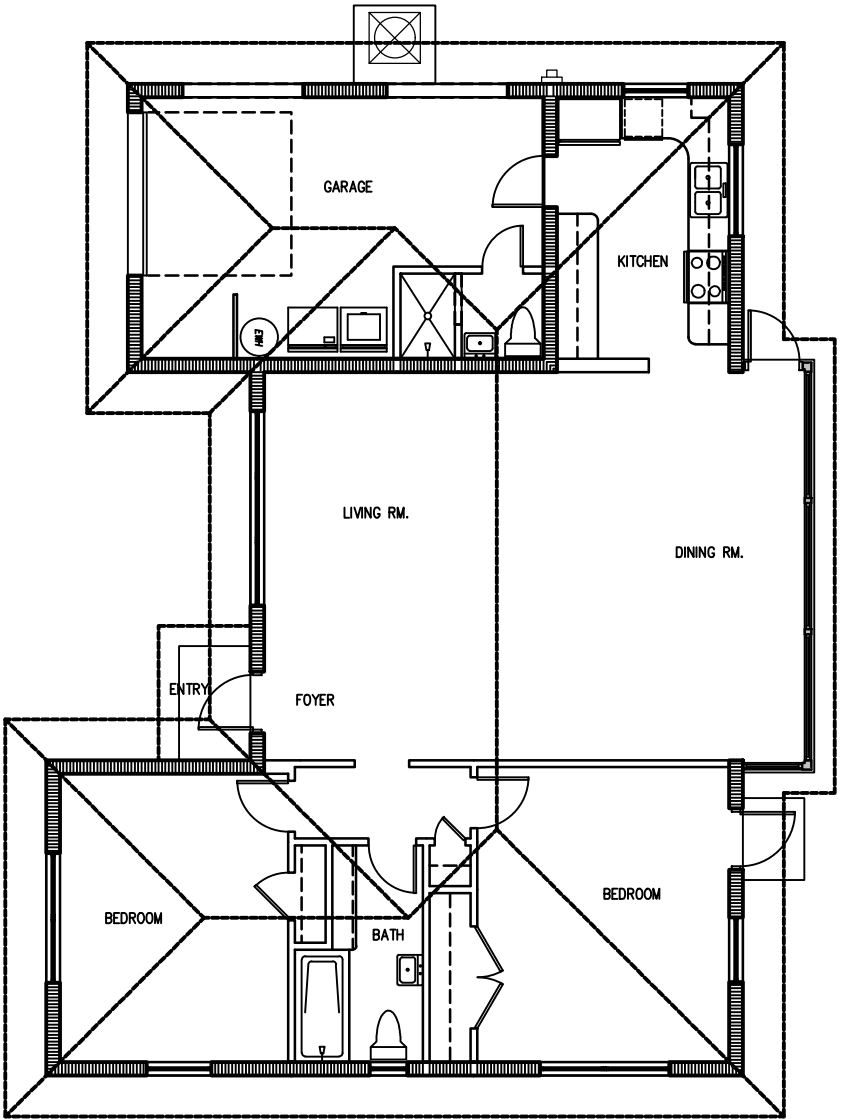
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EXISTING AREA	
A/C FIRST FLOOR	1,202 S.F.
1 CAR GARAGE	278 S.F.
ENTRY	20 S.F.
TOTAL SQUARE FEET	1,500 S.F.



OERTH RESIDENCE
ADDITION
123 S.E. 7th AVENUE
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EXISTING
FLOOR PLAN

sheet
EX-1

of

DOOR SCHEDULE										
MARK	STYLE	DOOR		R.O.		D.P.			NOTES	
		WD	HGT	W	H	+	-			
001	SINGLE EXTERIOR	2'-8"	6'-8"	36"	82"	XX.XX	XX.XX		Sgl. Lite	
002	SLIDING TRIPLE EXTERIOR	15'-0"	8'-0"	182"	96"	XX.XX	XX.XX			
003	SINGLE EXTERIOR	2'-8"	8'-0"	36"	96"	XX.XX	XX.XX		Sgl. Lite	
004	SLIDING TRIPLE EXTERIOR	9'-0"	8'-0"	110"	96"	XX.XX	XX.XX			
005	SLIDING DOUBLE EXTERIOR	6'-0"	8'-0"	74"	96"	XX.XX	XX.XX			
006	SINGLE EXTERIOR	2'-4"	8'-0"	36"	98"	XX.XX	XX.XX		Sgl. Lite obscure	
007	SLIDING DOUBLE EXTERIOR	8'-0"	8'-0"	98"	96"	XX.XX	XX.XX			
008	SINGLE EXTERIOR	2'-8"	8'-0"	36"	98"	XX.XX	XX.XX			
009	DOUBLE EXTERIOR	5'-0"	8'-0"	64"	98"	XX.XX	XX.XX		Solid core drs.	
010	SINGLE	2'-8"	6'-8"	-	-	-	-		W/ clsr.	
011	SINGLE	2'-8"	6'-8"	-	-	-	-			
012	SINGLE	2'-6"	6'-8"	-	-	-	-		Louvered	
013	SLIDING DOUBLE	6'-0"	6'-8"	-	-	-	-			
014	BIFOLD	2'-0"	6'-8"	-	-	-	-			
015	SINGLE	2'-8"	6'-8"	-	-	-	-			
016	SLIDING DOUBLE	5'-0"	6'-8"	-	-	-	-			
017	SINGLE	2'-4"	8'-0"	-	-	-	-			
018	SINGLE	2'-8"	8'-0"	-	-	-	-			
019	SINGLE	3'-0"	8'-0"	-	-	-	-			
020	SINGLE	2'-8"	8'-0"	-	-	-	-			
021	SINGLE	2'-8"	8'-0"	-	-	-	-			
022	SINGLE	3'-0"	8'-0"	-	-	-	-			
023	SINGLE	2'-6"	8'-0"	-	-	-	-			
024	BIFOLD	2'-6"	8'-0"	-	-	-	-			
025	SINGLE	2'-8"	8'-0"	-	-	-	-			
026	SLIDING DOUBLE	6'-0"	8'-0"	-	-	-	-			

WINDOW SCHEDULE									
MARK	TYPE	STYLE	SIZE		R.O.		D.P.		NOTES
			W	H	W	H	+	-	
001	FIXED	PICTURE	3'-8"	7'-4"	44"	88"	XX.XX	XX.XX	Temp. (See elev.)
002	H35 SH	SINGLE HUNG	2'-4"	5'-5"	28"	63"	XX.XX	XX.XX	
003	H35 SH	SINGLE HUNG	2'-4"	5'-5"	28"	63"	XX.XX	XX.XX	
004	14 SH	SINGLE HUNG	1'-10"	4'-4"	23"	51"	XX.XX	XX.XX	
005	(2) 25SH	SINGLE HUNG	3'-2"	5'-5"	75"	63"	XX.XX	XX.XX	Temp.
006	"	SINGLE HUNG	3'-2"	5'-5"	"	"	"	"	Temp.
007	H35 SH	SINGLE HUNG	2'-4"	5'-5"	28"	63"	XX.XX	XX.XX	
008	H35 SH	SINGLE HUNG	2'-4"	5'-5"	28"	63"	XX.XX	XX.XX	
009	H34 SH	SINGLE HUNG	2'-4"	4'-4"	28"	51"	XX.XX	XX.XX	
010	H34 SH	SINGLE HUNG	2'-4"	4'-4"	28"	51"	XX.XX	XX.XX	
011	FIXED	PICTURE	3'-8"	7'-4"	44"	88"	XX.XX	XX.XX	Temp. (See elev.)

NOTE: ALL WINDOW AND DOOR GLAZING TO BE IMPACT RESISTANT, CLEAR, NON-REFLECTIVE, LOW-UV & NON-INSULATED. ALL ALUMINUM FRAMES TO BE OF WHITE COLOR.

NEW PROPOSED AREA		
EX. A/C AREA		1,203 S.F.
NEW ADDITION A/C		2,080 S.F.
TOTAL SQUARE FEET		3,283 S.F.
EX. COVD. ENTRY		20 S.F.
EX. 1-CAR GARAGE		278 S.F.
NEW COVD. PATIO		456 S.F.
TOTAL SQUARE FEET		4,037 S.F.

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123 S.E. 7th AVENUE
CITY OF DELRAY BEACH
FLORIDA
project

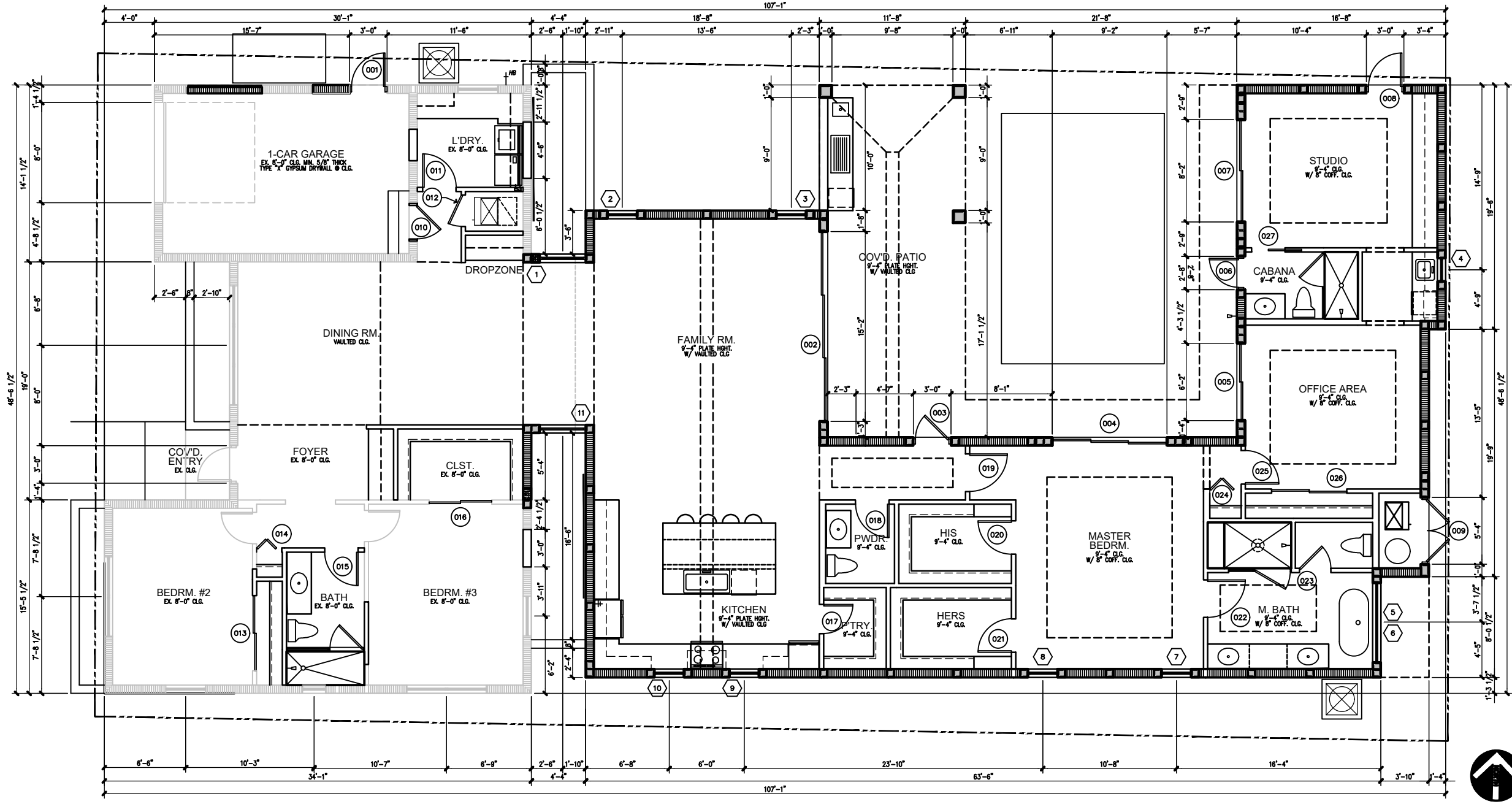
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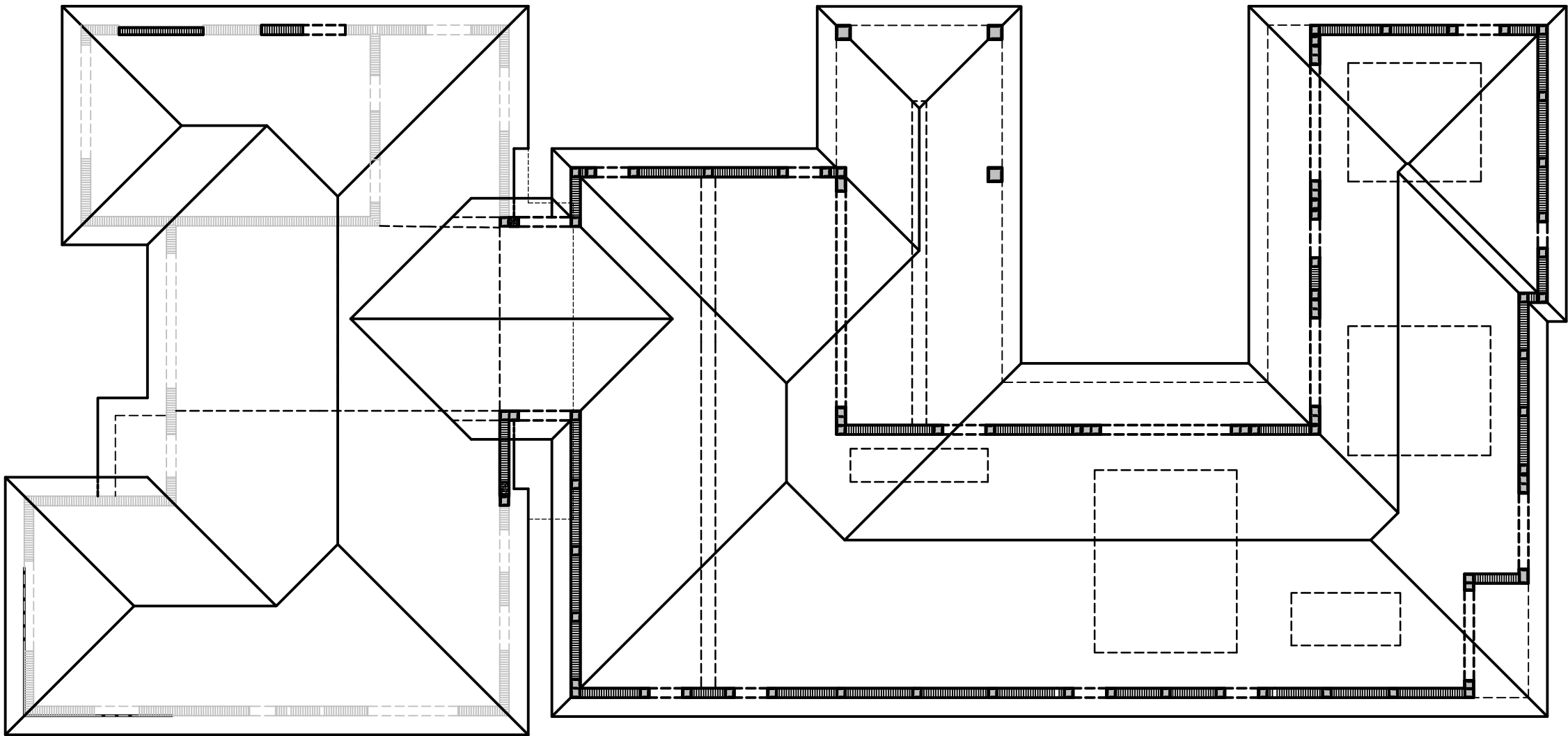
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drawing
FLOOR PLAN

sheet
A-1
of





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**FRAMING
PLAN**

sheet
S-2

of



EXISTING PHOTOGRAPHS



RIGHT SIDE FRONT (SOUTH)



RIGHT SIDE CENTER (SOUTH)



RIGHT SIDE REAR (SOUTH)



LEFT SIDE FRONT (NORTH)



LEFT SIDE REAR (NORTH)



FRONT VIEW (WEST)



REAR VIEW (EAST)

EAST VIEW



NORTH NEIGHBOR



EXISTING RESIDENCE



SOUTH NEIGHBOR

WEST VIEW



OPPOSITE SOUTH NEIGHBOR



OPPOSITE NEIGHBOR



OPPOSITE NORTH NEIGHBOR

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scale 1/4" = 1'-0"
job no. 21-XXXX-ARC

Shawn M. Stambaugh, PE
FL LIC. #1850 - CA. 20210

OERTH RESIDENCE
ADDITION
123 S.E. 7th AVENUE
CITY OF DELRAY BEACH
FLORIDA
project

QEA
QUANTUM ENGINEERING ASSOCIATES, INC.

Structural Engineering
•
Cost Segregation

6415 LAKE WORTH ROAD SUITE 105
GREENACRES, FL 33463
954.202.6914
WWW.QEASSOCIATES.COM

drawing
EXISTING
PHOTOGRAPHS

sheet
-

of

revisions	date
no.	//
0	

designed 6TD/SMS
drawn 6TD
checked SMS
date 08/02/2021
scale 1/4" = 1'-0"
job no. 21-XXXX-ARC

Shawn M. Stambaugh, PE
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drawing
PHOTO
REALISTIC
RENDERINGS

sheet
-
of



NOTE: WHITE PVC FENCING IS ONLY FOR REPRESENTATION PURPOSES, HOMEOWNER TO INSTALL WOOD FENCE PER CITY REQUIREMENTS.

NOTES:

1. UNDERGROUND UTILITIES WERE NOT LOCATED EXCEPT AS SHOWN.
2. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY SURVEYOR FOR EASEMENTS, RIGHTS-OF-WAYS, RESERVATIONS AND OTHER SIMILAR MATTERS OF RECORD.
3. ELEVATIONS ARE NORTH AMERICAN VERTICAL DATUM OF 1988.
4. BEARINGS ARE BASED ON CENTER LINE OF SE 7TH AVE ASSUMED TO BEAR S 1 24'22" E. (BASED ON NAD83)
5. SET 5/8" IRON ROD AND CAP #LB5984 UNLESS NOTED.
6. X.XX DENOTES EXISTING LOT GRADES.
7. LEGAL DESCRIPTION WAS FURNISHED BY CLIENT.
8. LOT AREA = 9,723 SQ. FT. MORE OR LESS.
9. ANY USE OF THIS SURVEY NOT APPROVED IN WRITING BY THE SIGNING SURVEYOR, IS THE RESPONSIBILITY OF THE USER.
10. ACCURACY STATEMENT: A FIELD SURVEY WAS PERFORMED IN ACCORDANCE WITH CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATE FOR BOUNDARY SURVEYS. THE ACCURACY OF THE CONTROL DATA WAS VERIFIED BY REDUNDANT MEASUREMENTS OF TRAVERSE CLOSURES AND EXCEEDS COMMERCIAL: 1' IN 10,000'.
11. BENCH MARK NAME: 17.163 (SRD), PALM BEACH COUNTY, ELEVATION = 15.617 NAVD 88.

DRAINAGE NOTES

FLOOD ZONE: AE (EL 6.0 FEET)
 COMMUNITY-PANEL NO. 120 99C 0979 F
 EFFECTIVE DATE: OCTOBER 5, 2017

LEGEND:

N&TT = NAIL AND TIN TAB
 M.E. = MAINTENANCE EASEMENT
 FP&L = FLORIDA POWER & LIGHT
 P.C.P. = PERMANENT CONTROL POINT
 C/L = CENTERLINE
 SDE = SWALE DRAINAGE EASEMENT
 U.E. = UTILITY EASEMENT
 FND = FOUND
 CONC = CONCRETE
 N&D = NAIL & DISC
 IR&C = IRON ROD & CAP
 R/W = RIGHT OF WAY
 F.F. = FINISH FLOOR
 R = RADIUS
 A = DELTA
 L = LENGTH

REVISE LEGAL DESCRIPTION 6-30-21
 UPDATE SURVEY 9-03-20
 REVISED NOTES, ADDED BENCH MARK 10-30-19

SHEET 1 OF 2

I HEREBY CERTIFY: THAT THIS BOUNDARY SURVEY WAS PERFORMED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND FURTHER, THAT SAID "BOUNDARY SURVEY MEETS THE INTENT OF THE APPLICABLE PROVISIONS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA", PURSUANT TO RULE 5J-17.05, OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, CHAPTER 472.027 OF THE FLORIDA STATUTES. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER

JOHN F. TRACH
 STATE OF FLORIDA
 PLS NO. 1871



BOUNDARY SURVEY
DELRAY BEACH
 NORTH 23 FEET LOT 23 & LOT 24, BLOCK 126
 PLAT BOOK 11 PAGE 4
 PALM BEACH COUNTY, FLORIDA

09-25-19
 SURVEY DATE:

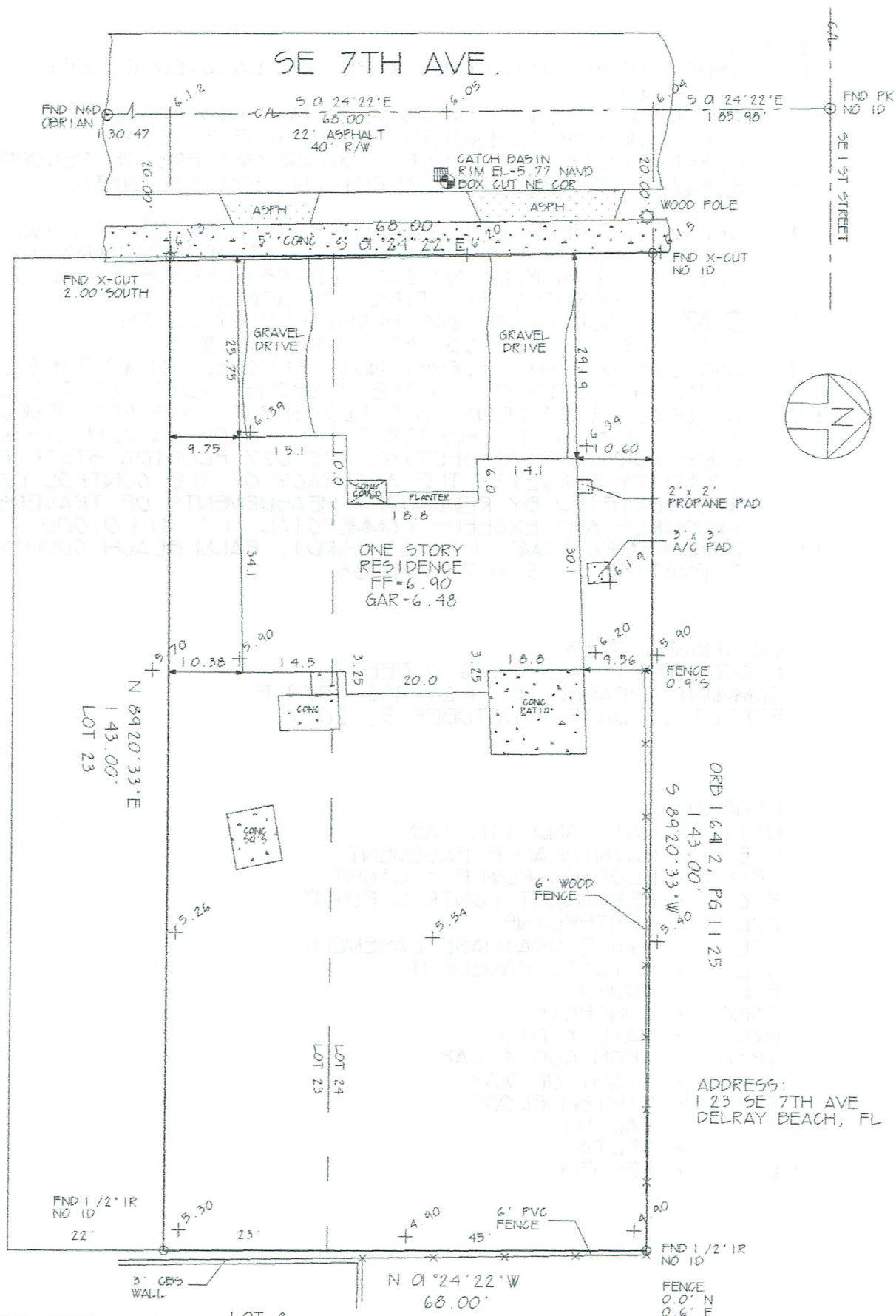
1" = 20'
 SCALE:

GPS COL
 F.B. P.

UNIVERSAL SURVEYING SYSTEMS, INC.
 CERTIFICATE OF AUTHORIZATION NUMBER LB 5984
 2623 LAKE DRIVE NORTH
 BOYNTON BEACH, FLORIDA 33435
 OFFICE: 561-736-0432 JTRACHPLS@GMAIL.COM

19-09-024
 DBLOT24

DRAWING NO.



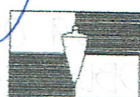
REVISE LEGAL DESCRIPTION 6-30-21 8
 UPDATE SURVEY 9-03-20
 TOPOGRAPHIC SURVEY 10-30-19

LOT 7

SHEET 2 OF 2

I HEREBY CERTIFY: THAT THIS BOUNDARY SURVEY WAS PERFORMED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY MY KNOWLEDGE AND BELIEF AND FURTHER, THAT SAID 'BOUNDARY SURVEY MEETS THE INTENT OF THE APPLICABLE PROVISIONS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA', PURSUANT TO RULE 5J-17.031, OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, CHAPTER 472.027 OF THE FLORIDA STATUTES, NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER.

JOHN F. TRACH
 STATE OF FLORIDA
 PLS NO. 4871



BOUNDARY SURVEY
DELRAY BEACH
NORTH 23 FEET LOT 23 & LOT 24, BLOCK 126
PLAT BOOK 11, PAGE 4
PALM BEACH COUNTY, FLORIDA

09-25-19
 SURVEY DATE:

1"=20'
 SCALE:

GPS COL
 F.D.

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