



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Atlantic Crossing (Building I & III) (2021-200)

Project Location: 625 E. Atlantic Ave

Request: Class I Site Plan Modification

PCN: 12-43-46-16-P7-001-0010

Board: Site Plan Review and Appearance Board

Meeting Date: August 25, 2021

Board Vote: (5-0)(Carol Perez Stepped Down)

Board Action:

Approved the Class I Site Plan Modification (5-0 vote) for Atlantic Crossing, by finding the request is consistent with the Comprehensive Plan and Land Development Regulations.

Project Description:

The modification to Building I includes the replacement of a trellis with support columns spanning the width of the entire south elevation, facing East Atlantic Avenue. The replacement is required by the Florida Department of Transportation (FDOT) review, who owns this portion of East Atlantic Avenue. The solution proposed by the applicant is to add individual trellis awnings at a smaller depth of three feet so that support columns are no longer required. The new awnings will be located above two storefronts and the pedestrian passageway leading to the internal courtyard and providing access to the balance of the development. The modifications to Building III includes increasing the green wall area located on the second and third stories of the south and west elevations by eliminating transom windows located below the larger picture windows. The entrance to a commercial space on the easternmost portion of the south elevation is being review from a covered storefront entry to an arched entry finished to match the balance of the building.

Board Comments:

N/A

Public Comments:

N/A

Associated Actions:

N/A

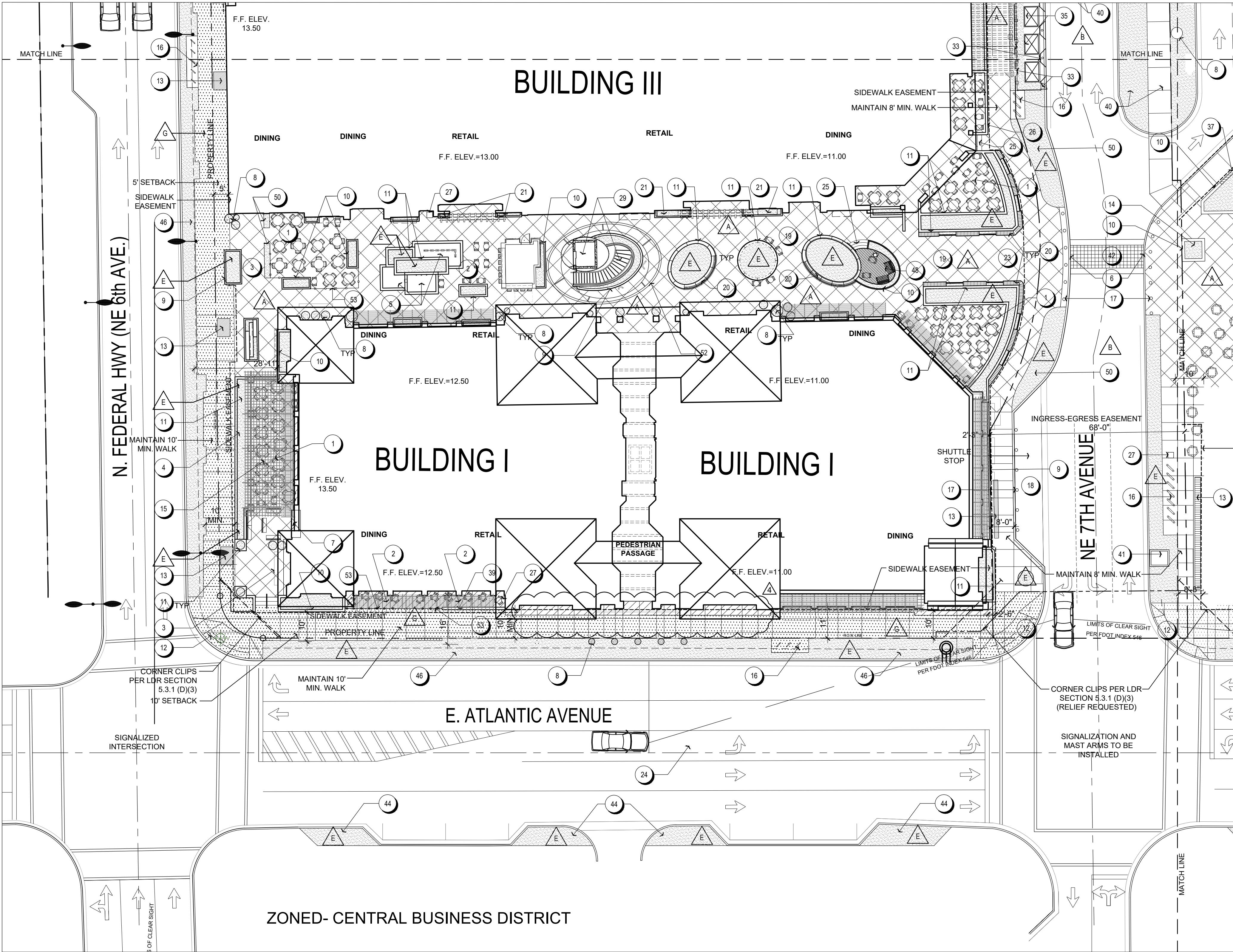
Next Action: The SPRAB action is final unless appealed by the City Commission.

SPRAB NOTE 08/02/2019:

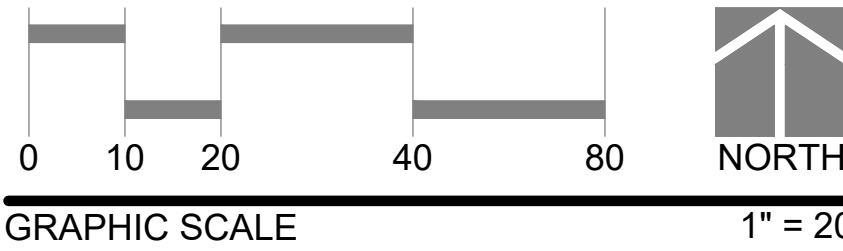
- 1. OUTDOOR SEATING FOR RESTAURANTS MODESTLY RECONFIGURED TO ENHANCE TENANT OPERATIONS.
- 2. PLANTERS RECONFIGURED TO IMPROVE PEDESTRIAN CIRCULATION AND ENHANCE RETAIL OPERATIONS.
- 3. OUTDOOR BAR REDESIGNED TO COMPLEMENT ORGANIC PLANTER FORMS AND RESPOND TO PRIOR CITY COMMENTS.
- 4. AQUARIUM REMOVED.
- 5. MINOR ADJUSTMENTS OF PLANTERS AND HARDSCAPE THROUGHOUT TO ADVANCE DOCUMENTATION AND REFLECT BEST PRACTICES.

SPRAB NOTE 04/19/2021:

- 1. REMOVAL OF THE BUILDING TRELLIS AS REQUIRED BY FDOT



SITE PLAN



FEATURES LEGEND

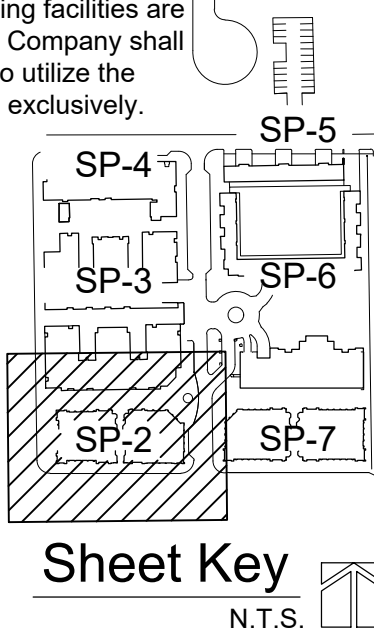
- | | |
|--|--|
| 1 Outdoor Dining Area | 28 Emergency Generator |
| 2 Outdoor Cafe/Bar Area | 29 Elevator and Stair to Garage |
| 3 Waiting Area Seating | 30 On-Street Parking |
| 4 Water Feature | 31 Central Mailboxes/Transportation Information Kiosk |
| 5 Terraced Water Feature | 32 Bus Stop/Shelter (Per Palm Tran Requirements) |
| 6 Fire Feature | 33 Screen Gates (Transformers) |
| 7 Fire Place | 34 Security Gate |
| 8 Planted Pottery | 35 Transformers/Switch Cabinet |
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| 10 Seat Height Planter (18"-24") | 37 Garage Vent in Vertical Wall |
| 11 Planter (30"-42") | 38 Cheek Wall with Steps |
| 12 Accessible Pedestrian Ramp (Per FDOT Index 304) | 39 Retaining Seat Wall |
| 13 Walkable Garage Vent, See Detail, Sheet SP-4 | 40 FPL Transformer Easement |
| 14 Sculpture Feature | 41 Water Meter Vault |
| 15 Trellis | 42 6" High Speed Table with Raised Crosswalk |
| 16 Bike Racks | 43 Covered Walkway |
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| 19 Seating Area | 46 4 ft. Recovery Zone |
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| 21 Planting Bed For Vine On Trellis | 48 Stage & Seating Area |
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| 25 Steps | 52 Canopy Above |
| 26 Low Terrace Wall | 53 Metal Railing 12" to 24" Height |
| 27 Trash Receptacle | |

MATERIALS LEGEND

- | | |
|--|-----------------------------|
| | A Concrete Paving |
| | B Unit Paver Street |
| | C Specialty Concrete Paving |
| | D Concrete Curb & Gutter |
| | E Landscape Planting Area |
| | F Not Used |
| | G Unit Paver Sidewalk |

NOTES

- Public sidewalks (8' and 10' walks) that fall beyond the R.O.W. or the ingress-egress easement will be granted a sidewalk easement for the portion of walk that is on private property.
- If the Board finds the loading facilities are inadequate, Management Company shall require delivery services to utilize the designated loading zones exclusively.



SP-2, LP-02	04-19-2021
SP-1, SP-7	8-02-19
Class 1 Modification	4-12-19
Response to Staff Comments	5-10-17
Settlement modification	4-21-17
Conditions of Approval per S. Page	11-26-14
Response letter dated 11-26-14	10-25-13
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Revisions per TAC review dated 08-06-13	09-17-19R
Revisions	

MKSK

LANDSCAPE ARCHITECTURE + URBAN PLANNING

482 SOUTH LUDLOW ALLEY
COLUMBUS, OH 43215
614 6212796 MKSKSTUDIOS.COM

Site Plan

Atlantic Crossing

Florida

Delray Beach

Date

06-25-13

Scale

As Noted

PN#

c12103

PREPARED BY

Timothy S. Schmalenberger, TLA
Landscape Architect #130
State of Florida
- for the firm -

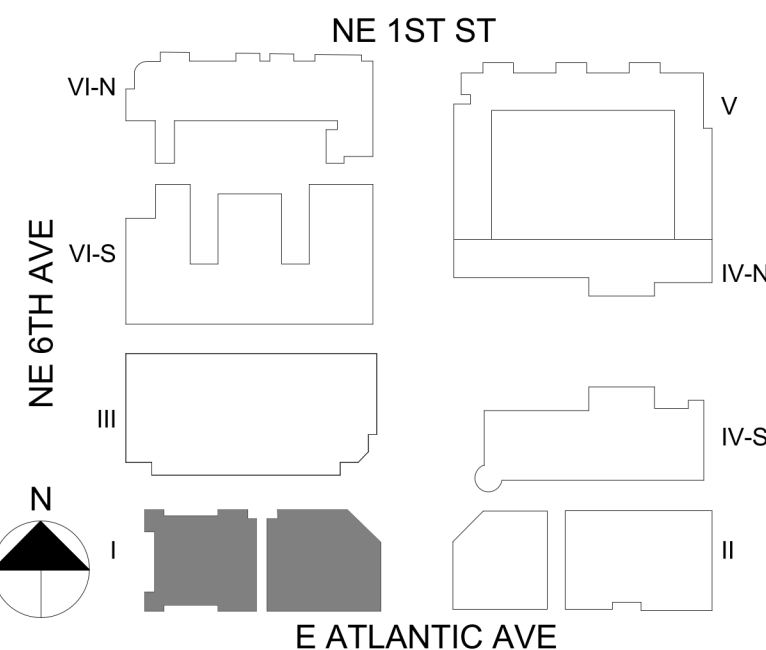
DATE

04-19-2021

Drawing No.

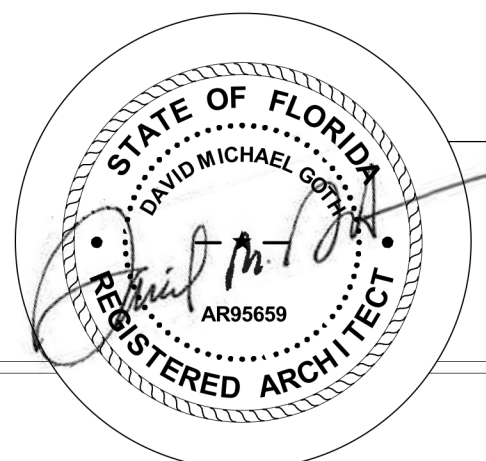
SP-2

2 OF 7



Atlantic Crossing

Project Number: 12023.0

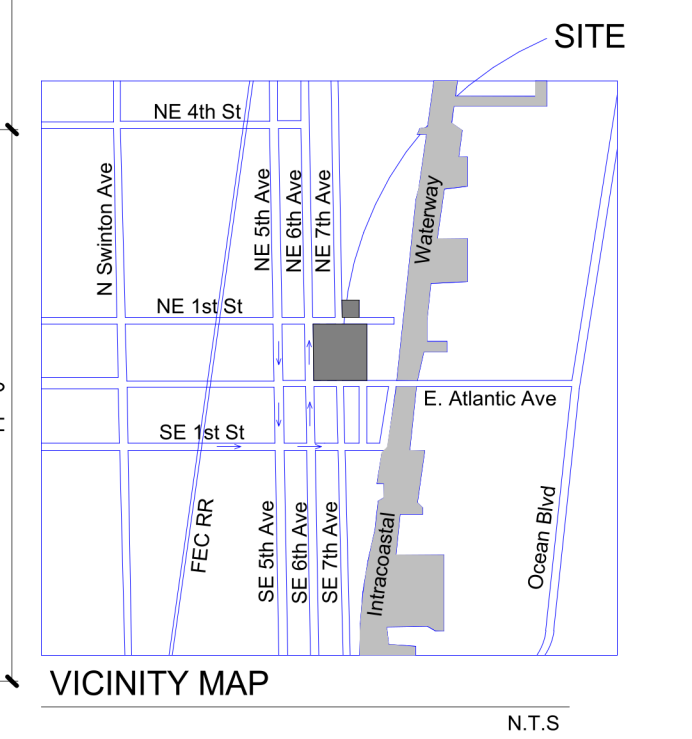
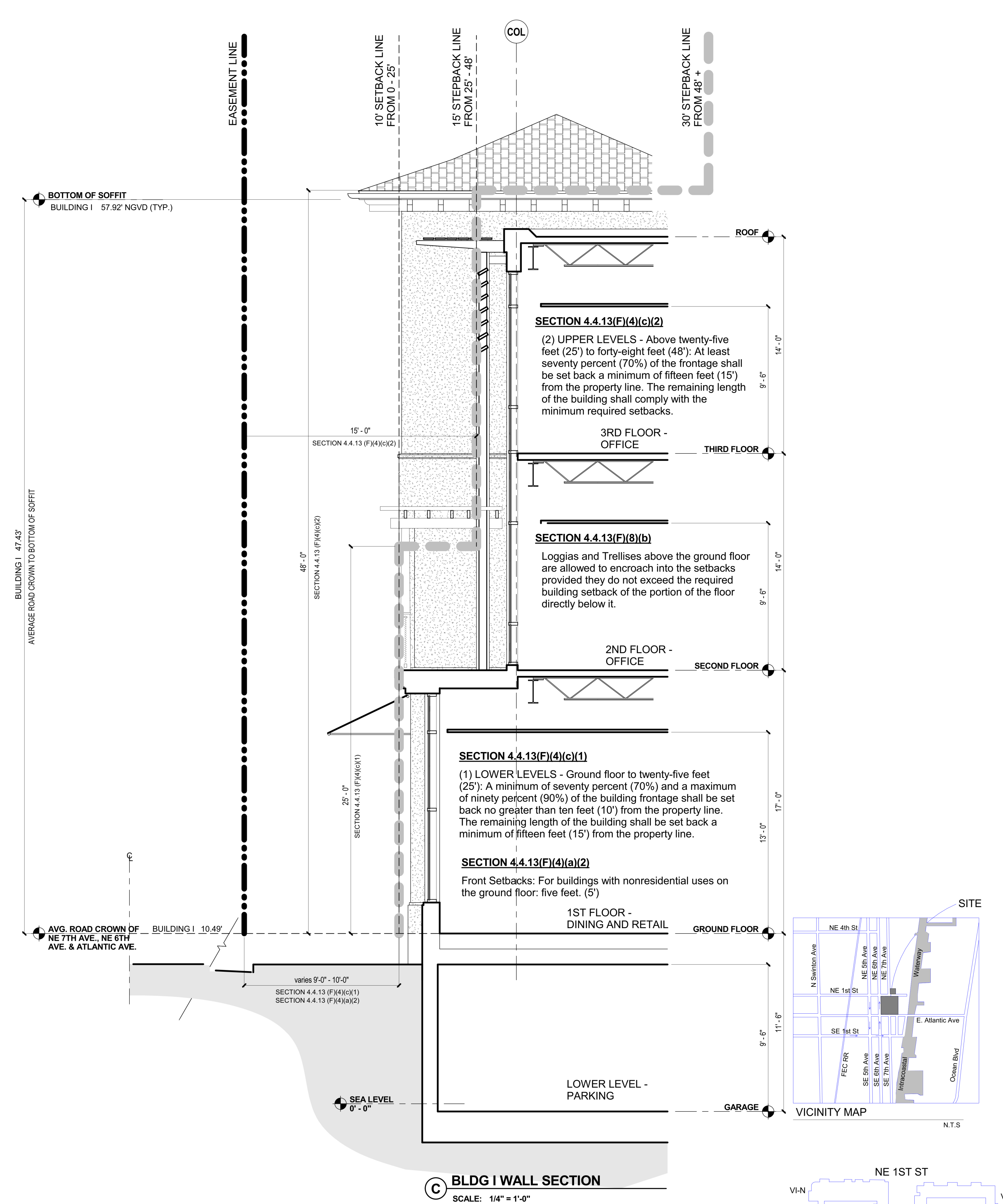
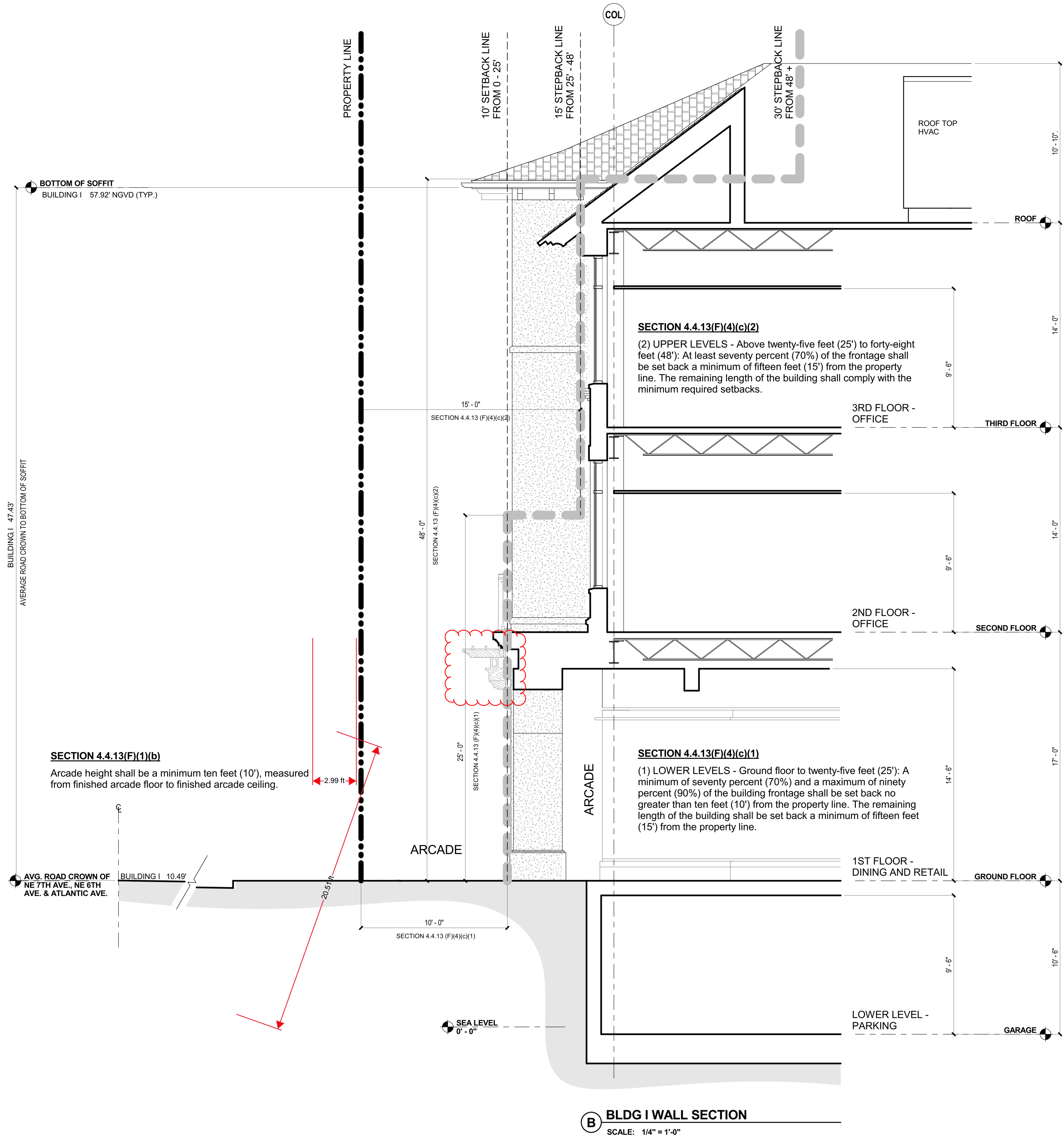


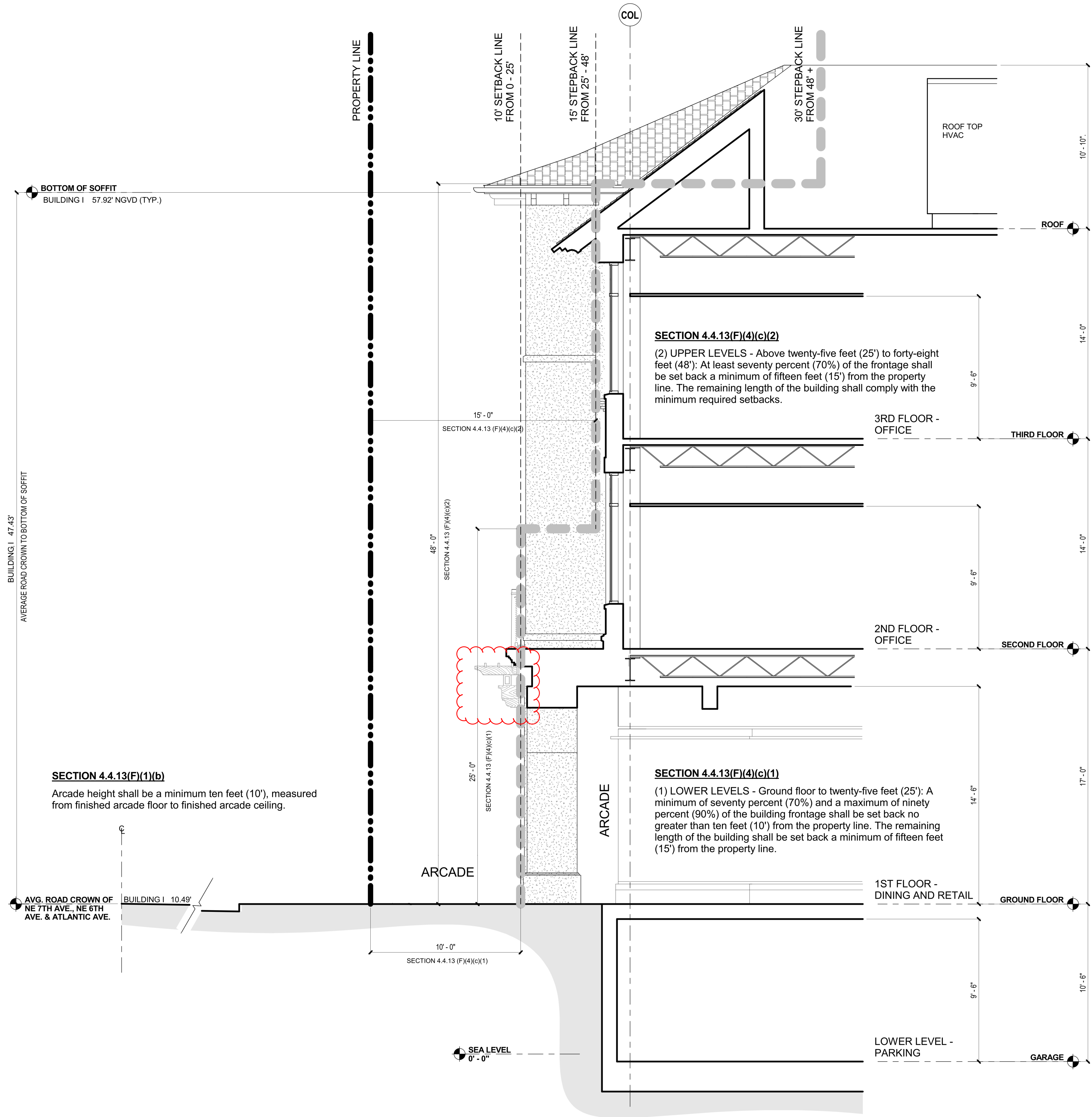
DATE:	ISSUE / REVISIONS:
06/18/13	SITEPLAN SUBMITTAL
06/24/13	SITEPLAN SUBMITTAL REVISION
09/17/13	RESPONSE TO STAFF COMMENTS
10/29/2013	10/18 STAFF RESPONSE
11.14.2014	Response to 2.12.14 staff comments
07/31/2020	EXTERIOR LIGHTING
04/19/2021	CLASS I MOD. 2021

SCALE: Designer

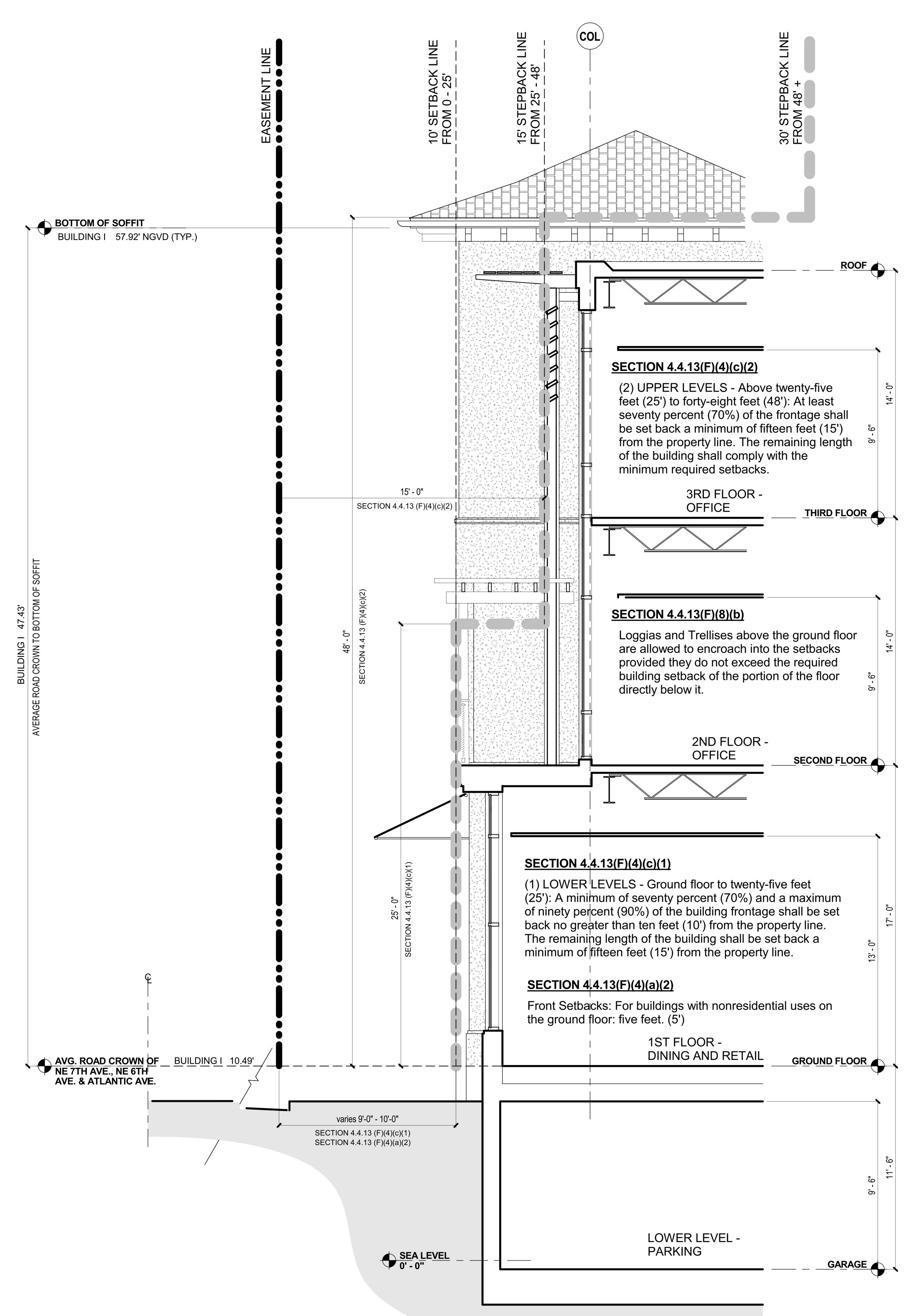
A1.3

DATE: 12.03.2013

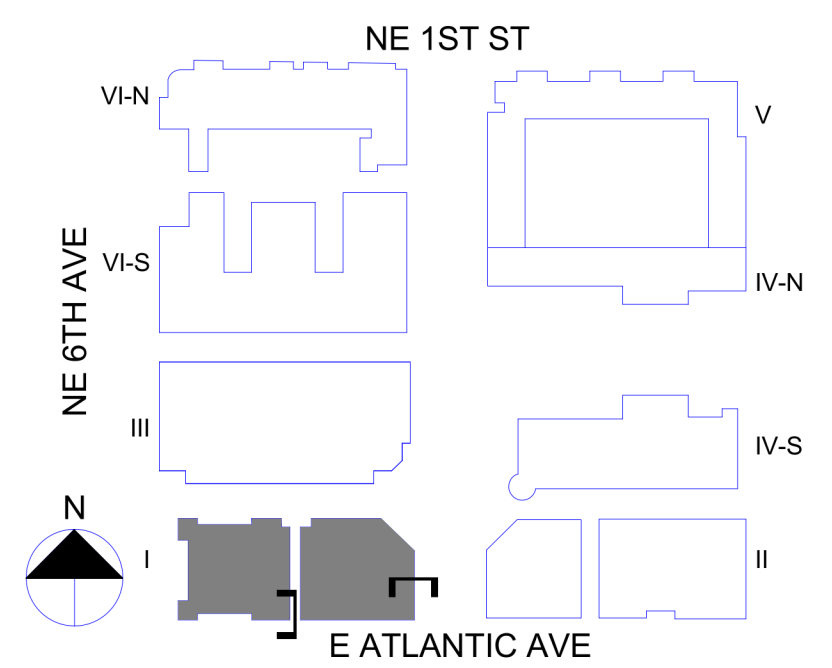
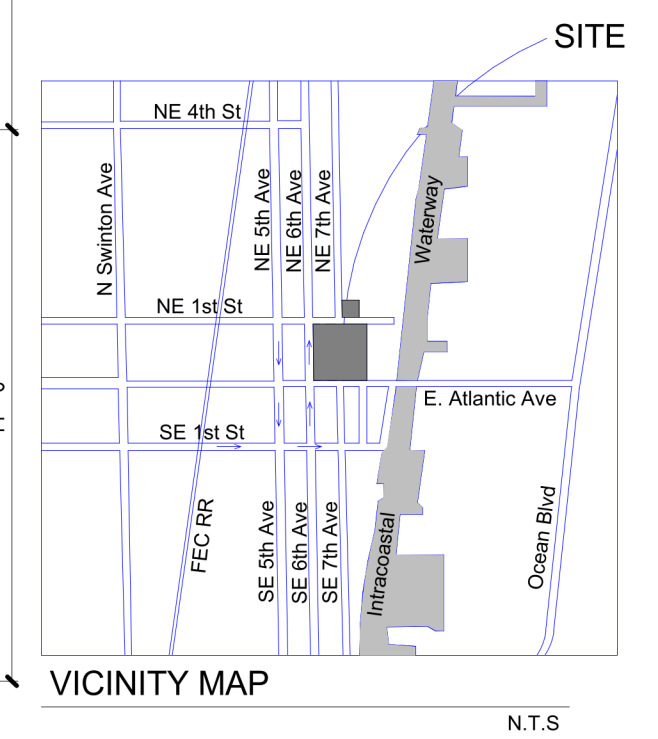




B BLDG I WALL SECTION
SCALE: 1/4" = 1'-0"



C BLDG I WALL SECTION
SCALE: 1/4" = 1'-0"

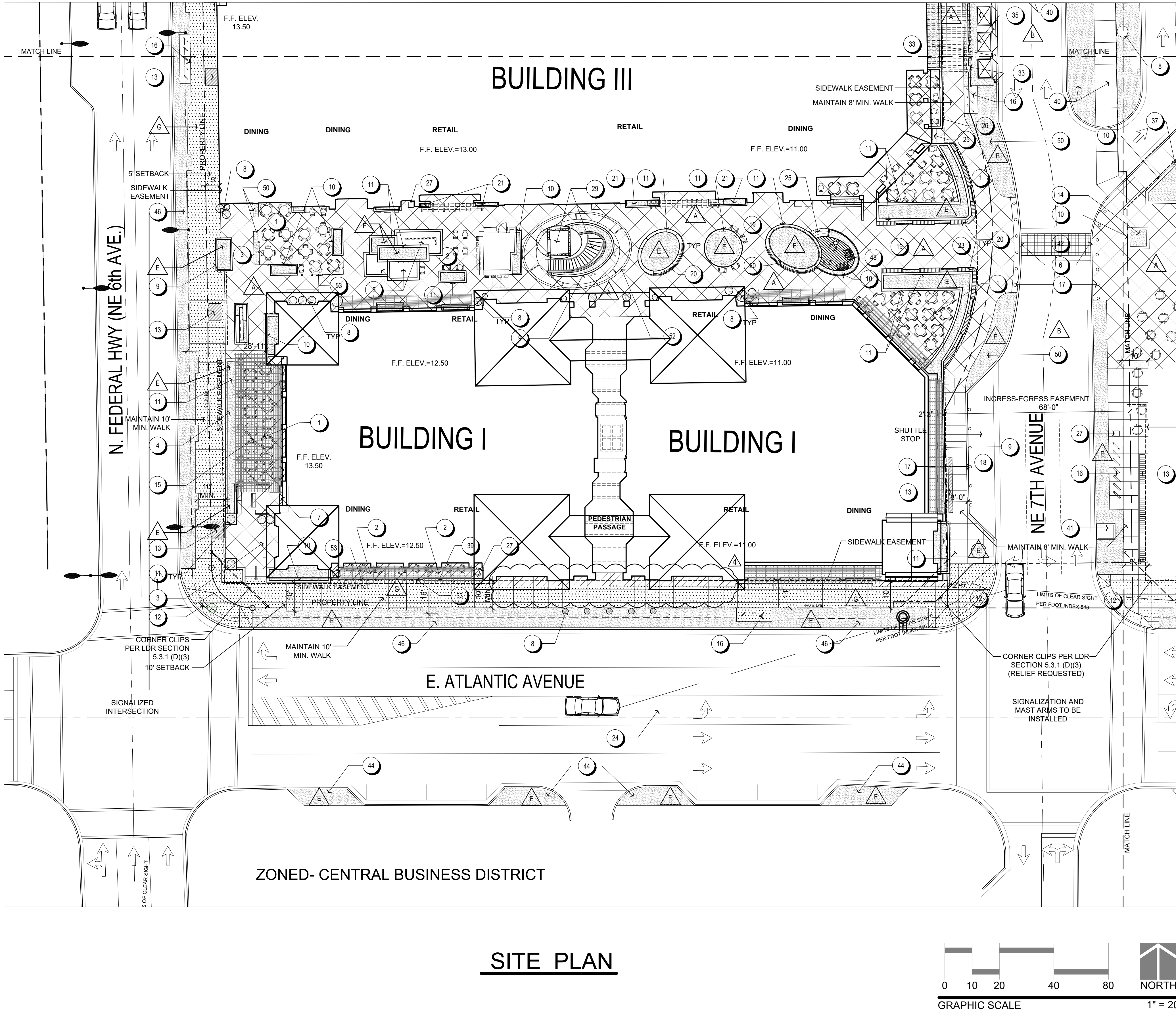


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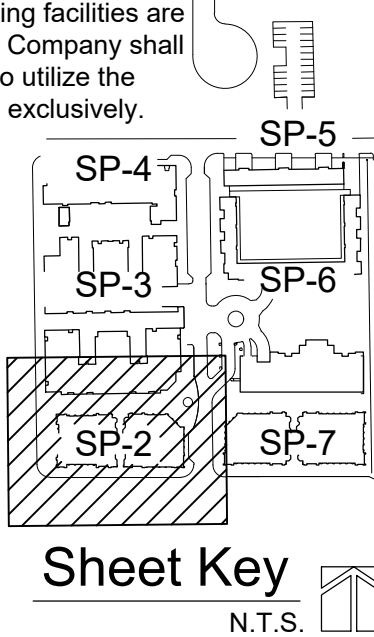
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Site Plan

Atlantic Crossing

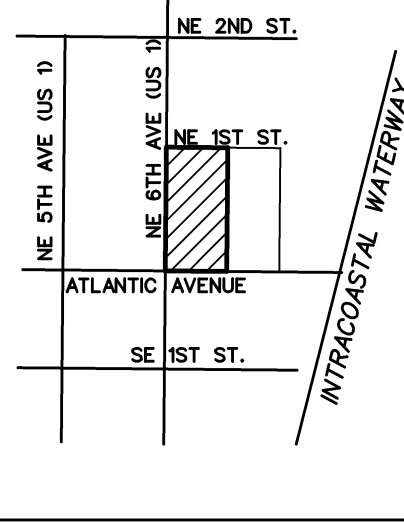
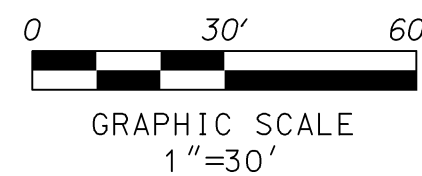
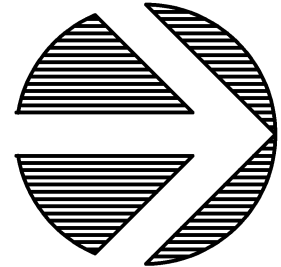
Florida

Delray Beach

Date 06-25-13
Scale As Noted
PN# c12103

PREPARED BY
Timothy S. Schmalenberger, TLA
Landscape Architect #130
State of Florida
- for the firm -
DATE 04-19-2021

Drawing No.
SP-2
2 OF 7



LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION

THAT PORTION OF TRACT A, "ATLANTIC CROSSING", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 125 AT PAGES 80 THROUGH 85 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LYING WEST OF THE EAST LINE OF THE 40.00' FOOT ROAD RIGHT-OF-WAY FOR NE 7TH AVENUE, AS ABANDONED PER OFFICIAL RECORDS BOOK 23166 AT PAGE 1366 OF SAID PUBLIC RECORDS.

NOTES

1. REPRODUCTIONS OF THIS SKETCH ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. TITLE INFORMATION SHOWN ON THIS PAGE.
3. BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED BEARING NORTH 90°00'00" EAST ALONG THE SOUTH LINE OF TRACT B OF "CDS DELRAY REDEVELOPMENT". GRID BEARINGS AND STATE PLANE COORDINATES SHOWN HEREON ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, TRANSVERSE MERCATOR FLORIDA EAST ZONE, USING PALM BEACH COUNTY CONTROL POINTS "MIDDLE" AND "DELRAY SOUTH BASE".
4. ELEVATIONS SHOWN HEREON ARE BASED ON PALM BEACH COUNTY BENCHMARK "17.163(SRD)" - F.D.O.T. BRASS DISK IN CONCRETE STAMPED 17.163 (SRD). DISK LOCATED 0.4 MILES EAST OF FEC CROSSING ALONG ATLANTIC AVENUE. ELEVATION = 17.163' (NGVD 1929). ALL ELEVATIONS SHOWN ARE RELATIVE TO NGVD 1929. NGVD 1929 VALUE = 1.532' - NAVD 1988 VALUE.
5. UNDERGROUND UTILITY LOCATION IS BASED UPON MARKINGS BY OTHERS.

FLOOD INFORMATION

COMMUNITY NUMBER : 125102
PANEL NUMBER : 12099C0979F
DATE OF FIRM : OCTOBER 5, 2017
ZONE : X, X-0.2% ANNUAL CHANCE
BASE FLOOD ELEV : N/A

TITLE CERTIFICATE

CERTIFICATE OF TITLE #2061-3992459
FIRST AMERICAN TITLE INSURANCE COMPANY
EFFECTIVE DATE: DECEMBER 21, 2018 AT 8:00 AM

BOOK, PAGE	DESCRIPTION	APPLIES? SHOWN?
9 ORB 23166, PG. 1533	EASEMENT AGREEMENT	YES YES
10 ORB 24662, PG. 1944	LANDSCAPE MAINT. AGREEMENT	YES NO
13 ORB 17580, PG. 364	DEED RESTRICTIONS	YES NO
15 ORB 27581, PG. 1544	WORKFORCE HOUSING AG	YES NO
16 ORB 27726, PG. 1894	FPL EASEMENT	YES YES
17 ORB 27726, PG. 1904	FPL EASEMENT	YES YES
18 ORB 29455, PG. 1923	FPL EASEMENT	YES YES
19 P.B. 125, PGS. 80-85	ATLANTIC CROSSING PLAT	YES YES
20 ORB 29621, PG. 393	ACCESS EASEMENT	YES YES

ABBREVIATIONS

A	ARC
C	CALCULATED
CONC.	CONCRETE
COR.	CORNER
D.E.	DELTA (CENTRAL ANGLE)
DRAINAGE	DRAINAGE EASEMENT
G.U.E.	GENERAL UTILITY EASEMENT
I.R.	IRON ROD
I.R.C.	IRON ROD AND CAP
L.B.	LICENSED BUSINESS
L.S.	LICENSED SURVEYOR
MON.	MONUMENT
O.R.B.	OFFICIAL RECORDS BOOK
P.B.	PLAT BOOK
P.B.C.R.	PALM BEACH COUNTY RECORDS
PAGE	PROFESSIONAL SURVEYOR & MAPPER
P.S.M.	PROFESSIONAL SURVEYOR & MAPPER
R.C.P.	REINFORCED CONCRETE PIPE
SANITARY	SANITARY
U.E.	UTILITY EASEMENT

LEGEND

GUY ANCHOR WIRE
WOOD UTILITY POLE
SANITARY SEWER MANHOLE
CATCH BASIN
BELL SOUTH RISER
WATER VALVE
SINGLE SUPPORT SIGN
DRAINAGE MANHOLE
TRAFFIC SIGNAL BOX
OVERHEAD UTILITY LINE
IRRIGATION BOX
LIGHT POLE
CONCRETE POWER POLE
ELECTRIC SERVICE
CATV BOX
ELECTRIC MANHOLE
FENCE
BELLSOUTH MANHOLE
WATER METER
CONCRETE SIGNAL POLE

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON COMPLIES WITH STANDARDS OF PRACTICE FOR SURVEYS AS CONTAINED IN CHAPTER 5J-17.051, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED UNDER MY DIRECTION.

JEFF S. HODAPP
SURVEYOR AND MAPPER
FLORIDA LICENSE NO. LS5111

LAST DATE OF FIELD WORK : SEPTEMBER 28, 2018.

REMAINDER OF TRACT A
"ATLANTIC CROSSING"
(P.B. 125, PGS. 80-85, P.B.C.R.)



947 Clint Moore Road
Boca Raton, Florida, 33487

Certificate of Authorization No. LB7264

Tel: (561) 241-9988
Fax: (561) 241-5182

EDWARDS ATLANTIC AVENUE PARCEL - BUILDING 3 CONSTRUCTION LAYOUT SURVEY - SPOT ELEVATIONS - 2ND FLOOR

NO.	DATE	BY	CK'D	REVISIONS:	FB/PG
1	12/13/18	JSH		UPDATE TITLE INFO	
2	01/04/19	JSH		UPDATE TITLE INFO	
3	12/11/19	JSH		PLOT PLAN	
4	6/30/20	JSH		SPOT ELEVATIONS - 2ND FLOOR	
5					
6					

JOB NO. 14167

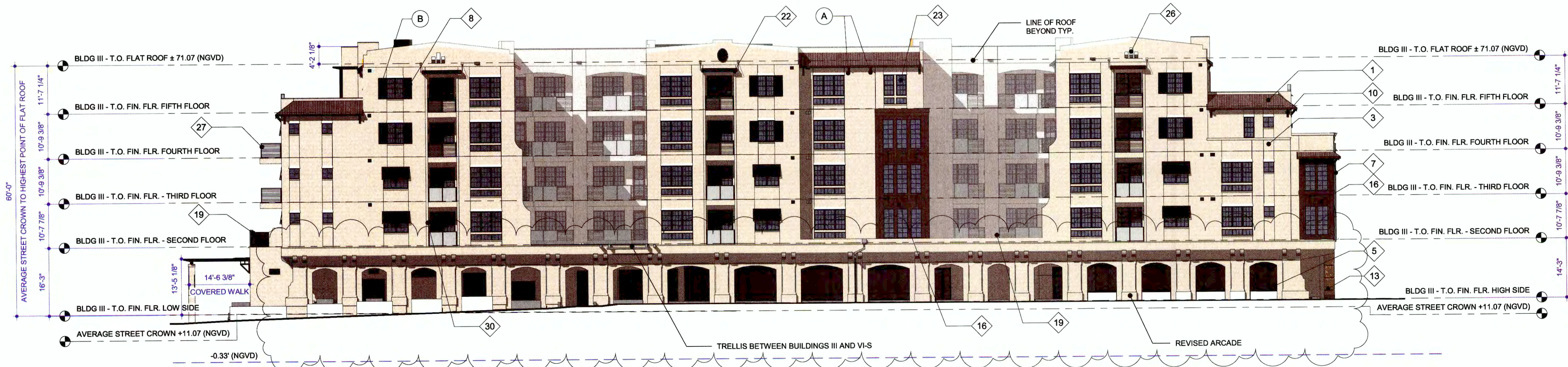
SCALE 1"=30'

DRAWN JSH

CHECKED AR

SEAL

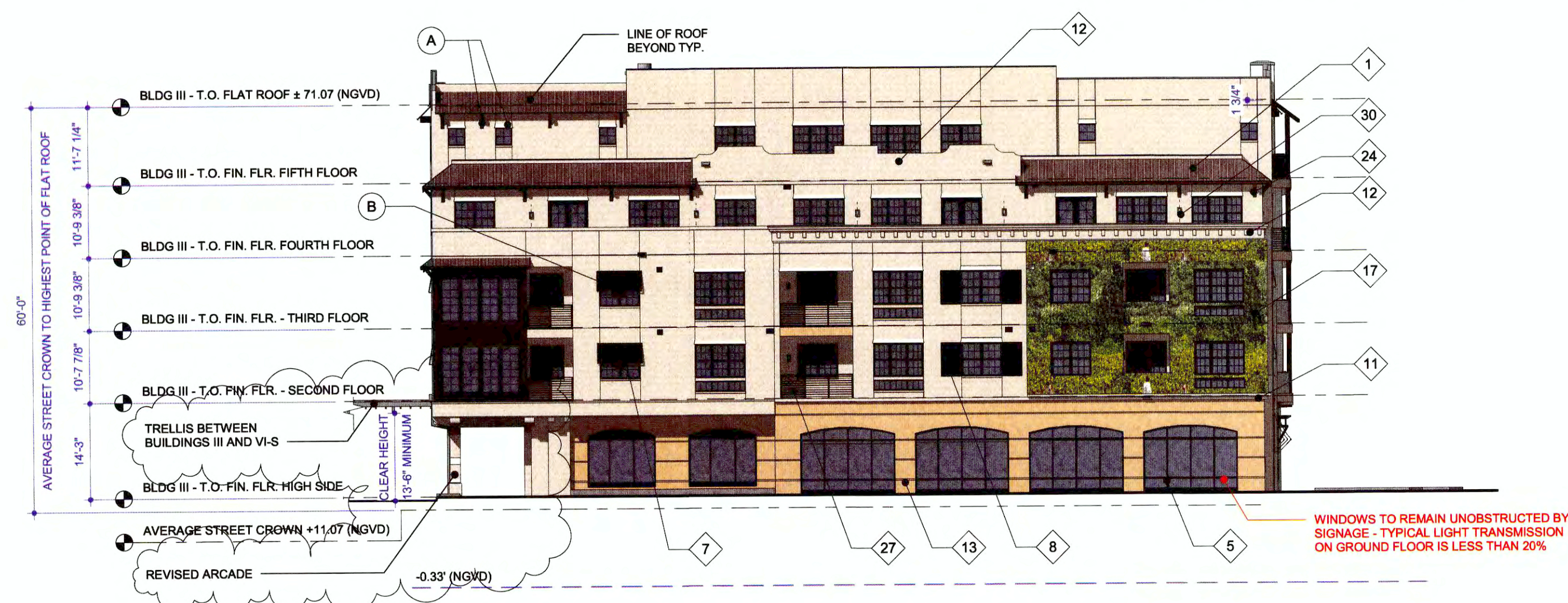
SHEET 1 OF 1



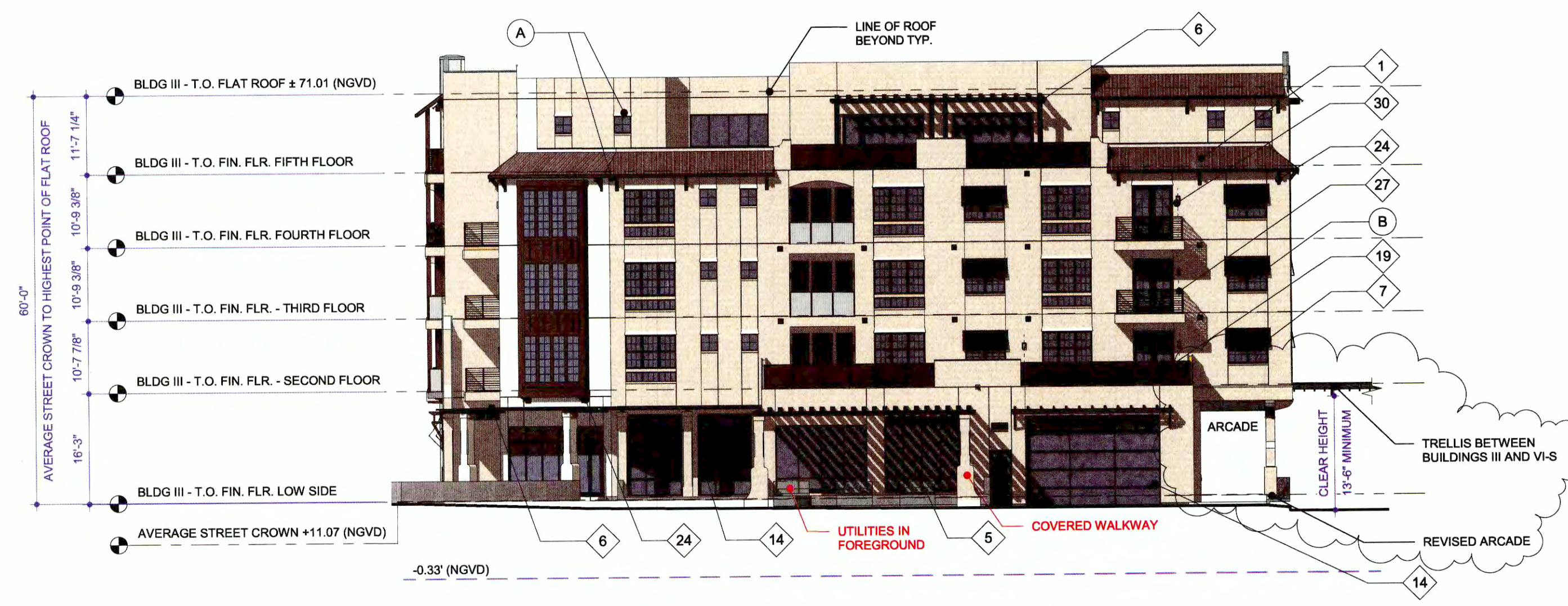
BLDG III - NORTH ELEVATION



BLDG III - SOUTH ELEVATION



BLDG III - WEST ELEVATION



BLDG III - EAST ELEVATION

BUILDING III MATERIAL LEGEND

	STUCCO - CLOUD WHITE	BM-967
	STUCCO - PHILADELPHIA CREAM	BM-HC-30
	WOOD - KENDALL CHARCOAL	BM-HC-166
	LIVING WALL	
	STUCCO TRIMS - VARIES COLORS TO MATCH ADJACENT FIELD	
	SHUTTERS - KENDALL CHARCOAL	BM-HC-166

RESPONSE TO 2.12.14 STAFF COMMENTS
• BUILDING III NORTHWEST FOOTPRINT ADJUSTED DUE TO ADDITION OF RAMP AT NE 6TH AVENUE
• WINDOWS OF THE BUSINESSES AND OFFICES REMAIN UNOBSTRUCTED BY SIGNAGE
• LIGHT TRANSMISSION FOR GROUND FLOOR GLASS AREA TO BE NO GREATER THAN 20%
• KNOX BOXES TO BE PROVIDED AT ROLL DOWN GATES
• GREEN WALL IS CONSIDERED A TRELLIS WHICH SHALL BE ALLOWED TO ENCR OACH INTO SETBACK ALONG FEDERAL HIGHWAY
• ADDED INGRESS/EGRESS RAMP AT NE 6TH AVE

SETTLEMENT MODIFICATION 4.21.2017
• ADD ARCADE ALONG THE NORTH ELEVATION
• ADJUST POSITION OF LOADING AREA
• ADJUST EAST AND WEST ELEVATIONS DUE TO ADDITION OF ARCADE

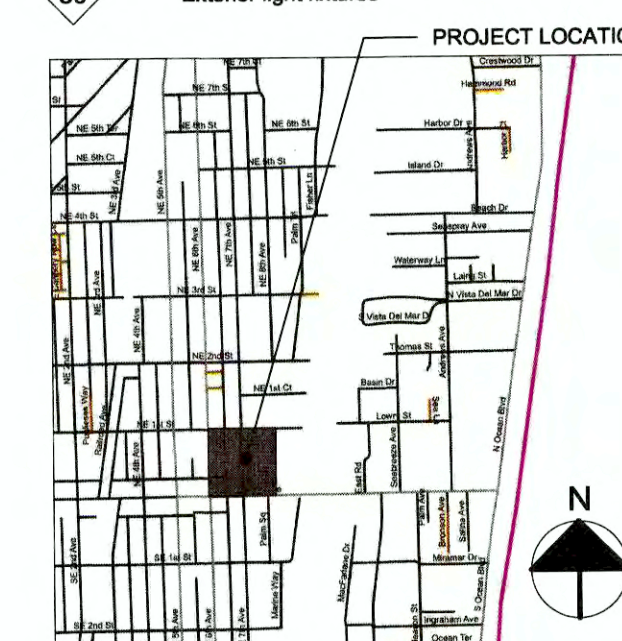
ARCHITECTURAL ELEVATION REVISIONS 7.19.2018
GENERALLY REVISE ELEVATIONS TO BE MORE CONSISTENT WITH ANGLO CARIBBEAN, INCLUDING:
• SCULPTED FORMS AT ARCADE AND AT FEATURE ELEMENTS OF THE BUILDING
• RE-SCALE WINDOWS AT CORNERS
• WOOD DETAILING AS ACCENT AT VERTICAL FORMS
• ENHANCE DETAIL AT BUILDING GAP
• RE-DETAIL ARCADE AND LOW ROOF FORMS

CLASS II MODIFICATION 2019 8.2.2019
• REVISE DETAIL AT ARCADE
• ADD TRELLIS BETWEEN III & VI-S

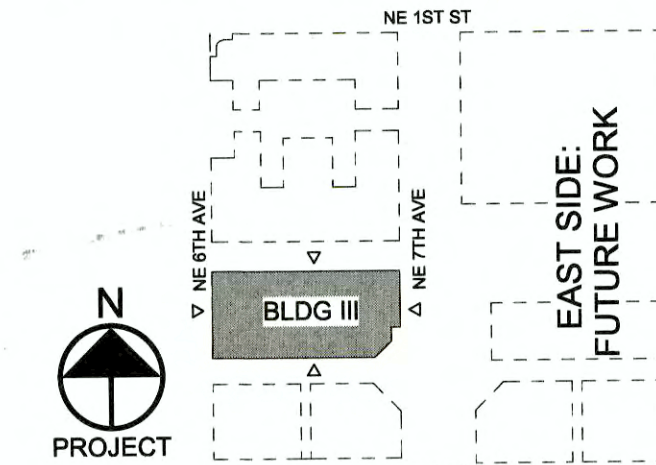
ELEVATION NOTES

NOTE: All wall cladding shall be stucco unless otherwise noted.

- 1 Standing seam metal roof; galvalume
- 2 Ornamental iron railing; powder coated
- 3 Built-up parapet cap; stucco
- 4 Embossed wood texture storefront system
- 5 Storefront system
- 6 Wood pergola & trellis
- 7 Painted composite Bermuda shutters
- 8 Painted composite shutters; fixed
- 9 Fabric awning system
- 10 Decorative corbel
- 11 Built-up stucco sill
- 12 Stucco parapet (6'-0 high max. from top of roof deck)
- 13 Stucco with simulated stone texture base
- 14 Overhead garage door - Glass
- 15 Decorative arched louver panel; powder coated
- 16 Wood boxed out detail
- 17 "Living wall" - Plant material over stainless steel support. Considered a trellis and will be allowed within setback
- 18 Perforated metal panel railing
- 19 Wood panel railing
- 20 Paneled wood accent
- 21 Louvered panels; powder coated
- 22 Steel Trellis
- 23 Vinyl windows
- 24 Decorative wood brackets
- 25 2" Reveal
- 26 Decorative stucco inset
- 27 Steel Cable Railing
- 28 Fluted column cap; stucco
- 29 Ornamental iron gates and screen; powder coated
- 30 Exterior light fixtures



VICINITY MAP



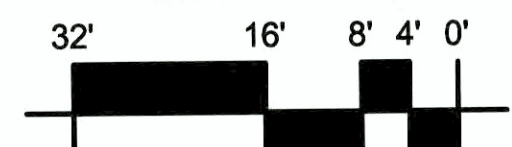
KEY PLAN



DATE:	ISSUE / REVISIONS:
06.18.2013	Site Plan Submittal
09.17.2013	Response to Staff Comments
10.29.2013	10/18 Staff Response
11.14.2014	Resp. 2.12.14 Staff Comments
2.10.15	Per Certification Comments
04.21.2017	Settlement Modification
07.19.2018	Arch. Elevation Revisions
08.06.2019	Class II Modification 2019

BLDG III ELEVATIONS

DRAWN BY: CS, BB, KK



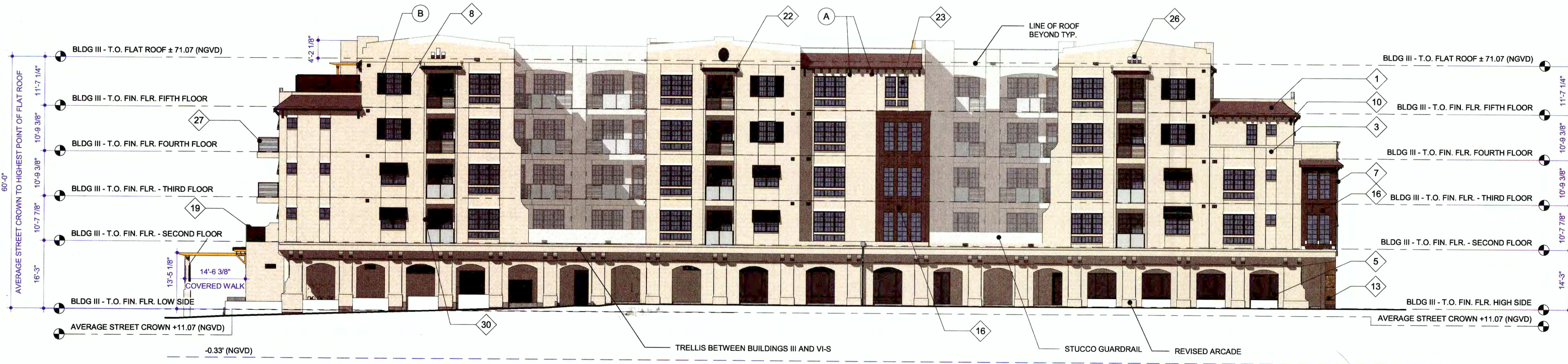
As indicated

SHEET NUMBER

VOLUME 2

A3.4

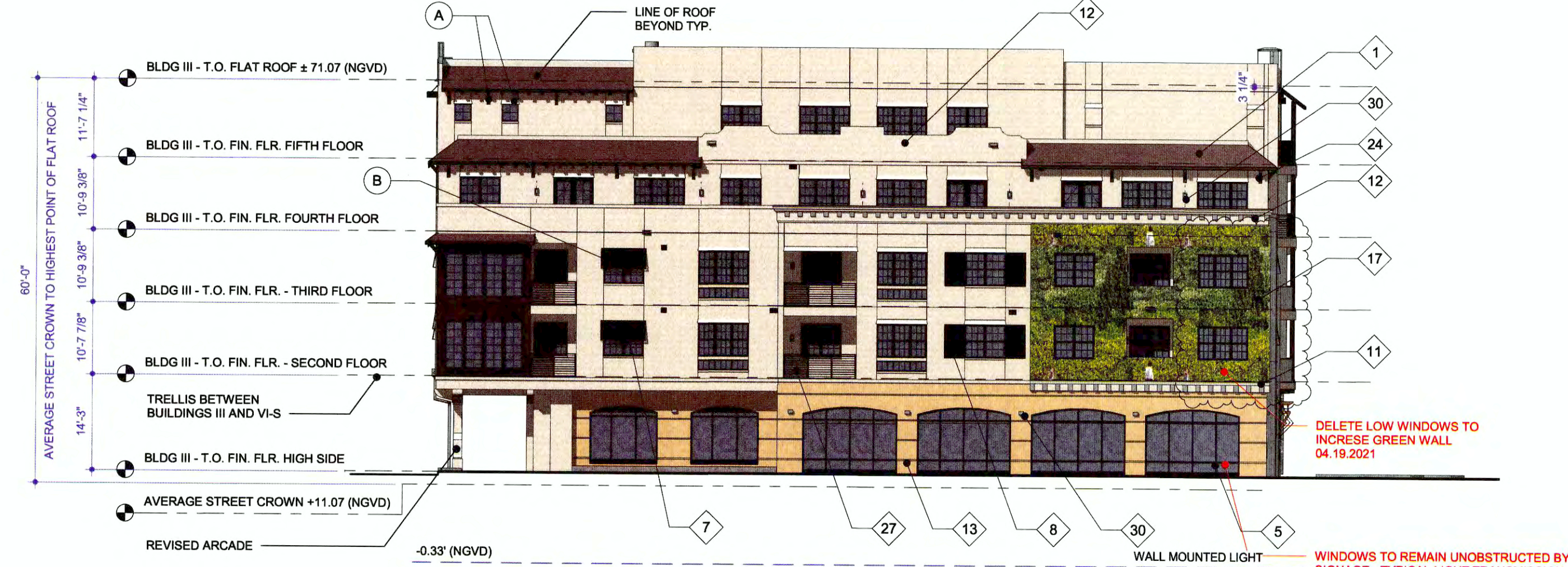
DATE: 08.06.2019



BLDG III - NORTH ELEVATION



BLDG III - SOUTH ELEVATION



BLDG III - WEST ELEVATION



BLDG III - EAST ELEVATION

BUILDING III MATERIAL LEGEND

	STUCCO - CLOUD WHITE	BM-967
	STUCCO - PHILADELPHIA CREAM	BM-HC-30
	WOOD - KENDALL CHARCOAL	BM-HC-166
	LIVING WALL	
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RESPONSE TO 2.12.14 STAFF COMMENTS

- BUILDING III NORTHWEST FOOTPRINT ADJUSTED DUE TO ADDITION OF RAMP AT NE 6TH AVENUE
- WINDOWS OF THE BUSINESSES AND OFFICES REMAIN UNOBSTRUCTED BY SIGNAGE
- LIGHT TRANSMISSION FOR GROUND FLOOR GLASS AREA TO BE NO GREATER THAN 20%
- KNOX BOXES TO BE PROVIDED AT ROLL DOWN GATES
- GREEN WALL IS CONSIDERED A TRELLIS WHICH SHALL BE ALLOWED TO ENCRORCH INTO SETBACK ALONG FEDERAL HIGHWAY
- ADDED INGRESS/EGRESS RAMP AT NE 6TH AVE

SETTLEMENT MODIFICATION 4.21.2017

- ADD ARCADE ALONG THE NORTH ELEVATION
- ADJUST POSITION OF LOADING AREA
- ADJUST EAST AND WEST ELEVATIONS DUE TO ADDITION OF ARCADE

ARCHITECTURAL ELEVATION REVISIONS 7.19.2018

GENERALLY REVISE ELEVATIONS TO BE MORE CONSISTENT WITH ANGLO CARIBBEAN, INCLUDING:

- SCULPTED FORMS AT ARCADE AND AT FEATURE ELEMENTS OF THE BUILDING
- RE-SCALE WINDOWS AT CORNERS
- WOOD DETAILING AS ACCENT AT VERTICAL FORMS
- ENHANCE DETAIL AT BUILDING CAP
- RE-DETAIL ARCADE AND LOW ROOF FORMS

CLASS II MODIFICATION 2019 8.2.2019

- REVISE DETAIL AT ARCADE
- ADD TRELLIS BETWEEN III & VI-S

CLASS II MODIFICATION SUPPLEMENT 10.25.2019

- CLARIFY GRAPHICS

CLASS I MODIFICATION 10.26.2020

- REVISE ENTRY AT THE SOUTH EAST CORNER OF THE BUILDING
- REMOVE LOW WINDOWS AT SOUTH WEST CORNER OF THE BUILDING TO INCREASE GREEN WALL AREA

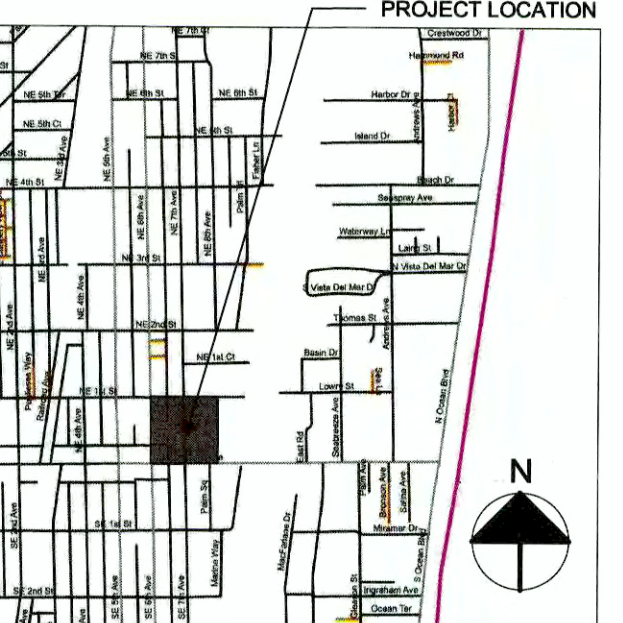
CLASS I MODIFICATION 04.19.2021

- REVISE WINDOWS AT GREEN WALL
- REVISED ENTRY AT EAST RESTAURANT

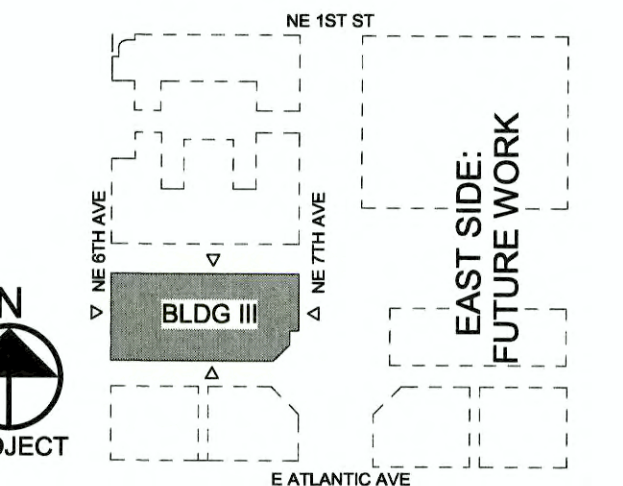
ELEVATION NOTES

NOTE: All wall cladding shall be stucco unless otherwise noted.

- Standing seam metal roof; galvalume
- Ornamental iron railing; powder coated
- Built-up parapet cap; stucco
- Embossed wood texture storefront system
- Storefront system
- Wood pergola & trellis
- Painted composite Bermuda shutters
- Painted composite shutters; fixed
- Fabric awning system
- Decorative corbel
- Built-up stucco sill
- Stucco parapet (6'-0 high max. from top of roof deck)
- Stucco with simulated stone texture base
- Overhead garage door - Glass
- Decorative arched louver panel; powder coated
- Wood boxed out detail
- "Living wall" - Plant material over stainless steel support. Considered a trellis and will be allowed within setback
- Perforated metal panel railing
- Wood panel railing
- Paneled wood accent
- Louvered panels; powder coated
- Steel Trellis
- Vinyl windows
- Decorative wood brackets
- 2" Reveal
- Decorative stucco inset
- Steel Cable Railing
- Fluted column cap; stucco
- Ornamental iron gates and screen; powder coated
- Exterior light fixtures



VICINITY MAP



KEY PLAN



ATLANTIC CROSSING

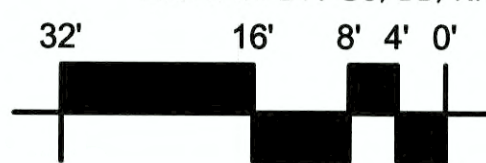
Project Number: 217093



DATE:	ISSUE / REVISIONS:
06.18.2013	Site Plan Submittal
09.17.2013	Response to Staff Comments
10.29.2013	10/18 Staff Response
11.14.2014	Resp. 2.12.14 Staff Comments
2.10.15	Per Certification Comments
04.21.2017	Settlement Modification
07.19.2018	Arch. Elevation Revisions
10.10.2018	Submitted for Certification
08.06.2019	Class II Modification 2019
10.25.2019	Class II Mod. 2019: Supplement
04.19.2021	Class I Mod. 2021

BLDG III ELEVATIONS

DRAWN BY: CS, BB, KK



As indicated

SHEET NUMBER

A3.4

VOLUME 2

DATE: 05.10.2021