

Note: COA 2021-199 & Submitted for Historic Preservation Board Review on October 6, 2021



STRUCTURAL ENGINEER:
PENNONI, INC .

MEP ENGINEER:
ROCAMAR ENGINEERING SERVICES, INC

ARCHITECT:
SLOAN & SLOAN, INC.-

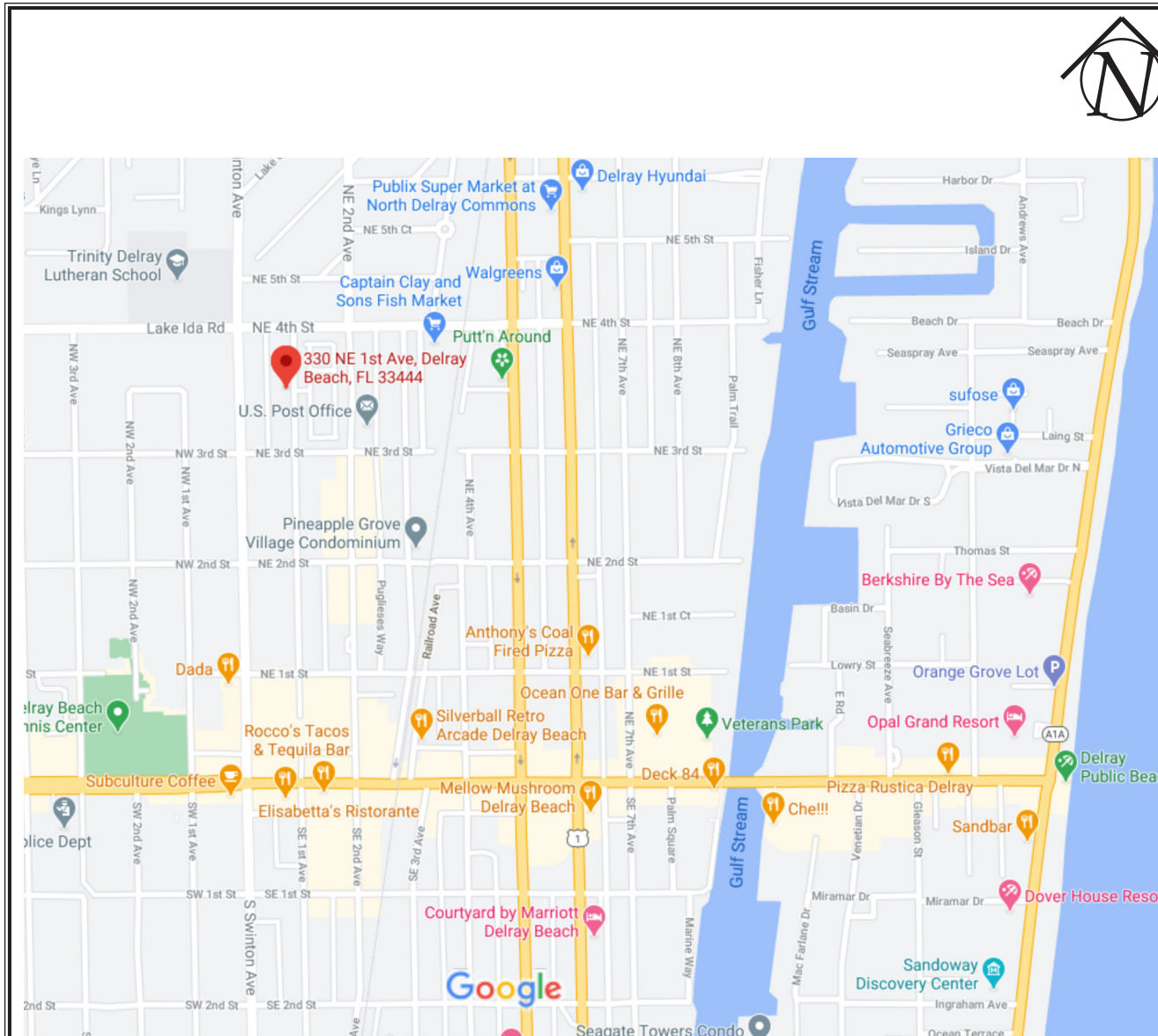
CIVIL ENGINEER:
ENVIRODESIGN ASSOC., INC.-

LANDSCAPE ARCHITECT:
Murakami Landscape

SINGLE FAMILY RESIDENTIAL

TYPE V -Unprotected/Unsprinkled

2020 FLORIDA BUILDING CODE
2020 FLORIDA MECHANICAL CODE
2020 FLORIDA ELECTRICAL CODE
2020 FLORIDA PLUMBING CODE
2020 FLORIDA BUILDING CODE
2008 ICC 600-STD. FOR RESIDENTIAL CONSTR



LOCATION MAP: 330 NE 1st Avenue, Delray Bch., FL

Scale: Not To Scale

#	ITEM		
1	OCCUPANCY: (Single Family, Multifamily, Commercial, Industrial, Institutional)	Single Family	<input checked="" type="checkbox"/> SEC. R301.2.1.4.3 2020 FLORIDA RESIDENTIAL CODE
2	EXPOSURE CONDITION:	B	
3	MEAN ROOF HEIGHT: Feet (Principal Roof Form)	22.3'	(above average grade)
4	BUILDING HEIGHT: (if < or = 60' may use FBC 2020 Low Rise Provisions. If > 60' use ASCE7-16)	<input checked="" type="checkbox"/> < or = 60' Height <input type="checkbox"/> > 60' Height	
5	BUILDING DESIGNED AS:	<input type="checkbox"/> Partly enclosed <input checked="" type="checkbox"/> Enclosed <input type="checkbox"/> Open <input type="checkbox"/> Tested (Wind Tunnel)	
6	IMPORTANCE FACTOR: (Determined by Building Use /Occupancy. Refer to FBC 2020 or ASCE 7-16)	1.0	
7	BASIC WIND VELOCITY PRESURES: FBC 2020. VERIFY APPROPRIATE POSITIVE/NEGATIVE PRESSURE COEFFICIENTS HAVE BEEN APPLIED TO MAIN WIND FORCE RESISTING SYSTEM, OR BUILDING ENVELOPE COMPONENTS & CLADDING AS APPLICABLE.		
	FBC 2020 WIND SPEED:	132	(Wind Speed in mph)
	FBC 2020 BASIC VELOCITY PRESSURE:	32	IN PSF
	ASCE 7-16 WIND SPEED:	170	(Ultimate Wind Speed in mph)
	ASCE 7-16 BASIC VELOCITY PRESSURE:	n/a	IN PSF
	NOTE: Actual Design Pressures for All Exterior Windows, Doors, Garage Doors, and Similar Envelope Elements Must Be Indicated on Construction Plans.		
8	ROOF DEAD LOAD (Actual Dead Load of Materials Used for Determining Net Uplift Resistances.	15	LBS
9	SOIL BEARING CAPACITY: (Supported by Soils Report from Geotechnical Engineer)	2500	PSF
10	REVIEWED FOR SHEARWALL REQUIREMENTS:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (if No explain why)	

8/23/21	Derrickson, DrawingIndex.xls	4:16 PM
<div> <div>LIST OF DRAWINGS-COA SUBMITTAL</div> <div> Derrickson Residence: Renovations & Additions 330 NE 1st Avenue, Delray Beach, FL Revised: 8/22/21 By Dan Sloan </div> </div>		
#	Title	Includes
A0.00	Cover Sheet	W/ Consultant List, Location Map, Drawing List
A1.01	Site Plan- Existing Configuration	Showing Setbacks, Driveway, Pool Deck Areas
A1.02	Site Plan- New Proposed Configuration	Showing New Additions, Garage, Gst. Cott. Addition
A1.03	Composite Site Plan- Old/New Configurations	Showing New Additions, Garage, Gst. Cott. Addition
A1.04	Streetscape & Aerial Photo Site Plan-	Showing Subject Property & Adj. Homes to North & South
A1.05	Area Site Plan-	Showing Subject Property & Adj. Homes to North & South
A2.01	Existing First Floor Plan	Showing EXTG Elements & General Notes
A2.01.1	Demolition Plans- 1st & 2nd Floors	Showing Walls, Doors, Windows, etc. to be removed
A2.02	New First Floor Plan	
A2.02b	Enlarged Door & Window Schedules	
A2.02c0a	NEW & OLD First Floor Plans	of Main Residence
A2.02c	NEW Outbuildings First & 2nd Floor Plans	For New 2 Story Garage & 1 Story Guest Cottage
A2.03	Existing Second Floor Plan	With Additional Notes/Details
A2.04	NEW Second Floor Plan	With Additional Notes/Details
A2.04c0a	NEW & OLD Second Floor Plans	of Main Residence
A2.05	NEW Roof Plan	With Roofing Notes/Details/Specs
A3.01	EXISTING North, South, East, & West Elevations	Main Hse: Showing Extg. Windows, Doors, & Exterior Elements
A3.02	NEW East, & West Elevations of Main House	Showing Extg Home & New Additions to Home
A3.02c0a	NEW & OLD East, & West Elevtns of Main House	Showing Both Extg & New Elevations of Main House
A3.02c0a-ALT	NEW & OLD East, & West Elevtns of Main House	Extg & New Elevations w/ SIMPLIFIED RAILING DESIGN
A3.02b	NEW Notated East Elevation	With Materials/Colors/Finishes noted
A3.03	NEW North, & South Elevations of Main House	Showing Extg Home & New Additions to Home
A3.03c0a	NEW & OLD North, & So. Elevtns of Main House	Showing Both Extg & New Elevations of Main House
A3.03c0a-ALT	NEW & OLD North, & So. Elevtns of Main House	Extg & New Elevations w/ SIMPLIFIED RAILING DESIGN
A3.03b	NEW North, South, East, West Outbldg Elevations	(New Garage & Renovated Guest Cottage)
A4.02	NEW E. Elevation/Section "3" at Dbl.Ht.Front Porch	Showing Section "2" & Section/Elevation "3"

Cover
Sheet
A0.00

Derrickson_Reno_ExtgBldg.vw

The Work Shown in these Plans Shall Comply with the 2020 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



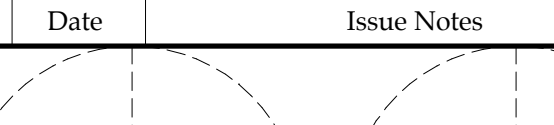
Sloan & Sloan Inc.
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Delray Beach, FL
(561) 243-8755
dsloan@sloandesign.biz
ID 0002725 & AR95577
AA26002208

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Derrickson Residence Renovations & Additions

A	5/16/09	Issue Note
No.	Date	Issue Notes
		

Design Firm
Sloan & Sloan- Architecture + I.D.
106 SE 7th Avenue, Ste. B
Delray Bch, FL 33483
(561) 243-8755

Consultant	
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Project Title	Derrickson Residence Renovations & Additions 330 NE 1st Avenue
---------------	--

Drawing Title	COVER SHEET
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Project Manager D. Sloan	Project ID Derrickson Residence Project
Drawn By D. Sloan	Scale 1" = 1'-0"

Reviewed By	Drawing No.
D. Sloan	A0.00 cpa

8/22/2021	_____ of _____
CAD File Name	Total Sheets

DERRICKSON RESIDENCE
RENOVATIONS & ADDITIONS
330 NE First Avenue, Delray Beach, Florida 33444

Note: COA 2021-199 & Submitted for Historic Preservation Board Review on October 6, 2021



Derrickson Residence
Renovations & Additions

SITE VIEWS
Perspective View
from Sidewalk to East

View of Proposed Home from East

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Derrickson Residence
Renovations & Additions

No.	Date	Issue Note
A	5/16/09	Issue Note

Daniel Sloan, AR95577
Date:

Design Firm
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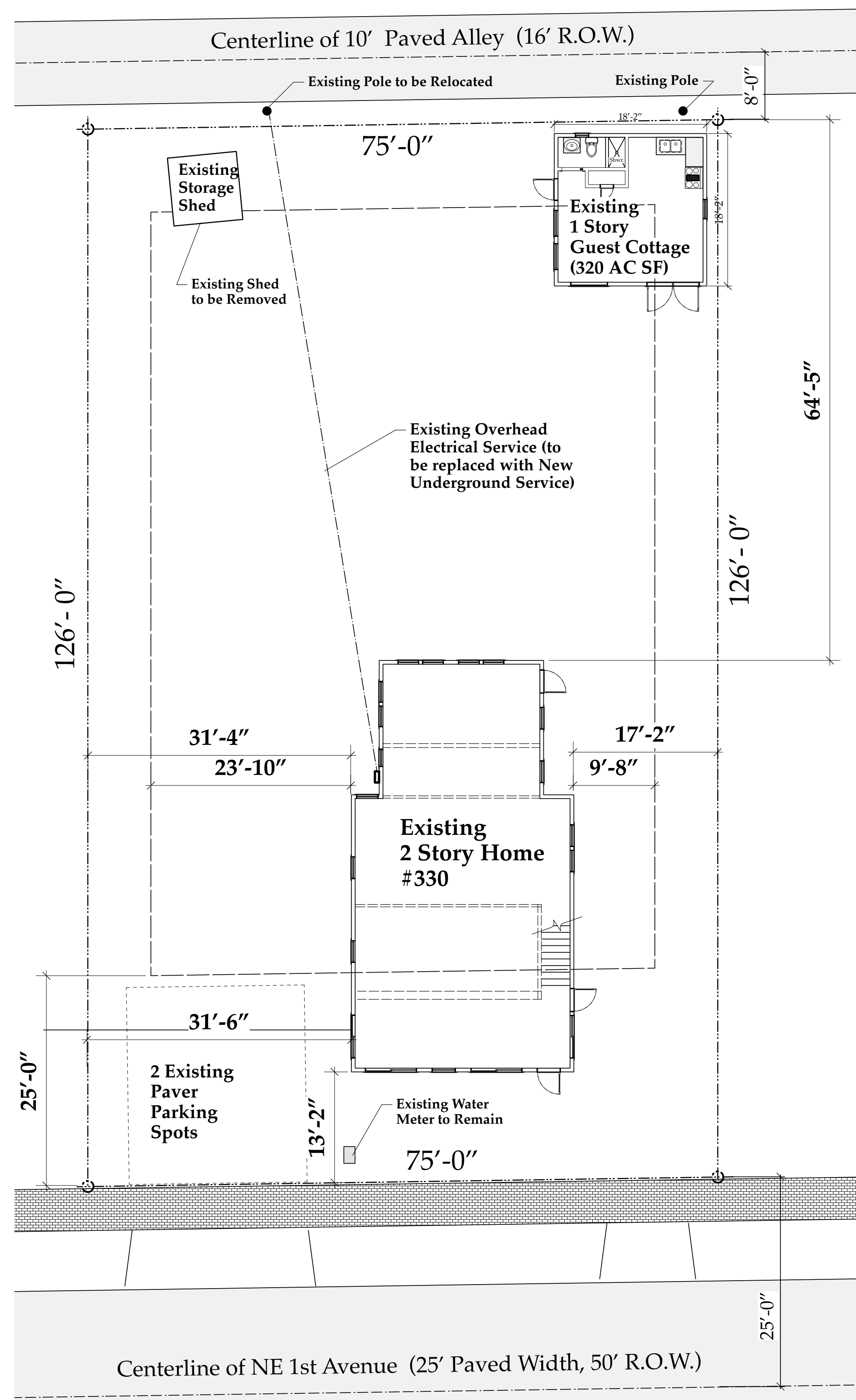
Consultant

Project Title
Derrickson Residence
Renovations & Additions
330 NE 1st Avenue

Drawing Title
Artistic Rendering-
View from East of Property

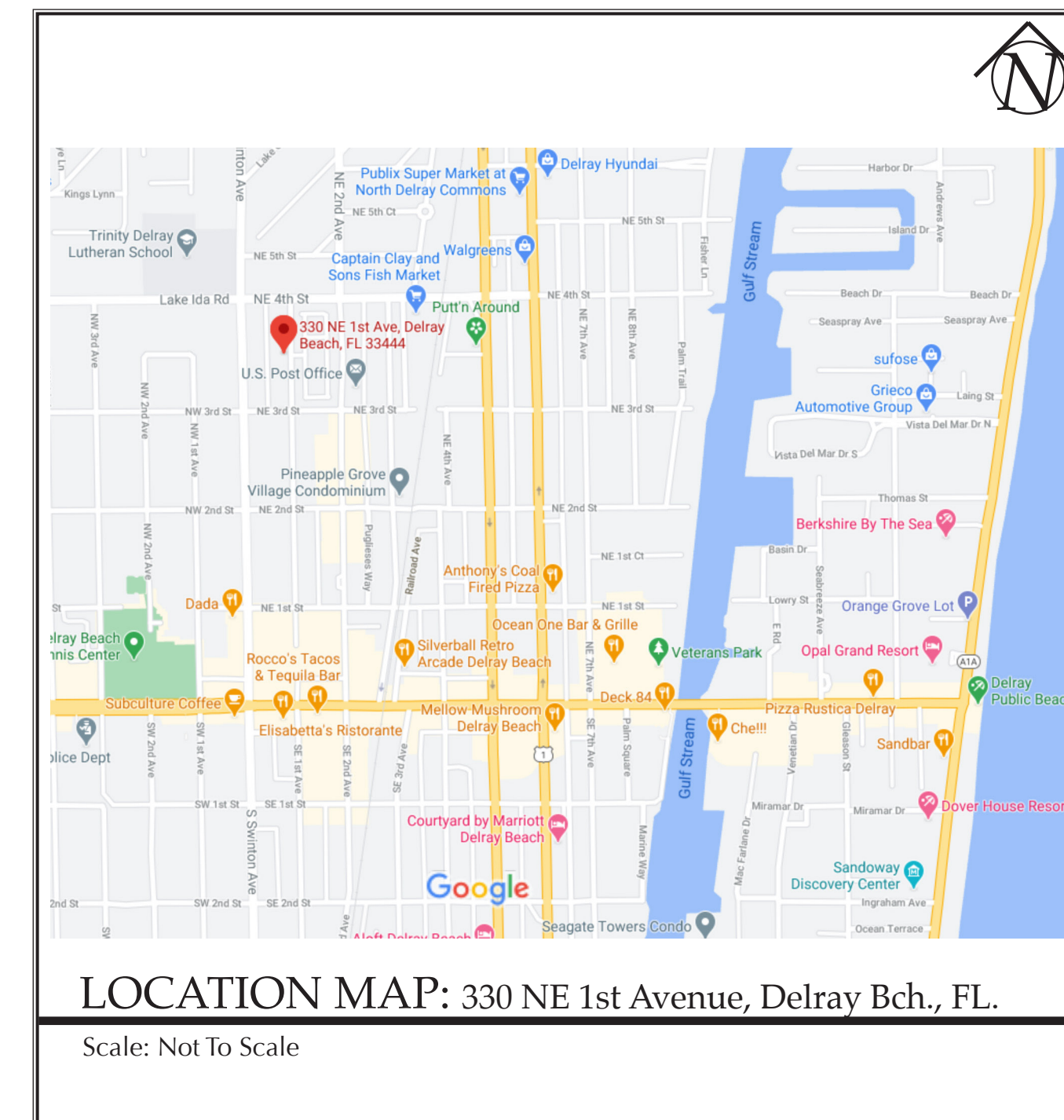
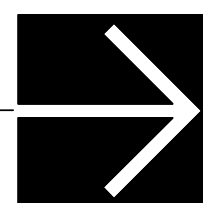
Project Manager D. Sloan	Project ID Derrickson Residence Project
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A0.00 rend
Date 8/22/2021	of Total Sheets
CAD File Name Derrickson_Reno_ExtgBldg.rvt	

Artistic
Rendering
A0.00rend



EXISTING SITE PLAN

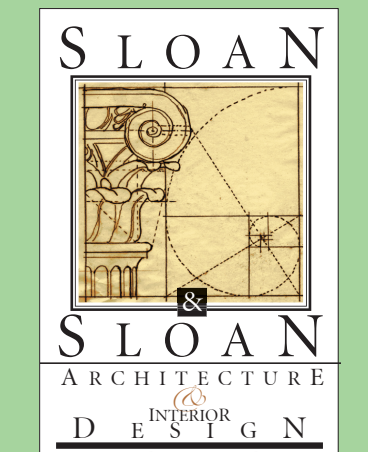
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LOCATION MAP: 330 NE 1st Avenue, Delray Bch., FL.

Scale: Not To Scale

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Derrickson Residence Renovations & Additions

A	5/16/09	Issue Note
No.	Date	Issue Notes
		

Daniel Sloan, AR95577
Date:

Design Firm
Sloan & Sloan- Architecture + I.D.
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(561) 243-8755

Consultant	
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Project Title	Derrickson Residence Renovations & Additions 330 NE 1st Avenue
---------------	--

Drawing Title	Site Plan-Extg Conditions
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Project Manager D. Sloan	Project ID Derrickson Residence Project
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Drawn By D. Sloan	Scale As Noted
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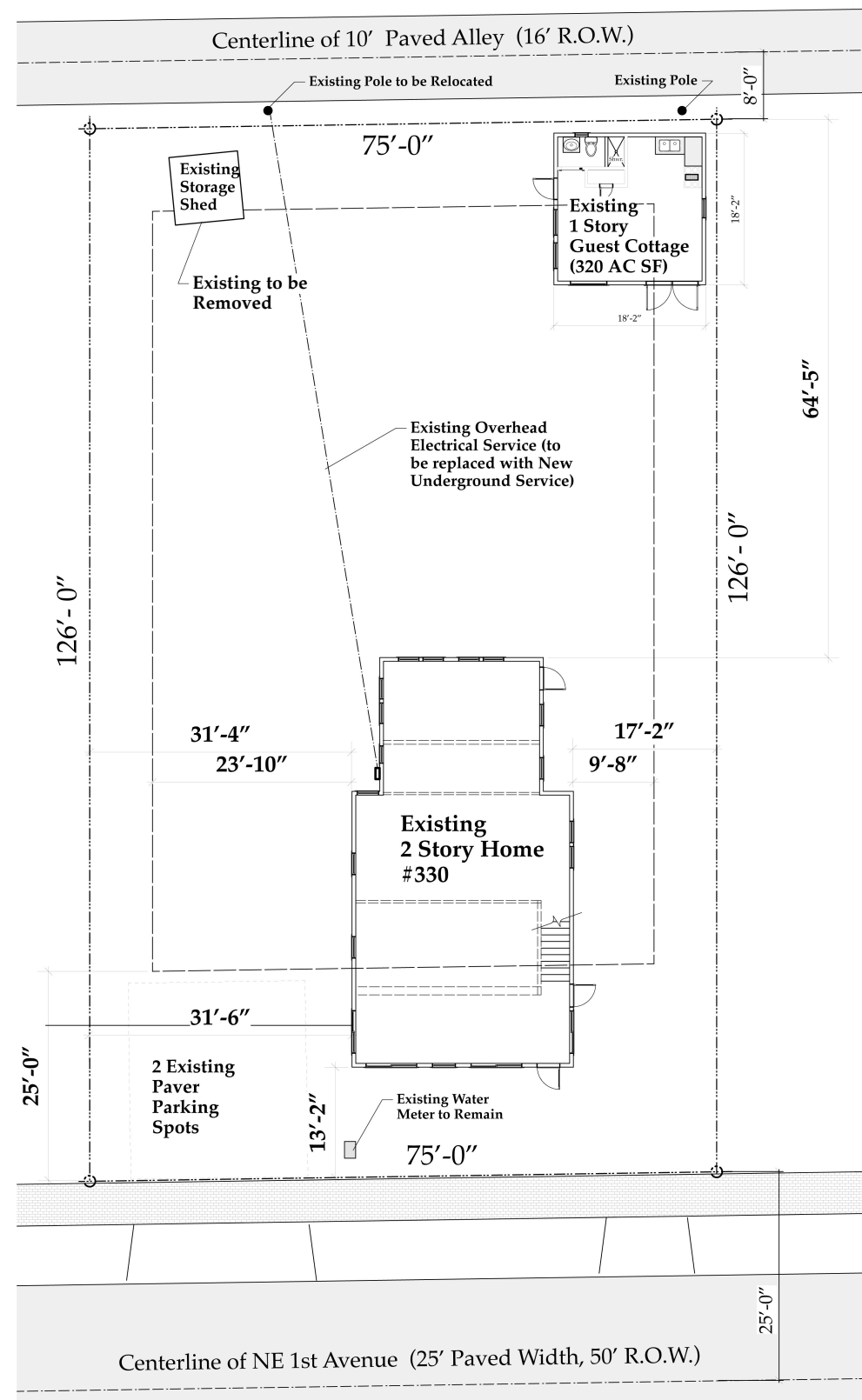
Reviewed By D. Sloan	Drawing No. A1 01
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Date 2/2/2021

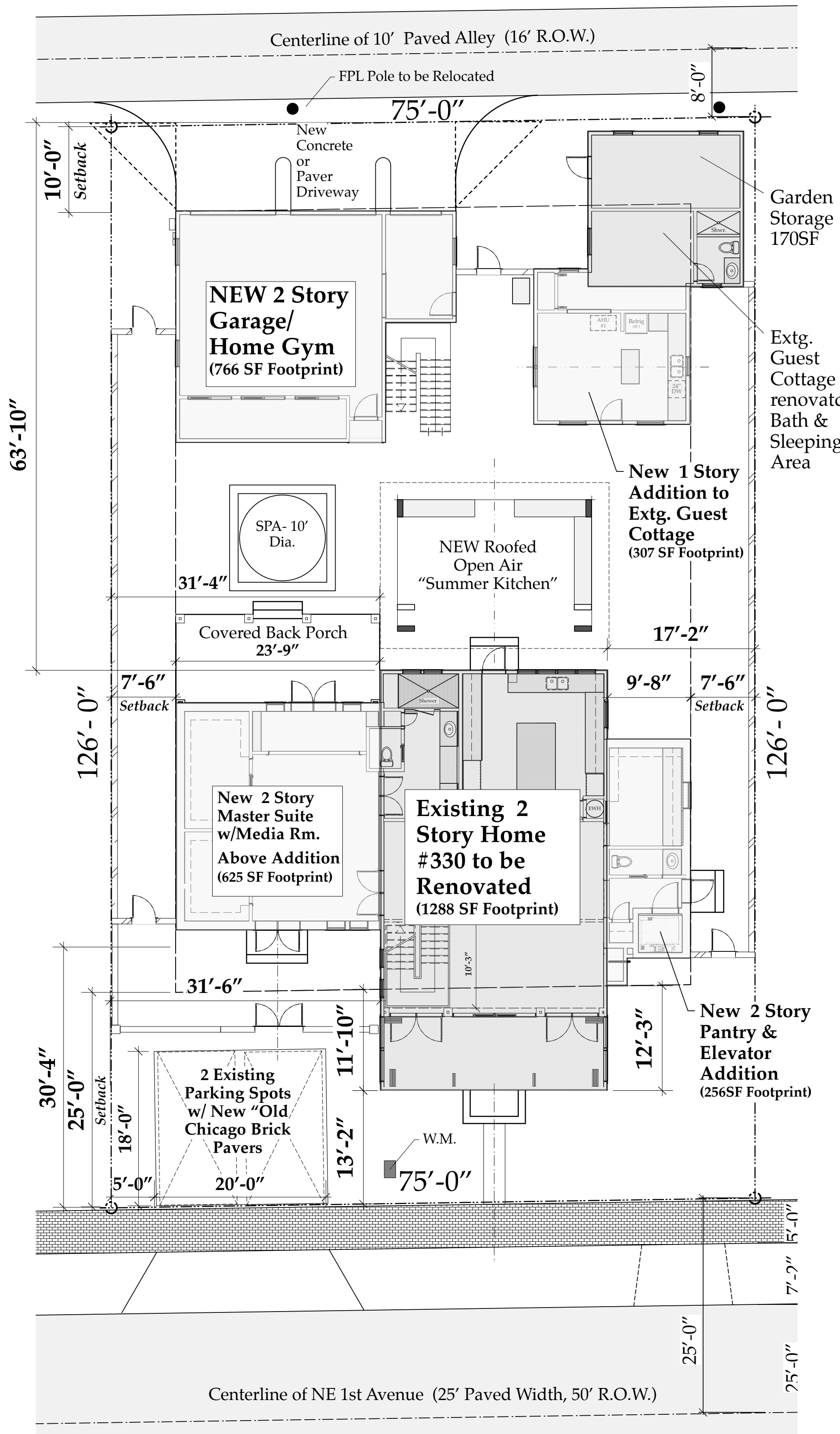
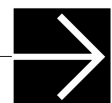
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SITE PLAN
Existing Conditions
A1.01

CAD File Name
Derrickson_Reno_ExtgBldg.vwx



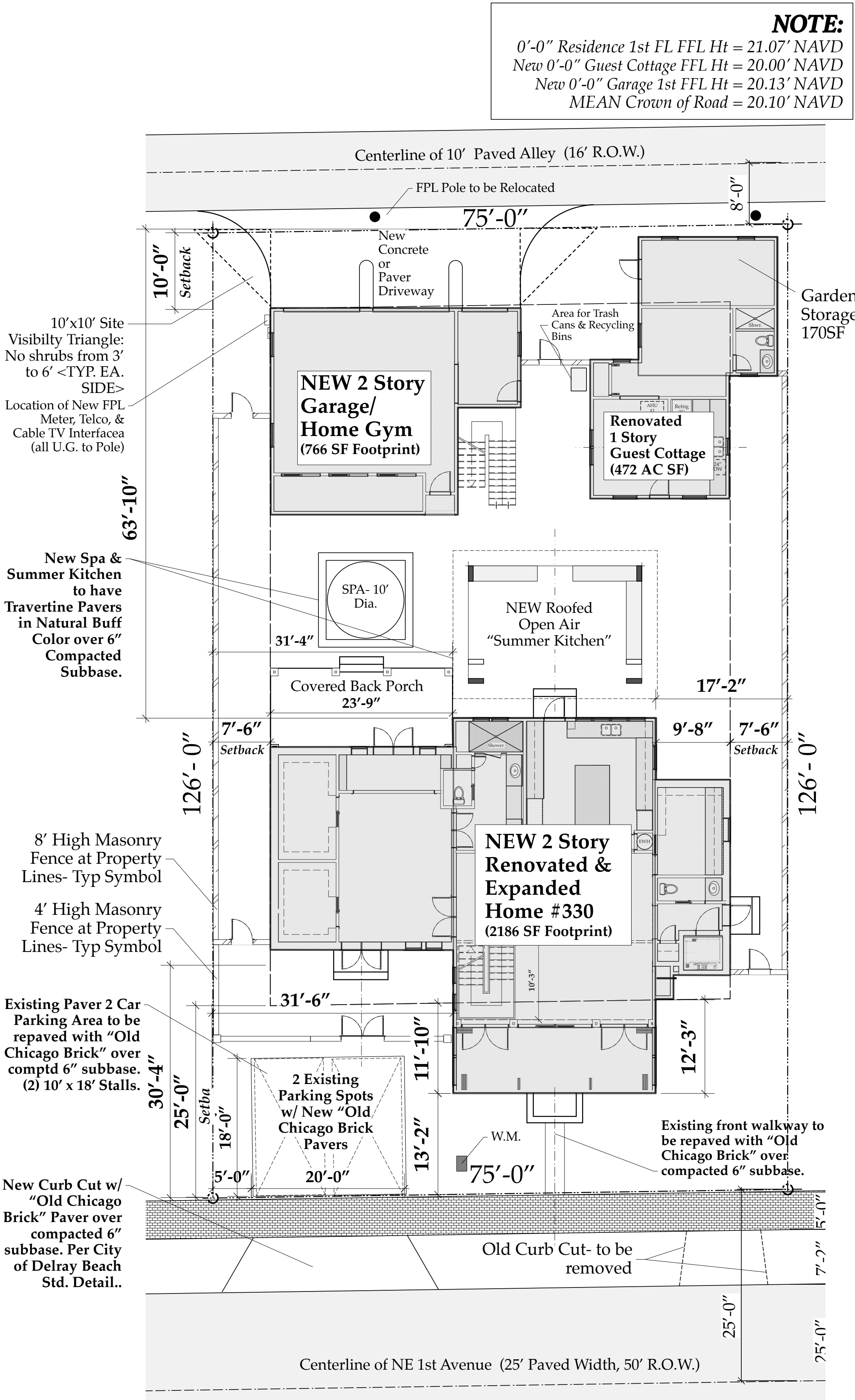
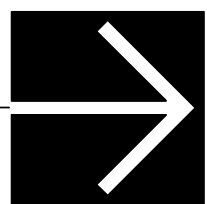
EXISTING SITE PLAN
Scale: 1" = 10 ft



NEW COMPOSITE SITE PLAN

Scale: 1" = 10 ft

- Existing Buildings- To Be Renovated
- New Additions or Buildings



NEW SITE PLAN

Scale: 1" = 10 ft

LEGAL DESCRIPTION:
TOWN OF DELRAY Lot 21 & North 25 Feet of Lot 22, Subdivision of Block 65, According to the map or plat thereof, as recorded in Plat Book 2, Page 20 of Public Records of Palm Beach Co, Florida. (OLD SCHOOL SQUARE HISTORIC DISTRICT)

COMPOSITE SITE PLAN
Existing & Proposed Layouts
A1.03

The Work Shown in these Plans Shall Comply with the 2020 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



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<u>Derrickson Residence</u> Renovations & Additions			
</			



Aerial Photo : 326 thru 338 NE 1st Avenue, Delray Beach



326 NE 1st Avenue- East Facade (View from Street)



330 NE 1st Avenue- East Facade (View from Street)

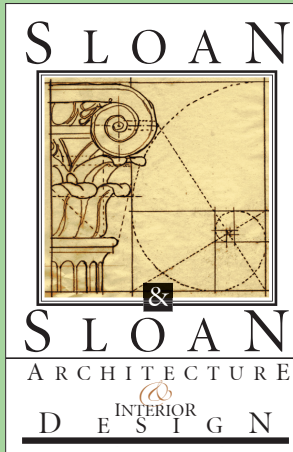


334NE 1st Avenue- East Facade (View from Street)



338 NE 1st Avenue- East Facade (View from Street)

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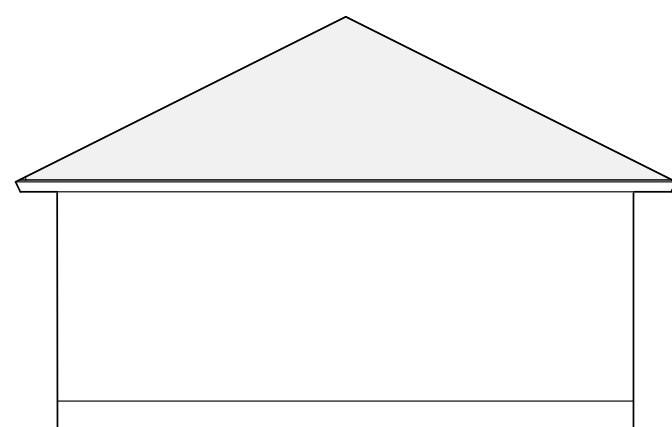


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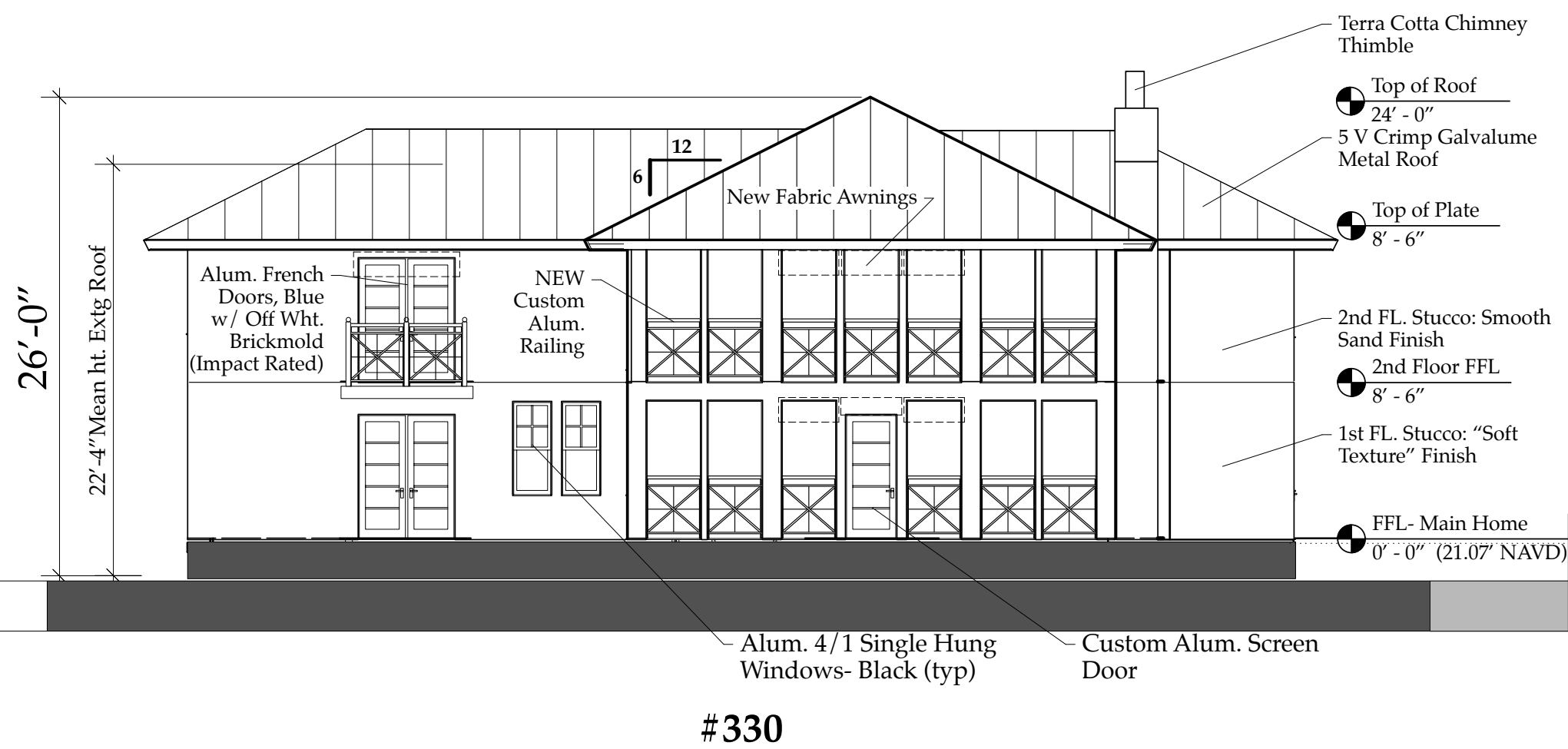


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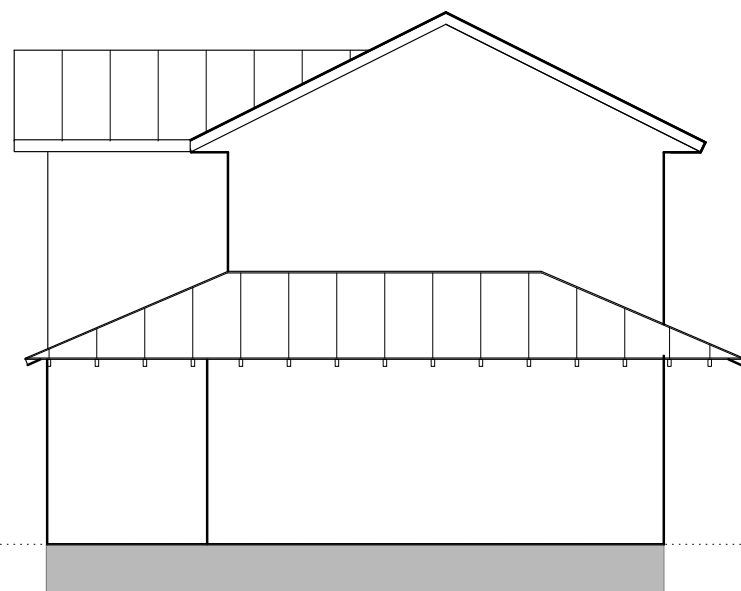
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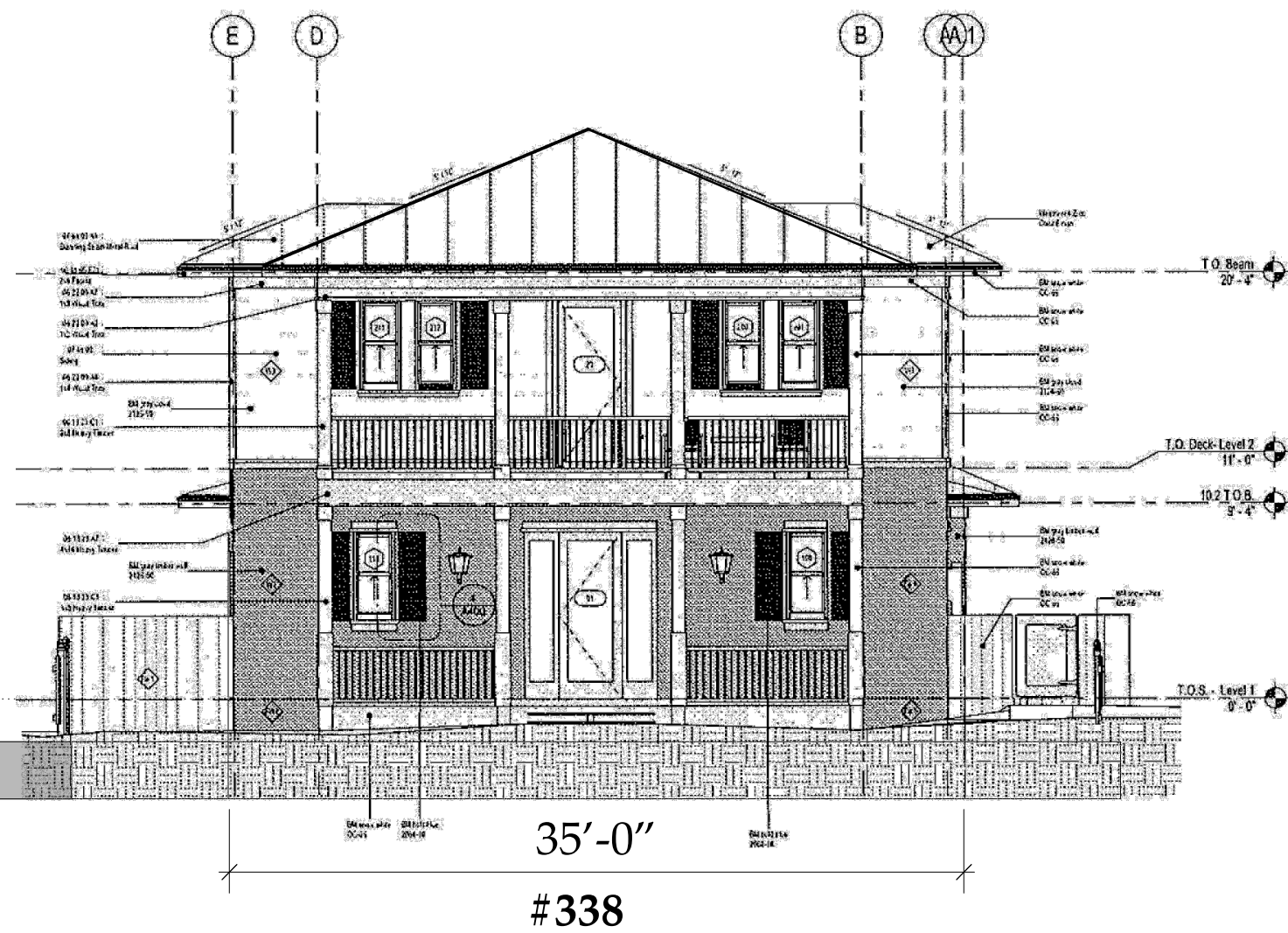
#326



#330



#334



**SITE VIEWS
& New Proposed Streetscape
A1.04**

**Derrickson Residence
Renovations & Additions**

No.	Date	Issue Note
A	5/16/09	Issue Note

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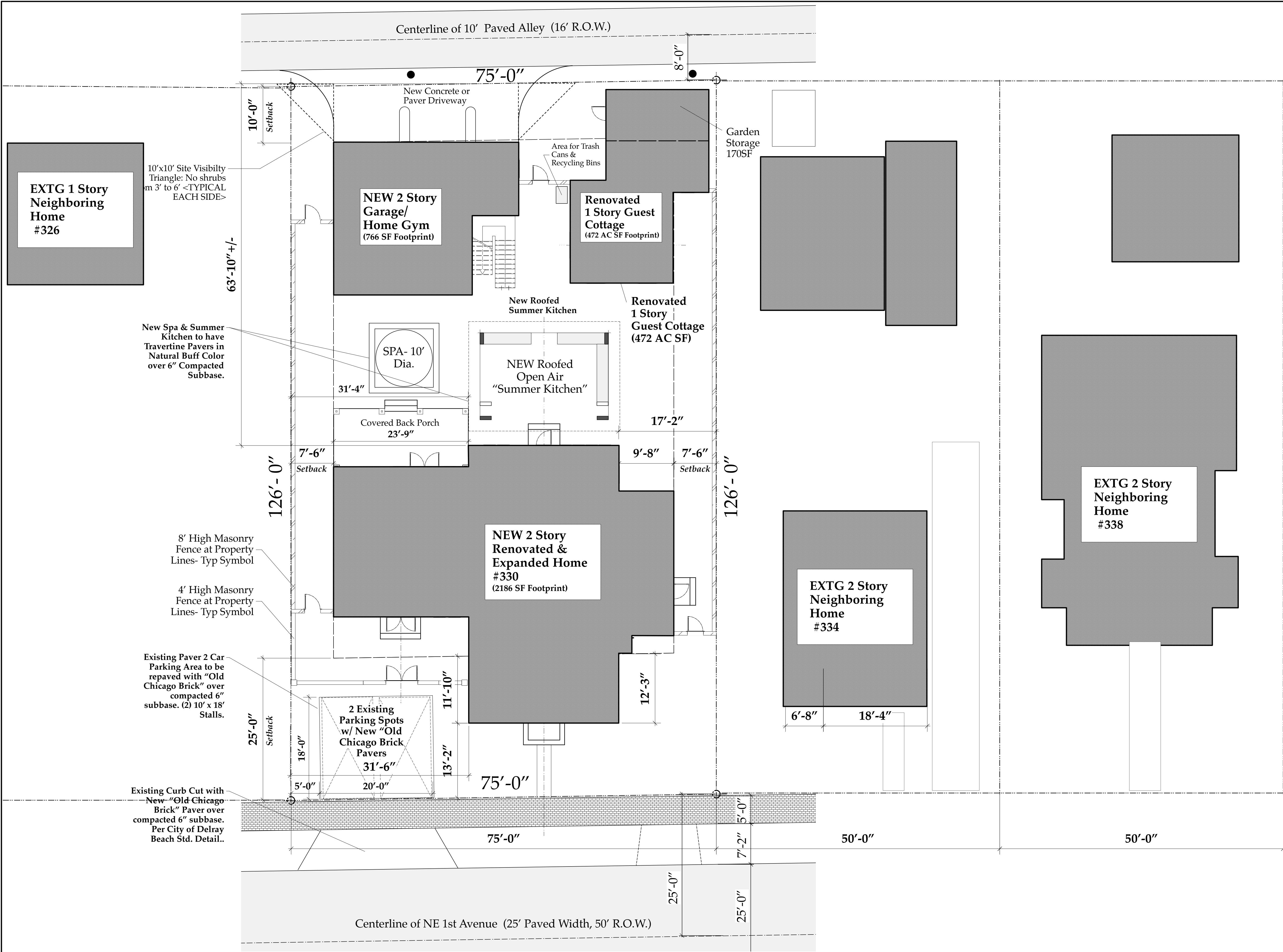
Consultant

Project Title
**Derrickson Residence
Renovations & Additions
330 NE 1st Avenue**

Drawing Title
**Proposed Streetscape
-NE 1st Ave View
328 to 338 NE 1st Ave Homes**

Project Manager D. Sloan	Project ID Derrickson Residence Project
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A1.04
Date 8/22/2021	of Total Sheets

Derrickson_Reno_ExtgBldg.rvt



NEW STREETSCAPE ORIENTATION PLAN
Scale: 1/8" = 1'-0"

New STREETSCAPE ORIENTATION PLAN
A1.05

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SLOAN
ARCHITECTURE
INTERIOR
DESIGN

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Derrickson Residence
Renovations & Additions

A 5/16/09 Issue Note

No.	Date	Issue Notes

Daniel Sloan, AR95577
Date:

Design Firm
Sloan & Sloan- Architecture + I.D.
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Delray Bch, FL 33483
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Consultant

Project Title
Derrickson Residence
Renovations & Additions
330 NE 1st Avenue

Drawing Title
Proposed Streetscape Orientation
Plan- NE 1st Ave
328 to 338 NE 1st Ave Homes

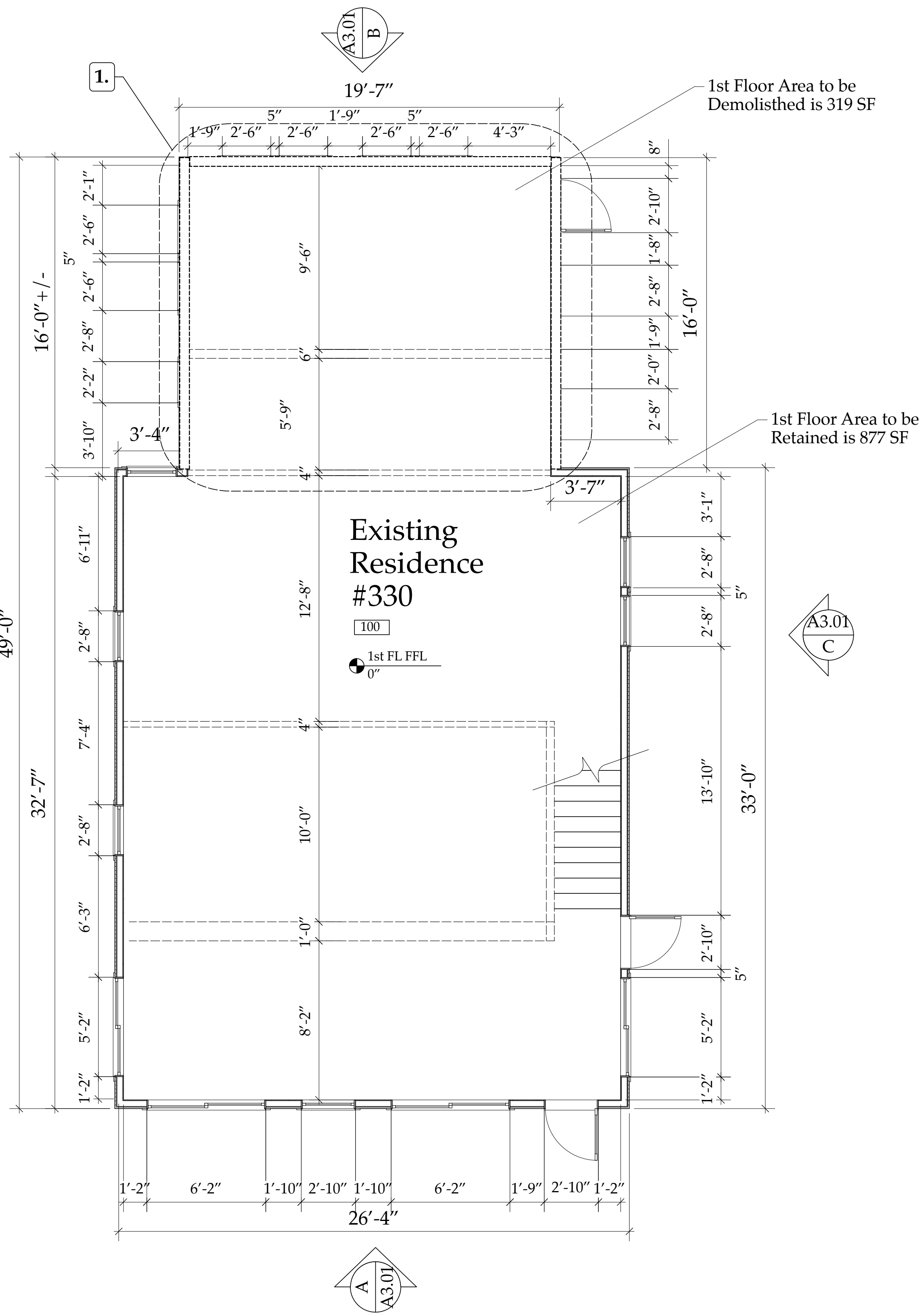
Project Manager	Project ID
D. Sloan	Derrickson Residence Project

Drawn By	Scale
D. Sloan	As Noted

Reviewed By	Drawing No.
D. Sloan	A1.05

Date	of
8/22/2021	Total Sheets

CAD File Name
Derrickson_Reno_ExtgBldg.rvt



1ST FLOOR DEMO PLAN

Scale: 1/4" = 1'-0"

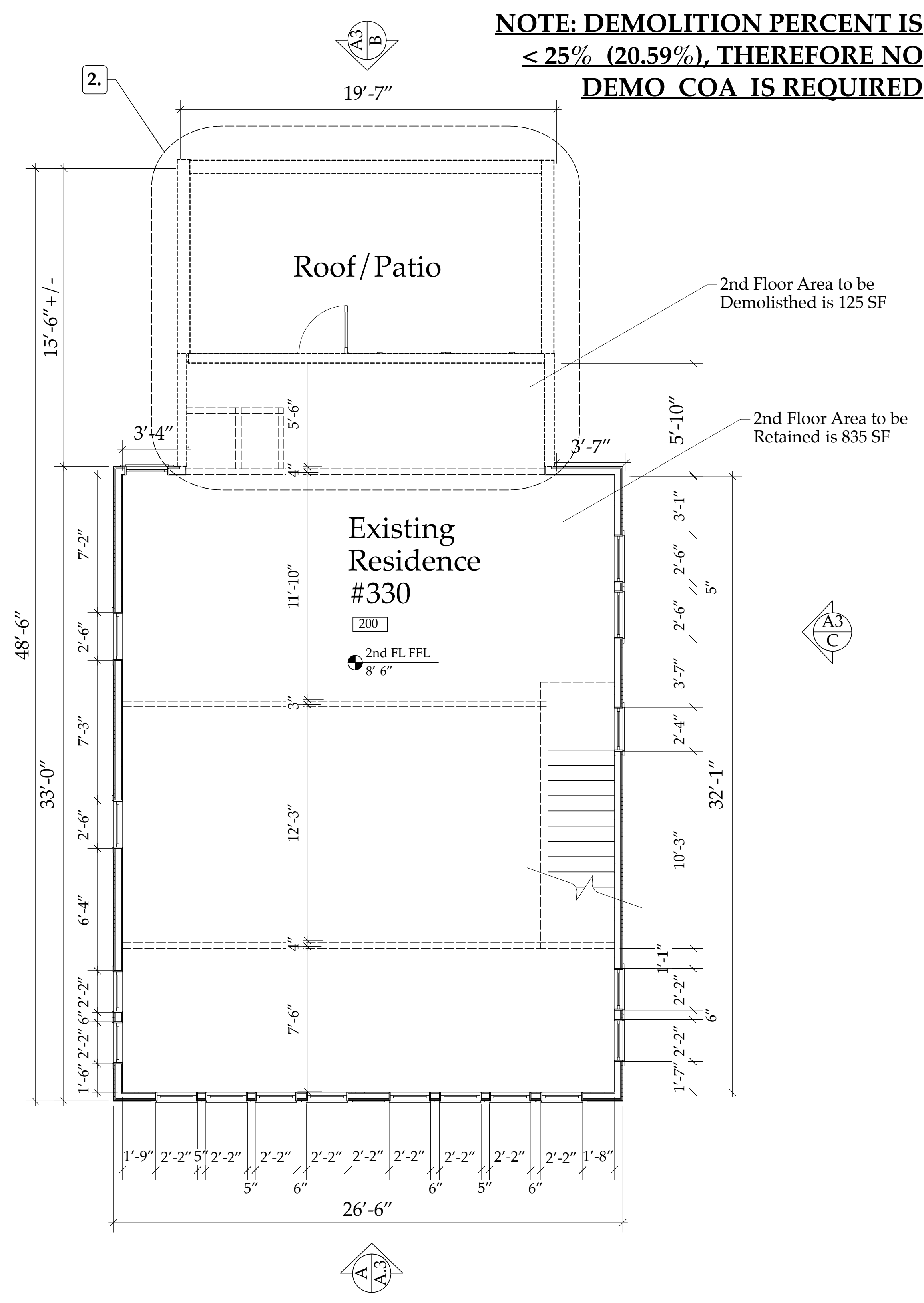
DEMOLITION NOTES

Derrickson Residence
Updated 6/14/21

General for All Areas of Residence: After Demolition, Remove all Debris from Site & Leave in Broom Clean Condition.

Specific Notes By Area:

- FIRST FLOOR: Remove Exterior Door(s), Windows, Exterior Walls, Foundation & Stemwall, Floor Framing/Concrete Slab. Frame Temp. Wall of 2x4 studs at 24" oc, Sheet with 1/2" cdx and 10mil visqueen (on West Side remaining structure)
- SECOND FLOOR: Remove Exterior Door(s), Windows, Exterior Walls, Porch Roof Structure & Roofing, Main Roof Framing & Roofing in affected area. Frame Temp. Wall of 2x4 studs at 24" oc, Sheet with 1/2" cdx and 10mil visqueen (on West Side remaining structure)
- Shore Up Adjacent Floor & Roof Framing as Needed before comencing Demolition.



SECOND FLOOR DEMO PLAN

Scale: 1/4" = 1'-0"

Derrickson Residence
330 NE 1st Avenue, Delray Beach, FL
Demolition Tabulations- revised 8/14/2021
Zoning: Single Family: OSSHAD
File: Derrickson_SitePlans&DsnParamtrs.xls

#	ITEM	AREA (SF)
1	Existing First Floor Area	1196 SF
2	Existing Second Floor Area	960 SF
3	Grand Total Existing Floor Area Under Roof	2156 SF
4	Proposed First Floor Area to be DEMOLISHED	319 SF
5	Proposed 2nd Floor Area to be DEMOLISHED	125 SF
6	Grand Total Floor Area To be DEMOLISHED	444 SF

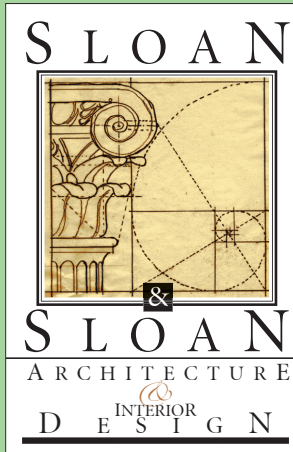
PERCENT OF BUILDING TO BE DEMOLISHED IS..... 20.59%

**NOTE: DEMOLITION PERCENT IS
< 25% (20.59%), THEREFORE NO
DEMO COA IS REQUIRED**

**NOTE: Reframe all Window
& Door Openings as needed
to Accomodate New Floor
Plan Configuration**

Demolition Plans
A2.01.1

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		Derrickson Residence Renovations & Additions	
A	5/16/09	Issue Note	

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

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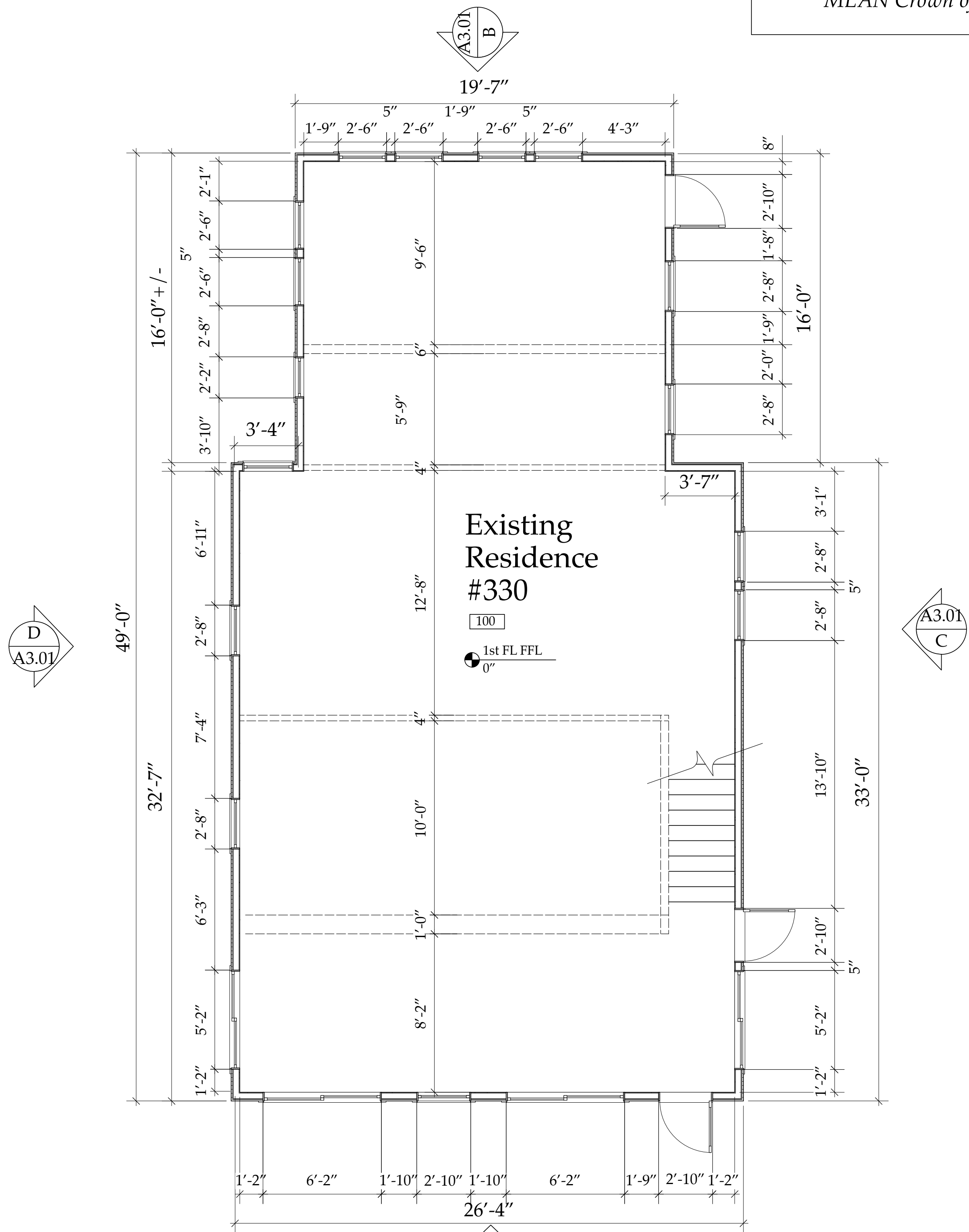
Project Title
Derrickson Residence
Renovations & Additions
330 NE 1st Avenue

Drawing Title
DEMOLITION PLANS-
of Main Residence

Project Manager D. Sloan	Project ID Derrickson Residence Project
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A2.01.1
Date 8/16/2021	of Total Sheets

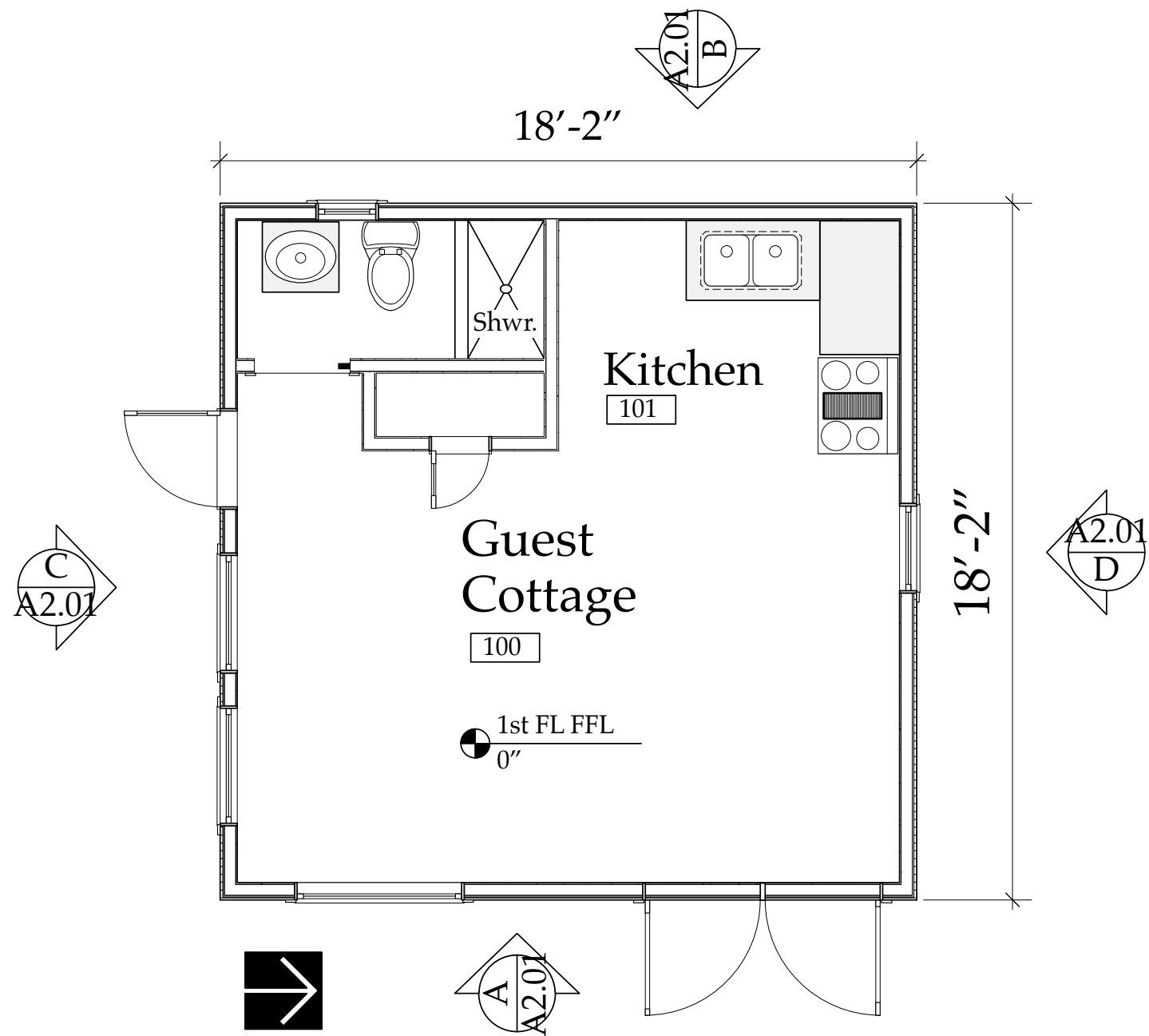
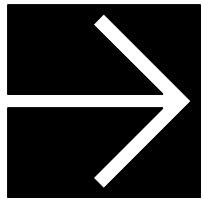
Derrickson_Reno_ExtgBldg.rvx

NOTE:
0'-0" Residence 1st FL FFL Ht = 21.07' NAVD
0'-0" Guest Cottage FFL Ht = 19.58' NAVD
MEAN Crown of Road = 19.36' NAVD



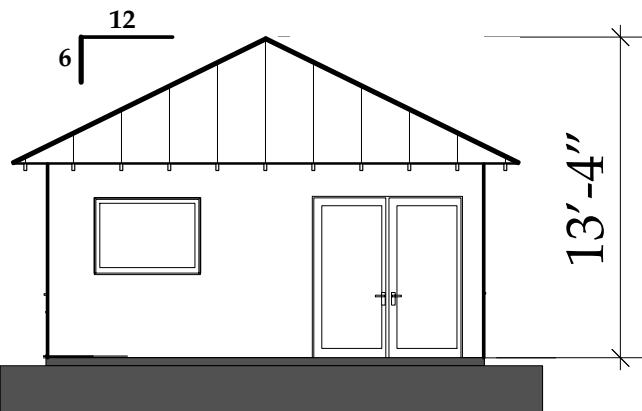
EXISTING FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"



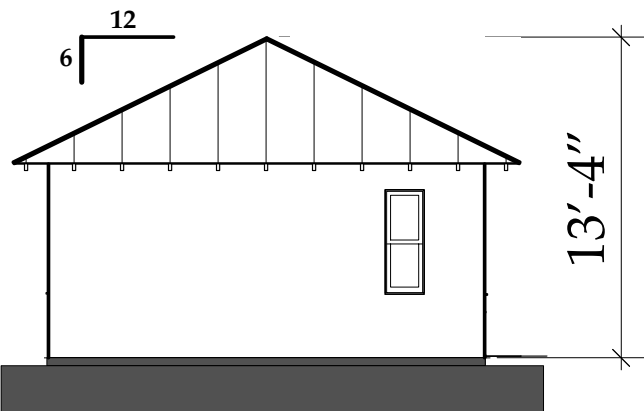
EXTG 1st FL PLAN-COTTAGE

Scale: 1/4" = 1'-0"



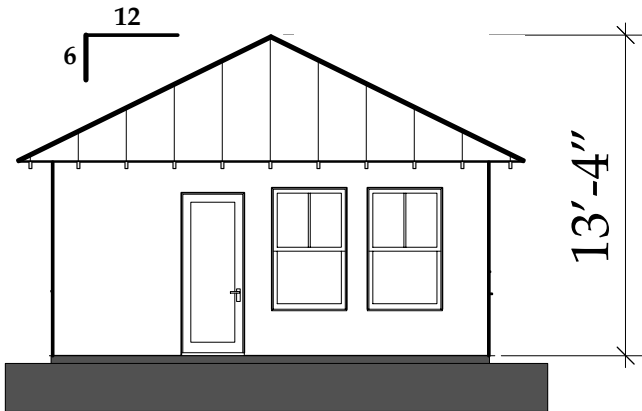
A EAST ELEVATION

Scale: 1/8" = 1'-0"



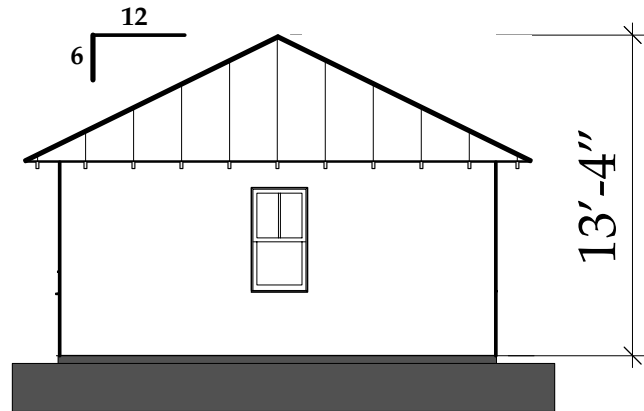
B WEST ELEVATION

Scale: 1/8" = 1'-0"



C SOUTH ELEVATION

Scale: 1/8" = 1'-0"

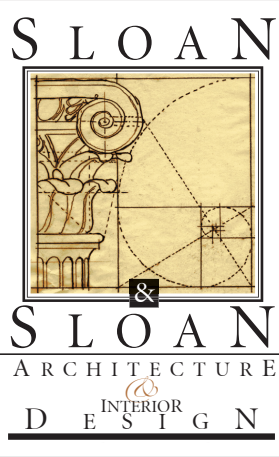


D NORTH ELEVATION

Scale: 1/8" = 1'-0"

Existing 1st Floor Plan
A2.01

The Work Shown in these Plans Shall Comply with the 2020 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



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No.	Date	Appr	Revision Notes
1	x/x/21		Issued for HPB Review
2	x/x/21		Issued for Permitting

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			Derrickson Residence Renovations & Additions
A	5/16/09	Issue Note	

No.	Date	Issue Notes

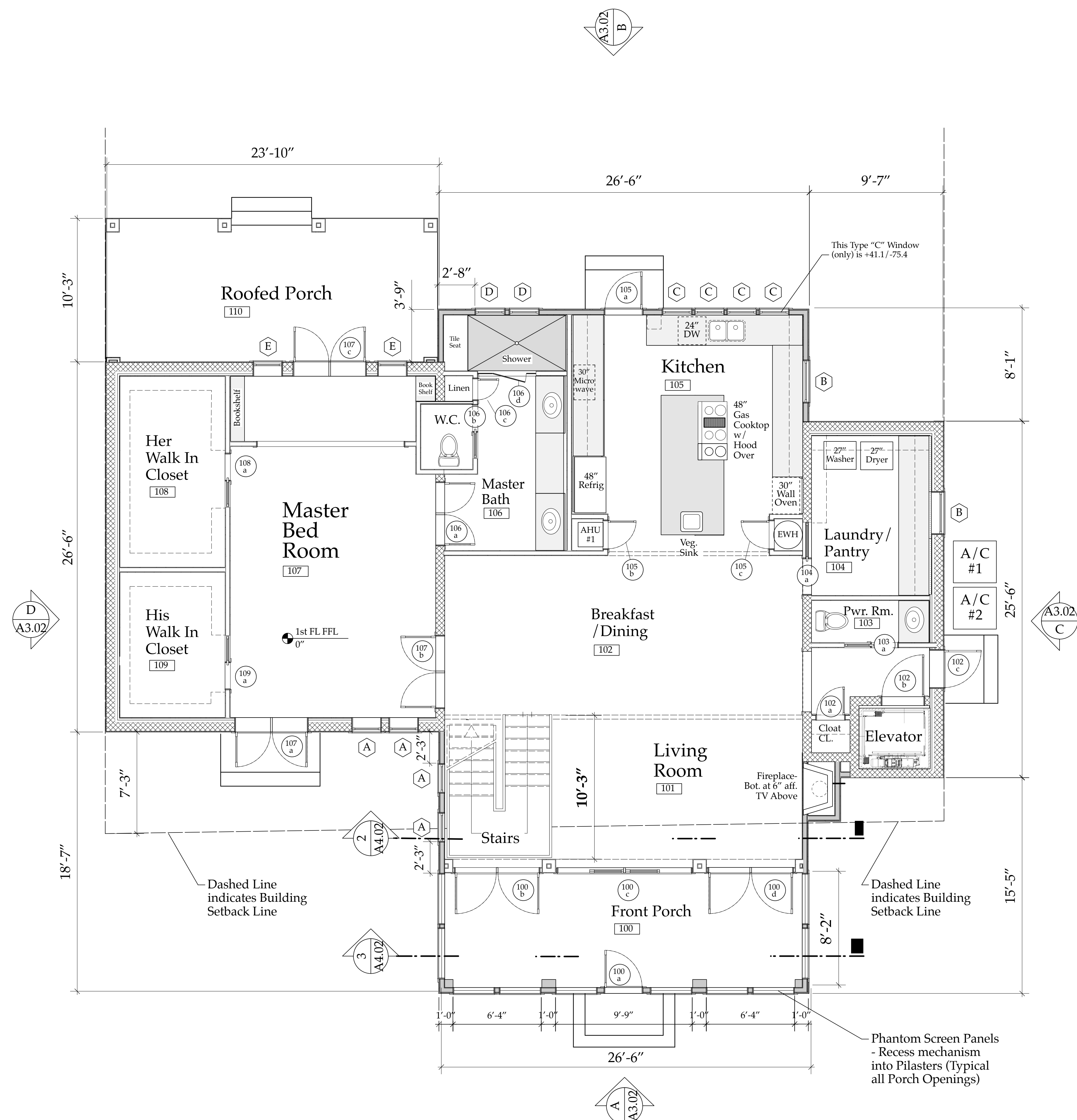
Design Firm
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106 SE 7th Avenue, Ste. B
Delray Bch, FL 33483
(561) 243-8755

Consultant

Project Title
Derrickson Residence
Renovations & Additions
330 NE 1st Avenue

Drawing Title
EXTG FIRST FLOOR PLAN-
of Main Residence

Project Manager D. Sloan	Project ID Derrickson Residence Project
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A2.01
Date 2/2/2021	of Total Sheets
CAD File Name Derrickson_Reno_ExtgBldg.rvt	



NEW FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

NOTE:
0'-0" Residence 1st FL FFL Ht = 21.07' NAVD
New 0'-0" Guest Cottage FFL Ht = 20.00' NAVD
New 0'-0" Garage 1st FFL Ht = 20.13' NAVD
MEAN Crown of Road = 20.10' NAVD

The Work Shown in these Plans Shall Comply with the 2020 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTT 10-99).

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Derrickson Residence
Renovations & Additions

No.	Date	Issue Note
A	5/16/09	Issue Note

Daniel Sloan, AR95577
Date:

Design Firm
Sloan & Sloan- Architecture + I.D.
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Consultant

Project Title
Derrickson Residence
Renovations & Additions
330 NE 1st Avenue

Drawing Title
NEW FIRST FLOOR PLAN-
of Main Residence

Project Manager	Project ID
D. Sloan	Derrickson Residence Project

Drawn By	Scale
D. Sloan	As Noted

Reviewed By	Drawing No.
D. Sloan	A2.02

Date	of
8/22/2021	

CAD File Name	Total Sheets
Derrickson_Reno_ExtgBldg.rvt	

DOOR SCHEDULE: DERRICKSON RESIDENCE:

Revised: 6/18/2021, Dim Sloan, Sloan & Sloan, Inc. (561) 243-8755
330 NE 1st Avenue, Delray Beach, FL

DOOR #	DOOR SIZE/TYPE	DOOR MANF.	CONST.	FINISH	FRAME MATERIAL	Hardware TYPE	Hardware Style & Finish	HINGES	REMARKS	Door "DP" Wind Pressure Rating per manf	Actual Wind Pressure on Door (Exp. B)
100a	2868 Prehung Screen Door	Cusom	1 1/8" Composite	Painted-Dk. Blue Hales Navy HC154	3/4 Composite Wd. prehung	TBS	TBS	TBS		N/A	N/A
100b	Double 3068 Alum. French Doors w/ 1 Light- IMPACT RATED	PGT Window Co. Mod. FD750 "WinGuard"	"Energy Max" Low E, Laminated Insulated Glass	Powdercoated Black Factory Finish	Alum.: install w/ SS Tapcons per NOA	EMTEK (model TBS) Plate in SS Schlage Keyway (Lever & Deadbolt)	EMTEK (model TBS) Lever & Dummy on Inactive side	PGT Factory Installed	Impact Rated- Provide NOA.	+70/-80	+37.1/-65.6
100c	9868 Alum. BiFold French Doors w/ 1 Light- IMPACT RATED (Custom to Fit Exact RO)	Marvin "Coastline" 4 panel Bi-Fold French Door	"Energy Max" Low E, Laminated Insulated Glass	Powdercoated Black Factory Finish	Alum.: install w/ SS Tapcons per NOA	EMTEK (model TBS) Plate in SS Schlage Keyway (Lever & Deadbolt)	EMTEK (model TBS) Lever & Dummy on Inactive side	Marvin Factory Installed	Impact Rated- Provide NOA.	+70/-80	+40.5/-45.6
100d	Doubl 3068 Alum. French Doors w/ 1 Light- IMPACT RATED	PGT Window Co. Mod. FD750 "WinGuard"	"Energy Max" Low E, Laminated Insulated Glass	Powdercoated Black Factory Finish	Alum.: install w/ SS Tapcons per NOA	EMTEK (model TBS) Plate in SS Schlage Keyway (Lever & Deadbolt)	EMTEK (model TBS) Lever & Dummy on Inactive side	PGT Factory Installed	Impact Rated- Provide NOA.	+70/-80	+37.1/-65.6
102a	2068 Prehung Door	Plantation Style 2" Lvrld	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Passage Set	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
102b	3068 Prehung Door	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Passage Set	TBS	Bright Chr. US26 (s) 4" Hinges	Inside Face to be Built out per Elevtr Code	N/A	N/A
102c	2868 Prehung Door Plaspro DR52b IMPACT RATED	PlasPro 2 Panel Composite	1 3/4" SOLID CORE	Painted-Dk. Blue Hales Navy HC154	3/4 Composite Wd. prehung	EMTEK (model TBS) Lever & Dummy on Inactive side	TBS	Bright SS	Casing TBS/2" Composite Fla. Brickmold	+75/-75	+40.5/-45.6
103a	2068 Pocket Door in Cased Opening	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	TBS: Flush Edge Pull PRIVACY SET	TBS	--	Casing TBS	N/A	N/A
104a	2868 Pocket Door in Cased Opening	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood Frame	TBS: Flush Edge Pull Passage SET	TBS	--	Casing TBS	N/A	N/A
105a	2868 Alum. French Door w/ 5 Light- IMPACT RATED	PGT Window Co. Mod. FD750 "WinGuard"	"Energy Max" Low E, Laminated Insulated Glass	Factory Black, Painted-Dk. Blue Hales Navy HC154 on Outer Face	Alum.: install w/ SS Tapcons per NOA	EMTEK (model TBS) Plate in SS Schlage Keyway (Lever & Deadbolt)	EMTEK (model TBS) Lever & Dummy on Inactive side	PGT Factory Installed	Impact Rated- Provide NOA.	+70/-80	+37.1/-65.6
105b	2068 Prehung Door	TBS- Solid Core W/ Weatherstripg	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Passage Set	TBS	Bright Chr. US26	Casing TBS w/ Gasketed Threshold	N/A	N/A
105c	2068 Prehung Door	Plantation Style 2" Lvrld	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Passage Set	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
106a	Double 2268 Doors w/ T Astragal	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	TBS: Privicay Lock w/ matching dummy	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
106b	2068 Pocket Door in Cased Opening	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood Frame	TBS: Flush Edge Pull PRIVACY SET	TBS	--	Casing TBS	N/A	N/A
106c	1668 Prehung Door (linen closet)	Plantation Style 2" Lvrld	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Passage Set	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
106d	26" Frameless Shower Door w/ Side Lights	Custom	Clear 1/2" Glass w/ sandblasted modesty Panel	Frameless	D Handle Bright Chrome			Bright Chrome hinges and clips	By Shower Door Co.	N/A	N/A
107a	Dbl 2668 Alum. French Door w/ 5 Light- IMPACT RATED	PGT Window Co. Mod. FD750 "WinGuard"	"Energy Max" Low E, Laminated Insulated Glass	Factory Black, Painted-Dk. Blue Hales Navy HC154 on Outer Face	Alum.: install w/ SS Tapcons per NOA	EMTEK (model TBS) Plate in SS Schlage Keyway (Lever & Deadbolt)	EMTEK (model TBS) Lever & Dummy on Inactive side	PGT Factory Installed	Impact Rated- Provide NOA.	+70/-80	+40.5/-45.6
107b	Double 2668 Doors w/ T Astragal	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	TBS: Privicay Lock w/ matching dummy	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
107c	Dbl 2668 Alum. French Door w/ 5 Light- IMPACT RATED	PGT Window Co. Mod. FD750 "WinGuard"	"Energy Max" Low E, Laminated Insulated Glass	Factory Black, Painted-Dk. Blue Hales Navy HC154 on Outer Face	Alum.: install w/ SS Tapcons per NOA	EMTEK (model TBS) Plate in SS Schlage Keyway (Lever & Deadbolt)	EMTEK (model TBS) Lever & Dummy on Inactive side	PGT Factory Installed	Impact Rated- Provide NOA.	+70/-80	+40.5/-45.6
108a	2068 Pocket Door in Cased Opening	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood Frame	TBS: Flush Edge Pull Passage Set	TBS	--	Casing TBS	N/A	N/A
109a	2068 Pocket Door in Cased Opening	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood Frame	TBS: Flush Edge Pull Passage Set	TBS	--	Casing TBS	N/A	N/A
200a	Double 3068 Alum. French Doors w/ 1 Light- IMPACT RATED	PGT Window Co. Mod. FD750 "WinGuard"	"Energy Max" Low E, Laminated Insulated Glass	Powdercoated Black Factory Finish	Alum.: install w/ SS Tapcons per NOA	EMTEK (model TBS) Plate in SS Schlage Keyway (Lever & Deadbolt)	EMTEK (model TBS) Lever & Dummy on Inactive side	PGT Factory Installed	Impact Rated- Provide NOA.	+70/-80	+37.1/-65.6
200b	9868 Alum. BiFold French Doors w/ 1 Light- IMPACT RATED (Custom to Fit Exact RO)	Marvin "Coastline" 4 panel Bi-Fold French Door	"Energy Max" Low E, Laminated Insulated Glass	Powdercoated Black Factory Finish	Alum.: install w/ SS Tapcons per NOA	EMTEK (model TBS) Plate in SS Schlage Keyway (Lever & Deadbolt)	EMTEK (model TBS) Lever & Dummy on Inactive side	Marvin Factory Installed	Impact Rated- Provide NOA.	+70/-80	+40.5/-45.6
200c	Doubl 3068 Alum. French Doors w/ 1 Light- IMPACT RATED	PGT Window Co. Mod. FD750 "WinGuard"	"Energy Max" Low E, Laminated Insulated Glass	Powdercoated Black Factory Finish	Alum.: install w/ SS Tapcons per NOA	EMTEK (model TBS) Plate in SS Schlage Keyway (Lever & Deadbolt)	EMTEK (model TBS) Lever & Dummy on Inactive side	PGT Factory Installed	Impact Rated- Provide NOA.	+70/-80	+37.1/-65.6
201a	2868 Glass Door- Tempered	1/2" Frameless Glass Door	1/2" Temp. Glass w/ sidelights		TBS	Privacy Set	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
201b	3068 Prehung Door	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Passage Set	TBS	Bright Chr. US26 (s) 4" Hinges	Inside Face to be Built out per Elevtr Code	N/A	N/A
201c	2068 Prehung Door	TBS- Solid Core W/ Weatherstripg	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Passage Set	TBS	Bright Chr. US26	Casing TBS w/ Gasketed Threshold	N/A	N/A
203a	2068 Prehung Door	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Privacy Set	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
204a	2068 Prehung Door	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Privacy Set	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
204b	8Pass Shower Door	TBS	Clear 3/8" Glass w/ sandblasted modesty Panel	Frameless	D Handle Bright Chrome			Bright Chrome rails and clips	By Shower Door Co.	N/A	N/A
205a	2868 Prehung Door	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Privacy Set	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
205b	2668 Prehung Door	Plantation Style 2" Lvrld	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Passage Set	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
206a	2068 Prehung Door	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Privacy Set	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
206b	8Pass Shower Door	TBS	Clear 3/8" Glass w/ sandblasted modesty Panel	Frameless	D Handle Bright Chrome			Bright Chrome rails and clips	By Shower Door Co.	N/A	N/A
207a	2868 Prehung Door	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	Privacy Set	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
207b	Dbl 3068 8Pass Closet Door	Plantation Style 2" Lvrld	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	JOHNSON 100 Series Track & Cars	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
209a	Double 2668 Doors w/ T Astragal	TBS	1 3/8" SOLID CORE	Painted-Color TBS	3/4 wood prehung	TBS: Privicay Lock w/ matching dummy	TBS	Bright Chr. US26	Casing TBS	N/A	N/A
209b	Dbl 2668 Alum. French Door w/ 5 Light- IMPACT RATED	PGT Window Co. Mod. FD750 "WinGuard"	"Energy Max" Low E, Laminated Insulated Glass	Factory Black, Painted-Dk. Blue Hales Navy HC154 on Outer Face	Alum.: install w/ SS Tapcons per NOA	EMTEK (model TBS) Plate in SS Schlage Keyway (Lever & Deadbolt)	EMTEK (model TBS) Lever & Dummy on Inactive side	PGT Factory Installed	Impact Rated- Provide NOA.	+70/-80	+40.5/-45.6
209c	Dbl 2668 Alum. French Door w/ 5 Light- IMPACT RATED	PGT Window Co. Mod. FD750 "WinGuard"	"Energy Max" Low E, Laminated Insulated Glass	Factory Black, Painted-Dk. Blue Hales Navy HC154 on Outer Face	Alum.: install w/ SS Tapcons per NOA	EMTEK (model TBS) Plate in SS Schlage Keyway (Lever & Deadbolt)	EMTEK (model TBS) Lever & Dummy on Inactive side	PGT Factory Installed	Impact Rated- Provide NOA.	+70/-80	+40.5/-45.6
NOTE #1: Entry Sets to have Lifetime Finish. All locks keyed alike, all Thresholds are All exterior hardware to have lifetime finish factory applied.											
NOTE #2: All exterior hardware to have lifetime finish factory applied.											
NOTE #3: All French Doors to have crash chains with cloth covers. Double French Doors to have flush bolts top and bottom.											
NOTE #4: All Double Doors to have dummy set to match active set of hardware.											
NOTE #5: All interior Doors to have Screw on Bravura #Bravura 3" Door Stop LDS 920- Bright Chrome US26 unless otherwise noted											

DERRICKSON RES :: PGT WINDOW SCHEDULE :: NEW Aluminium Windows

JOB ADDRESS: 330 NE 1st Avenue, Delray Beach, FL, Revised 6/18/21

WINDOW #	MULL PATTERN	Quantity of this type	DESCRIPTION	GLASS TYPE	Exterior FRAME FINISH	Exterior SASH FINISH	MANUF.	MODEL #	WOOD FRAME R. Opening Width (in)	WOOD FRAME R. Opening Height (in)	Remarks	Head Ht. above FFL of that Room	Door "DP" Wind Pressure Rating per manf	Actual Wind Pressure on Door (Exp. B)
MAIN RESIDENCE Windows														
A	4/1	4	Alum. Single Hung Window: SH7700A Series Note #1	Black	Black	PGT Windguard	H35	26"	62.5"	62.5"	Clear Low E Glass	7'- 6"	+65/-80	+43.4/-47.6
B	4/1	2	Alum. Single Hung Window: SH7700A Series Note #1	Black	Black	PGT Windguard	24	36.5"	52.125"	52.125"	Clear Low E Glass	6'- 10"	+65/-80	+43.4/-47.6
C	4/1	14	Alum. Single Hung Window: SH7700A Series Note #1	Black	Black	PGT Windguard	H34	26"	52.125"	52.125"	Clear Low E Glass	6'- 10"	+65/-80	+44.9/-48.7
D	4/1	2	Alum. Single Hung Window: SH7700A Series Note #1	Black	Black	PGT Windguard	H34	26"	52.125"	52.125"	Clear Low E Glass & Frosted	6'- 10"	+65/-80	+41.1/-75.4
E	4/1	1	Alum. Single Hung Window: SH7700A Series Note #1	Black	Black	PGT Windguard	H36	26"	75.5"	75.5"	Clear Low E Glass	6'- 10"	+65/-80	+43.4/-47.6
F	4/1	2	Alum. Single Hung Window: SH7700A Series Note #1	Black	Black	PGT Windguard	H35	26"	62.5"	62.5"	Clear Low E Glass	sill at 8"	+65/-80	+43.4/-47.6
GENERAL NOTE: Can Substitute Marvin "Coastline Series" Single Hung i74 Series In Black if PGT Backordered. (use Same Low E Laminated, Insulated Glass)														
Note #1: All windows IMPACT RESISTANT, Fla. Bldg. Code Approved (Palm Beach Co.), CLEAR glass. Use High Performance Impact Rated Low E Glass-IMPACT RESISTANT Laminated, Insulated "Energy Star Max")														
Note #2: All windows to have GWB interior returns (Price Option to Case Out Interior), IF Sill is 24" or less provide ASTM F2090 Window Guard(s) if Required.														
Note #3: Must Comply with all Local Codes for Strength & Installation techniques. Also Window Installer to follow manufacturers installation and flashing directions. Window Installer to Flash w/ WR Grace VYCOR PLUS "peel & stick" system. Also provide tempered glass units where code required.														
Note #4: Verify all Wood & Masonry Openings with Window Manufacturer PRIOR to framing. In Block Walls install PT 2x6 Tapconed to Filled Block behind per NOA to Create Rough Opening for Fin Frame Windows. Apply Sealants and Liquid Exterior Waterproof per Manf. Directions & NOA (typ all windows)														
Note #5: ALL Windows to have screens; color to match sash. Where mulls are specified use 3/4" colonial outside/low profile colonial inside; match interior/exterior finish.														
Note #6: PGT & Marvin Windows are: Powdercoat or Kynar Finish, Color as Noted on Elevations														

GENERAL CONSTRUCTION NOTES-

Derrickson Residence New Single Family Home Project

1. All dimensions, Specifications, and Notes provided herein shall be verified by each Subcontractor and Vendor prior to performance of the work, any discrepancies shall be immediately brought to the attention of the GC/Project Manager and Architect. Written dimensions shall take precedence over scale dimensions at all times. The work shall conform to the Florida Building Code latest edition and County/Municipalities Interpretations thereof. Included in the work is Submitting Samples/Specifications/Colors/Paperwork as may be required to obtain City of Delray Beach Historic Preservation Board or HOA Board Pre-Approval for any items or assemblies where such approval is required such as WINDOWS and EXTERIOR DOORS.

2. DRAWINGS: These Drawings are diagrammatic only. It is not the intent of these drawings to show every minor detail of construction. The Subcontractor and Vendor shall furnish and install all items needed for a complete building system and provide all requirements for the equipment to be placed in proper working order. Prior to submission of bids, Contractor, Subcontractors, and Vendors shall visit the site and bring any discrepancies at the stie, with the plans, and specs to the attention of the Architect and shall verify that their final bid includes all items and assemblies needed to comply with the FBC, PBC, and City requirements, codes, and rules and the intent depicted in these drawings. A complete set of approved, signed and sealed drawings, together with approved "Change Order" sheets, addenda, Shop Drawings, and Supplemental Information, along with all permit copies shall be maintained at the jobsite at all times.

3. Work shall include all items (building and site) indicated on these drawings unless otherwise noted. (co-ordinate with written specifications, as applicable)

4. Shop drawings shall be submitted for approval for the following items:

- | | | | |
|-----------------------|----|---------------------------|----|
| 1. Trusses | XX | 6. Stairs | XX |
| 2. Wall Panels | XX | 7. Structural Connections | XX |
| 3. A/C | XX | 8. Plumbing Riser | XX |
| 4. Windows/Storefront | XX | 9. Electrical Riser | XX |
| 5. Doors | XX | 10. Cabinets | XX |
| | | 11. Other | XX |

5. ____ General Contractor or XX Owner : shall maintain Temporary Electrical, Water, and Sanitary Facilities for the duration of construction unless Specifically otherwise provided for in the Construction Contract.

6. Deposits and Fees: Deposits for Water Meter, Telephone, Water, if applicable, shall be billed to Owner at GC net cost.

7.All trades shall be responsible for cleaning up and bringing their own trash and scrap materials to the on site dumpster each day. Jobsite shall be cleaned daily by each Subcontractor. If not done, GC may backcharge Subcontractor for the cost of such cleanup as required.

8. Every Subcontractor and Vendor shall carry adequate Public Liability and Workers Comp Insurance for the duration of the work. SEE RFP for any limits required above the Statutory Requirements. All work shall be in accordance with applicable National, State, and local Codes, rules, and ordinances. Each Subcontractor shall have Conch Custom Homes added as an Additional Named Insured and furnish GC a Certificate of Insurance attesting to same.

9. TRUSS MANUFACTURER: co-ordinate truss profiles to accommodate HVAC Ductwork per Sheet M-1 & M.2 (as applicable). All Truss to Truss Metal connectors shall be furnished by Truss Manf. as part of Truss Package.

10. All Demolition Work accomplished by Subcontractor shall follow latest EPA Leadsafe Workplace Standards for containment and removal of possible lead paint in any residential structure constructed prior to 1979, unless such demolition work was accomplished by the Owner acting as "Owner/Builder".

11. No Contractor, Subcontractor, or Vendor shall bring onto the site or incorporate into the building any material containing Abestos or PCBs. If the project is a renovation project the observation of either substance shall immediately be brought to the attention of the Architect and GC so that they can be appropriately remediated or removed.

12. Each Subcontractor, Speciality Contractor, and Vensdor shall install his/her portion of the work in a neat, workmanlike manner and in accordance with the highest standards and methods promulgated by their appropriate trade group. See Written Specs for added information. Each Contractor will protect the work of other Contractors during the installation of their materials or assemblies. If one Contractor damages the work of another Contractor the Contractor causing such damage shall be responsible for the costs of repair of such damage. Any such conflicts shall immediatly be brought to the attention of the GC.

13. MILLWORK: Contractor shall coordinate the Millwork/Cabinetry Installer with Electrical, Plumbing, and Gas trades for device & fixture locations prior to roughing in for devices, fixtures, or equipment. All millwork shall have finished interiors be fabricated and installed in accordance with the Architectural Millwork Institute "Premium Grade" standard. No Urea Formaldehyde Glues or VOC containing Stains or Finishes shall be utilized. SEE INTERIOR DESIGN DRAWINGS & WRITTEN SPECS FOR ADDITIONAL INFORMATION.

14. GREEN PROJECT: (ONLY IF STIPULATED IN BIDDING DOCUMENTS) This project is going to be submitting for Green Certification thru the Florida Green Building Coalition, or the USGBC's LEED program, or Green Globes program. As such, All Vendors, Suppliers, and Subcontractors shall warrant that they shall not utilize paints, sealants, glues, adhesives, primers, finishes, and other such materials containing VOC's or utilize urea formaldehyde glues (particularly in millwork and cabinetry) SEE WRITTEN SPECS for more information. If in Doubt about a particular item, ask the GC and Green Certification Consultant in advance of ordering or utilizing any such item.

Door & Window Schedules A2.02b

The Work Shown in these Plans Shall Comply with the 2020 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



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Derrickson Residence Renovations & Additions

A	5/16/09	Issue Note
No.	Date	Issue Notes
<div><div></div><div>Daniel Sloan, AR95577 Date: _____</div></div>		
Design Firm Sloan & Sloan- Architecture + I.D. 106 SE 7th Avenue, Ste. B Delray Bch, FL 33483 (561) 243-8755		
Consultant		
Project Title Derrickson Residence Renovations & Additions 330 NE 1st Avenue		
Drawing Title NEW Door & Window Schedules & General Notes		
Project Manager D. Sloan	Project ID Derrickson Residence Project	
Drawn By D. Sloan	Scale As Noted	
Reviewed By D. Sloan	Drawing No. A2.02b	
Date 8/22/2021	of Total Sheets	
CAD File Name Derrickson_Reno_ExtgBldg.rvt		

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AA2600208



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1	xx/xx/2021		Issued for HPB Review
2	xx/xx/2021		Issued for Permitting

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Derrickson Residence Renovations & Additions

No.	Date	Issue Note
Daniel Sloan, AR95577 Date:		

Design Firm
Sloan & Sloan- Architecture + I.D.
106 SE 7th Avenue, Ste. B
Delray Bch, FL 33483
(561) 243-8755

Consultant

Project Title
Derrickson Residence
Renovations & Additions
330 NE 1st Avenue

Drawing Title
NEW FIRST FLOOR PLAN-
of OUTBUILDINGS

Project Manager
D. Sloan

Project ID
Derrickson Residence Project

Drawn By
D. Sloan

Scale
As Noted

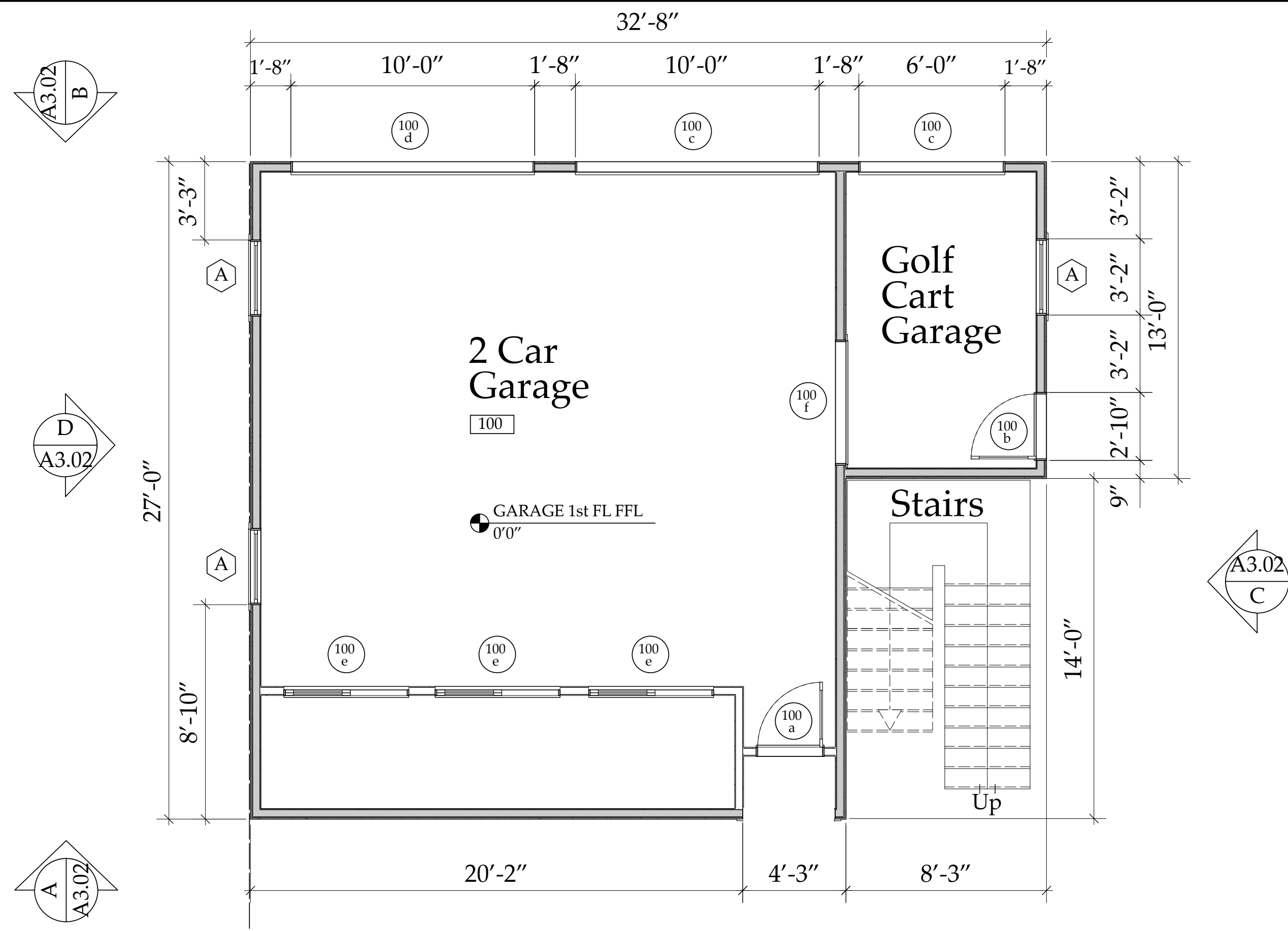
Reviewed By
D. Sloan

Drawing No.
A2.02c

Date
8/22/2021

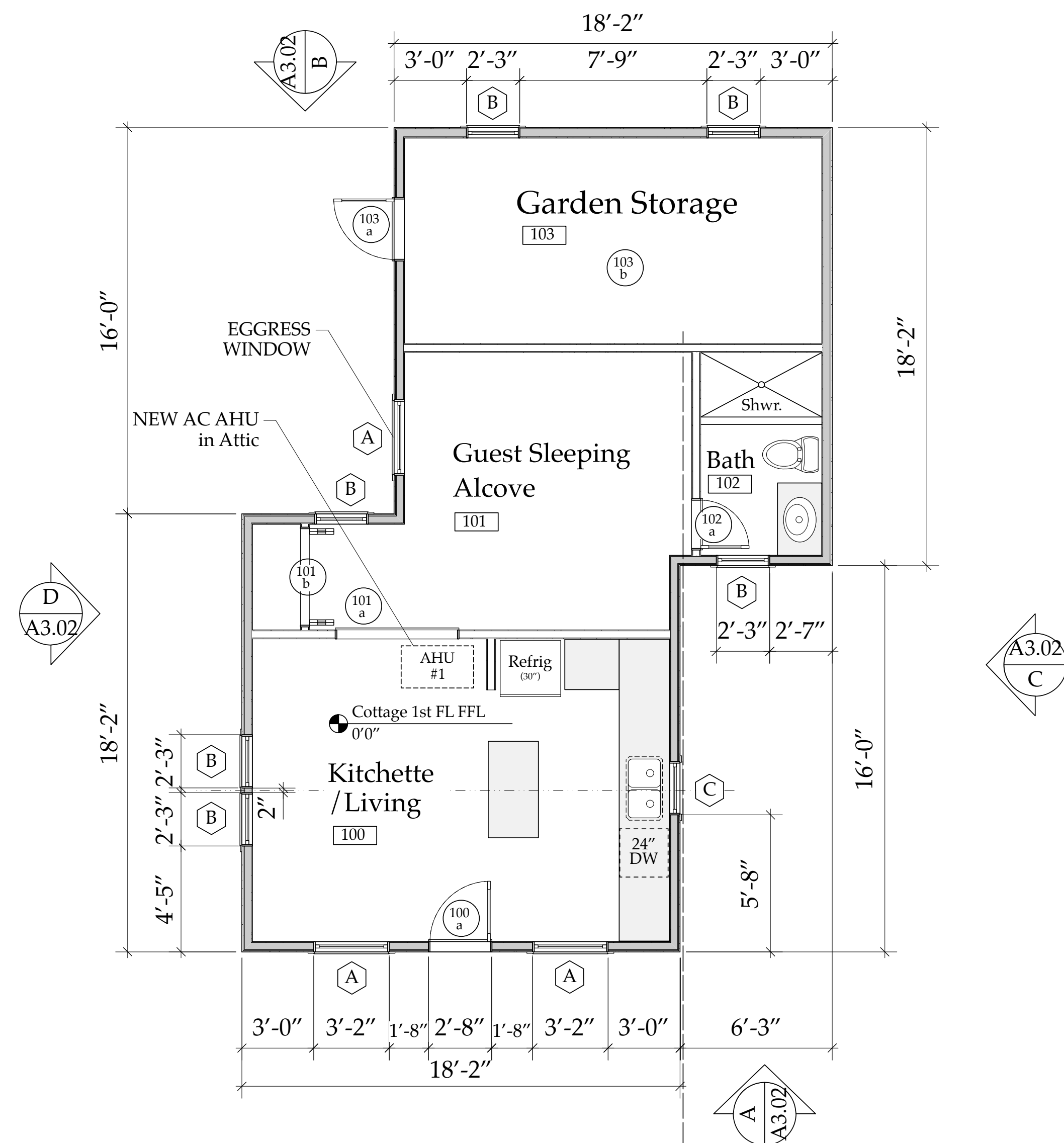
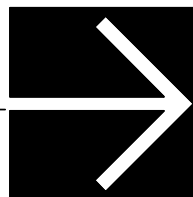
of
Total Sheets

CAD File Name
Derrickson_Reno_ExtgBldg.rvx



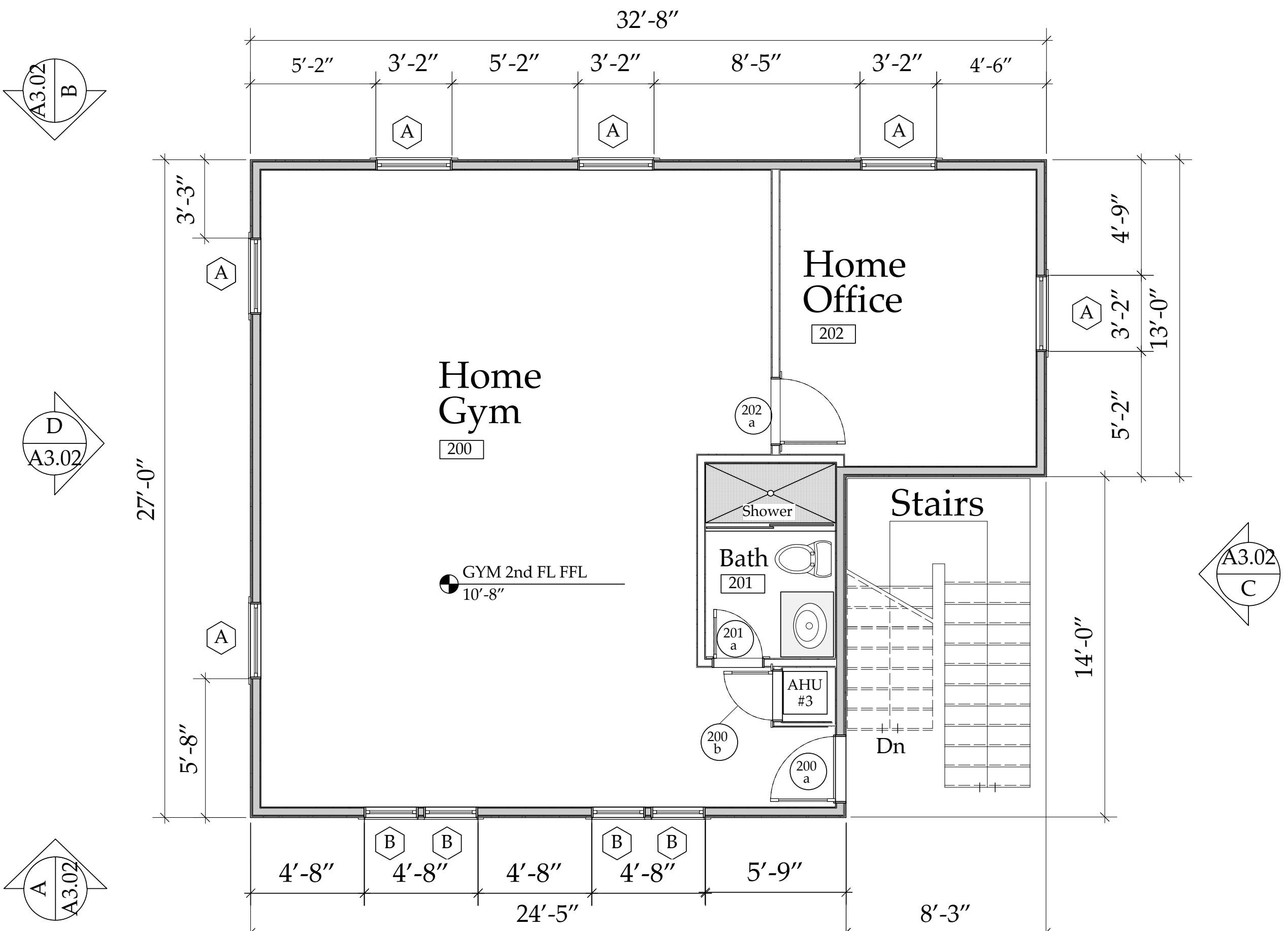
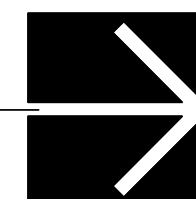
NEW GARAGE 1st FLOOR PLAN

Scale: 1/4" = 1'-0"



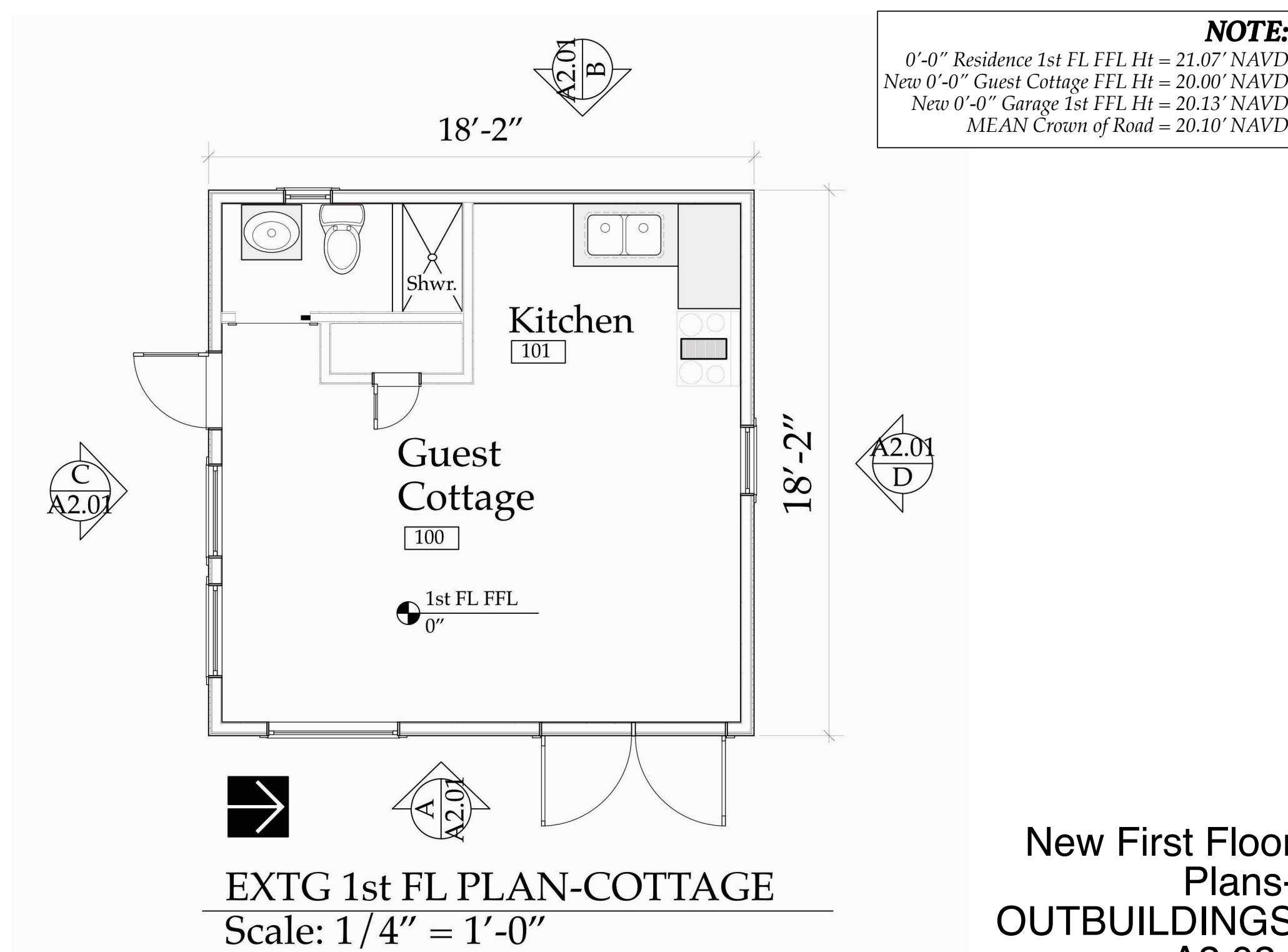
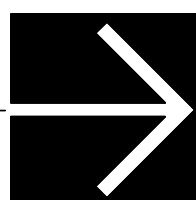
NEW COTTAGE 1st FL PLAN

Scale: 1/4" = 1'-0"



NEW GARAGE/GYM 2nd FLOOR PLAN

Scale: 1/4" = 1'-0"

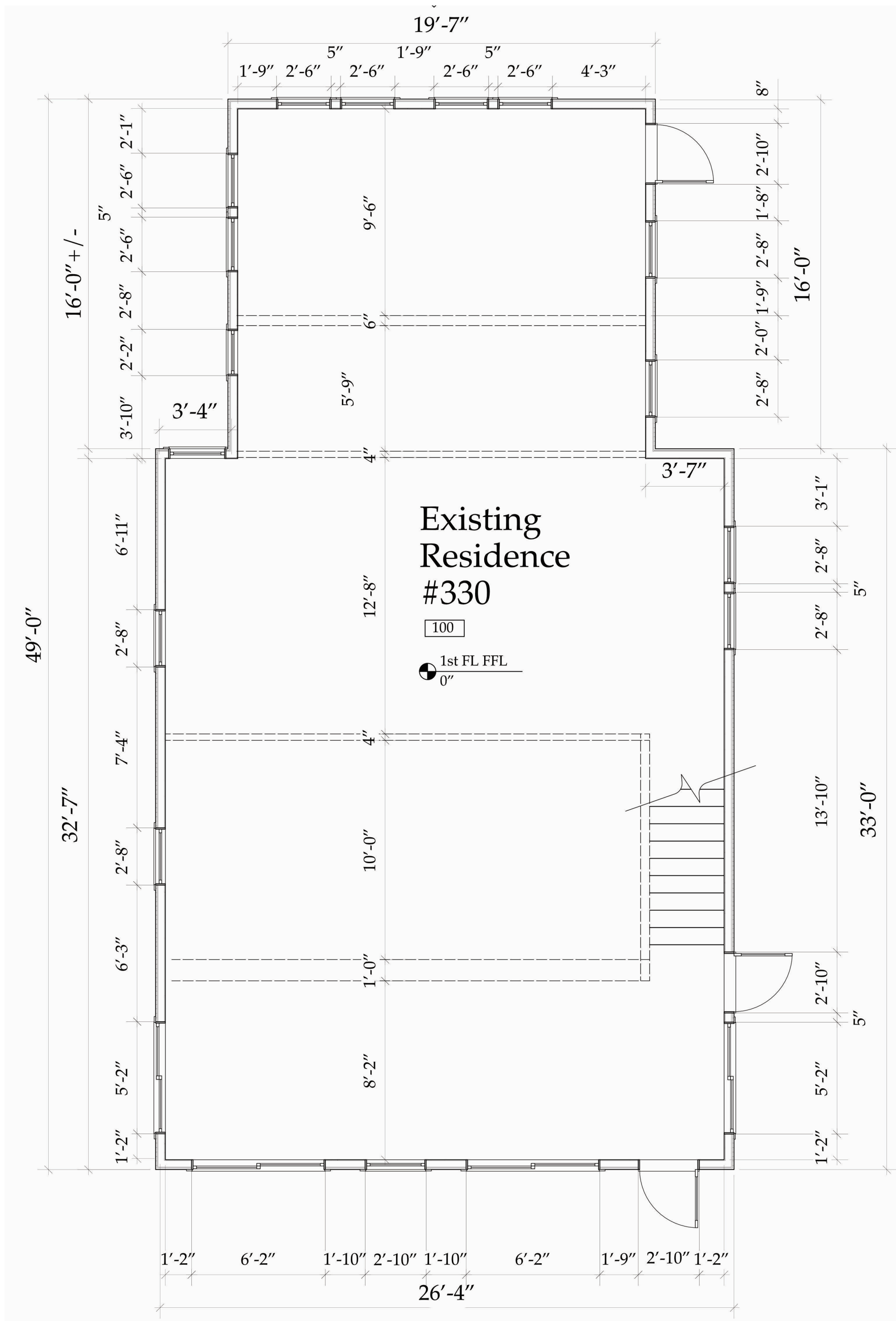
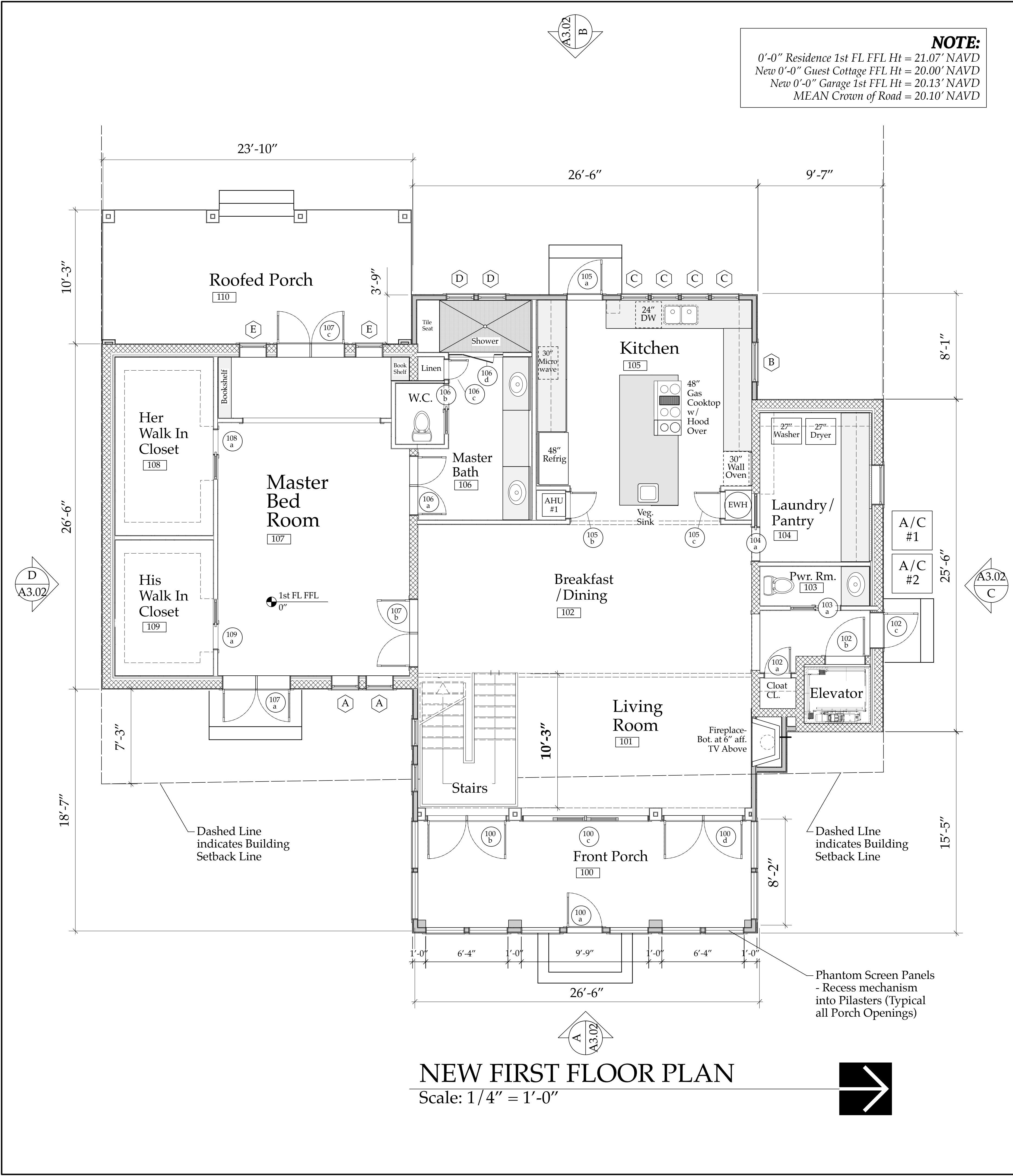


EXTG 1st FL PLAN-COTTAGE

Scale: 1/4" = 1'-0"



New First Floor
Plans-
OUTBUILDINGS
A2.02c



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Derrickson Residence Renovations & Additions

No.	Date	Issue Note
A	5/16/09	Issue Note

Daniel Sloan, AR95577
Date:

Sloan & Sloan- Architecture + I.D.
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(561) 243-8755

Consultant

Project Title
Derrickson Residence Renovations & Additions
330 NE 1st Avenue

Drawing Title
OLD & NEW FIRST FLOOR PLANS- of Main Residence

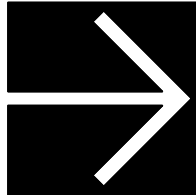
Project Manager	Project ID
D. Sloan	Derrickson Residence Project

Drawn By	Scale
D. Sloan	As Noted

Reviewed By	Drawing No.
D. Sloan	A2.02_coa

Date: 8/22/2021
CAD File Name: Derrickson_Reno_ExtgBldg.rvt

of
Total Sheets



Extg 2nd Floor Plan

A2.03

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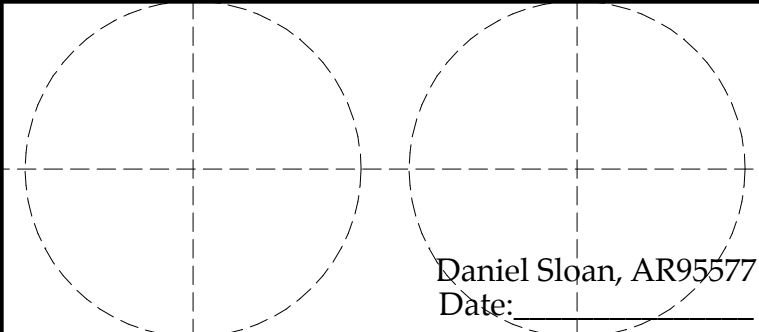
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Derrickson Residence Renovations & Additions

A	5/16/09	Issue Note
No.	Date	Issue Notes



Daniel Sloan, AR95577
Date: _____

Design Firm
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Delray Bch, FL 33483
(561) 243-8755

Consultar

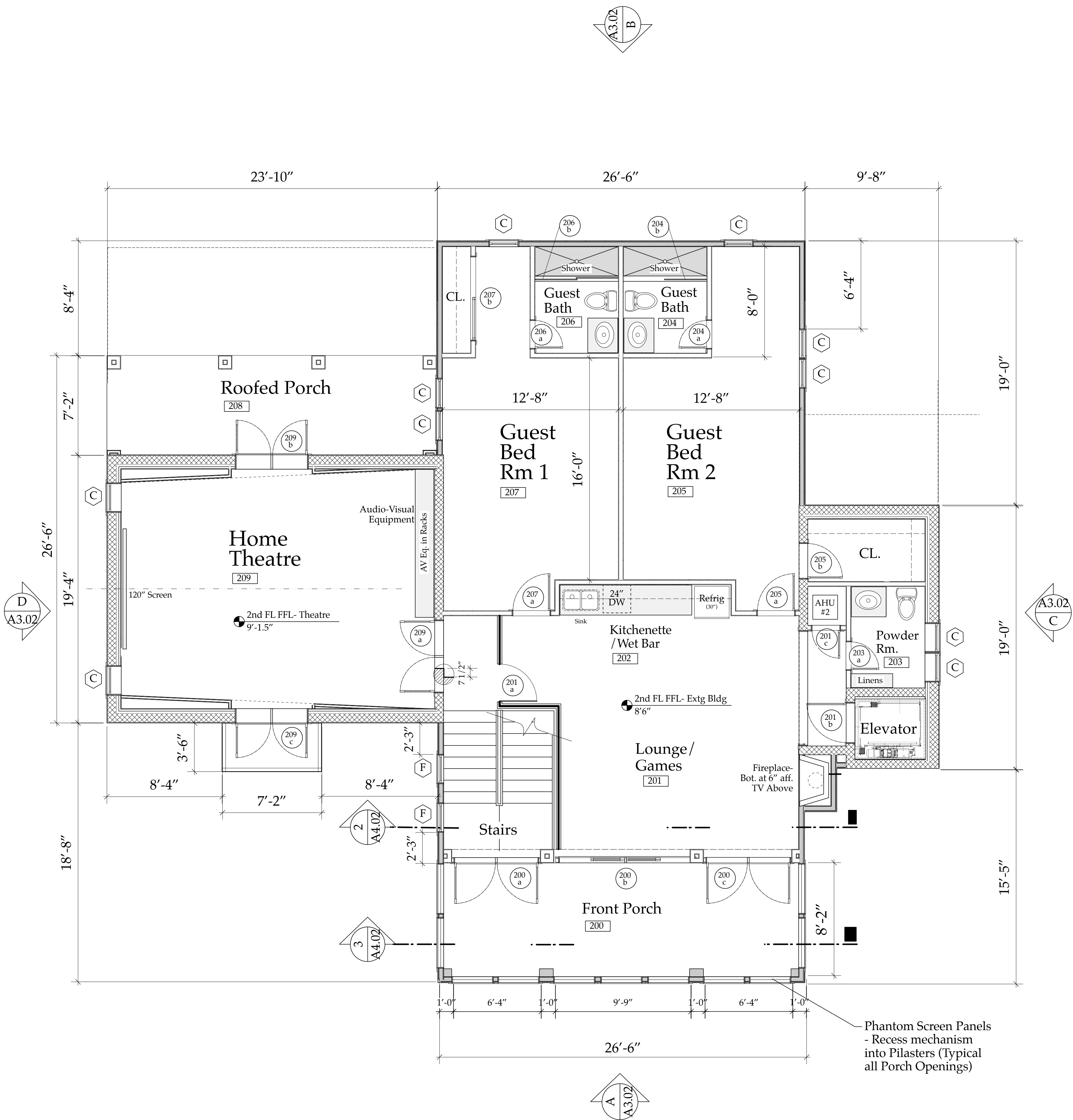
Project Title

Derrickson Residence
Renovations & Additions
330 NE 1st Avenue

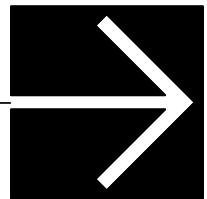
Drawing Title **EXTG SECOND FLOOR PLAN-**
of Main Residence

Project Manager D. Sloan	Project ID Derrickson Residence Project
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. <div style="font-size: 2em; text-align: center;">A2.03</div> <div style="text-align: center;">_____ of _____</div> <div style="text-align: center;">Total Sheets</div>
Date 6/16/2021	
CAD File Name Derrickson Reno Ext&Bldg.dwg	

Derrickson_Reno_ExtgBldg.vwx



NEW SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



NOTE:
0'-0" Residence 1st FL FFL Ht = 21.07' NAVD
New 0'-0" Guest Cottage FFL Ht = 20.00' NAVD
New 0'-0" Garage 1st FFL Ht = 20.13' NAVD
MEAN Crown of Road = 20.10' NAVD

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Derrickson Residence
Renovations & Additions

A 5/16/09 Issue Note

No.	Date	Issue Notes
Daniel Sloan, AR95577 Date:		

Design Firm
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Consultant

Project Title
Derrickson Residence
Renovations & Additions
330 NE 1st Avenue

Drawing Title
NEW SECOND FLOOR PLAN-
of Main Residence

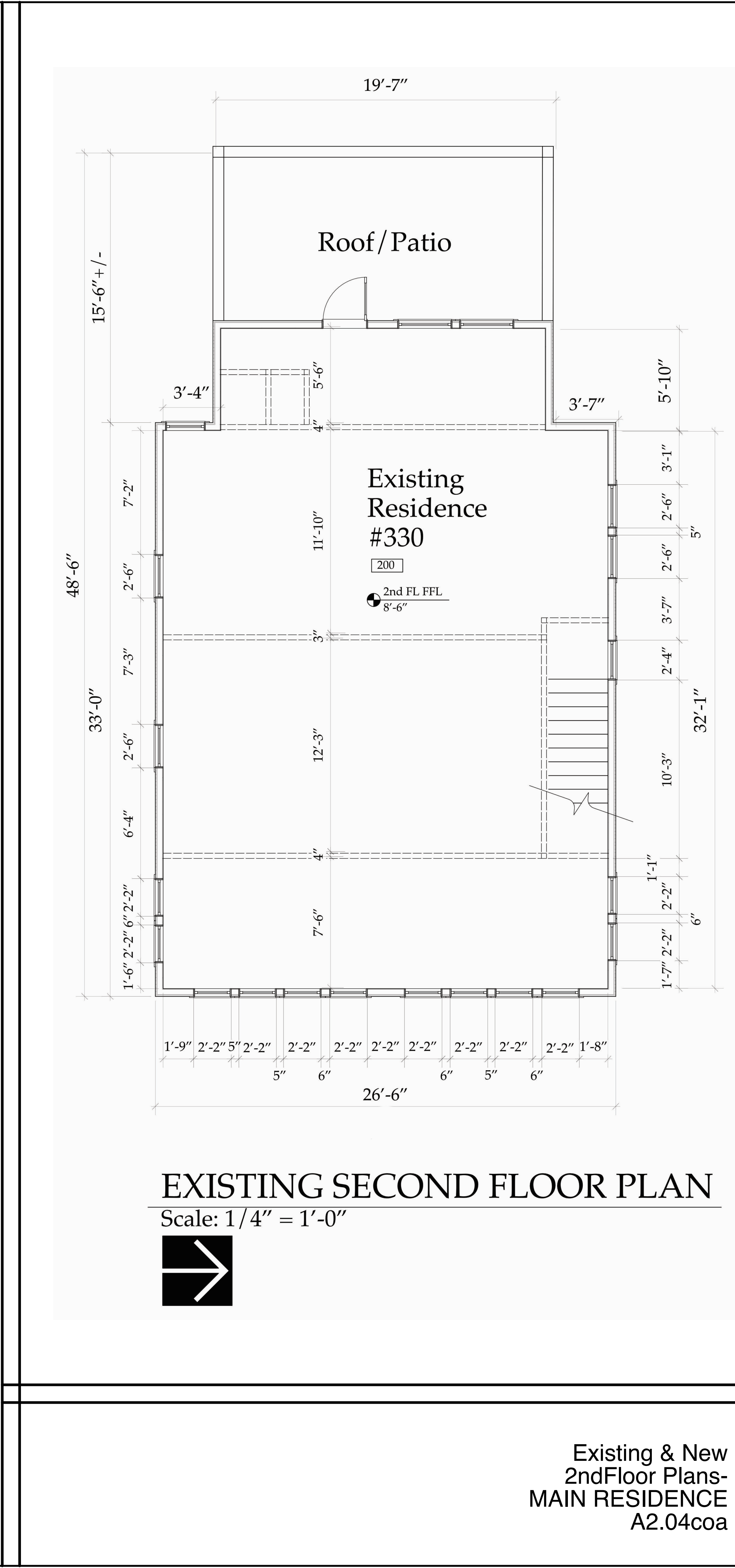
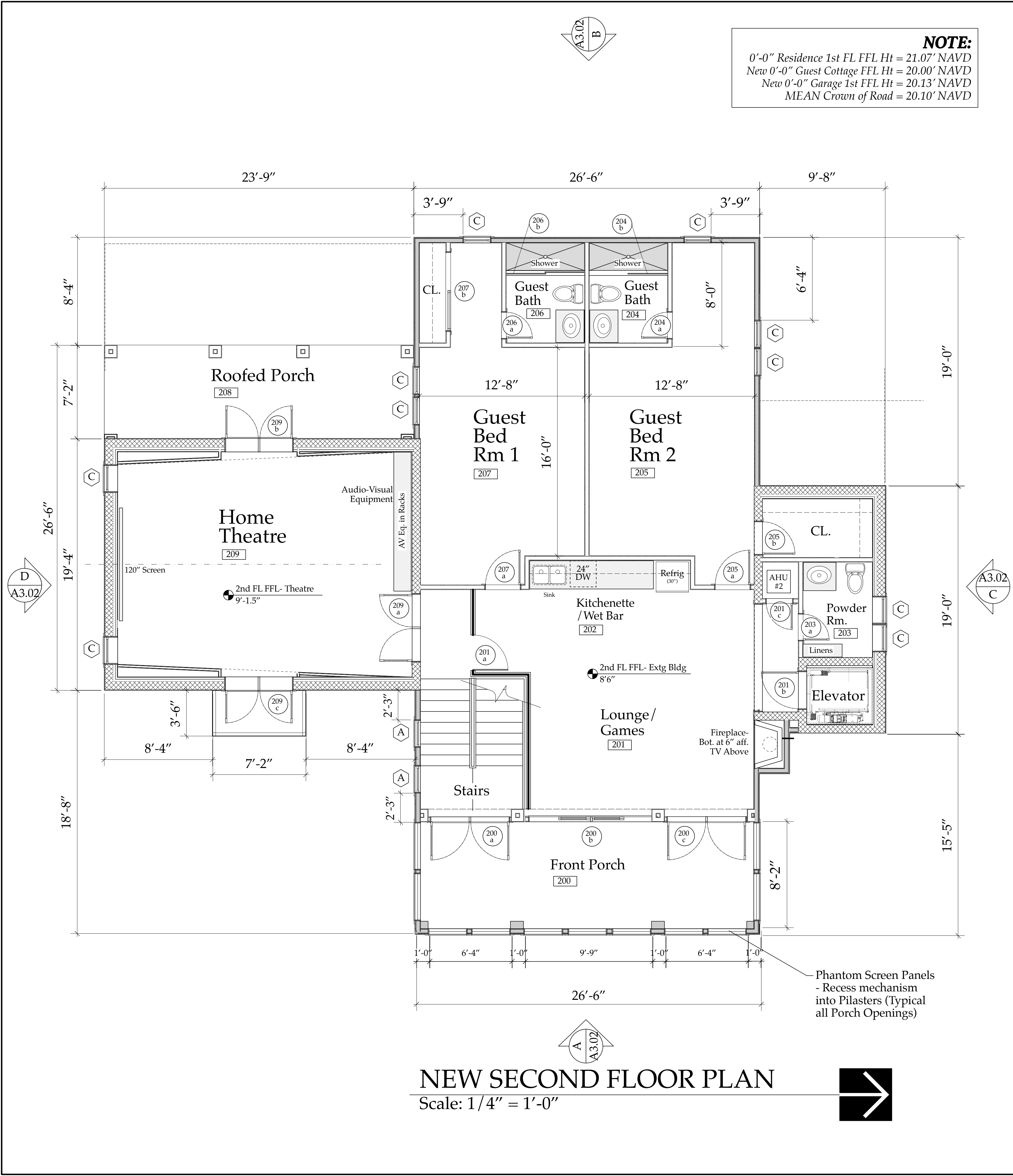
Project Manager	Project ID
D. Sloan	Derrickson Residence Project

Drawn By	Scale
D. Sloan	As Noted

Reviewed By	Drawing No.
D. Sloan	A2.04

Date	of
8/22/2021	

CAD File Name	Total Sheets
Derrickson_Reno_ExtgBldg.rvt	



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Derrickson Residence Renovations & Additions

No.	Date	Issue Note
A	5/16/09	Issue Note

Daniel Sloan, AR95577
Date:

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Delray Bch, FL 33483
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Consultant

Project Title
Derrickson Residence Renovations & Additions
330 NE 1st Avenue

Drawing Title
EXTG & NEW S2nd FLOOR PLANS- of Main Residence

Project Manager	Project ID
D. Sloan	Derrickson Residence Project

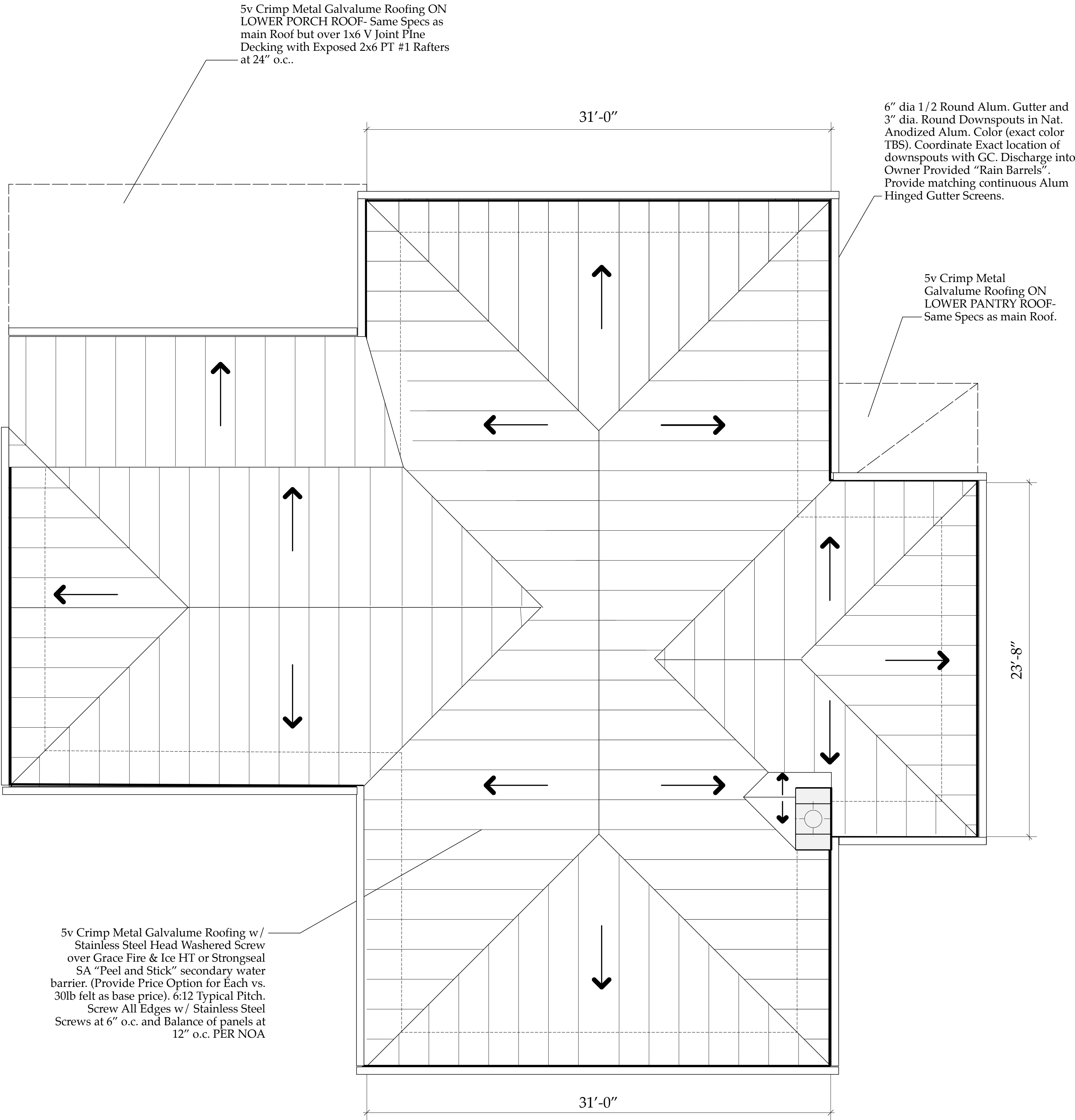
Drawn By	Scale
D. Sloan	As Noted

Reviewed By	Drawing No.
D. Sloan	A2.04coa

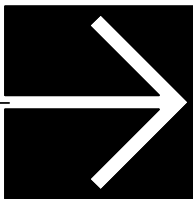
Date: 8/22/2021

CAD File Name: Derrickson_Reno_ExtgBldg.rvt

of
Total Sheets



NEW ROOF PLAN
Scale: 1/4" = 1'-0"



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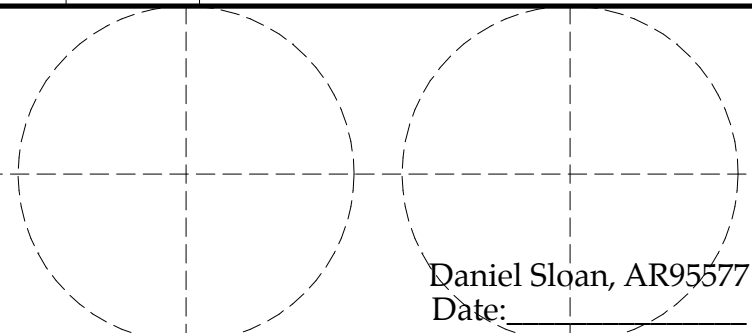
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			<u>Derrickson Residence</u> Renovations & Additions
A	5/16/09	Issue Note	
No.	Date	Issue Notes	



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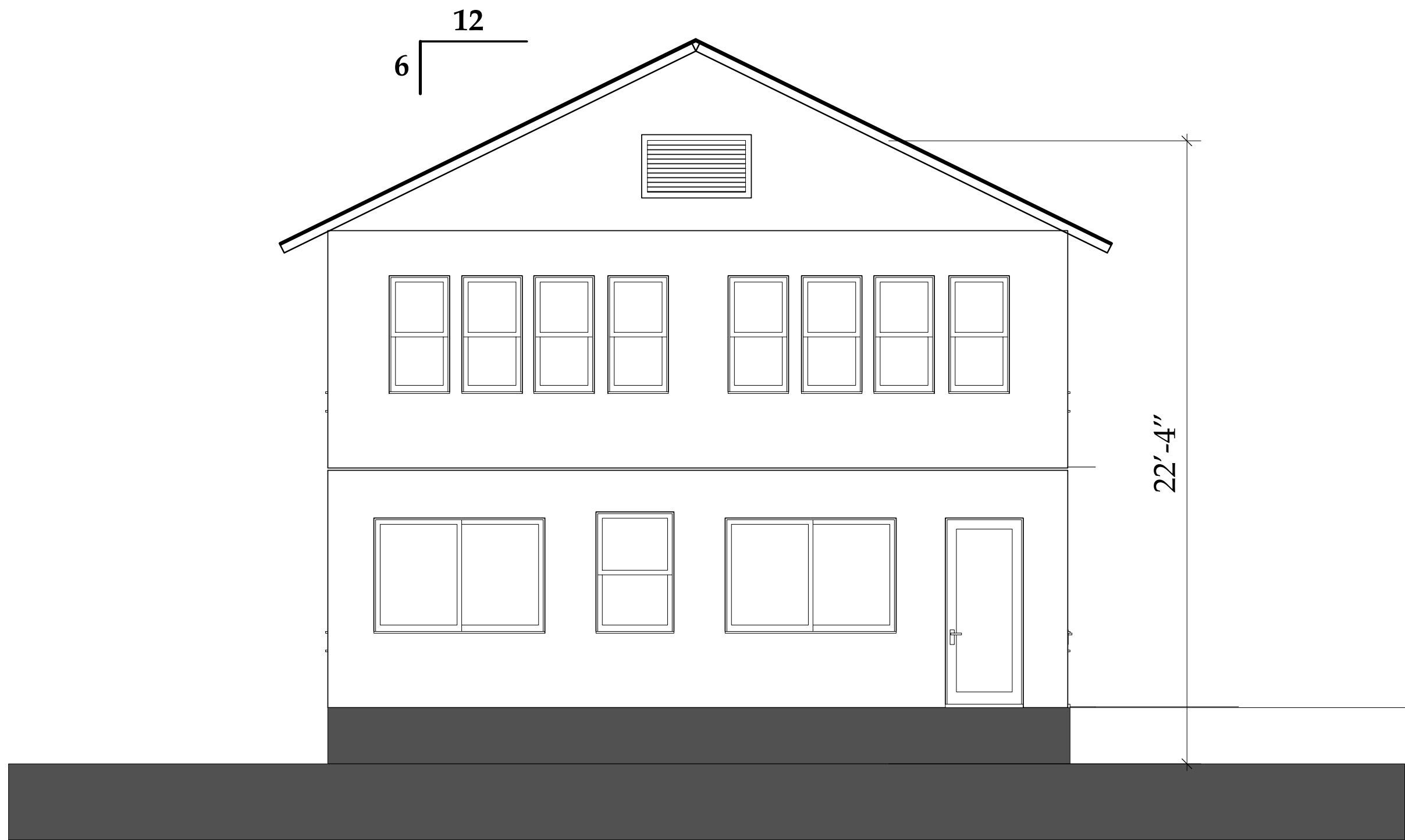
Consultant

Project Title
Derrickson Residence
Renovations & Additions
330 NE 1st Avenue

Drawing Title
NEW ROOF PLAN-
of Main Residence

Project Manager	D. Sloan	Project ID	Derrickson Residence Project
Drawn By	D. Sloan	Scale	As Noted
Reviewed By	D. Sloan	Drawing No.	A2.05
Date	8/22/2021		of
CAD File Name	Derrickson_Reno_ExtgBldg.rvt		Total Sheets

HIP Roof Option
New Roof Plan for
Main House
A2.05



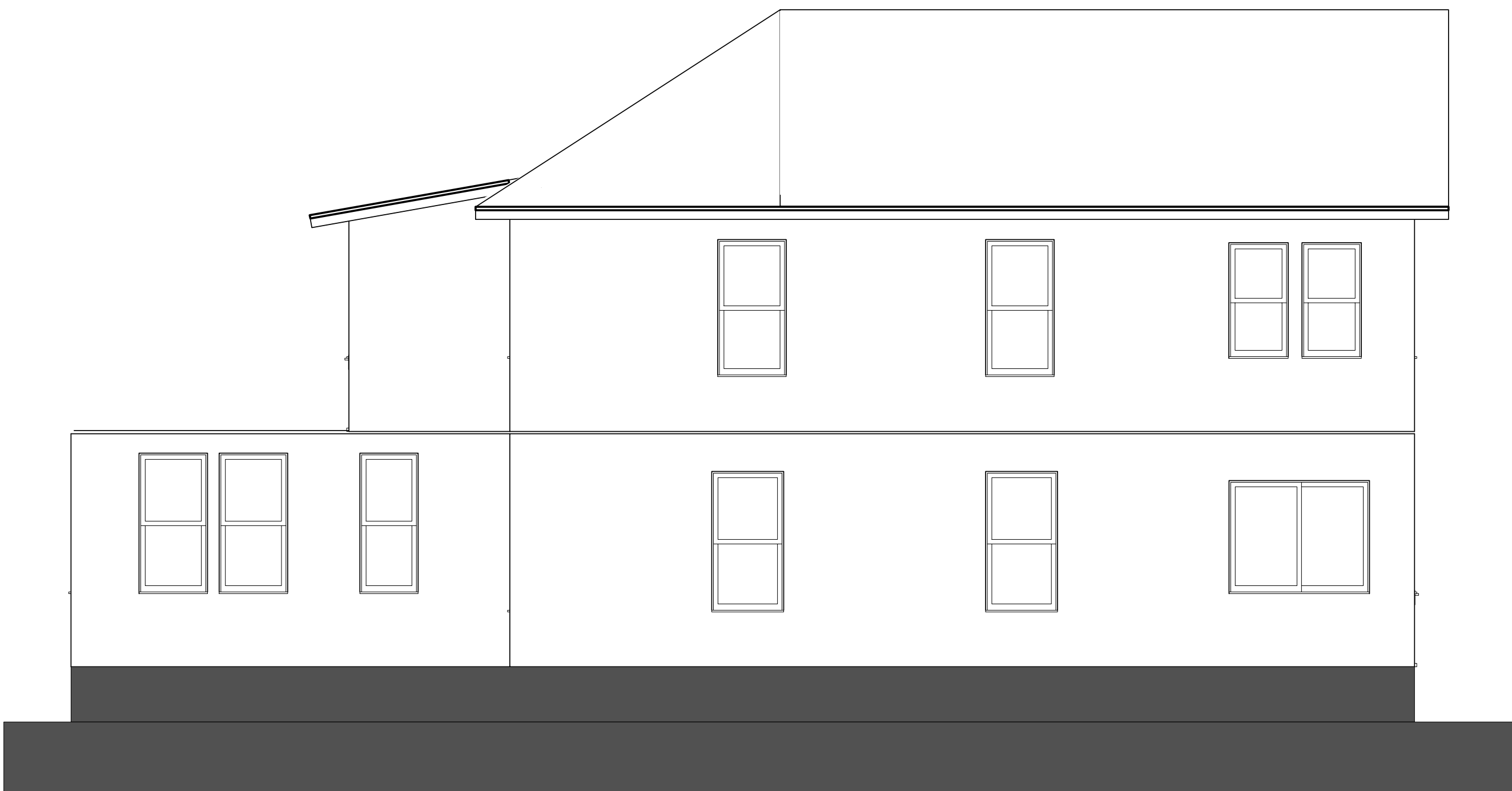
A EXISTING EAST ELEVATION
A.3.01 Scale: 1/4" = 1'-0"



B EXISTING WEST ELEVATION
A.3.01 Scale: 1/4" = 1'-0"



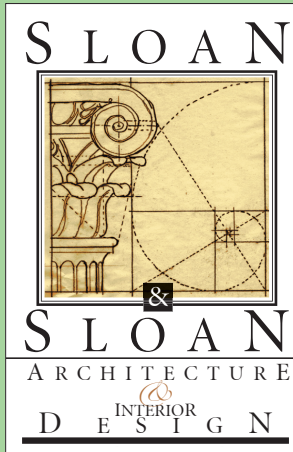
C EXISTING NORTH ELEVATION
A.3.01 Scale: 1/4" = 1'-0"



D EXISTING SOUTH ELEVATION
A.3.01 Scale: 1/4" = 1'-0"

Existing East &
West, North &
South Elevations
A3.01

The Work Shown in these Plans Shall Comply with the 2020 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTT 10-99).



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No.	Date	Appr	Revision Notes
1	3/21/21		Field Verify Window, Door Sizes & Roof Slope
2	xx/2021		Issued for Permitting

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**Derrickson Residence
Renovations & Additions**

A	5/16/09	Issue Note
No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

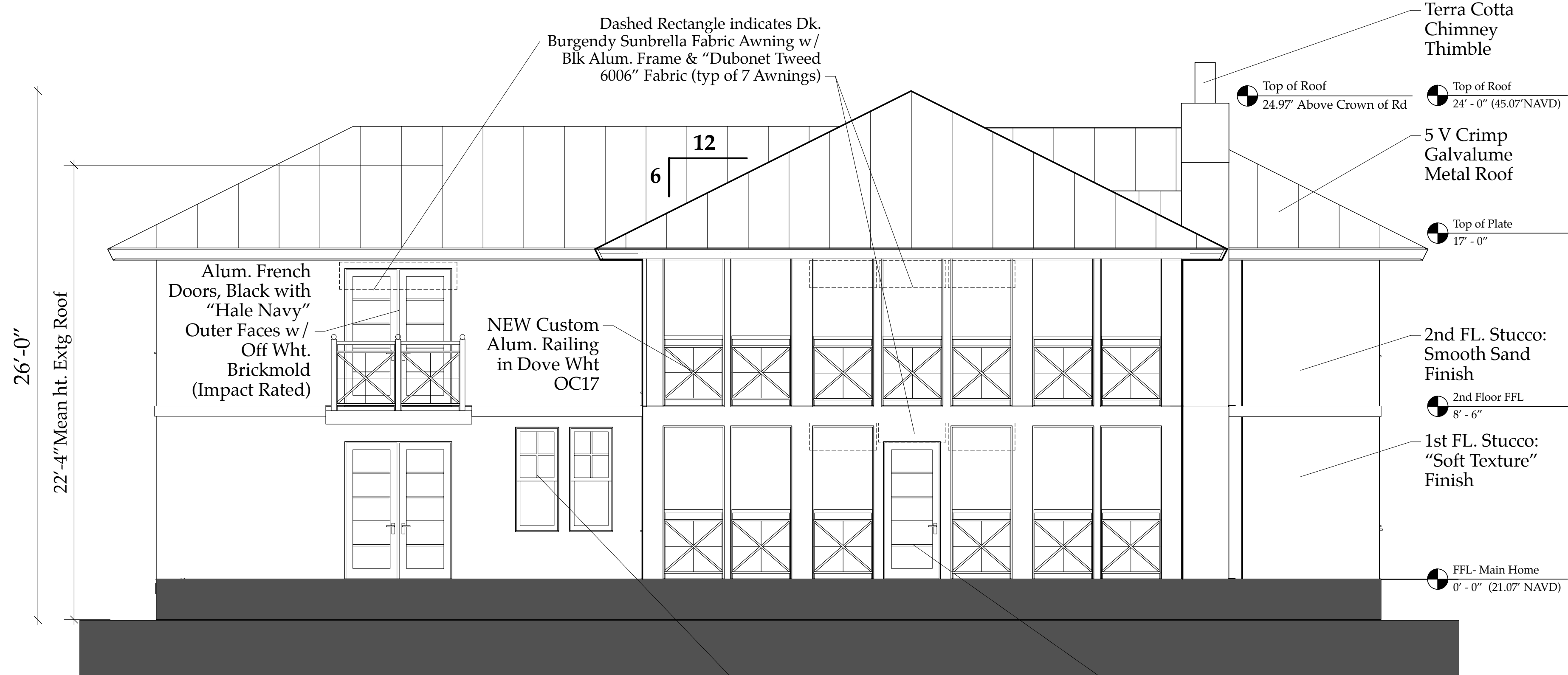
Design Firm
Sloan & Sloan- Architecture + I.D.
106 SE 7th Avenue, Ste. B
Delray Bch, FL 33483
(561) 243-8755

Consultant

Project Title
Derrickson Residence
Renovations & Additions
330 NE 1st Avenue

Drawing Title
EXISTING E&W ELEVATIONS
of Main Residence

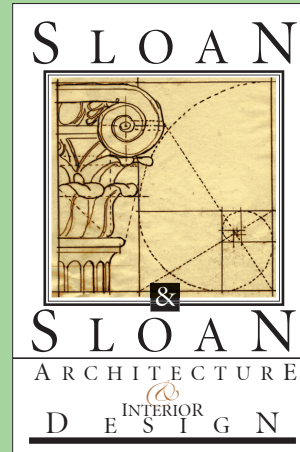
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Drawn By D. Sloan	Scale 1/4" = 1'-0"
Reviewed By D. Sloan	Drawing No. A3.01
Date 6/16/2021	of Total Sheets
CAD File Name Derrickson_Reno_ExtgBldg.rvt	



A NEW EAST ELEVATION
Scale: 1/4" = 1'-0"

NOTE:
0'-0" Residence 1st FL FFL Ht = 21.07' NAVD
New 0'-0" Guest Cottage FFL Ht = 20.00' NAVD
New 0'-0" Garage 1st FFL Ht = 20.13' NAVD
MEAN Crown of Road = 20.10' NAVD

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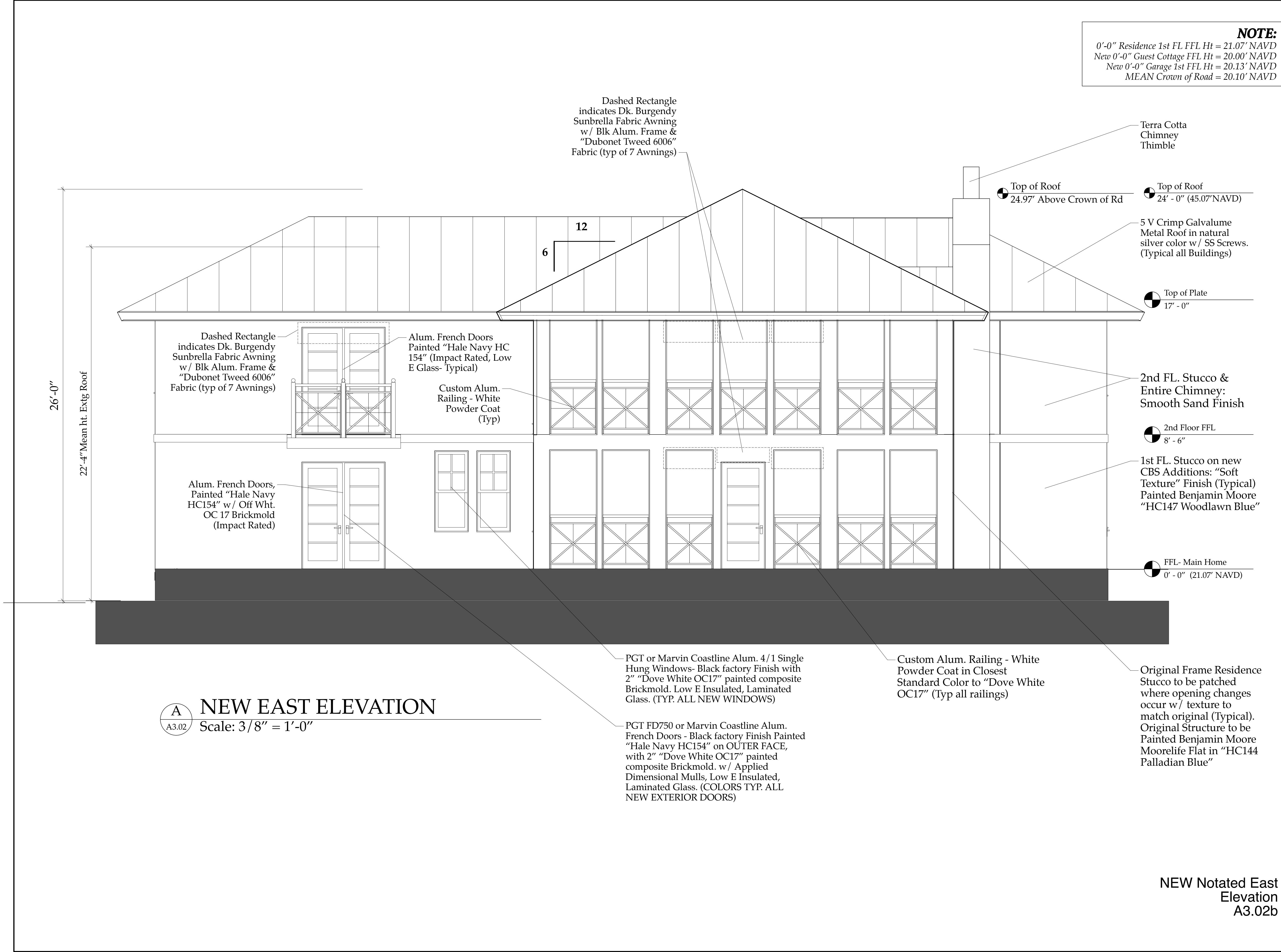


B NEW WEST ELEVATION
Scale: 1/4" = 1'-0"

NEW East & West Elevations-
MAIN HOUSE
A3.02

Derrickson Residence
Renovations & Additions

A	5/16/09	Issue Note
No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:
Design Firm	Sloan & Sloan- Architecture + I.D. 106 SE 7th Avenue, Ste. B Delray Bch, FL 33483 (561) 243-8755	
Consultant		
Project Title	Derrickson Residence Renovations & Additions 330 NE 1st Avenue	
Drawing Title	NEW EAST & WEST ELEVATIONS of Main Residence	
Project Manager	D. Sloan	Project ID Derrickson Residence Project
Drawn By	D. Sloan	Scale 1/4" = 1'-0"
Reviewed By	D. Sloan	Drawing No. A.3.02
Date	8/22/2021	of Total Sheets
CAD File Name	Derrickson_Reno_ExtgBldg.rvt	



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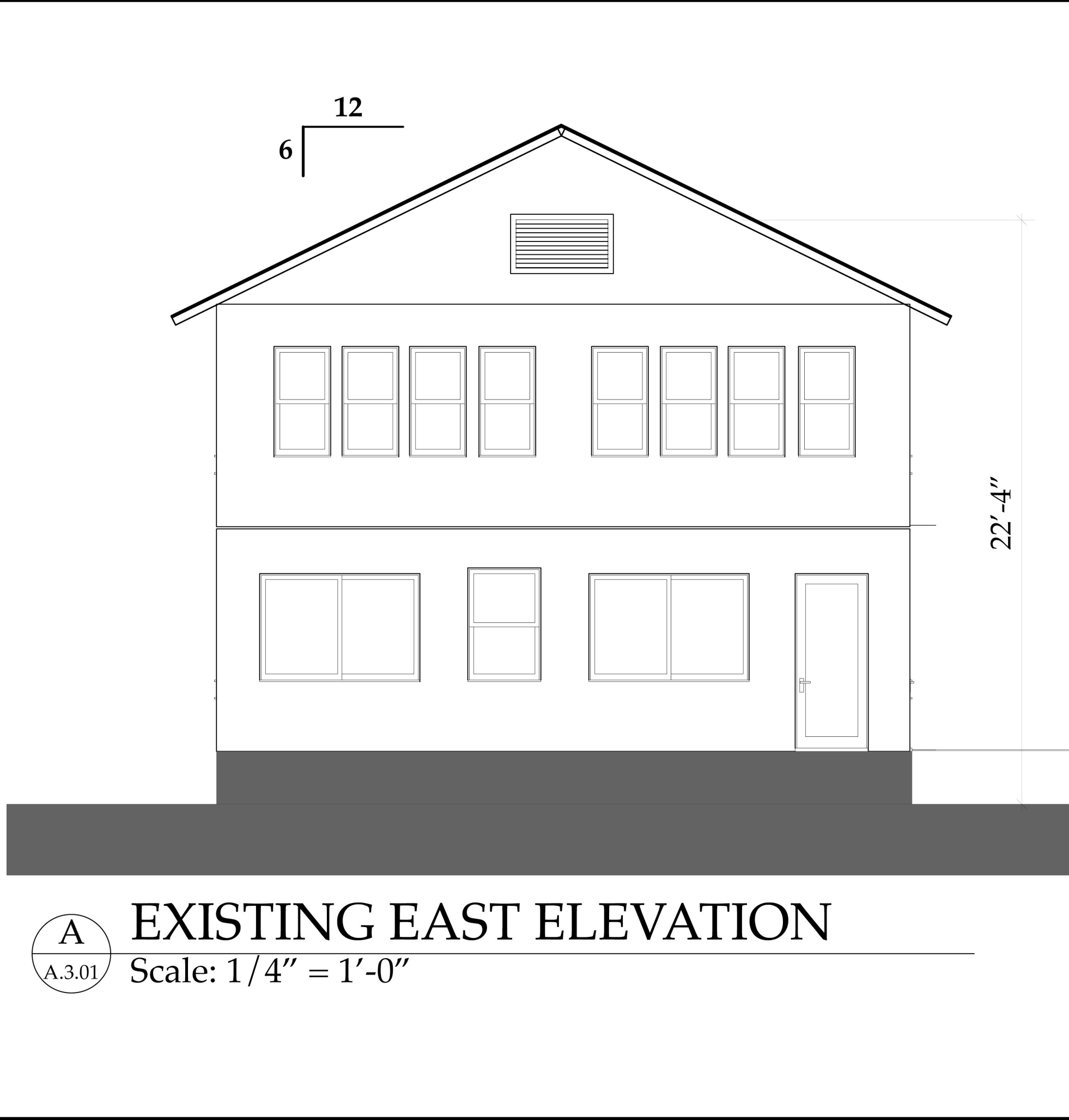
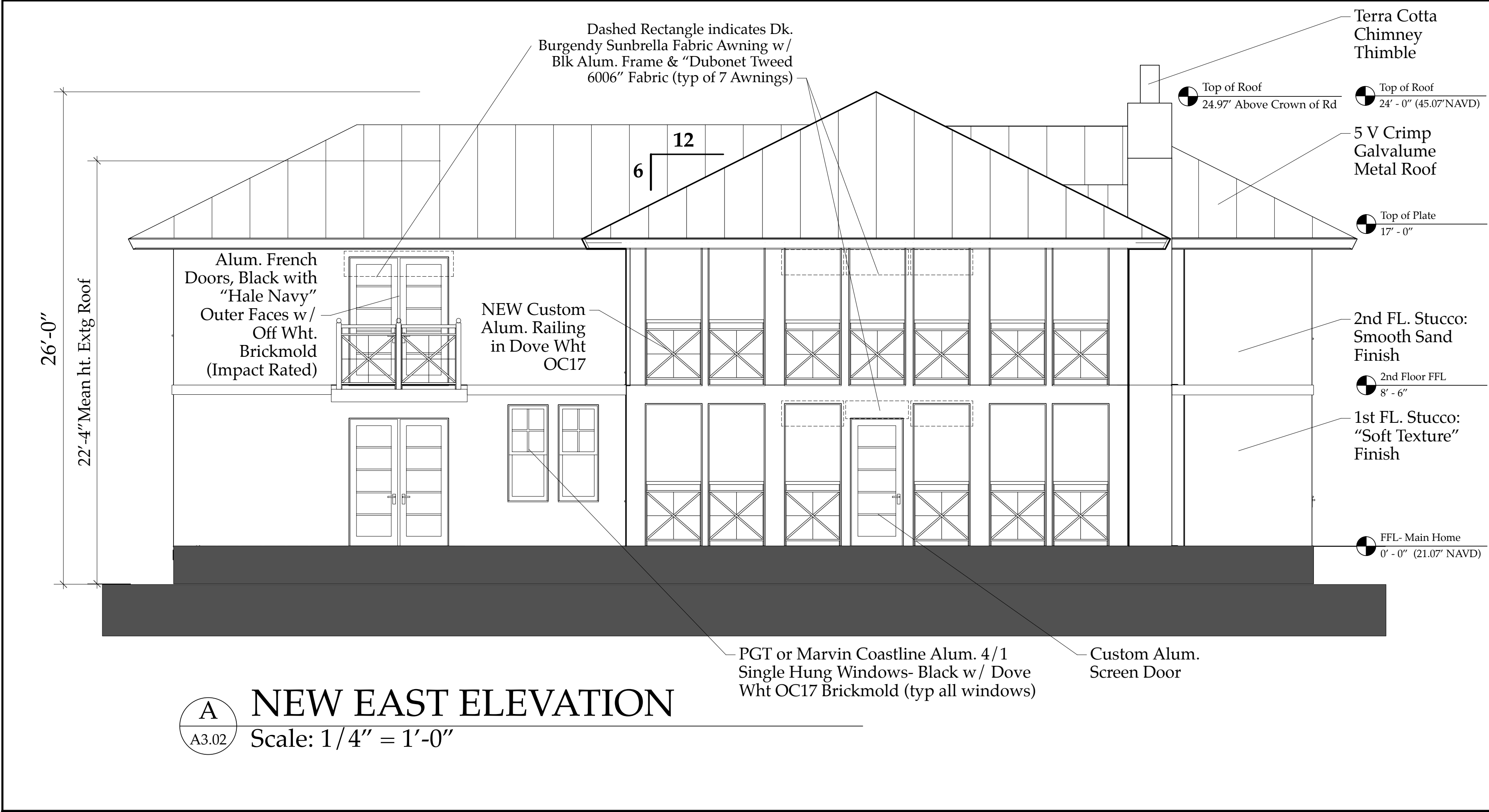
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Derrickson Residence
Renovations & Additions

No.	Date	Issue Notes
<p>Daniel Sloan, AR95577 Date:</p>		
Design Firm Sloan & Sloan- Architecture + I.D. 106 SE 7th Avenue, Ste. B Delray Bch, FL 33483 (561) 243-8755		
Consultant		
Project Title Derrickson Residence Renovations & Additions 330 NE 1st Avenue		
Drawing Title NEW Notated EAST ELEVATION of Main Residence		
Project Manager D. Sloan	Project ID Derrickson Residence Project	
Drawn By D. Sloan	Scale 1/4" = 1'-0"	
Reviewed By D. Sloan	Drawing No. A3.02B	
Date 8/22/2021	of Total Sheets	
CAD File Name Derrickson_Reno_ExtgBldg.rvt		



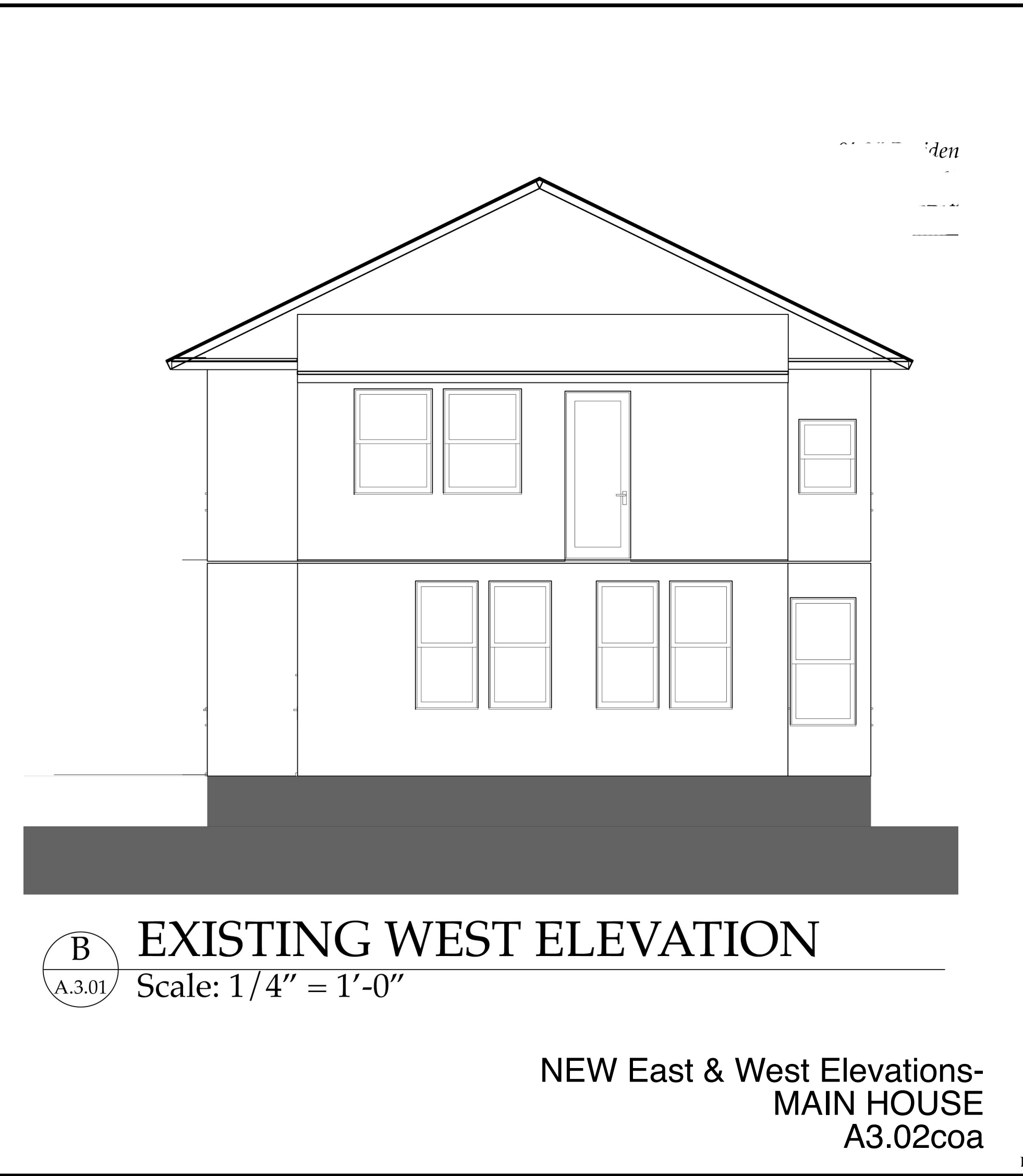
The Work Shown in these Plans Shall Comply with the 2020 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).

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**Derrickson Residence
Renovations & Additions**

No.	Date	Issue Note
A	5/16/09	Issue Note

Daniel Sloan, AR95577
Date:

Sloan & Sloan- Architecture + I.D.
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Delray Bch, FL 33483
(561) 243-8755

**Derrickson Residence
Renovations & Additions
330 NE 1st Avenue**

**OLD & NEW EAST & WEST
ELEVATIONS of Main Residence**

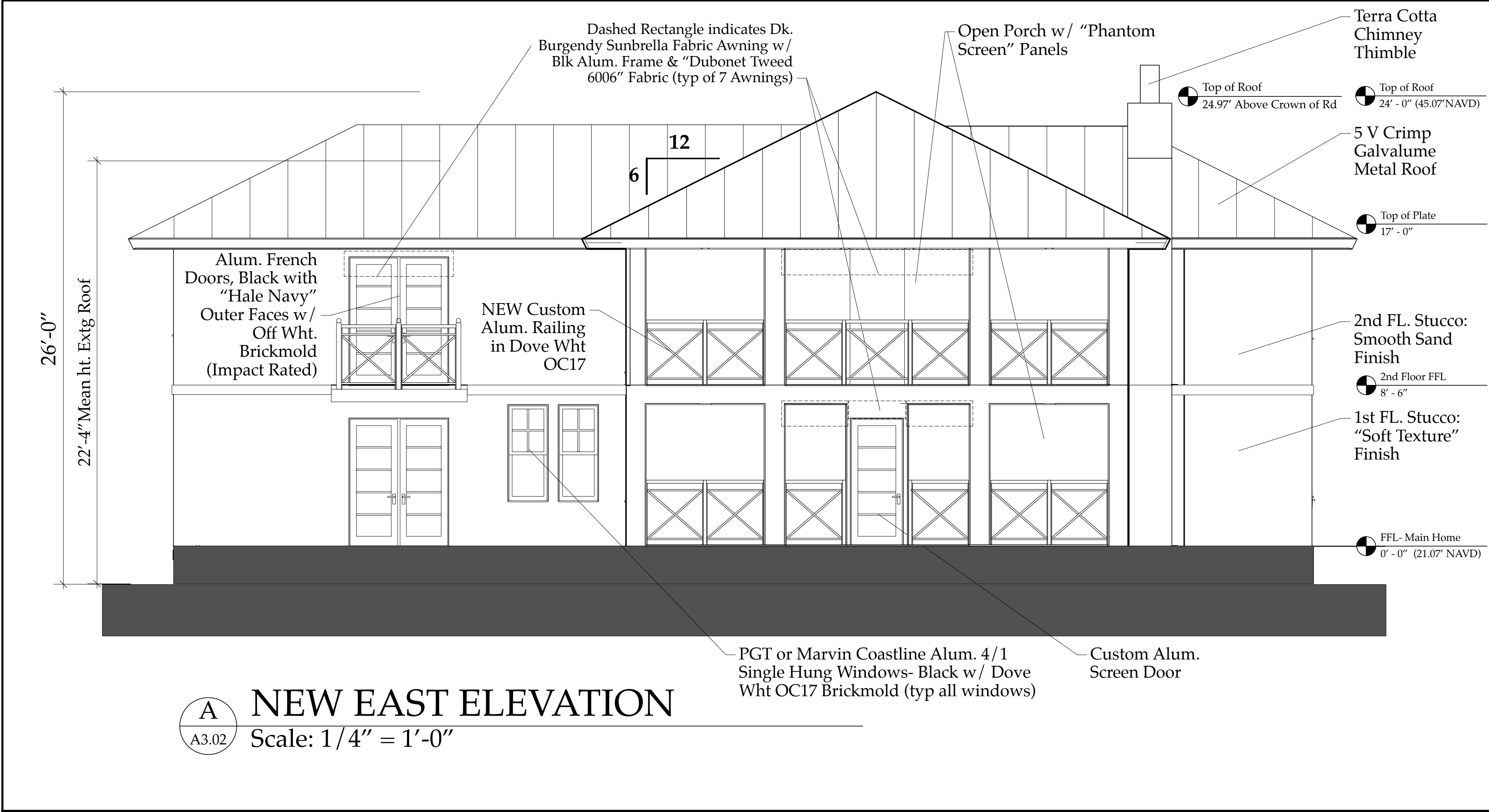
Project Manager	Project ID
D. Sloan	Derrickson Residence Project

Drawn By	Scale
D. Sloan	1/4" = 1'-0"

Reviewed By	Drawing No.
D. Sloan	A.3.02coa

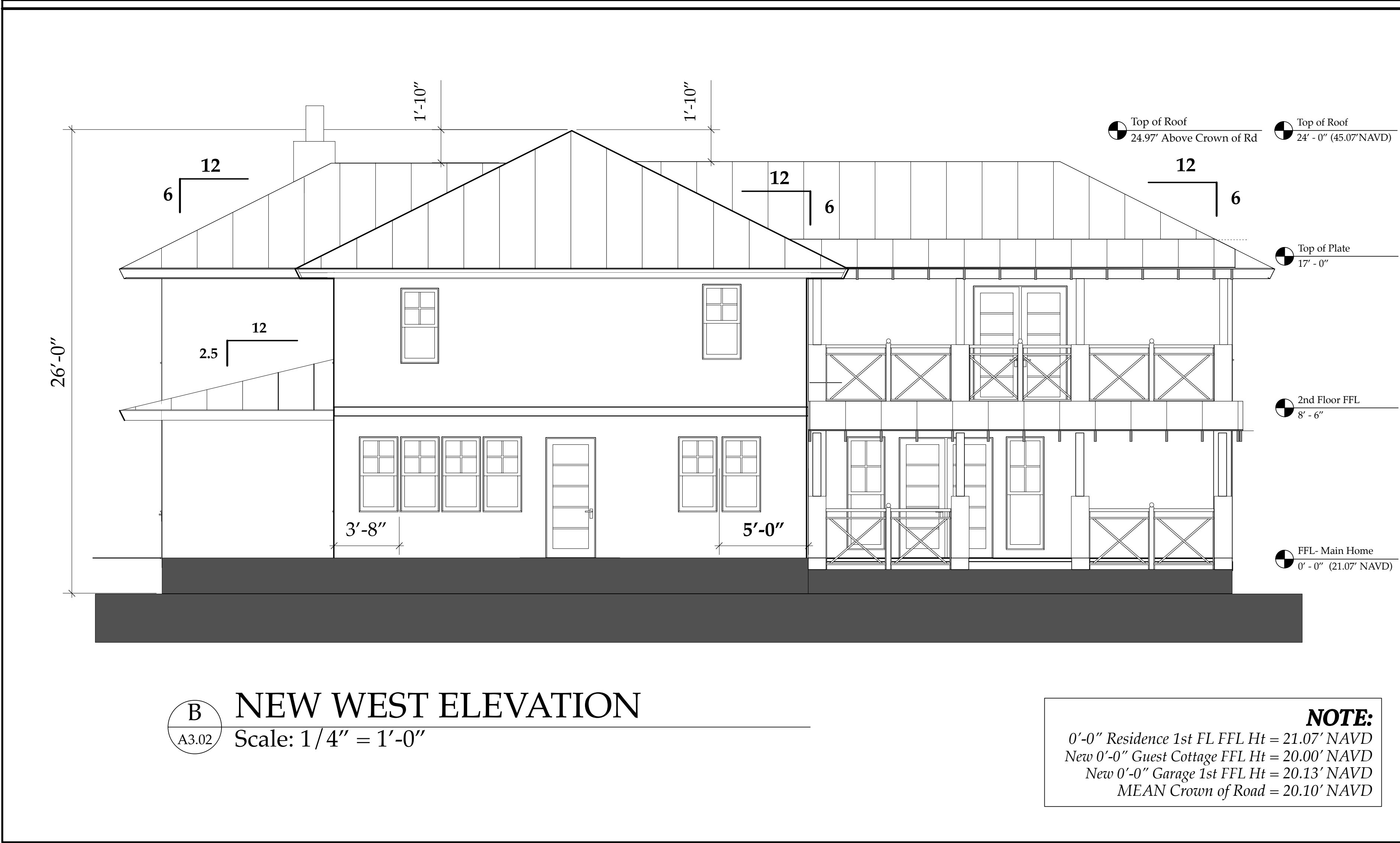
Date	Total Sheets
8/22/2021	1 of 1

CAD File Name: Derrickson_Reno_ExtgBldg.rvt



NEW EAST ELEVATION

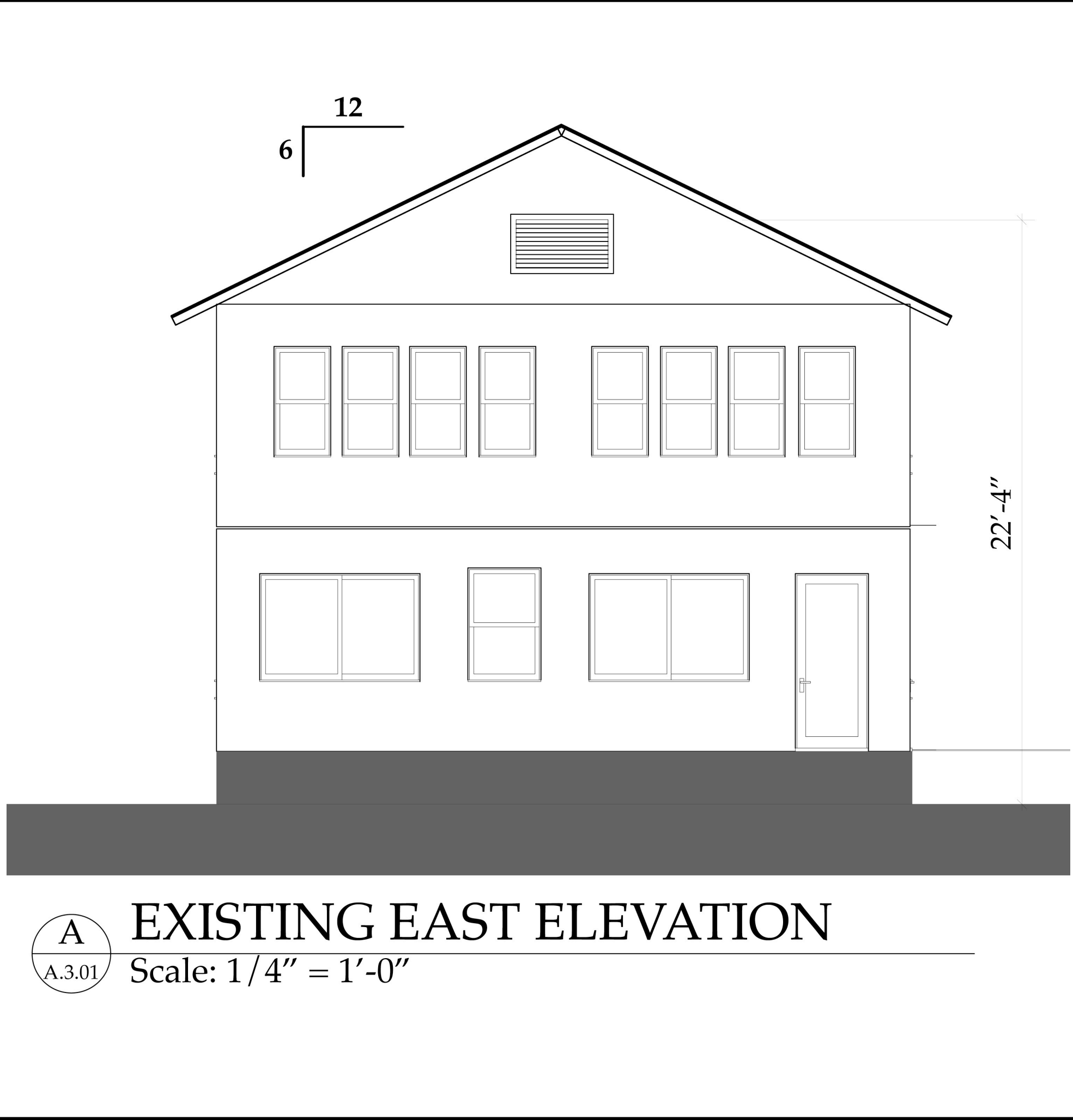
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NEW WEST ELEVATION

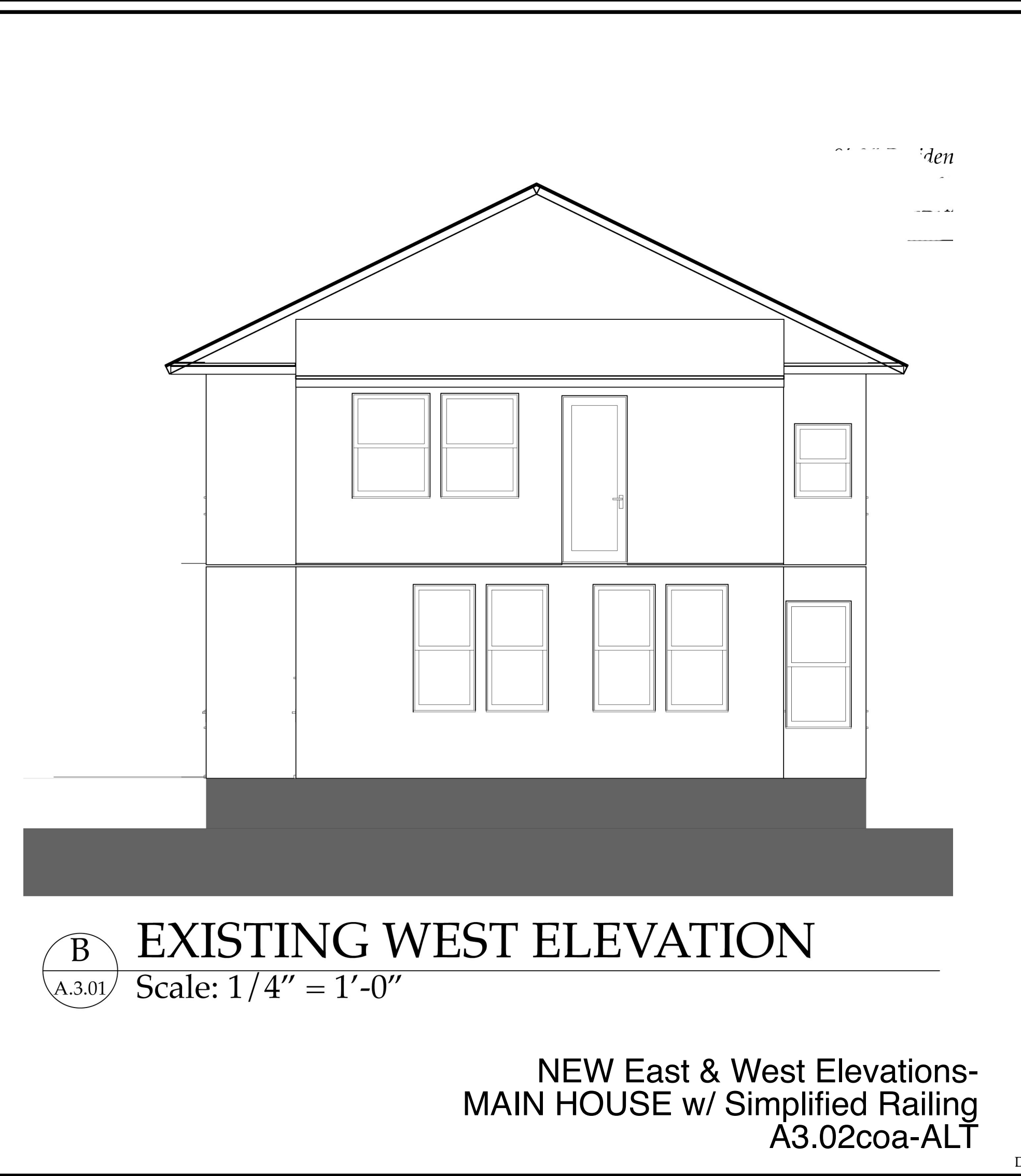
Scale: 1/4" = 1'-0"

NOTE:
0'-0" Residence 1st FL FFL Ht = 21.07' NAVD
New 0'-0" Guest Cottage FFL Ht = 20.00' NAVD
New 0'-0" Garage 1st FFL Ht = 20.13' NAVD
MEAN Crown of Road = 20.10' NAVD



EXISTING EAST ELEVATION

Scale: 1/4" = 1'-0"



EXISTING WEST ELEVATION

Scale: 1/4" = 1'-0"

NEW East & West Elevations-
MAIN HOUSE w/ Simplified Railing
A3.02coa-ALT

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Derrickson Residence
Renovations & Additions

No.	Date	Issue Note
A	5/16/09	Issue Note

Daniel Sloan, AR95577
Date:

Sloan & Sloan- Architecture + I.D.
106 SE 7th Avenue, Ste. B
Delray Bch, FL 33483
(561) 243-8755

Derrickson Residence
Renovations & Additions
330 NE 1st Avenue

OLD & NEW EAST & WEST
ELEVATIONS of Main Residence
w/ Simplified Railing Design

Project Manager	Project ID
D. Sloan	Derrickson Residence Project

Drawn By	Scale
D. Sloan	1/4" = 1'-0"

Reviewed By	Drawing No.
D. Sloan	A.3.02coa

Date	of
8/22/2021	Total Sheets

Derrickson_Reno_ExtgBldg.rvx



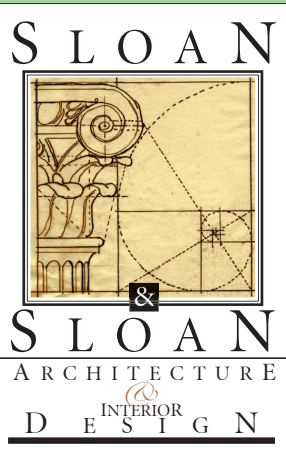
C NEW NORTH ELEVATION
A3.03 Scale: 1/4" = 1'-0"

Plaspro 2 Panel Impact Rated
Fiberglas Door in "Hales
Navy" w/ Dove Wht OC17
Brickmold

PGT or Marvin Coastline Alum. 4/1
Single Hung Windows- Black w/ Dove
Wht OC17 Brickmold (typ all windows)

NOTE:
0'-0" Residence 1st FL FFL Ht = 21.07' NAVD
New 0'-0" Guest Cottage FFL Ht = 20.00' NAVD
New 0'-0" Garage 1st FFL Ht = 20.13' NAVD
MEAN Crown of Road = 20.10' NAVD

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D NEW SOUTH ELEVATION
A3.03 Scale: 1/4" = 1'-0"

NEW North & South Elevations-
MAIN HOUSE
A3.03

Derrickson Residence
Renovations & Additions

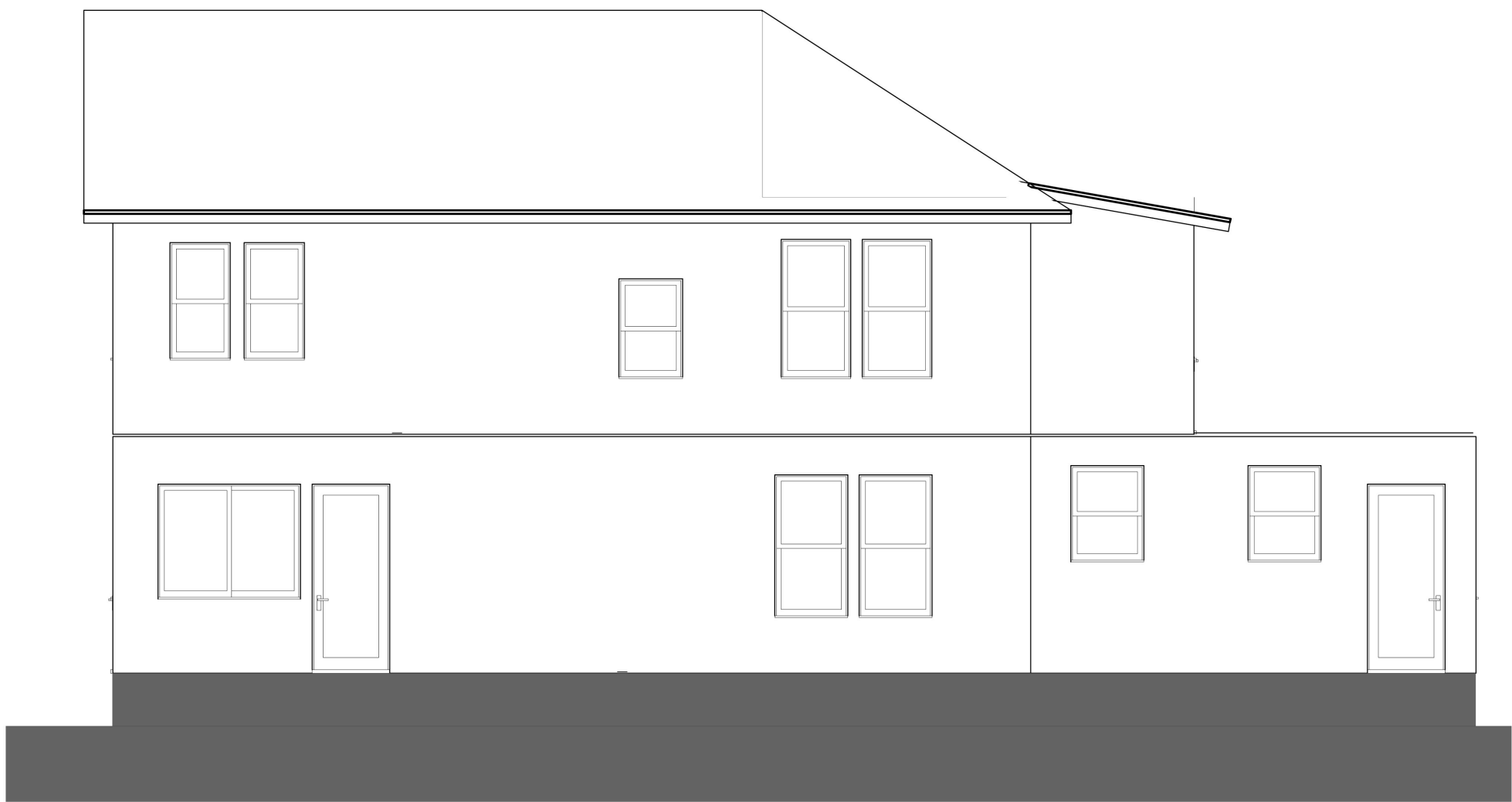
A	5/16/09	Issue Note
No.	Date	Issue Notes
		
Design Firm Sloan & Sloan- Architecture + I.D. 106 SE 7th Avenue, Ste. B Delray Bch, FL 33483 (561) 243-8755		
Consultant		
Project Title Derrickson Residence Renovations & Additions 330 NE 1st Avenue		
Drawing Title NEW NORTH & SOUTH ELEVATIONS of Main Residence		
Project Manager D. Sloan	Project ID Derrickson Residence Project	
Drawn By D. Sloan	Scale 1/4" = 1'-0"	
Reviewed By D. Sloan	Drawing No. A.3.03	
Date 8/22/2021		
CAD File Name Derrickson_Reno_ExtgBldg.rvt		



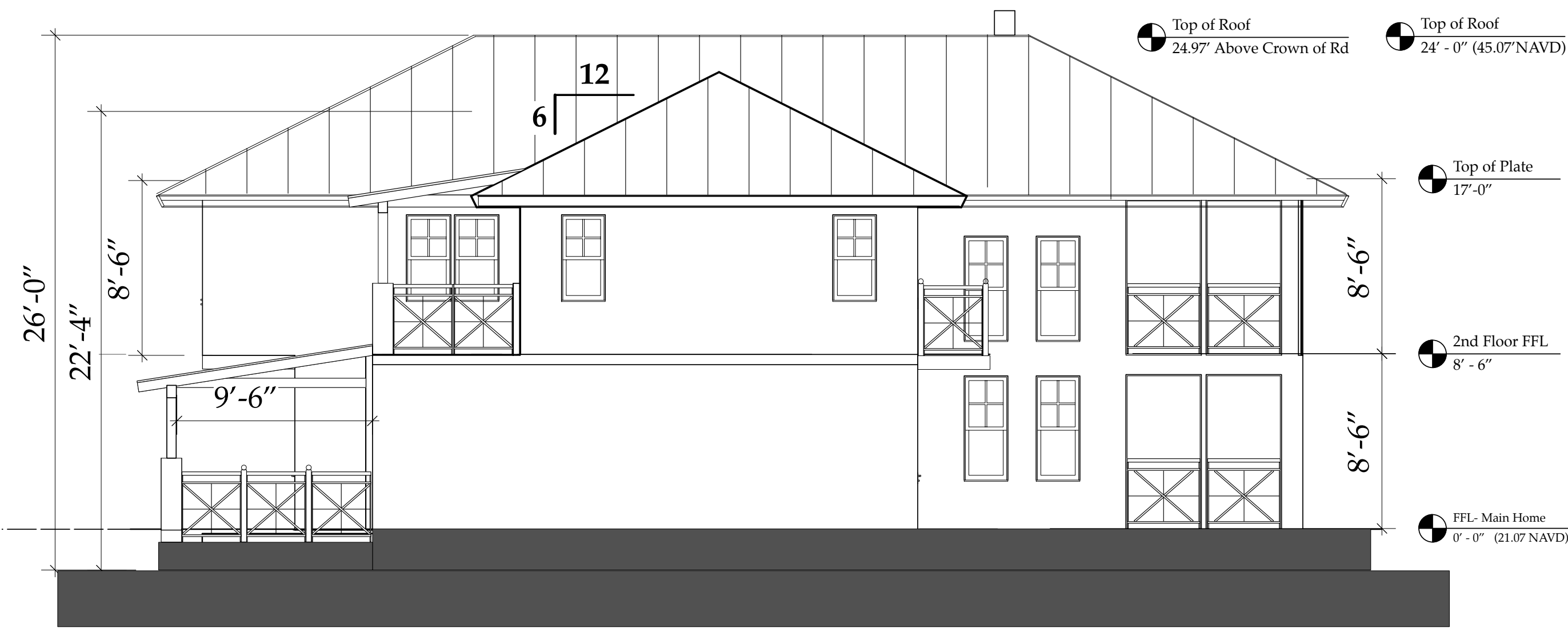
Plaspro 2 Panel Impact Rated Fiberglass Door in "Hales Navy" w/ Dove Wht OC17 Brickmold

PGT or Marvin Coastline Alum. 4/1 Single Hung Windows- Black w/ Dove Wht OC17 Brickmold (typ all windows)

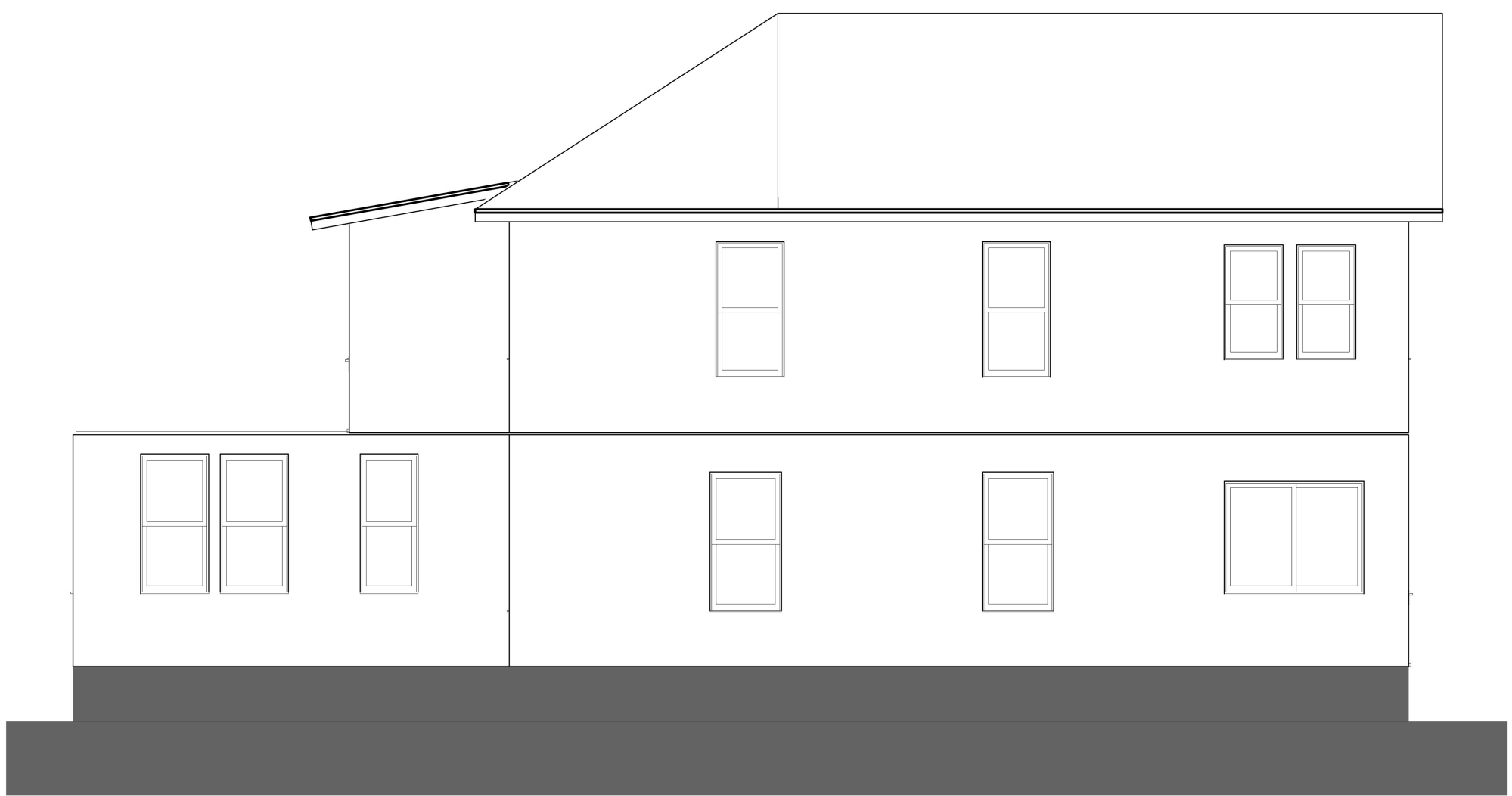
C
A3.03
NEW NORTH ELEVATION
Scale: 3/16" = 1'-0"



C
A.3.01
EXISTING NORTH ELEVATION
Scale: 3/16" = 1'-0"



D
A3.03
NEW SOUTH ELEVATION
Scale: 3/16" = 1'-0"



D
A.3.01
EXISTING SOUTH ELEVATION
Scale: 1/4" = 1'-0"

3/16"

OLD & NEW North & South Elevations-
MAIN HOUSE
A3.03coa

NOTE:
0'-0" Residence 1st FL FFL Ht = 21.07' NAVD
New 0'-0" Guest Cottage FFL Ht = 20.00' NAVD
New 0'-0" Garage 1st FFL Ht = 20.13' NAVD
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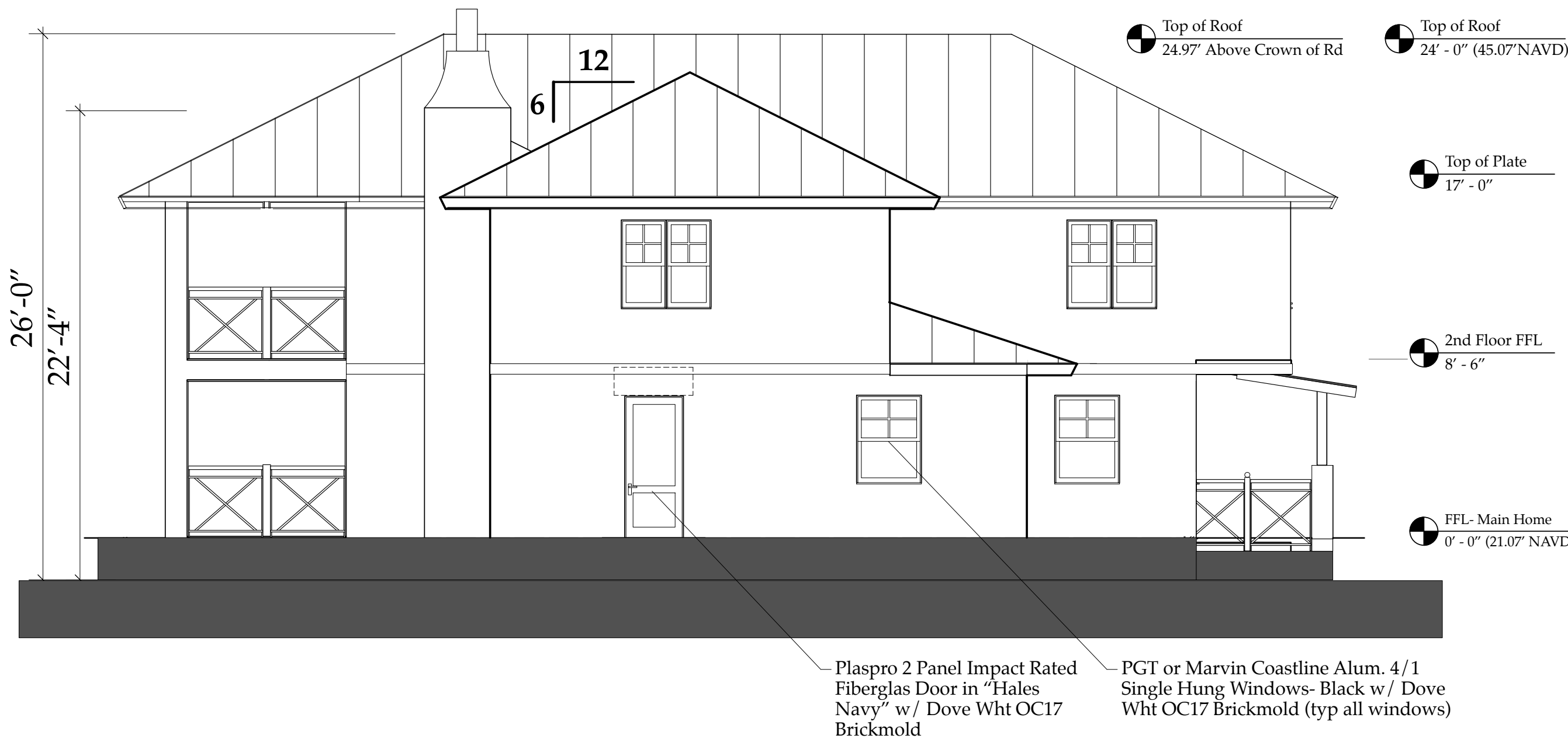
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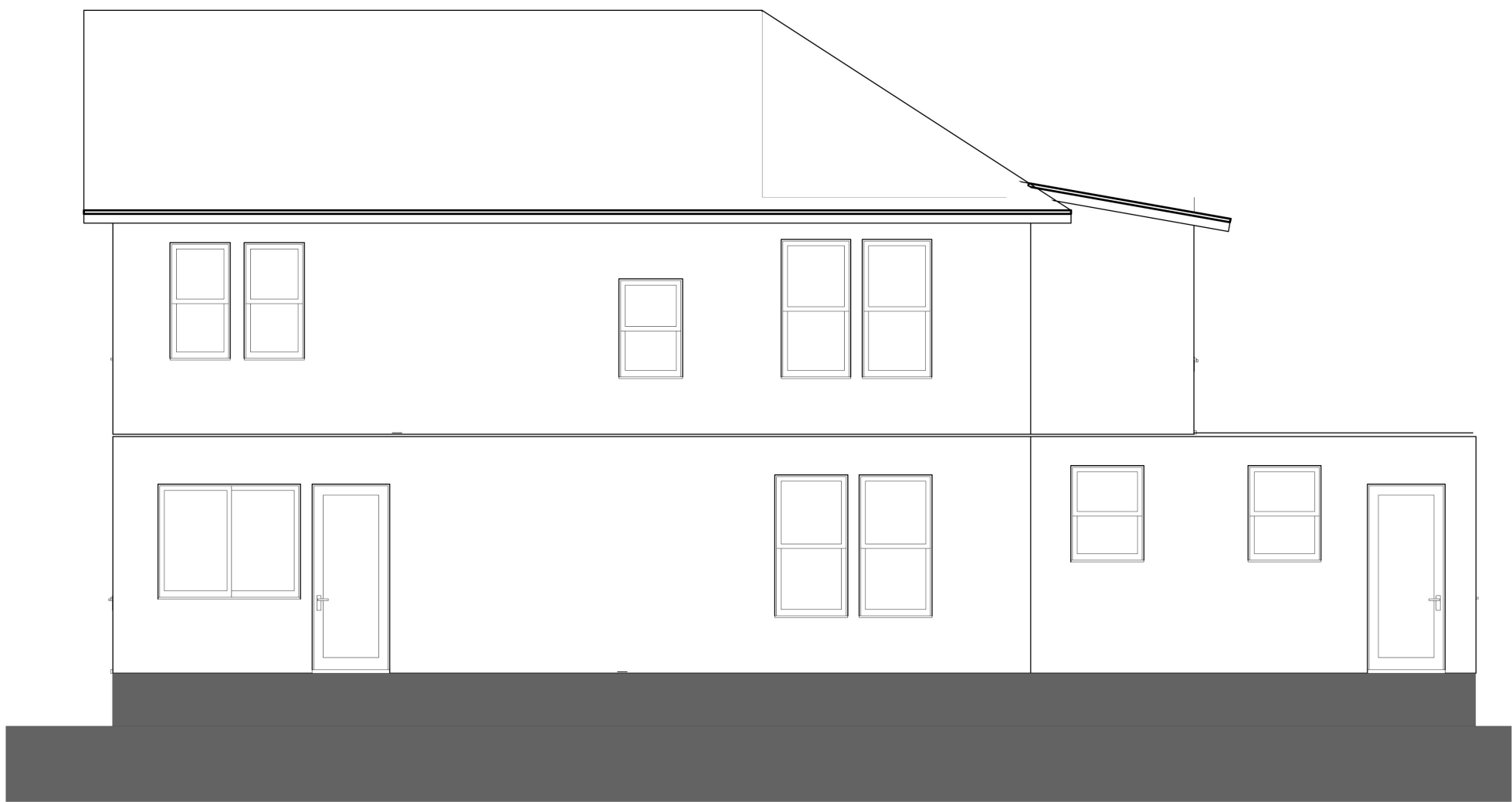
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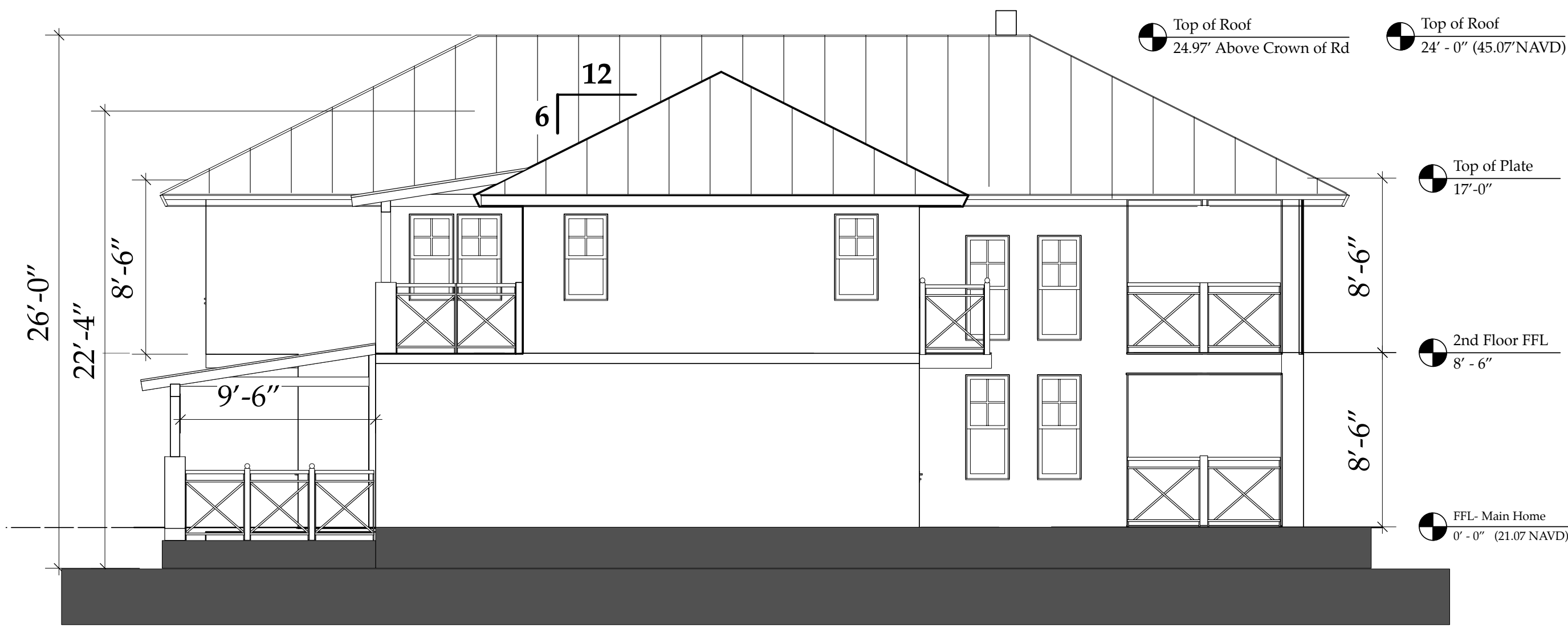
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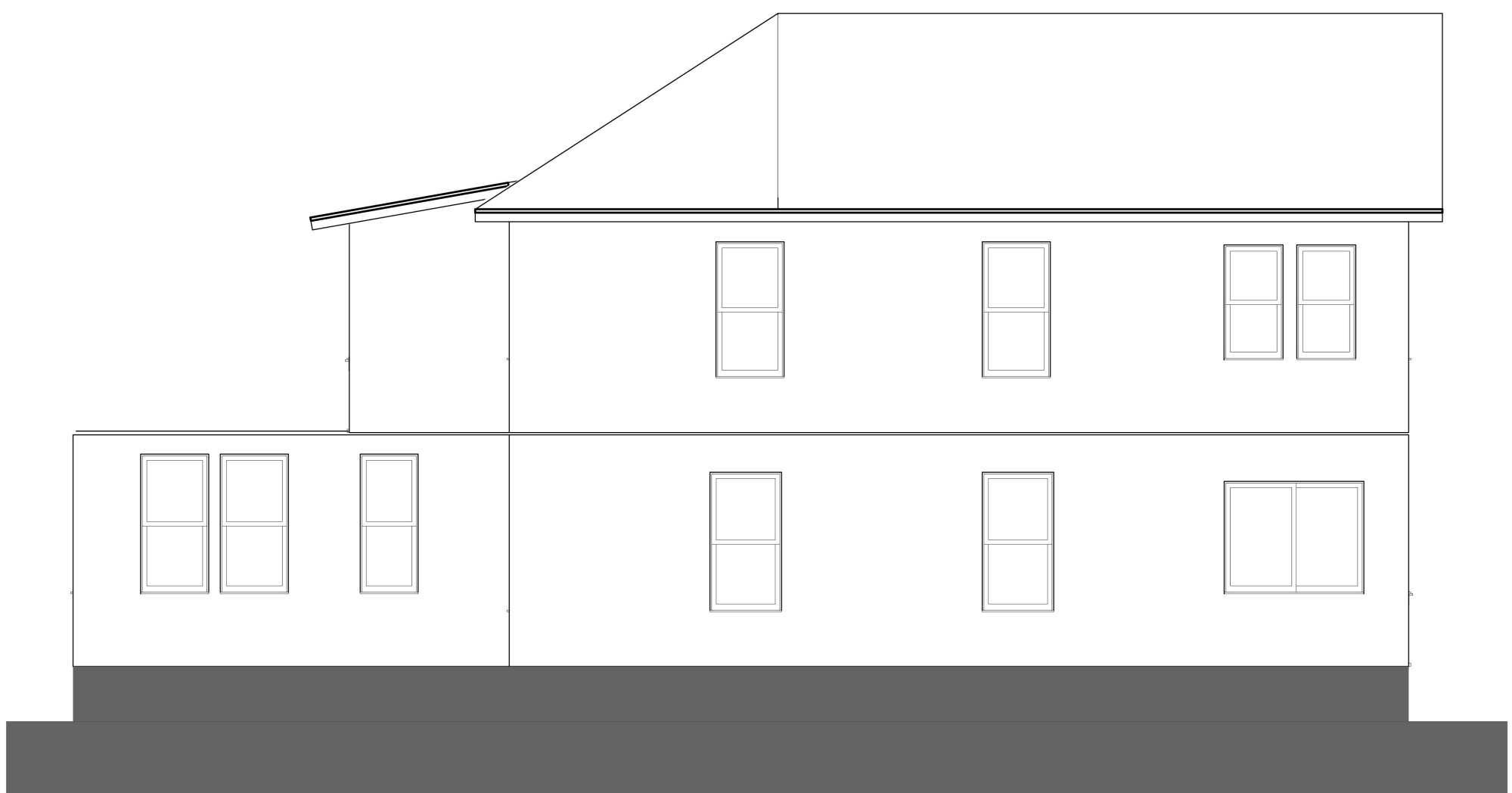
C
A3.03
NEW NORTH ELEVATION
Scale: 3/16" = 1'-0"



C
A.3.01
EXISTING NORTH ELEVATION
Scale: 3/16" = 1'-0"



D
A3.03
NEW SOUTH ELEVATION
Scale: 3/16" = 1'-0"



D
A.3.01
EXISTING SOUTH ELEVATION
Scale: 3/16" = 1'-0"

OLD & NEW North & South Elevations-
MAIN HOUSE w/ Simplified Railing
A3.03coa-ALT

NOTE:
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New 0'-0" Guest Cottage FFL Ht = 20.00' NAVD
New 0'-0" Garage 1st FFL Ht = 20.13' NAVD
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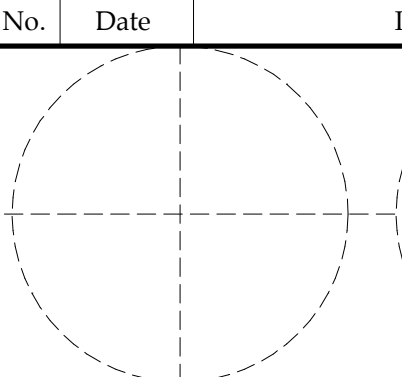


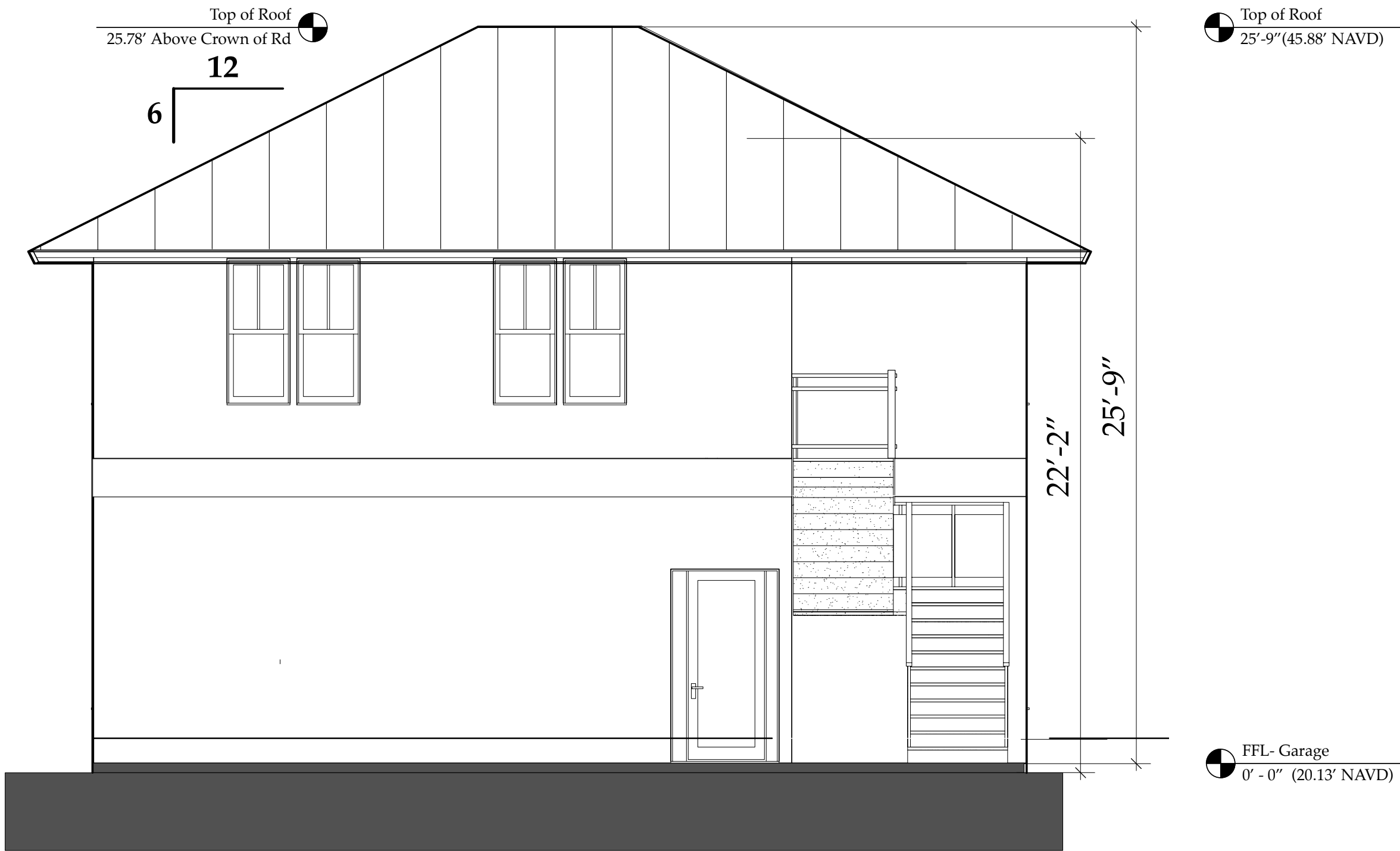
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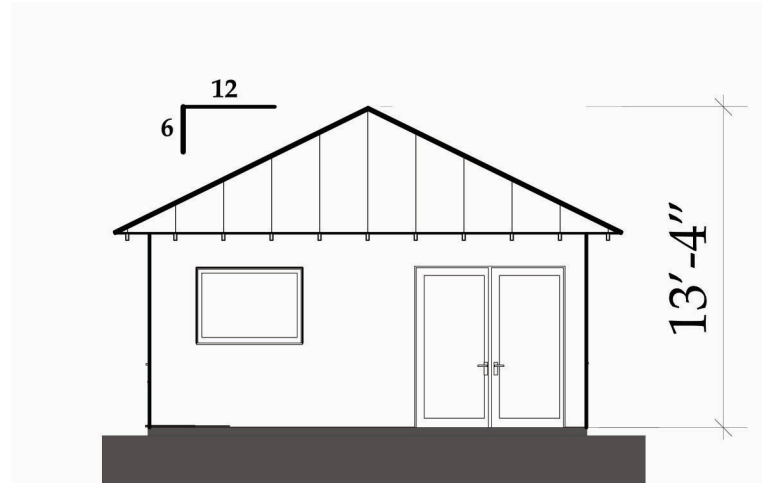
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<div>Derrickson Residence Renovations & Additions</div>		
A	5/16/09	Issue Note
No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date: _____
Design Firm Sloan & Sloan- Architecture + I.D. 106 SE 7th Avenue, Ste. B Delray Bch, FL 33483 (561) 243-8755		
Consultant		
Project Title Derrickson Residence Renovations & Additions 330 NE 1st Avenue		
Drawing Title ALT :: NEW NORTH & SOUTH ELEVATIONS of Main Residence w/ Simplified Railing Design		
Project Manager D. Sloan		Project ID Derrickson Residence Project
Drawn By D. Sloan		Scale 1/4" = 1'-0"
Reviewed By D. Sloan		Drawing No. A.3.03 coa-ALT
Date 8/22/2021		of _____
CAD File Name Derrickson_Reno_ExtgBldg.rvt		Total Sheets

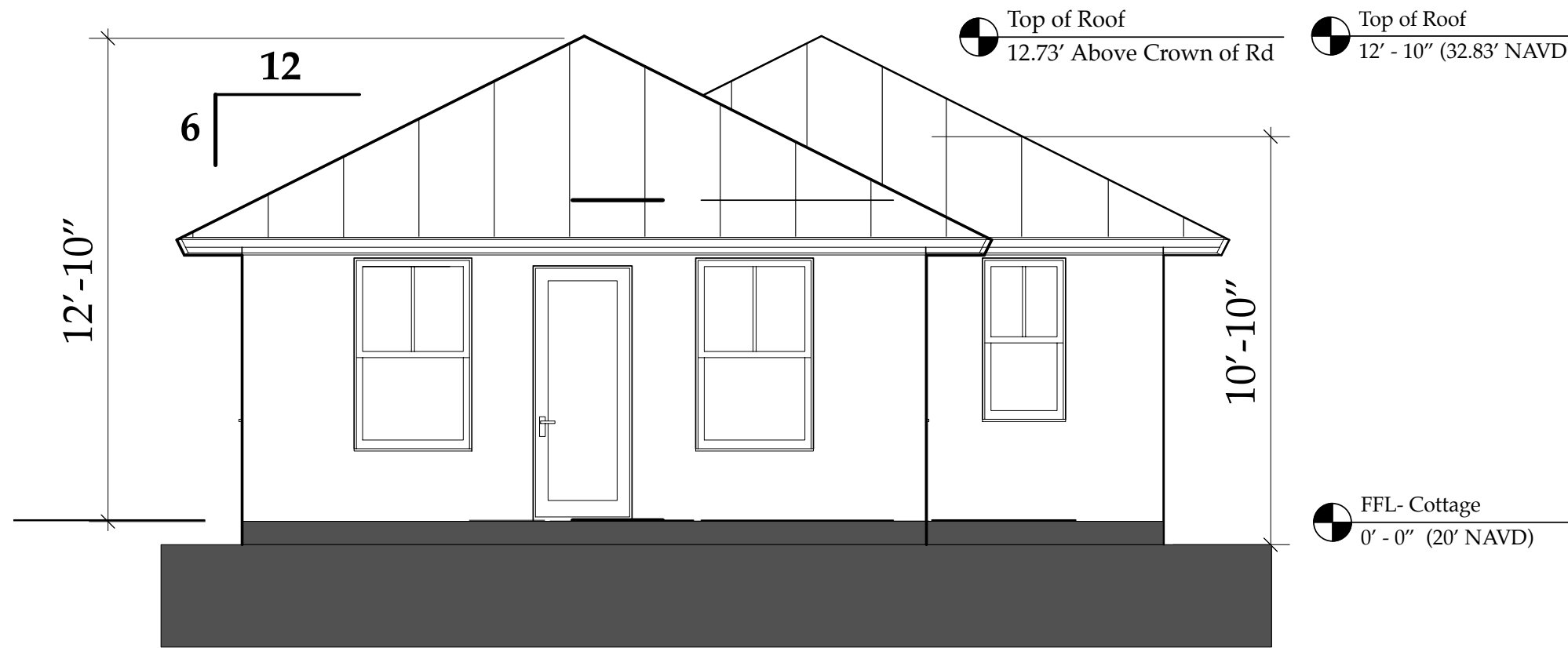


A NEW EAST ELEV- GARAGE
Scale: 1/4" = 1'-0"

NOTE: Roofing, Stucco Texture & Color, Windows Color & Spec, Doors, All to Match MAIN RESIDENCE (Except Windows are 2/1 as shown)



A EAST ELEVATION
Scale: 1/8" = 1'-0"
(Existing Cottage Elevation)



A NEW EAST ELEV- COTTAGE
Scale: 1/4" = 1'-0"

NOTE:
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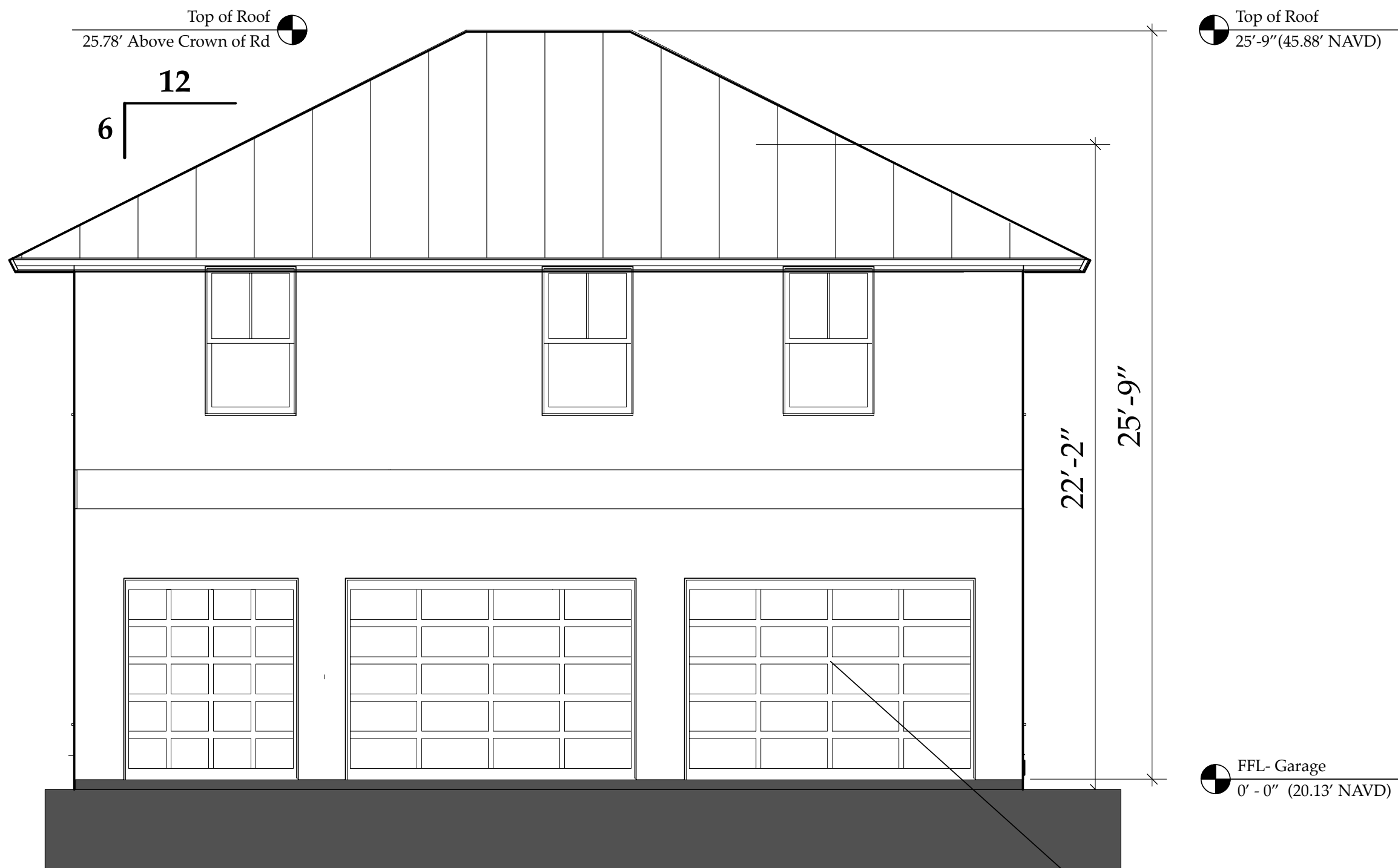


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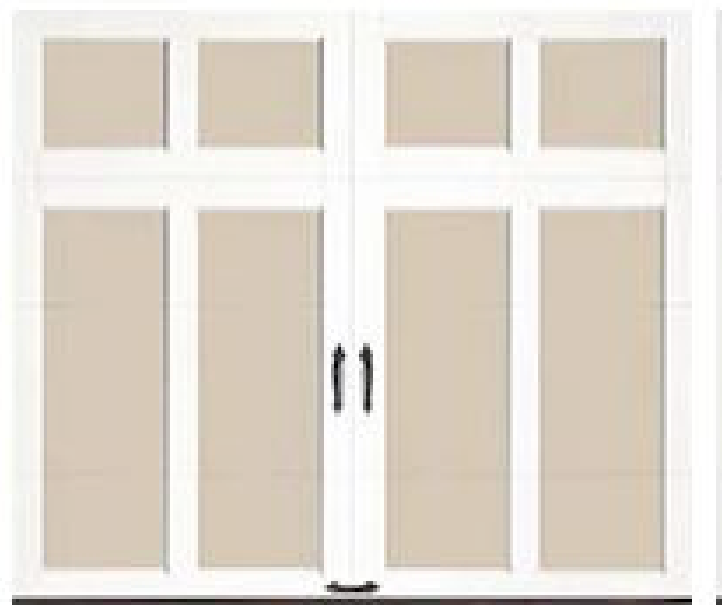
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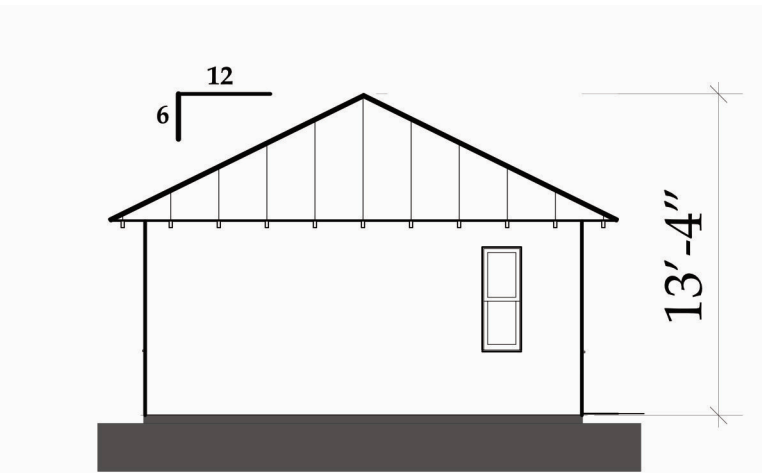


B NEW WEST ELEV- GARAGE
Scale: 1/4" = 1'-0"

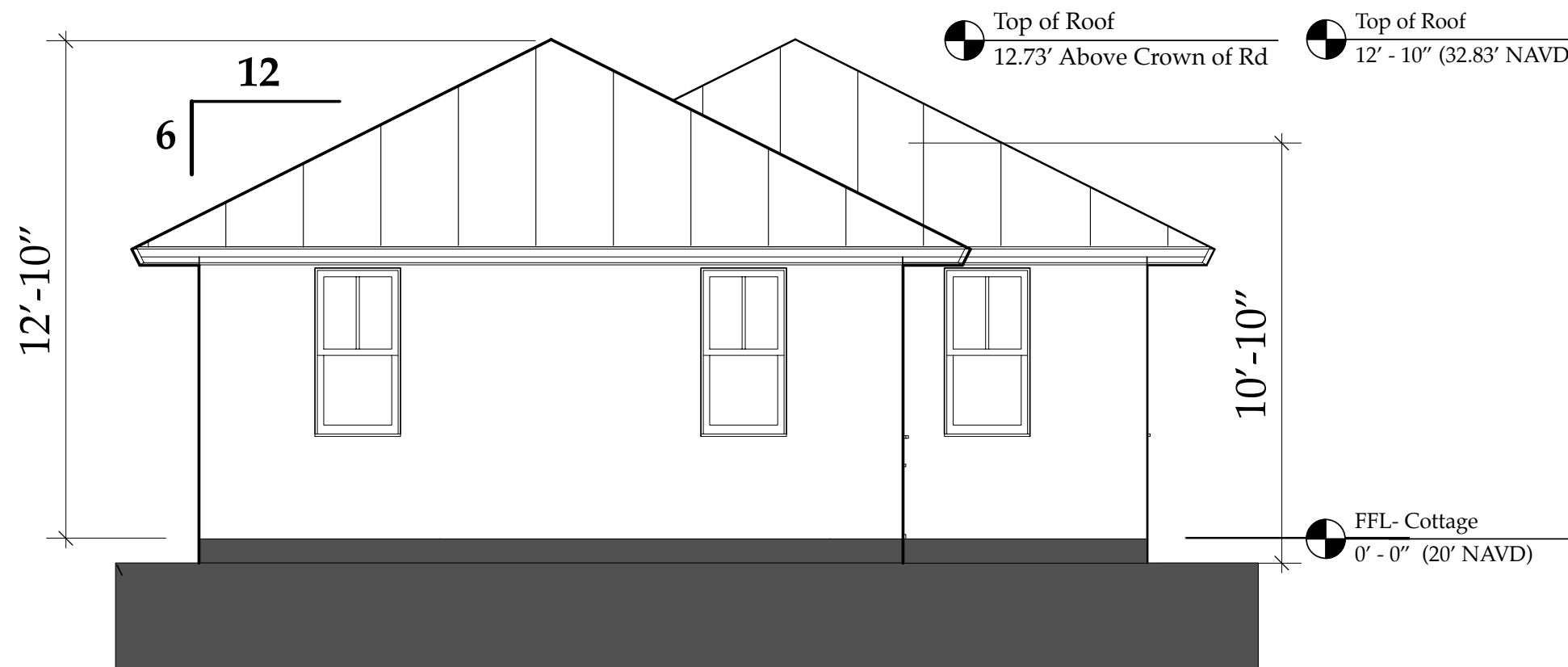
Garage Doors: Clopay "Coachman" style with Dove Wht OC17 panels & Bright White 01 Trim. Brickmold & Returns to be Dove White OC17. SEE PHOTO THIS PAGE FOR PANEL STYLE. (typ of 3)



DESIGN 12
(Actual Garage Door Style)



B WEST ELEVATION
Scale: 1/8" = 1'-0"
(Existing Cottage Elevation)

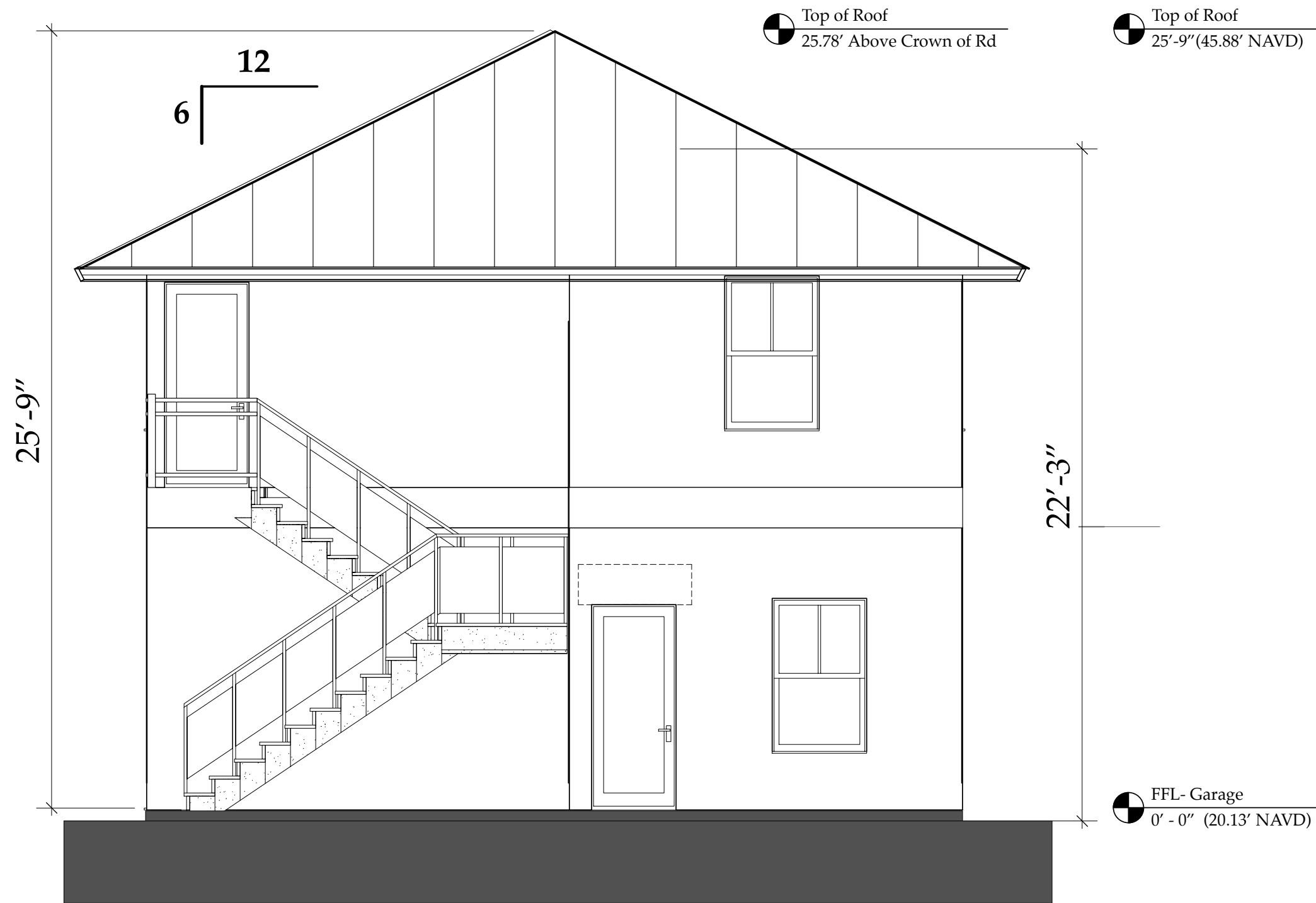


B NEW WEST ELEV- COTTAGE
Scale: 1/4" = 1'-0"

**NEW East & West Elevations-
OUTBUILDINGS
A3.04**

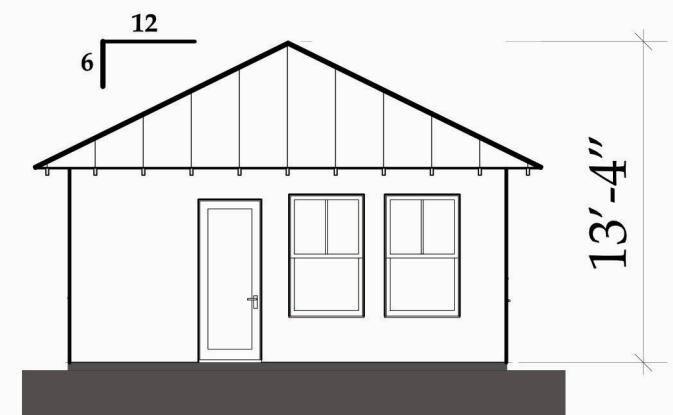
**Derrickson Residence
Renovations & Additions**

A	5/16/09	Issue Note	
No.	Date	Issue Notes	
			Daniel Sloan, AR95577 Date:
Design Firm	Sloan & Sloan- Architecture + I.D. 106 SE 7th Avenue, Ste. B Delray Bch, FL 33483 (561) 243-8755		
Consultant			
Project Title	Derrickson Residence Renovations & Additions 330 NE 1st Avenue		
Drawing Title	NEW EAST & WEST ELEVATIONS of Outbuildings (Garage & Guest Cottage)		
Project Manager	D. Sloan	Project ID	Derrickson Residence Project
Drawn By	D. Sloan	Scale	1/4" = 1'-0"
Reviewed By	D. Sloan	Drawing No.	A3.04
Date	8/22/2021		of
CAD File Name	Derrickson_Reno_ExtgBldg.rvx		Total Sheets



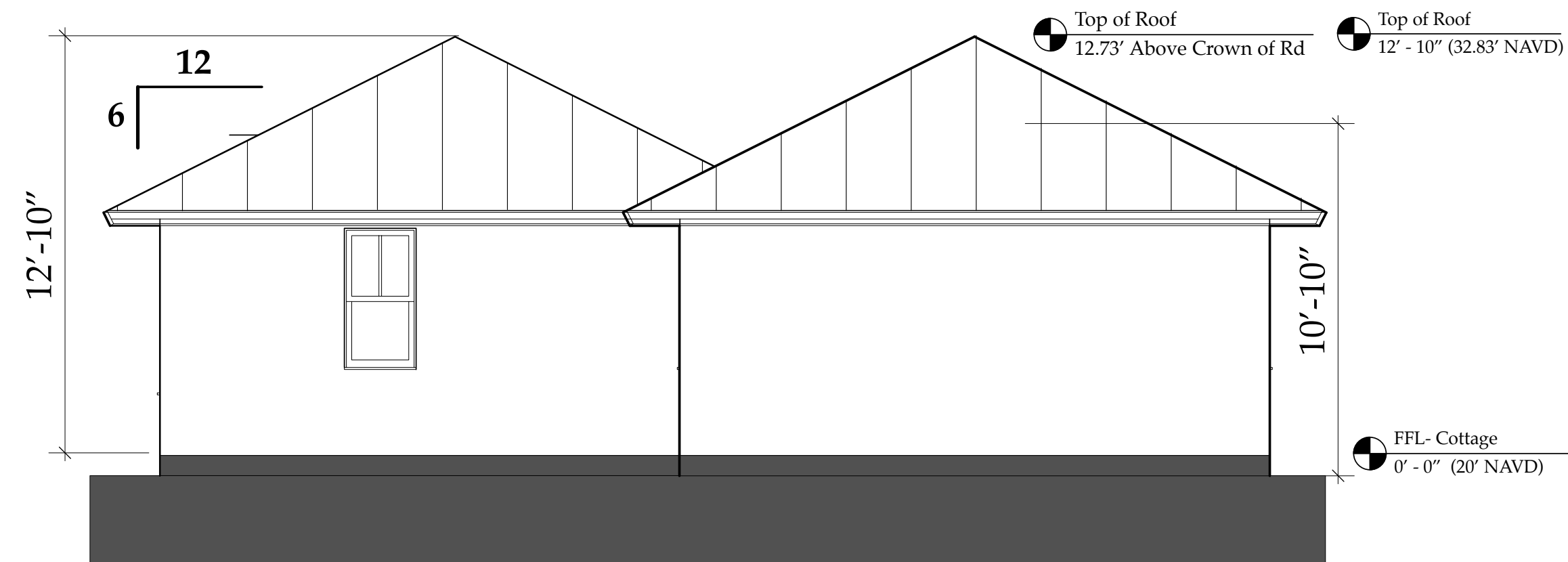
NEW NO. ELEV - GARAGE/GYM
Scale: 1/4" = 1'-0"

NOTE: Roofing, Stucco Texture & Color, Windows Color & Spec, Doors, All to Match MAIN RESIDENCE (Except Windows are 2/1 as shown)



SOUTH ELEVATION
Scale: 1/8" = 1'-0"

(Existing Cottage Elevation)



NEW NO. ELEV- COTTAGE
Scale: 1/4" = 1'-0"

NOTE:
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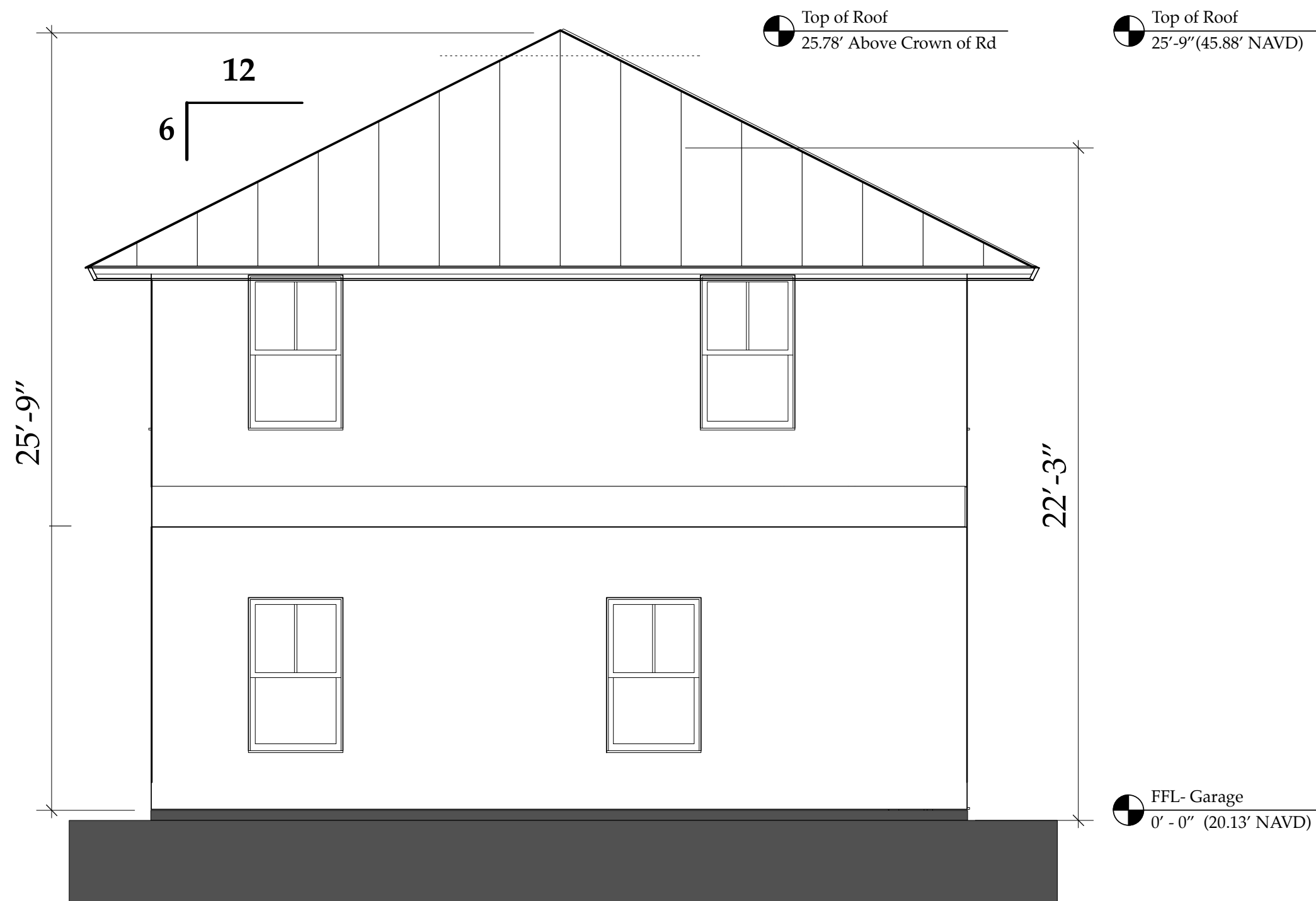


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ID 0002725 & AR95577
AA26002208

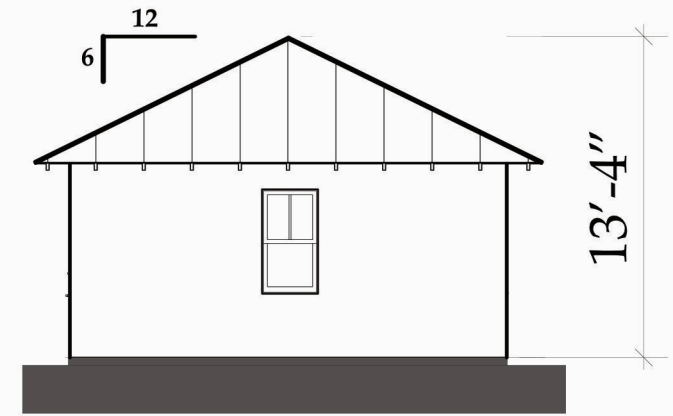


No.	Date	Appr	Revision Notes
1	xx/xx/21		Issued for HPB Review
2	xx/xx/xx		Issued for Permitting

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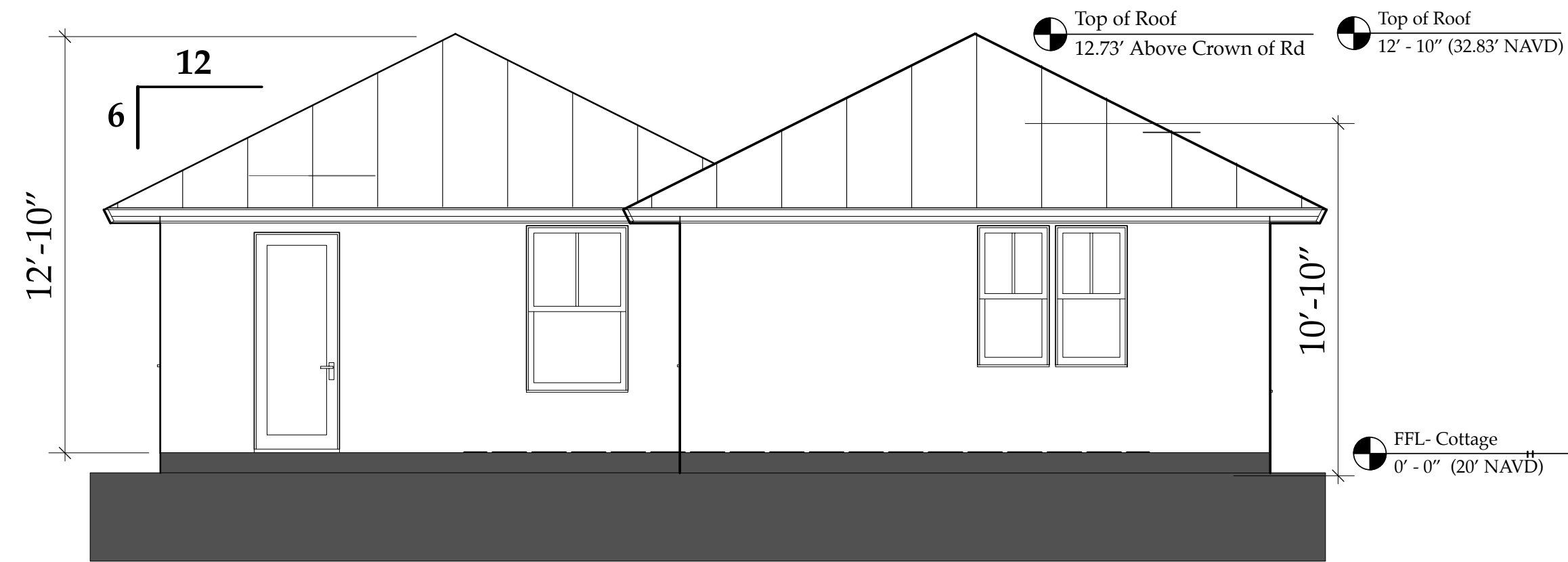


NEW SO. ELEV - GARAGE/GYM
Scale: 1/4" = 1'-0"



NORTH ELEVATION
Scale: 1/8" = 1'-0"

(Existing Cottage Elevation)

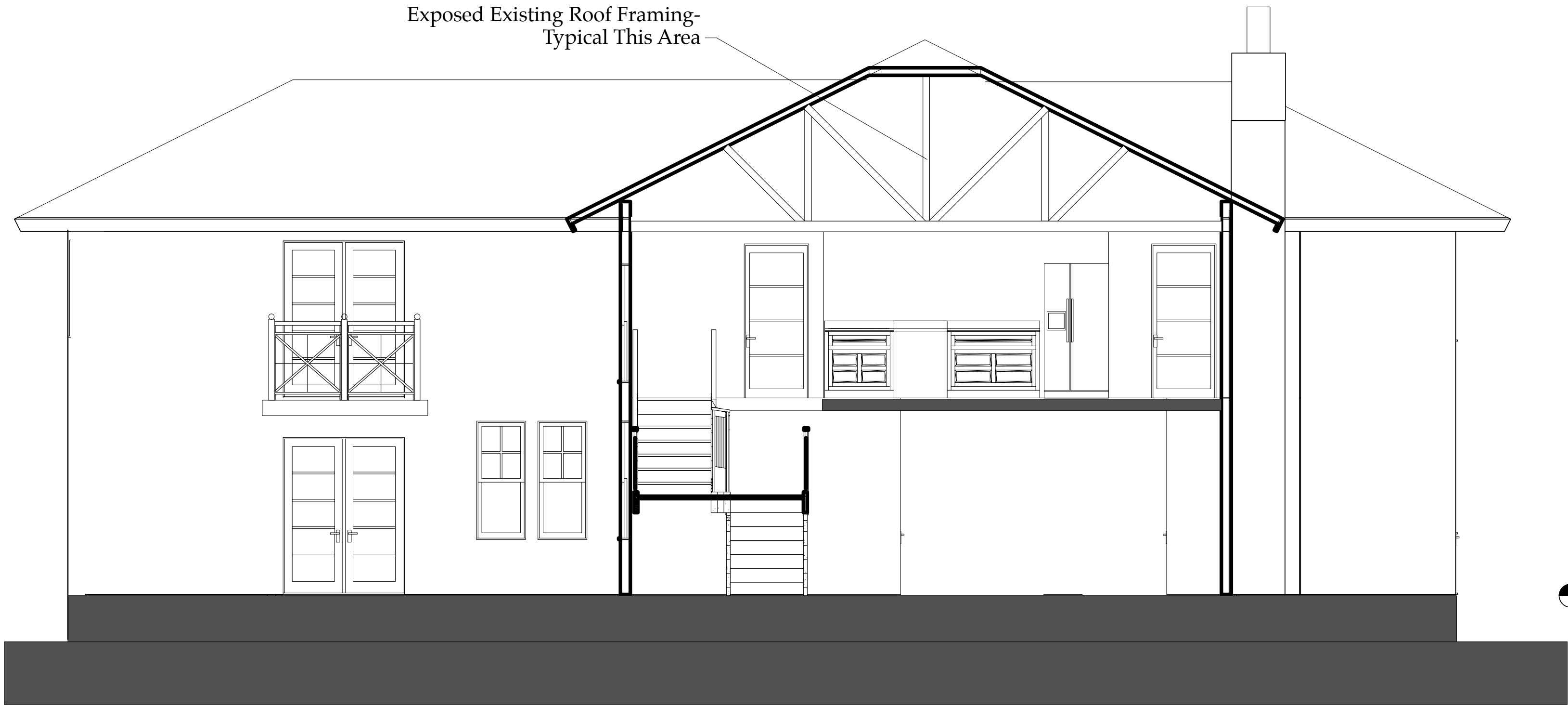


NEW SO. ELEV- COTTAGE
Scale: 1/4" = 1'-0"

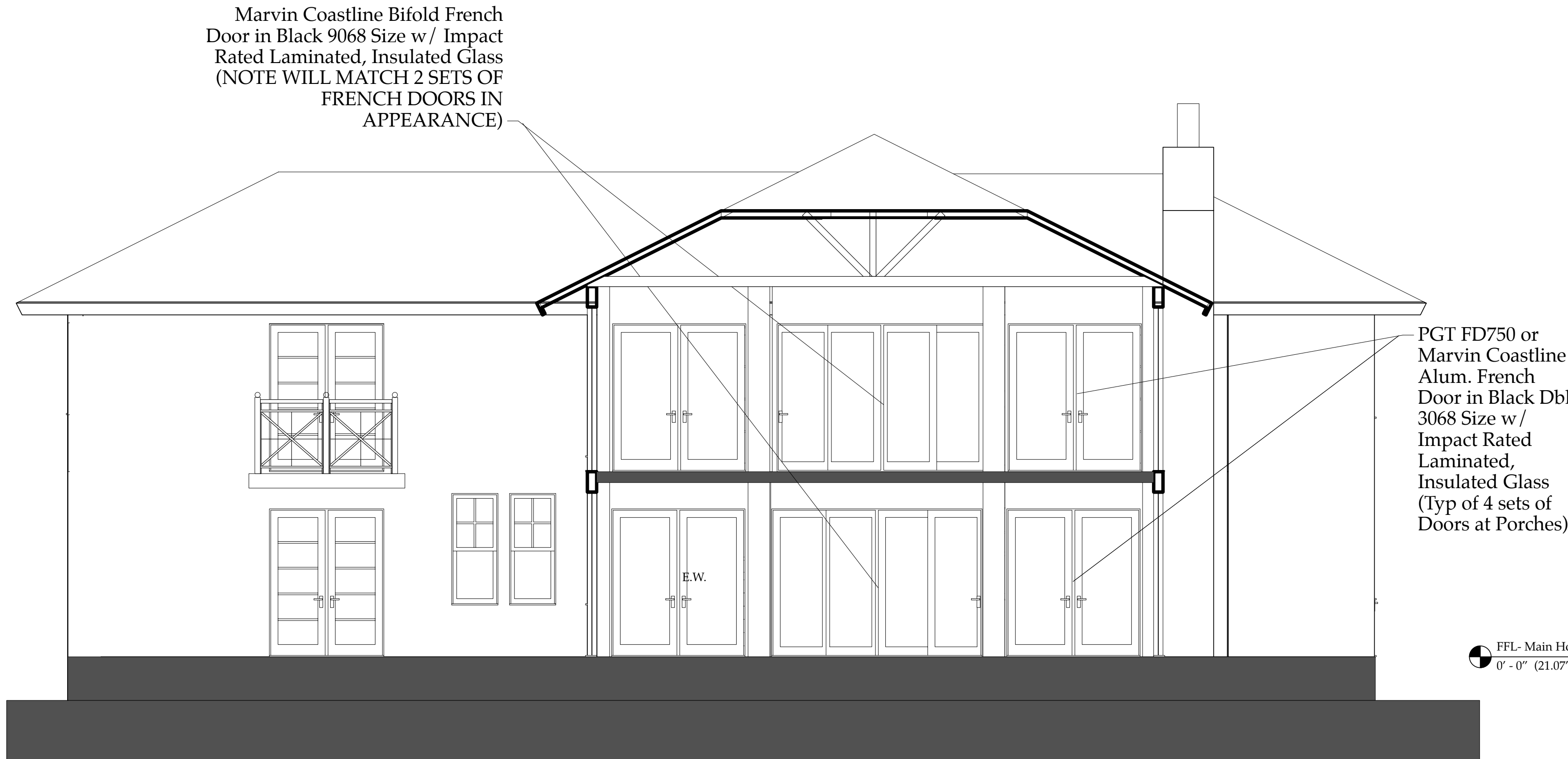
**NEW North & South Elevations-
OUTBUILDINGS
A3.05**

**Derrickson Residence
Renovations & Additions**

A	5/16/09	Issue Note	
No.	Date	Issue Notes	
<div><div></div><div>Daniel Sloan, AR95577 Date: _____</div></div>			
Design Firm Sloan & Sloan- Architecture + I.D. 106 SE 7th Avenue, Ste. B Delray Bch, FL 33483 (561) 243-8755			
Consultant			
Project title Derrickson Residence Renovations & Additions 330 NE 1st Avenue			
Drawing Title NEW NORTH & SOUTH ELEVATIONS of Main Residence (Garage & Guest Cottage)			
Project Manager D. Sloan		Project ID Derrickson Residence Project	
Drawn By D. Sloan		Scale 1/4" = 1'-0"	
Reviewed By D. Sloan		Drawing No. A3.05	
Date 8/22/2021		_____ of _____	
CAD File Name Derrickson_Reno_ExtgBldg.rvt		Total Sheets	

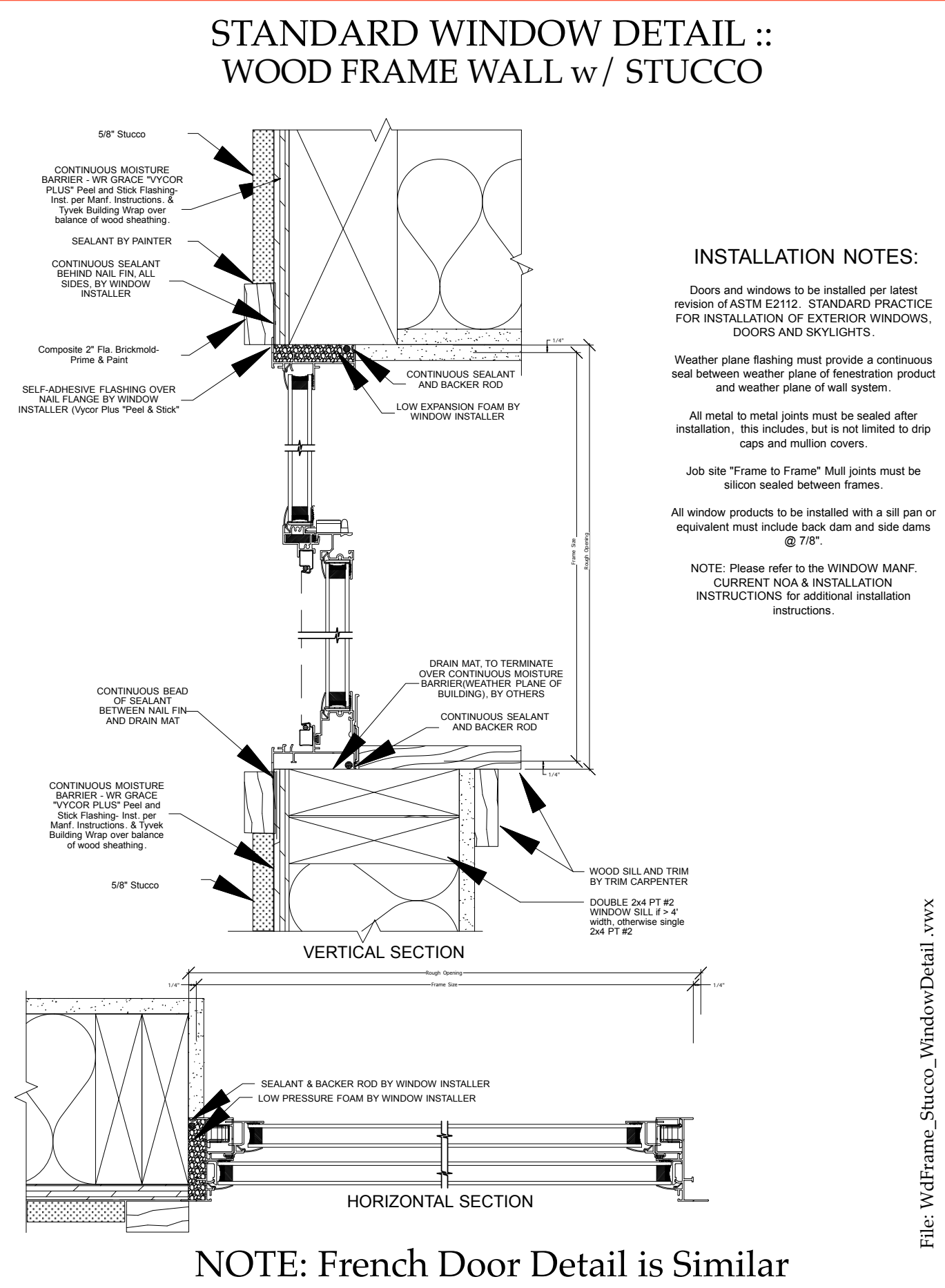


2 NEW LIVING RM SECTION- Looking West
Scale: 1/4" = 1'-0"



3 NEW EAST FRONT PORCH SECTION/ ELEVATION
Scale: 1/4" = 1'-0"

NOTE: SEE IMPORTANT NOTES AND SPECIFICATIONS ON SHEET S8.01



NOTE: Exterior Door Installation Similar- consult NOA & Manf. Installation Directions on Both Window & Door Installation Methods/Proceedures.

The Work Shown in these Plans Shall Comply with the 2020 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



Sloan & Sloan Inc.
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Derrickson Residence
Renovations & Additions

A	5/16/09	Issue Note
No.	Date	Issue Notes
		Robert Selinsky, PE Date:
Design Firm	Sloan & Sloan- Architecture + I.D. 106 SE 7th Avenue, Ste. B Delray Bch, FL 33483 (561) 243-8755	
Consulting	PENNONI, INC., Structural Engineers 601 N. Congress Ave, Ste. 106a Delray Beach, FL. 33445	
Project Title	Derrickson Residence Renovations & Additions 330 NE 1st Avenue	
Drawing Title	BUILDING SECTIONS: At Front Porch & & at Living Room	
Project Manager	D. Sloan	Project ID Derrickson Residence Project
Drawn By	D. Sloan	Scale As Noted
Reviewed By	Robert Selinsky, PE	Drawing No. A4.02
Date	8/22/2021	of Total Sheets
Derrickson_Reno_ExtgBldg.vwx		

Building
Sections
A4.02

NOTE: PT #2 = "Southern Yellow Pine #2 or Better"